

CONSTRUCTION SUMMARY

Palmetto - Zadorra Estates Corp.

RECEIVED

APR 24 2024

TEL: RES.: 647-328-3719

PURCHASER: Anton PARFENYUK

LOT / PHASE 155 / 1	REG. PLAN # 40M-2763	HOUSE TYPE Rose 12 Elev 3		
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CONSTRUCTION

1 - PRIMARY BEDROOM - REVISE PRIMARY BEDROOM TWO SEPARATE WALK-IN CLOSETS TO ONE LARGE WALK IN CLOSET AS PER SKETCH 10Nov23 Note:	
1 - ENLARGED BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES 06Jul23 Note:	
3 - ENLARGED BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES 30Jun23 Note:	
1 - LOWER LEVEL - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL 30Jun23 Note:	
1 - FIRST FLOOR INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET 30Jun23 Note:	

ELECTRICAL

1 - PRIMARY BEDROOM - ELECTRICAL PLUG TO BE INSTALLED ON WALL 5FT FROM FINISHED FLOOR FOR FUTURE TV SEE REVISION PLAN SKETCH FOR LOCATION 10Nov23 Note:	
1 - BEDROOM 2 ENSUITE - POT LIGHT - TUB/SHOWER POT LIGHT 10Nov23 Note:	
4 - POT LIGHT - LED - FIRST FLOOR INSTALLATION - INSTALLED ON SEPARATE SWITCH FROM STANDARD LIGHT x1 - FAMILY ROOM x1 - KITCHEN x1 - LIVING/DINING ROOM x1 - OFFICE 10Nov23 Note: POT LIGHT TO BE INSTALLED APPROX. 2 FEET IN FROM WALL AS PER SKETCH - IF CONSTRUCTION PERMITS	
1 - FAMILY ROOM - PLUG - ELECTRICAL PLUG - TO BE INSTALLED OVER FIREPLACE 10Nov23 Note:	
1 - STANDARD DINING ROOM LIGHT TO BE CENTERED BETWEEN LIVING AND DINING ROOM 10Nov23 Note:	
2 - FAMILY ROOM - ADD 2 LIGHTS ON WALL FOR FUTURE WALL SCONCE - NO FIXTURE INCLUDED - SINGLE SWITCH SEE SKETCH 10Nov23 Note:	
1 - ABOVE KITCHEN ISLAND - ADD LIGHT AND SWITCH - NO FIXTURE INCLUDED 10Nov23 Note:	
1 - PLUG - ELECTRICAL PLUG WITH GFI AND SWITCH - FOR FESTIVE LIGHTING 10Nov23 Note:	
1 - ELECTRIC VEHICLE ROUGH-IN PROVISION ONLY FOR FUTURE ELECTRIC CAR (CONDUIT FROM BASEMENT INTO JUNCTION BOX IN GARAGE WITH PULL STRING, NO WIRE) 10Nov23 Note:	

FIREPLACE AND ACCESSORIES

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1 - MANTEL - PAINTED - M6 - IN LIEU OF STANDARD MANTEL
05Apr24 Note:

1 - GAS LINE ROUGH-IN FOR STOVE (INCLUDES ELECTRICAL OUTLET) - FIRST FLOOR
10Nov23 Note:

HARDWOOD FLOORING

1 - LAMINATE - LEXINGTON - KITCHEN/BREAKFAST AREA
05Apr24 Note:

PAINTING

1 - TRIM PAINT PACKAGE - WHITE PAINT FOR BASBOARDS TRIM, INTERIOR DOORS, AND FIREPLACE MANTEL
05Apr24 Note:

PLUMBING

1 - PRIMARY ENSUITE - HOT WATER VALVE NEXT TO TOILET - PRICE IS EACH
10Nov23 Note:

1 - WATER LINE FOR FRIDGE - ROUGH-IN ONLY
10Nov23 Note:

PROMOTIONAL

1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER
30Jun23 Note:

STAIRS AND RAILINGS

1 - PICKETS - EUROLINE 1 - BLACK PICKETS
05Apr24 Note:

1 - HANDRAIL - CONTEMPORARY HANDRAIL
05Apr24 Note: FOR CONFIRMATION MODERN RING POST
INCLUDES RING POST

1 - STAINED STAIRS - STANDARD STAIRCASE
05Apr24 Note: INCLUDING STEPS TO LOWER LANDING

EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Fif
Worksheet Note:

This Document is Extremely Time Sensitive - Printed 23 Apr 24 at 13:15

Purchaser:Anton PARFENYUK

Property: 155

Telephone Res. / Bus: (647) 328-3719 /

Project: Zadorra Estates Corp.

