



**GENERAL NOTES (PART 9 - RESIDENTIAL)**

PERMIT NO. **RM#24-00020**

All construction must comply with the Ontario Building Code (OBC) 2012 as amended, including but not limited to the following. As a minimum, the following requirements **shall** be incorporated in the final construction:

1. All footings shall rest on natural undisturbed soil or compacted granular fill with a minimum bearing capacity of 75 KPa (1570 psf) unless known capacity is less and provided for in the foundation design.
2. Step footings shall have a maximum rise of 600 mm (23 5/8") for firm soils, 400 mm (15 3/4") for sand or gravel and a minimum horizontal run of 600 mm (23 5/8").
3. Concrete for exterior steps, garage and carport floors and all exterior flat work shall have a minimum compressive strength of 32 MPa (4650 psi) at 28 days, with air entrainment of 5 to 8%. Concrete floors with no damp proofing shall have a minimum compressive strength of 25 MPa (3000 psi). All other concrete to be 15MPa (2200 psi).
4. Foundations and the soil beneath them shall be protected against freezing during winter construction. Where foundation walls require permanent lateral support, the wall shall be braced or laterally supported before backfilling.
5. When the unsupported height of a foundation wall exceeds 3.0 m (9'-10"), the wall shall be designed by an engineer in accordance with OBC Part 4.
6. Exterior concrete stairs with more than 2 steps shall be supported on unit masonry, concrete walls or piers not less than 150x150 (6"x6") with footings at 1.2 m (4') below grade.
7. Where the top of a foundation wall is reduced in thickness to permit the installation of masonry exterior facing, the reduced section shall be not less than 90 mm (3 1/2") thick and tied to the facing material with metal ties conforming to Sentence 9.20.9.4. (3), spaced not more than 200 mm (7 7/8") o.c. vertically and 900 mm (2'-11") o.c. horizontally. The space between the wall and masonry veneer shall be filled with mortar.
8. Provide continuous lateral support to top flange of all steel beams. Steel beams shall have minimum 90 mm (3 1/2") bearing length. Connections to other steel beams shall have a minimum of 2-M20 (3/4" dia.) A325 steel bolts or a full welded connection (with full shear capacity of beam). Steel beams supported on wood shall be designed by an Engineer.
9. Provide solid blocking support under all point loads and continue down to the foundation. Built-up columns shall comply with OBC 9.23.10.7. For engineered systems, follow manufacturer's specifications for correct blocking and bearing requirements.
10. Refer to the approved engineered layout drawings for engineered floor joist and roof truss systems, including beams and supports. Follow manufacturers specifications for bridging, bracing, bearing and connection requirements for built up beams or joists.
11. Tie the lower ends of roof rafters with continuous horizontal ties to the opposing rafters unless lateral thrust is otherwise specifically designed for.
12. Guards shall be constructed in accordance with Supplementary Standard 7 of the OBC or in conformance with OBC Part 4 (including design loads on guards). Min. guard height to comply with OBC 9.8.8. All guards to be non-climbable.
13. All masonry veneer ties shall be corrosion-resistant, minimum of 0.76 mm (0.03") thick, 22 mm (7/8") wide and be spaced in accordance with Table 9.20.9.5 of the OBC
14. Ceramic floor tile and its supporting floor shall be constructed in accordance to OBC 9.30.6.
15. For insulation values, window and door U-values and efficiency of appliances refer to SB-12 requirements: Prescriptive or Performance design or values specified by Energy Star requirements.
16. Foundation walls enclosing heated spaces shall be insulated to not more than 8" above the basement slab and an approved drainage layer is required on the exterior.
17. Exterior Insulated Finished System (EIFS) over wood framed wall and other moisture sensitive substrates shall consist of dual barrier with drained joints (DB/DJ). They shall be constructed in accordance to OBC 9.27.13 and shall conform to CAN/ULC-S716.1. All other exterior applied stucco finishes shall be constructed in accordance with OBC 9.28.
18. Stairs serving a house or dwelling unit shall have min. headroom of 1950 mm (6'-5"), min. width of 860 mm (2'-10"), max. rise of 200 mm (7 7/8") & min. 125 mm (4 7/8") and a min. run of 255 mm (10"). Tapered stairs shall have a min. average run of 255 mm (10") at the point of 300mm measured from the center of the handrail. The tolerance of stair dimensions shall conform to OBC 9.8.4.4. Secure stair stringers at top and bottom.
19. Basement ceiling height shall be min. 2.1 m. (6'-11") over at least 75% of the area and 1.95 m. (6'-5") under beams and ducts.
20. Every floor level containing a bedroom shall be provided with at least 1 outside window with an operable unobstructed opening having a minimum area of 0.35 sq. m. (3.8 sq. ft.), with no dimension less than 380 mm (15"). Every floor level, requiring travel of more than 1 storey to an exit door, shall be provided with an unobstructed escape window opening of not less than 1 m. (3'-3") in height and 0.55 m (21 5/8") in width with the sill not more than 1 m (3'-3") above the floor and 7 m. (23') above adjacent ground level or that floor shall be provided with a balcony. Except for basement locations, all windows shall have a maximum sill height of 1 m. (3'-3") above the floor.
21. Provide window protection to minimize the hazard to children in accordance with OBC 9.7.1.6.
22. Exterior walls, which are less than 1.2 m (4'-0") from the lot line, shall have no unprotected opening and be constructed with a 3/4 hr. fire resistance rating. These walls shall be rated from the interior. Exterior walls, which are less than 0.6 m (2'-0") from the lot line, shall in addition have non-combustible cladding.
23. All entrance doors, doors between the dwelling unit and the attached garage, patio doors and windows within 2m (6'-7") of adjacent ground level shall conform to OBC Subsections 9.6.8 & 9.7.6 'Resistance to Forced Entry'.
24. Roof vents shall be provided on the basis of 1 sq. ft./300 sq. ft. of insulated ceiling area. Where the roof slope is less than 1 in 6 or in cathedral ceilings, roof vents shall be provided on the basis of 1 sq. ft./150 sq. ft. of insulated ceiling area. Roof vents shall be uniformly distributed to ventilate each roof space with a minimum of 25% of the required vent space to be located at the top and the bottom of the roof.
25. Eave protection is required, beneath the start strip, from the edge of the roof to a minimum distance of 900 mm (3'-0") up the roof slope to not less than 300 mm (12") inside the inner face of the exterior wall on shingled, shake or tile roofs except as provided by 9.26.5.1.(2).
26. Foamed plastic insulation shall be protected with interior finishes according to OBC 9.10.17.10.
27. The wall and ceiling between an attached garage and the dwelling unit shall be constructed and sealed so as to provide an effective barrier to exhaust fumes. Door between the garage and the dwelling unit shall be tight fitting, weather-stripped and equipped with a self closing device.
28. Smoke alarms shall be provided on each floor level and be located within each bedroom. Smoke alarms shall be interconnected and hard wired with no disconnect switch. Smoke alarms are required to have a visual signaling component conforming to NFPA 72.
29. A carbon monoxide detector conforming to CAN/CGA-6.19 or UL 2034 shall be installed on every building containing a fuel burning appliance or an attached garage in conformance with the OBC 9.33.4.
30. In addition to the above carbon monoxide detectors, Town of Richmond Hill By-law No. 245-99 requires that a carbon monoxide detector, equipped with an alarm that is audible within bedrooms when the intervening doors are closed and conforming to CAN/CGA-6.19 or UL 2034, be installed in accordance with the manufacturer's instructions in every dwelling unit. Where the carbon monoxide detector is electrically powered, it must be approved by the Canadian Standards Association and be equipped with a visual indicator indicating that it is in operating condition and have NO switch between the carbon monoxide alarm and the power distribution panel.
31. A mechanical ventilation system is required in every dwelling. An exhaust only' ventilation system is permitted only where forced air heating is used, there is no electric heating or fireplace (other than a direct vent gas fireplace), and where a mechanically vented induced draft or direct vented furnace and hot water tank are used. A ventilation system with a heat recovery ventilator or Part 6 design is required in all other cases.
32. All exterior doors greater than 600mm above grade which do not exit onto a deck shall be permanently adjusted to prevent opening as per 9.6.4.1(2) of the OBC or be guarded as per 9.8.8 of the OBC
33. The main bathroom shall have stud reinforcement to accommodate future installation of grab bars adjacent to water closets and shower or bathtub as per OBC 9.5.2.3.
34. Slopes on roof surfaces shall comply with OBC 9.26.3.1.
35. Windows shall comply with OBC 9.7
36. Exhaust ducts connected to laundry drying equipment shall comply with OBC 6.2.3.8. (7)

## Strip Footings

### For Singles and Semi-Detached Houses up to 2 storeys

#### For 8" or 10" foundation walls with 2x8 / 2x10 floor joists

20" wide x 6" thick concrete strip footings below foundation walls.  
24" wide x 8" thick concrete strip footings below party walls.

#### Foundation walls with engineered joists over 16' spans

24" wide x 8" thick concrete strip footings below party walls.

#### Footings on engineered fill

24" wide x 8" thick concrete strip footings with reinforcing below exterior walls.  
30" wide x 8" thick concrete strip footings with reinforcing below party walls.  
(refer to the footings details on engineered fill)

#### Assume the larger footing size when two conditions apply.

Assumed 120 kPa (18 psi) soil bearing capacity or 90 kPa engineered soil fill. Bearing capacity to be verified on site, **by a soil engineer report**

## Concrete Pad Footing Sizes

#### 120 kPa Native Soil

F1 = 42" x 42" x **2'3"**

F2 = 36" x 36" x **1'8"**

F3 = 30" x 30" x **1'3"**

F4 = 24" x 24" x 1'2"

F5 = 16" x 16" x 8"

#### 90 kPa Engineered Fill

F1 = 48" x 48" x **2'4"**

F2 = 40" x 40" x **2'0"**

F3 = 34" x 34" x **1'7"**

F4 = 28" x 28" x **1'4"**

F5 = 18" x 18" x 8"

Refer to the floor plans for non-standard footing sizes.

## Brick Veneer Cuts

When the brick veneer cut is greater than 26" a 10" thick poured concrete foundation wall is required.

## Exterior Concrete Slabs

All garage slabs, porch slabs, poured concrete stairs and exposed concrete flat work to be 32 MPa with 5-8% air entrainment.

## Ceramic Tile over Joists

Space conventional floor joists @ 12" o/c below all ceramic tile areas. Provide 1 row of bridging for spans of 5'-7" and 2 rows for spans greater than 7'-0".

## Engineered Roof Trusses

Refer to the roof truss shop drawings for all roof framing information.

## Engineered Floor Joists

Refer to the floor framing shop drawings for engineered framing layouts, hardware and details.

## Steel Column Notes

**C1** = 4" x 4" x  $\frac{1}{4}$ " HSS w/ 10" x 8" x  $\frac{1}{2}$ " base plate and 2 -  $\frac{3}{4}$ " dia. anchor bolts.  
**C2** = 5" x 5" x  $\frac{1}{4}$ " HSS w/ 12" x 12" x  $\frac{1}{2}$ " base plate and 4 -  $\frac{3}{4}$ " dia. anchor bolts.

Use 4 bolts for moment connection.

"M" = Moment connection at beam and column = 35 kN-m

## Grading

Plans and elevations are not drawn to accurate grade elevations. Refer to final grading plan.