Decor Advisor: Ida Viola

Model and Elevation: Rose 12 Elev 3

Lock Date: 5-Apr-24

5-Apr-24

Plan #: 40M-2763

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	MONACO 1048 FLAX	223SA
Laundry Room	ELISSE	Standard
Powder Room	MONACO 1048 FLAX	223SA
Master Ensuite Bathroom	MONACO 1048 FLAX	223SA
Ensuite Bath - Bedroom 2	SABRA 1048 FLAX	223SA
Ensuite Bath - Bedroom 3	SABRA 291 CLEAR	631SB
Ensuite Bath - Bedroom 4	DORAL W500	179SA

Stove Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

A.P. STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge	Niche
Kitchen / Breakfast	LAMINATE-WHITE CARRARA 4924-38		
Laundry Room	N/A		
Powder Room	LAMINATE-WHITE CARRARA 4924-38		
Master Ensuite Bathroom	LAMINATE-WHITE CARRARA 4924-38		
Ensuite Bath - Bedroom 2	LAMINATE-PALOMA POLAR 6698-46		
Ensuite Bath - Bedroom 3	LAMINATE-PALOMA POLAR 6698-46		
Ensuite Bath - Bedroom 4	LAMINATE-WHITE CARRARA 4924-38		

Kitchen Backsplash

N/A

** Refer to Construction Summary

3. Ceramic Flooring

At a 45

Entrance Vestibule	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	<input type="checkbox"/>
Main Hall	LAMINATE	<input type="checkbox"/>
Kitchen / Breakfast	LAMINATE	<input type="checkbox"/>
Laundry Room	TILE-CONCRETE WHITE 13X13	<input type="checkbox"/>
Powder Room	TILE-HR CINZA CLARO GREY 13X13	<input type="checkbox"/>
Master Ensuite Bathroom	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	<input type="checkbox"/>
Mud Room	TILE-HR CINZA CLARO GREY 13X13	<input type="checkbox"/>
Ensuite Bath - Bedroom 2	TILE-HR CINZA CLARO GREY 13X13	<input type="checkbox"/>
Ensuite Bath - Bedroom 3	TILE-CONCRETE WHITE 13X13	<input type="checkbox"/>
Ensuite Bath - Bedroom 4	TILE-S.N. PASTELLO BIANCO 13X13	<input type="checkbox"/>
		<input type="checkbox"/>

** Refer to Construction Summary ** METAL STRIP THRESHOLD WHERE APPLICABLE UNLESS SPECIFIED **

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall		
Shower Stall	TILE-GROENLANDIA BLANC LUC 8X16	
Bathtub Enclosure Walls		
Mud Room	N/A	
Ensuite Bath - Bedroom 2	TILE-EXTRA WHITE/GREY (722) 8X16	
Ensuite Bath - Bedroom 3	TILE-EXTRA WHITE/GREY (722) 8X16	
Ensuite Bath - Bedroom 4	TILE-SILVIA WHITE 8X16	
Kitchen Backsplash	N/A	

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Trim Carpentry

Interior Doors	CARRARA-SMOOTH
Interior Trim	As Per Construction Specifications

** Refer to Construction Summary

6. Plaster Mouldings and Medallions

Entrance Vestibule	N/A		Kitchen/Breakfast	N/A	
Main Hall	N/A		Den/Library	N/A	
Living Room	N/A		Lower Landing	N/A	
Dining Room	N/A				
Family Room	N/A				

** Refer to Construction Summary

7. Other Flooring

Main Hall	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Living Room	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Dining Room	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Family Room	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Den / Library / Study	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Basement Landing(If Applies)	N/A
Lower Landing (If Applies)	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Upper Landing	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Upper Hall	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Master Bedroom	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Bedroom #2	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Bedroom #3	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Bedroom #4	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC
Bedroom #5	N/A
KITCHEN/BREAFAST	LAMINATE-LEXINGTON KORTEMARK OAK TL LW1312 PEFC