## Door Schedule

| No. | Width        | Ceiling Heights<br>8' to 9' | 10' or more | Type                    |
|-----|--------------|-----------------------------|-------------|-------------------------|
| 1   | 2'-10" (34") | 6'-8"                       | 8'-0"       | Insulated entrance door |
| 1A  | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Insulated entrance door |
| 2   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Wood and glass door     |
| 3   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Exterior slab door      |
| 4   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 5   | 2'-6" (30")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 6   | 2'-2" (26")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 7   | 1'-6" (18")  | 6'-8"                       | 8'-0"       | Interior slab door      |

## Garage Wall - 2x4 Stud Design

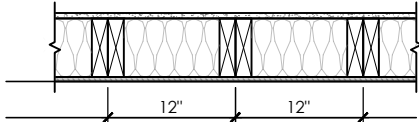
| Studs | Spacing | Maximum Height |
|-------|---------|----------------|
| 2x4   | 16" o/c | 8'-0" (2.44m)  |
| 2x4   | 12" o/c | 8'-10" (2.69m) |
| 2-2x4 | 16" o/c | 10'-1" (3.07m) |
| 2-2x4 | 12" o/c | 10'-9" (3.28m) |
| 3-2x4 | 16" o/c | 11'-2" (3.40m) |
| 3-2x4 | 12" o/c | 12'-4" (3.76m) |

#### Notes

- For roof design snow loads of 2.6kPa
- Supported roof truss length of 6.0m
- Supported floor joist length of 2.5m
- Studs exceeding 3.0m in height shall be installed per OBC 9.23.10.1.(2)

## Two Storey Height Wall Details - max. 18'-0" tall

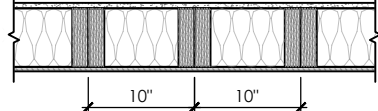
2 - 2 x 6 stud wall nailed together and spaced at 12" o/c full height c/w solid blocking @ 48" o/c vertical and  $\frac{3}{16}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 20'-2" and maximum length is 40'-0".

## Two Storey Height Wall Detail - max. 20'-2" tall

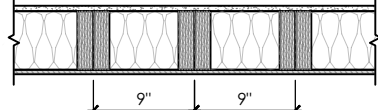
2 - 1  $\frac{1}{2}$ " x 5  $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 10" o/c full height c/w solid blocking @ 8'-0" o/c vertical and  $\frac{1}{8}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 20'-2" and maximum length is 40'-0".

## Two Storey Height Wall Detail - max. 21'-5" tall

2 - 1  $\frac{1}{2}$ " x 5  $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 9" o/c full height c/w solid blocking @ 8'-0" o/c vertical and  $\frac{1}{8}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 21'-5" and maximum length is 40'-0".

## Steel Angles and Wood Beam Schedules

### Brick Veneer Steel Lintels + Wood Lintels and Beams

| Label | Steel Angle Size (v x h x t)  | Wood Size (members + w + h)             |
|-------|---|---|
| WL1   | = 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2] | + 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2 |
| WL2   | = 4" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (102 x 89 x 7.9) [?] +            | 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2   |
| WL3   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +            | 2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2  |
| WL4   | = 6" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (152 x 89 x 9.5) [?] +            | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL5   | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL6   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +            | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL7   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +            | 3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2  |
| WL8   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +            | 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2  |
| WL9   | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           | 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2  |

### Wood Lintels and Beams

| Label | Beam Size (members + w + h)              |
|-------|--|
| WB1   | = 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2  |
| WB2   | = 3 - 2 x 8 (3 - 38 x 184) S.P.F. No. 2  |
| WB3   | = 2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2 |
| WB4   | = 3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2 |
| WB5   | = 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2 |
| WB6   | = 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2 |
| WB7   | = 5 - 2 x 12 (5 - 38 x 286) S.P.F. No. 2 |
| WB11  | = 4 - 2 x 10 (4 - 38 x 235) S.P.F. No. 2 |
| WB12  | = 4 - 2 x 12 (4 - 38 x 286) S.P.F. No. 2 |

### Laminated Veneer Lumber (LVL) Beams

| Label | Beam Size (members + w + h)                                 |
|-------|---|
| LVL1A | = 1 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (1 - 45 x 184)  |
| LVL1  | = 2 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (2 - 45 x 184)  |
| LVL2  | = 3 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (3 - 45 x 184)  |
| LVL3  | = 4 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (4 - 45 x 184)  |
| LVL4A | = 1 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (1 - 45 x 240)  |
| LVL4  | = 2 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (2 - 45 x 240)  |
| LVL5  | = 3 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (3 - 45 x 240)  |
| LVL5A | = 4 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (4 - 45 x 240)  |
| LVL6A | = 1 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (1 - 45 x 300) |
| LVL6  | = 2 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (2 - 45 x 300) |
| LVL7  | = 3 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (3 - 45 x 300) |
| LVL7A | = 4 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (4 - 45 x 300) |
| LVL8  | = 2 - 1 $\frac{3}{4}$ " x 14" (2 - 45 x 356)                |
| LVL9  | = 3 - 1 $\frac{3}{4}$ " x 14" (3 - 45 x 356)                |
| LVL10 | = 2 - 1 $\frac{3}{4}$ " x 18" (2 - 45 x 456)                |

### Loose Steel Lintels

| Label | Steel Size (v x h x t)  |
|-------|---|
| L1    | = 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2] |
| L2    | = 4" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (102 x 89 x 7.9) [?] +            |
| L3    | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4]              |
| L4    | = 6" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (152 x 89 x 9.5) [?] +            |
| L5    | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           |
| L6    | = 7" x 4" x $\frac{3}{8}$ " (178 x 102 x 9.5) [?] +                           |

### Glue-Laminated Floor Beams

| Label | Beam Size (w x h)                                    |
|-------|--|
| GLU1  | = 3 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (80 x 300)  |
| GLU2  | = 5 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (130 x 300) |

## Minimum Thermal Performance

The minimum thermal performance of building envelope and equipment shall conform to the following.

### Prescriptive Package A1

Space Heating Fuel Gas

| Component                   | R<br>Max. Nominal | Max. U | R<br>Min. Effective |
|-----------------------------|-------------------|--------|---------------------|
| Ceiling with Attic Space    | 60                | 0.017  | 59.22               |
| Ceiling without Attic Space | 31                | 0.036  | 27.65               |
| Exposed Floor               | 31                | 0.034  | 29.80               |
| Walls Above Grade           | 22                | 0.059  | 17.03               |
| Basement Walls              | 20 ci             | 0.047  | 21.12               |

Below Grade Slab Entire Surface  
> 600 mm Below Grade

Heated Slab or Slab  
<= 600 mm Below Grade

Edge of Below Grade Slab  
<= 600 mm Below Grade

|                                 |                   |              |
|---------------------------------|-------------------|--------------|
| Windows and Sliding Glass Doors | Energy rating: 25 | Max. U: 0.28 |
| Skylights                       | Max. U: 0.49      |              |
| Space Heating Equipment         | Min. AFAU: 96%    |              |
| HRV                             | Min. SRE: 75%     |              |
| Domestic Water Heater           | Min. EF: 0.80     |              |

## Area Calculations

### Rose 6-1

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1425 sq ft, 132.39 sq m |
| Second Floor     | 1779 sq ft, 165.27 sq m |
| Total floor area | 3204 sq ft, 297.66 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 11 sq ft, 1.02 sq m     |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3215 sq ft, 298.68 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1425 sq ft, 132.39 sq m |
| Garage             | 398 sq ft, 36.98 sq m   |
| Porch              | 89 sq ft, 8.27 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1823 sq ft, 169.36 sq m |
| Coverage w/ porch  | 1912 sq ft, 177.63 sq m |

## Area Calculations

### Rose 6-2

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1416 sq ft, 131.55 sq m |
| Second Floor     | 1770 sq ft, 164.44 sq m |
| Total floor area | 3186 sq ft, 295.99 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 11 sq ft, 1.02 sq m     |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3197 sq ft, 297.01 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1416 sq ft, 131.55 sq m |
| Garage             | 398 sq ft, 36.98 sq m   |
| Porch              | 90 sq ft, 8.36 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1814 sq ft, 168.53 sq m |
| Coverage w/ porch  | 1904 sq ft, 176.89 sq m |

## Area Calculations

### Rose 6-3

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1416 sq ft, 131.55 sq m |
| Second Floor     | 1770 sq ft, 164.44 sq m |
| Total floor area | 3186 sq ft, 295.99 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 11 sq ft, 1.02 sq m     |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3197 sq ft, 297.01 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1416 sq ft, 131.55 sq m |
| Garage             | 398 sq ft, 36.98 sq m   |
| Porch              | 53 sq ft, 4.92 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1814 sq ft, 168.53 sq m |
| Coverage w/ porch  | 1867 sq ft, 173.45 sq m |

### OPTIONAL 8'-6" FOUNDATION POUR HEIGHT

- 10" THICK CONCRETE FOUNDATION WALLS (15 MPa)
- BASEMENT FLOOR TO FLOOR HEIGHT
  - 9  $\frac{1}{2}$ " FLOOR JOISTS = 9'-2" (2.79m) HEIGHT
  - 11  $\frac{1}{8}$ " FLOOR JOISTS = 9'-4" (2.84m) HEIGHT
- BASEMENT STAIRS
  - 15 RISERS (EXTRA RISER ADDED TO BASE OF STAIR)

## SB-12 Calculations

### Rose 6-1

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 704.9 sq ft (65.5 sq m)   | 101.2 sq ft (9.4 sq m)  | 14.36%     |
| Left side  | 1218.8 sq ft (113.2 sq m) | 60.6 sq ft (5.6 sq m)   | 4.97%      |
| Right side | 1218.8 sq ft (113.2 sq m) | 38.2 sq ft (3.5 sq m)   | 3.13%      |
| Rear       | 704.9 sq ft (65.5 sq m)   | 105.4 sq ft (9.8 sq m)  | 14.95%     |
| Total      | 3847.2 sq ft (357.4 sq m) | 305.3 sq ft (28.4 sq m) | 7.94%      |

## SB-12 Calculations

### Rose 6-2

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 704.9 sq ft (65.5 sq m)   | 105.3 sq ft (9.8 sq m)  | 14.93%     |
| Left side  | 1197.9 sq ft (111.3 sq m) | 60.6 sq ft (5.6 sq m)   | 5.06%      |
| Right side | 1197.9 sq ft (111.3 sq m) | 38.2 sq ft (3.5 sq m)   | 3.19%      |
| Rear       | 704.9 sq ft (65.5 sq m)   | 105.4 sq ft (9.8 sq m)  | 14.95%     |
| Total      | 3805.5 sq ft (353.5 sq m) | 309.4 sq ft (28.7 sq m) | 8.13%      |

## SB-12 Calculations

### Rose 6-3

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 713.2 sq ft (66.3 sq m)   | 109.6 sq ft (10.2 sq m) | 15.37%     |
| Left side  | 1197.9 sq ft (111.3 sq m) | 60.6 sq ft (5.6 sq m)   | 5.06%      |
| Right side | 1197.9 sq ft (111.3 sq m) | 38.2 sq ft (3.5 sq m)   | 3.19%      |
| Rear       | 704.9 sq ft (65.5 sq m)   | 105.4 sq ft (9.8 sq m)  | 14.95%     |
| Total      | 3813.8 sq ft (354.3 sq m) | 313.7 sq ft (29.1 sq m) | 8.23%      |

W Architect Inc.  
DESIGN CONTROL REVIEW

NOV. 01, 2023

FINAL

BY:

This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Rose 6

Compliance Package A1

Greenpark

www.greenparkgroup.ca

project name

Trinigroup Developments Inc.

#### Revisions

| #  | Description              | Date       | By |
|----|--------------------------|------------|----|
| 1. | Issued for client review | 2023-07-18 | JM |
| 2. | Coord. floor and roof    | 2023-09-11 | JM |
| 3. | Issued for permit        | 2023-09-11 | JM |