Underpad

Standard ☐

Upgrade

** Refer to Construction Summary

8. Railings and Pickets

Railing Type	CONTEMPORARY	Colour	TORLYS KORTEMARK OAK TL LW1312
Picket Type	EUROLINE 1	Colour	BLACK
Stringer / Riser	AS PER CONSTRUCTION SPECIFICATIONS	Colour	TORLYS KORTEMARK OAK TL LW1312
Treads	AS PER CONSTRUCTION SPECIFICATIONS	Colour	TORLYS KORTEMARK OAK TL LW1312

Red Oak Stairs as Per Vendor's Standard

** Refer to Construction Summary

THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall	22 WARM GREY	Master Bedroom	22 WARM GREY
Living Room	22 WARM GREY	Bedroom #2	22 WARM GREY
Dining Room	22 WARM GREY	Bedroom #3	22 WARM GREY
Kitchen / Breakfast	22 WARM GREY	Bedroom #4	22 WARM GREY
Family Room	22 WARM GREY	Bedroom #5	N/A
Powder Room	22 WARM GREY	Master Ensuite	22 WARM GREY
Laundry Room	22 WARM GREY	Ensuite Bath - Bedroom 2	22 WARM GREY
Den/Library	22 WARM GREY	Ensuite Bath - Bedroom 3	22 WARM GREY
Trim & Door Paint-Semi Gloss	WHITE	Ensuite Bath - Bedroom 4	22 WARM GREY
		Mud Room	22 WARM GREY

** Refer to Construction Summary

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Property: 155

Telephone Res. / Bus: (647) 328-3719 /

Project: Zadorra Estates Corp.

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Model and Elevation: Rose 12 Elev 3

Lock Date: 5-Apr-24

5-Apr-24

Plan #: 40M-2763

10. Fireplace

Living Room

Purchased

As Per Plan

N/A

Family Room

Purchased

As Per Plan

N/A

Other Room - Specify

Fireplace Type

As Per Construction Specifications

Mantle Type

MANTLE M6

Colour / Stain

WHITE

Surround

GRIGIO CARNICO

Hearth

NO

** Refer to Construction Summary

11. Air Conditioning

Air Conditioning

NO

Comment

** Refer to Construction Summary

12. General Comments

** Refer to Construction Summary

Disclaimers and Notes

1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

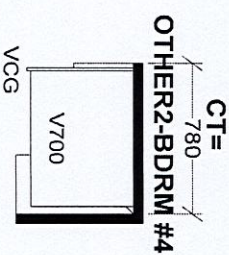
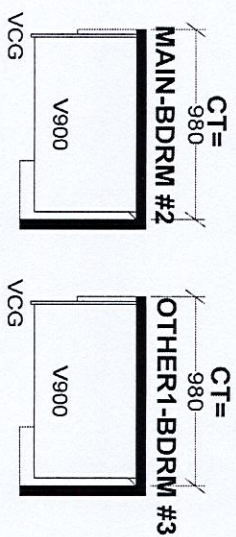
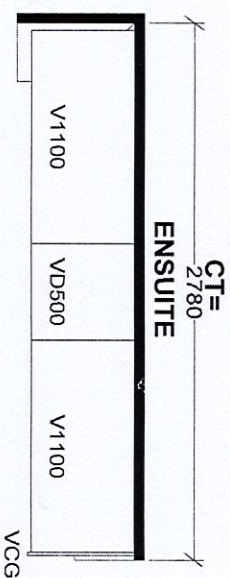
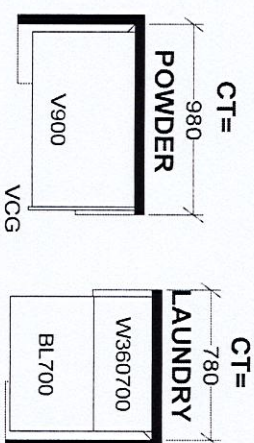
4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

5) In the event of a conflict between the Standard Features schedule of the Agreement of Purchase and Sale and the Interior Colour Scheme, the Interior Colour Scheme shall prevail.