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

#### Qualification Information

Jamie Mack 35923

Name BCIN Signature

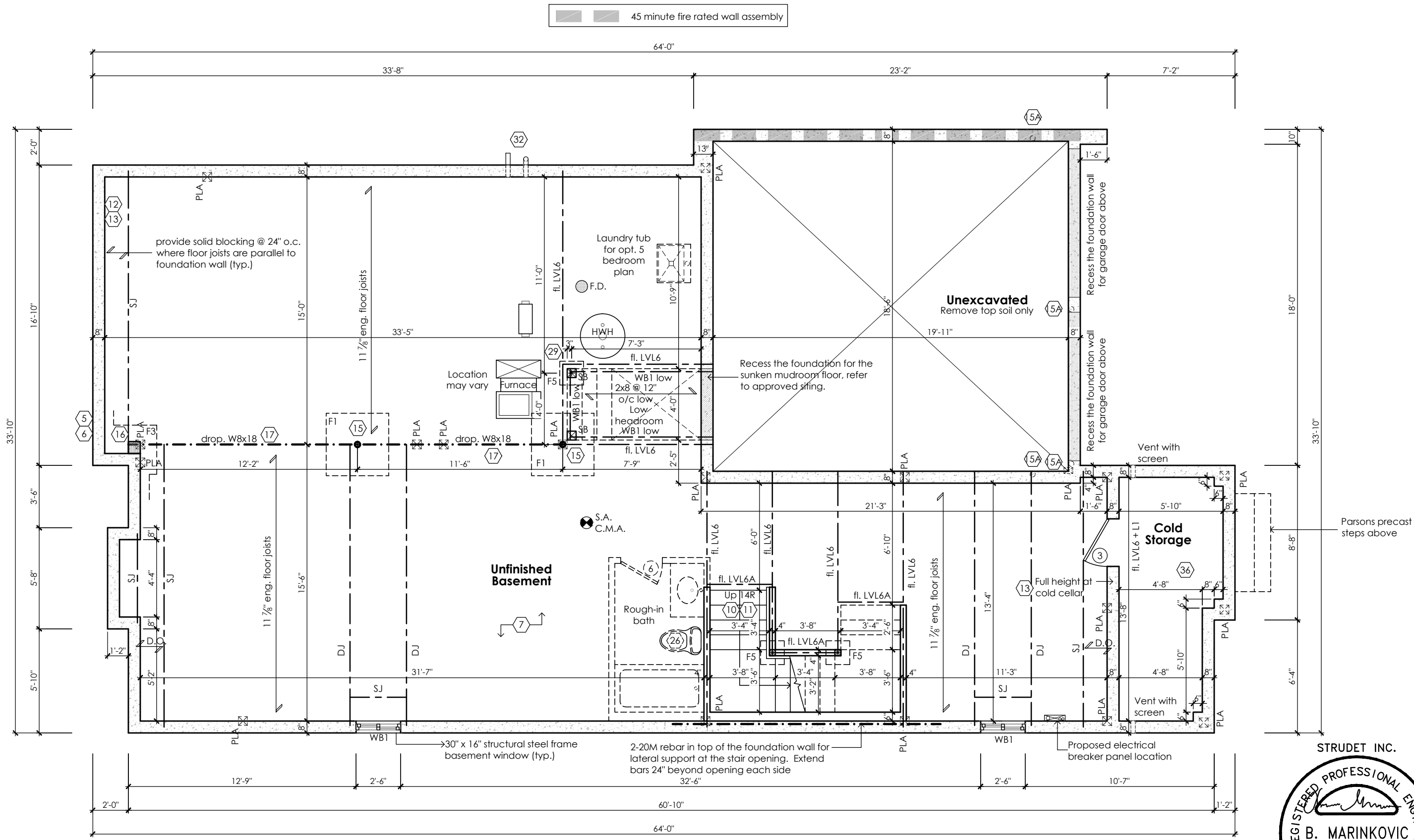
Registration Information Mackitecture 103532



www.mackitecture.ca



Drawing created with Mackitecture v 1.0.0 (build 2655). File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-11 at 12:48:49 PM by JMACK



Basement Plan '2'

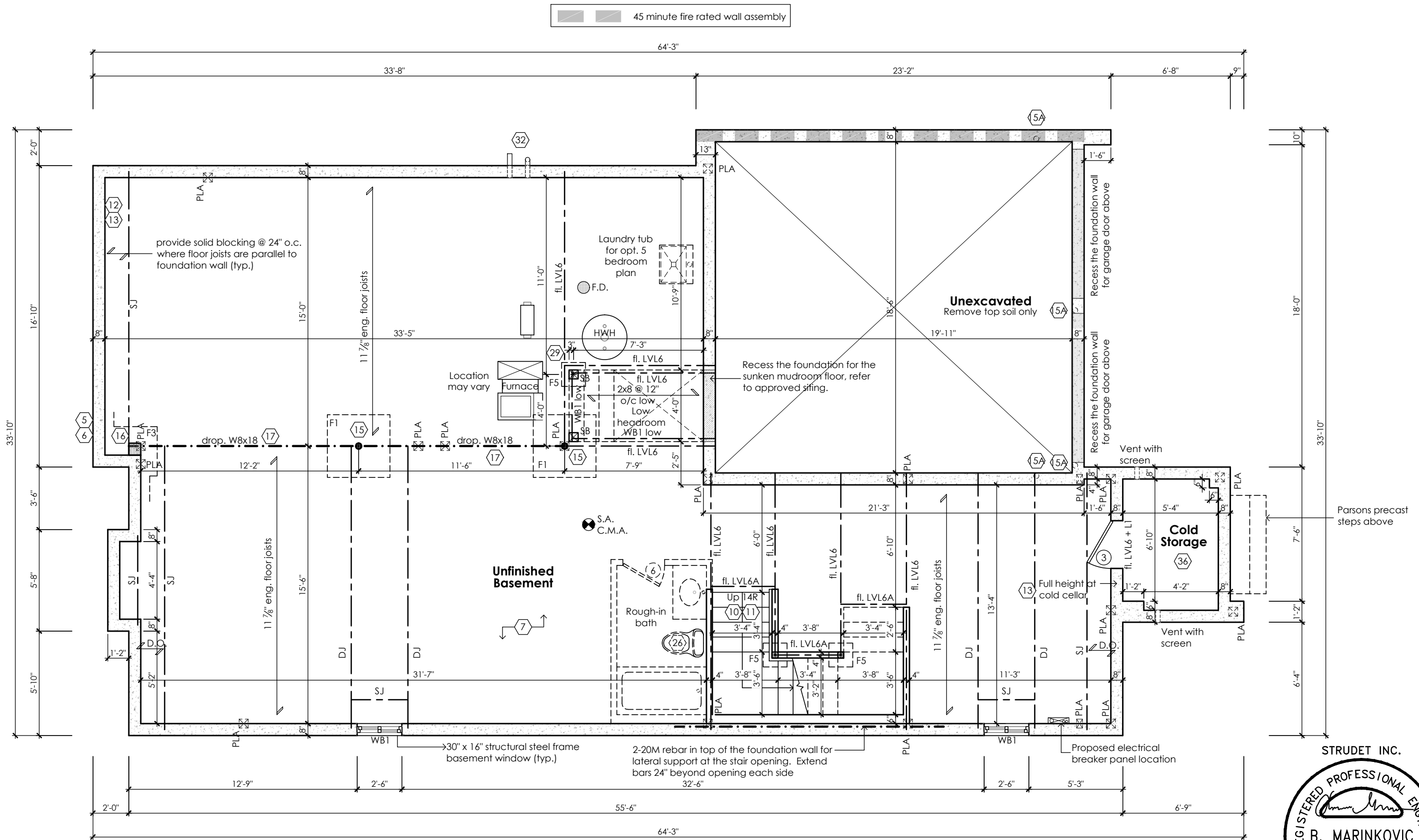
For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 10, 2023  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