Signature:Anton Parfenyuk

Date:

**WALK IN PANTRY
BY BUILDER**



Selba Industries		J #
W WIDTH _____	W HGHT _____	W CNT _____
<small>This drawing is the intellectual property of SELBA INDUSTRIES INC. and is not original design which must not be released or copied unless applicable fee has been paid or job order placed.</small>		
FLOOR HGHT _____	DOOR HGHT _____	
ST CENT _____	2X4 _____	VENT BOX COVER _____
DESIGNER: BM		JOB NUMBER: _____
DATE: AUG 3 23		BUILDER: GREENPARK HOMES
		SITE: ZADORRA, Oshawa
		MODEL: ROSE 12X EL 1,2,3
		LOT #: _____

LOT 155 ZADORRA

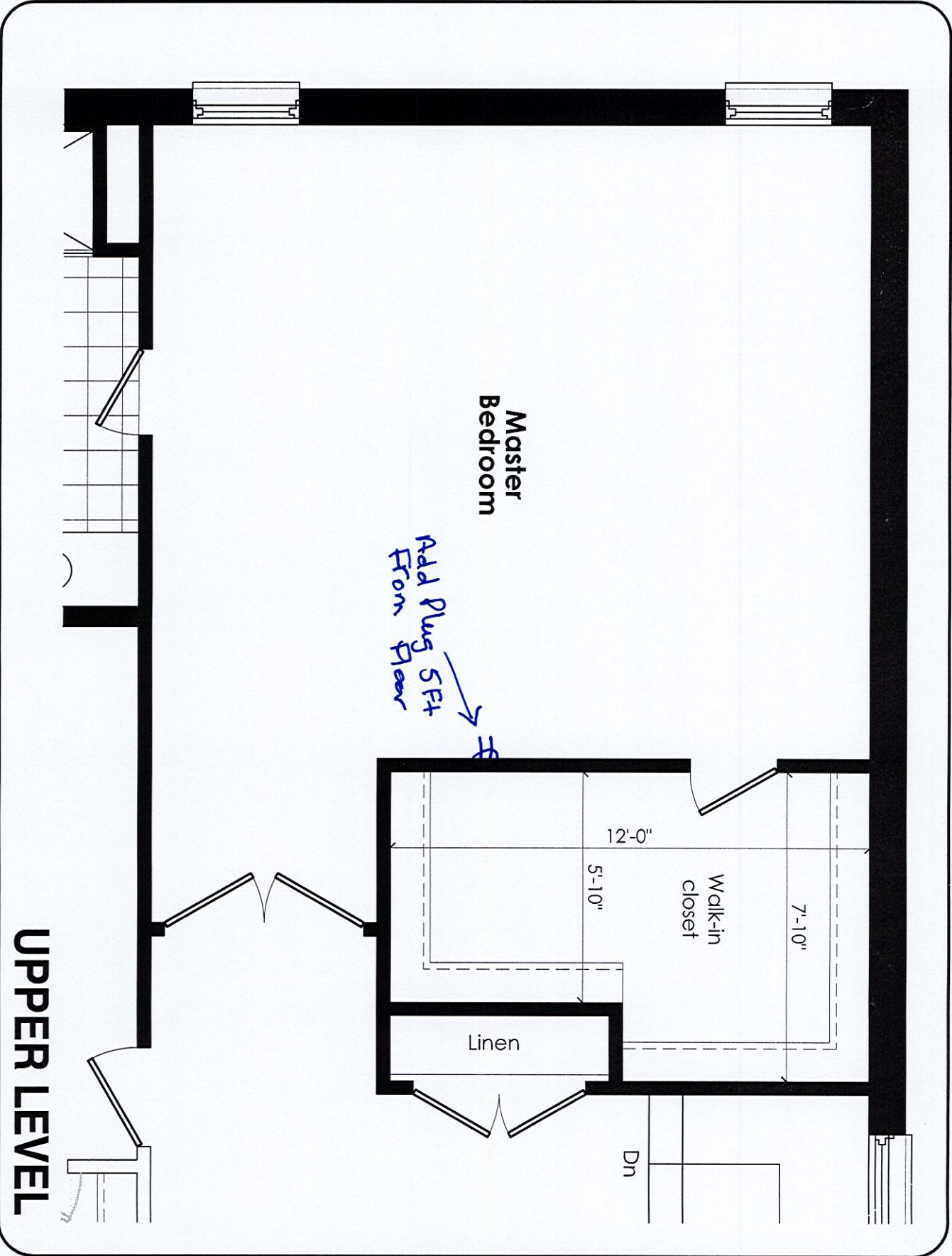
PALMETTO
CITY OF OSHAWA

ROSE 12 ELEVATION 3

REVISIONS:

- REVISE MASTER BEDROOM TWO SEPARATE WALK-IN CLOSETS TO ONE LARGE WALK-IN CLOSET.