Rose 6  
Compliance Package A1

|   |  |  |  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |
|---|--|--|--|-------|----|------|-----------|---------------|----|------------|-----|------|------|-------------|------------|------------|--------|--|
|   | <div>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</div> <div>Qualification Information</div> <div><div>Jamie Mack35923</div><div>NameBCINSignature</div><div>Registration InformationMackitecture103532</div></div> | <div><div>www.mackitecture.ca</div><div>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</div></div> | <div><div>title</div><div>Basement Floor Plan<br/>Elevation 2</div></div> <table><tr><td>scale</td><td>by</td><td>area</td><td>sheet no.</td></tr><tr><td>3/16" = 1'-0"</td><td>JM</td><td>3186 sq ft</td><td rowspan="2">1-2</td></tr><tr><td>date</td><td>type</td><td>project no.</td></tr><tr><td>2023-09-11</td><td>40' Single</td><td>22-016</td></tr></table> | scale | by | area | sheet no. | 3/16" = 1'-0" | JM | 3186 sq ft | 1-2 | date | type | project no. | 2023-09-11 | 40' Single | 22-016 | <div><div>www.greenparkgroup.ca</div></div> <div>project name</div> <div>Trinigroup Developments Inc.</div> |
| scale   | by   | area   | sheet no.  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |
| 3/16" = 1'-0"   | JM   | 3186 sq ft   | 1-2  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |
| date  | type   | project no.  |  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |
| 2023-09-11  | 40' Single   | 22-016   |  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. |  |  |  |       |    |      |           |               |    |            |     |      |      |             |            |            |        |  |



Basement Plan '3'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 19, 2024  
FOR STRUCTURE ONLY  
Rose 6  
Compliance Package A1

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**Qualification Information**  
Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

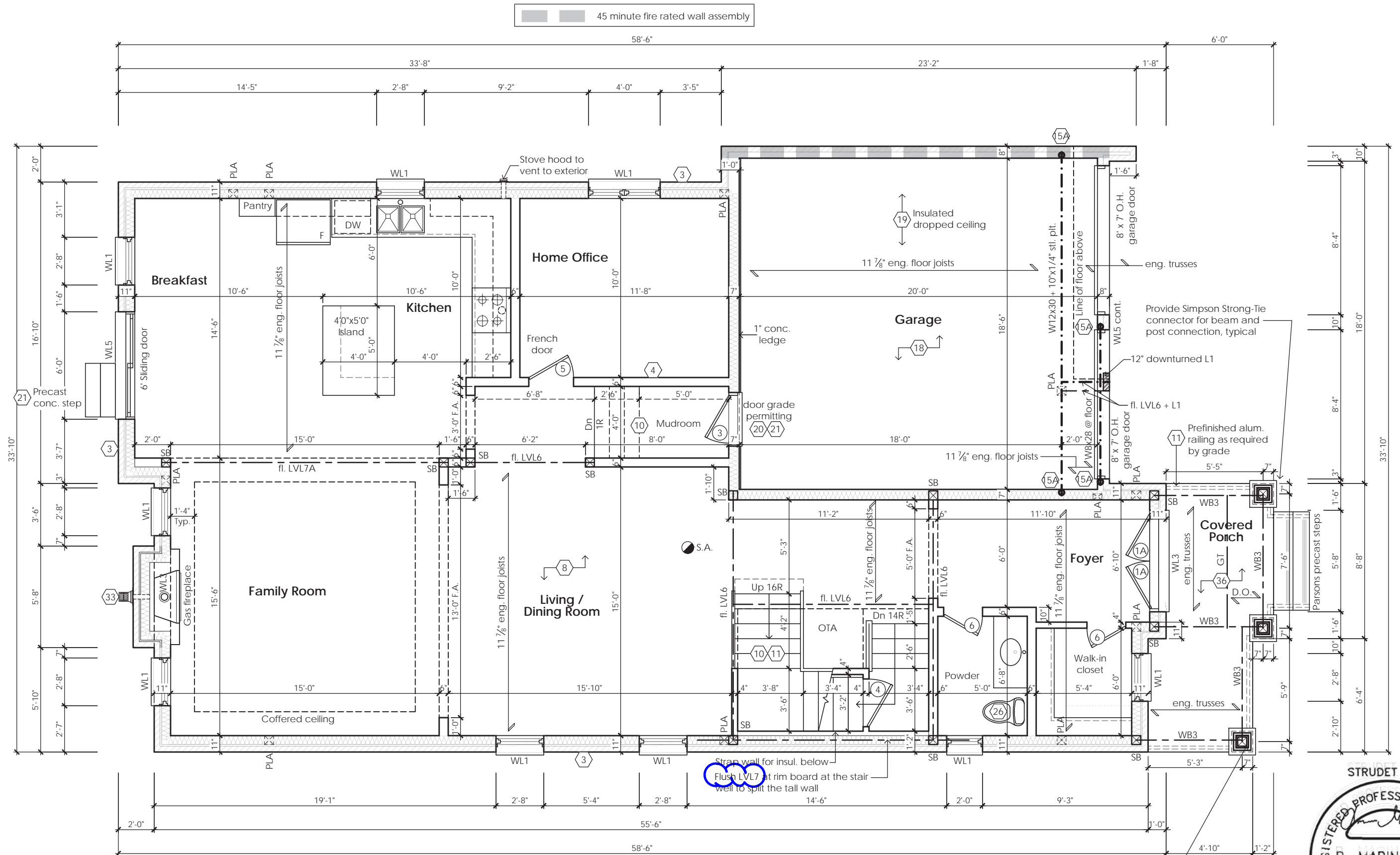
**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Basement Floor Plan  
Elevation 3**  
scale 3/16" = 1'-0"  
date 2023-09-11  
by JM  
type 40' Single  
area 3197 sq ft  
project no. 22-016  
sheet no. 1-3

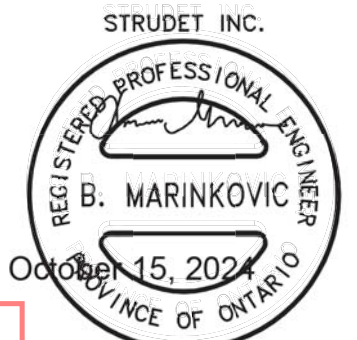
**Greenpark**  
www.greenparkgroup.ca  
project name  
Trinigroup Developments Inc.







PT 6x6 wood post full height fastened to the roof framing above and the to the porch slab with a galv. metal post base. See elevations for column finish.



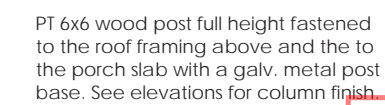
CITY OF RICHMOND HILL  
BUILDING DIVISION  
10/22/2024  
REVISED  
Per: KER

FOR STRUCTURE ONLY  
**Rose 6**  
Compliance Package A1

|   |   |                     |   |  |                              |   |
|---|---|---------------------|---|--|------------------------------|---|
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|   | Jamie Mack<br>Name  | 35923<br>BCIN       |   | scale<br><b>3/16" = 1'-0"</b>            | by<br><b>JM</b>              |   |
|   | Registration Information  | <b>Mackitecture</b> | 103532  | date<br><b>2024-10-22</b>                | area<br><b>3215 sq ft</b>    | sheet no.<br><b>2-1</b>   |
|   |   |                     |   | type<br><b>40' Single</b>                | project no.<br><b>22-016</b> |   |







FOR STRUCTURE ONLY

## Rose 6

Compliance Package A1

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CITY OF RICHMOND HILL  
BUILDING DIVISION

10/22/2024

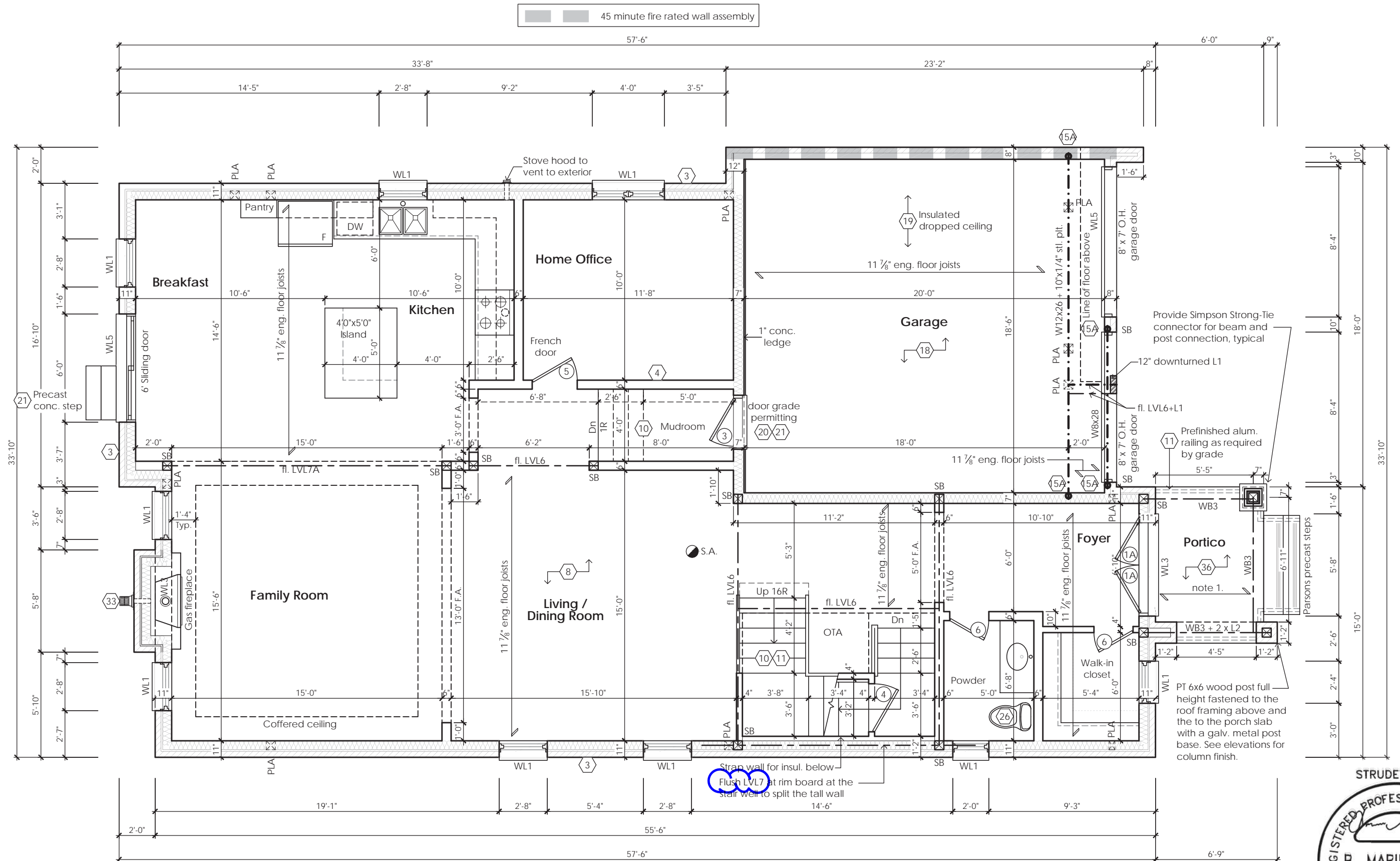
REVISED

Per: \_\_\_\_\_ KER \_\_\_\_\_

|   |   |       |   |  |   |                           |                              |   |   |
|---|---|-------|---|--|---|---------------------------|------------------------------|---|---|
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|   | Jamie Mack  | 35923 |  |  | scale<br><b>3/16" = 1'-0"</b>                     | by<br><b>JM</b>           | area<br><b>3197 sq ft</b>    | sheet no.<br><br><b>2-2</b>   | project name<br><br><b>Trinigroup Developments Inc.</b> |
|   | Name  | BCIN  | Signature   |  | date<br><b>2024-10-22</b>                         | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |   |   |
| Registration Information  |   |       | <b>Mackitecture</b>   | 103532   |   |                           |                              |   |   |