NOTE: DIMENSIONS ARE APPROXIMATE.



DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

REGION
DESIGN
INC.

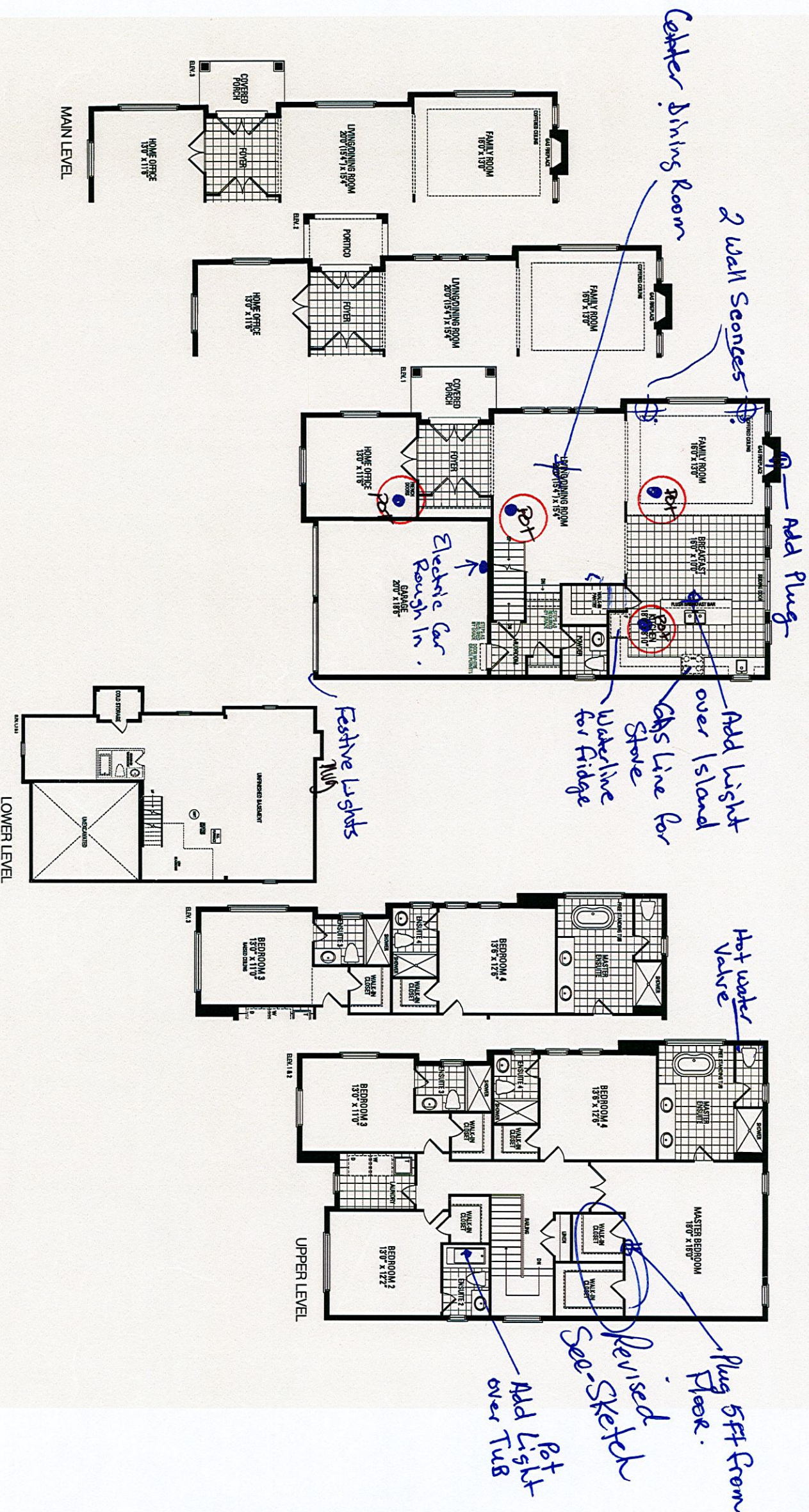
SCALE
BY MB
N.T.S.
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1 OF 1



Lot 155 Zadora Elev 3.

ROSE 12 40' LOT

ELEVATION 1 3,162 sq.ft. • ELEVATION 2 3,162 sq.ft. • ELEVATION 3 3,162 sq.ft.



Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model types may vary due to siting. E. & O. E. May 2023