Drawing created with Mackitecture v.1.0 (build 2773), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2024-10-22 at 9:06:44 AM by JMACK

Drawing created with Mackitector v.1.0.0 (build 2655). File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-28 at 11:04:50 AM by JMACK



Ground Floor Plan '3'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
10/22/2024

REVISED  
Per: KER

note 1:  
flat roof framing (typ.)  
2"x8" @ 12" o.c. p.t. clg. jt. w/  
2"x4" @ 12" o.c. p.t. diagonally  
cut cross purlins w/ 5/8" exterior  
grade sheathing + single ply  
roof membrane (slope to drain)



FOR STRUCTURE ONLY

Rose 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information Mackitecture 103532

www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Title  
**Ground Floor Plan  
Elevation 3**

|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3197 sq ft    | sheet no.<br>2-3 |
| date<br>2024-10-22     | type<br>40' Single | project no.<br>22-016 |                  |

www.greenparkgroup.ca

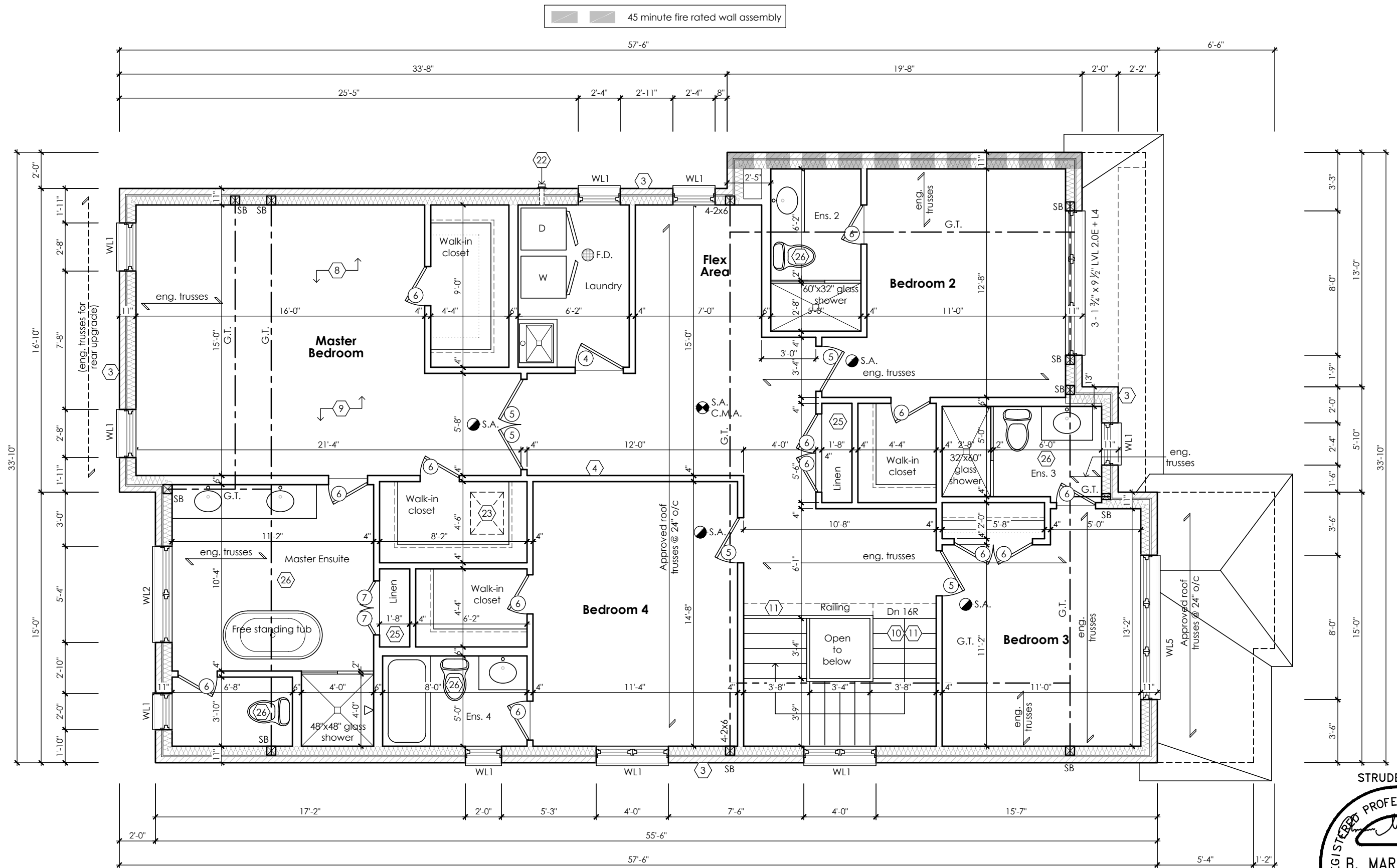
project name  
Trinigroup Developments Inc.





## Compliance Package A1

Drawing created with Mackitecture v.1.0.0 (build 2655), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-11 at 12:49:19 PM by JMACK



Second Floor Plan '2'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 19, 2023  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY  
**Rose 6**  
Compliance Package A1

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Jamie Mack 35923  
Name BCIN  
Registration Information **Mackitecture** 103532

**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Second Floor Plan  
Elevation 2

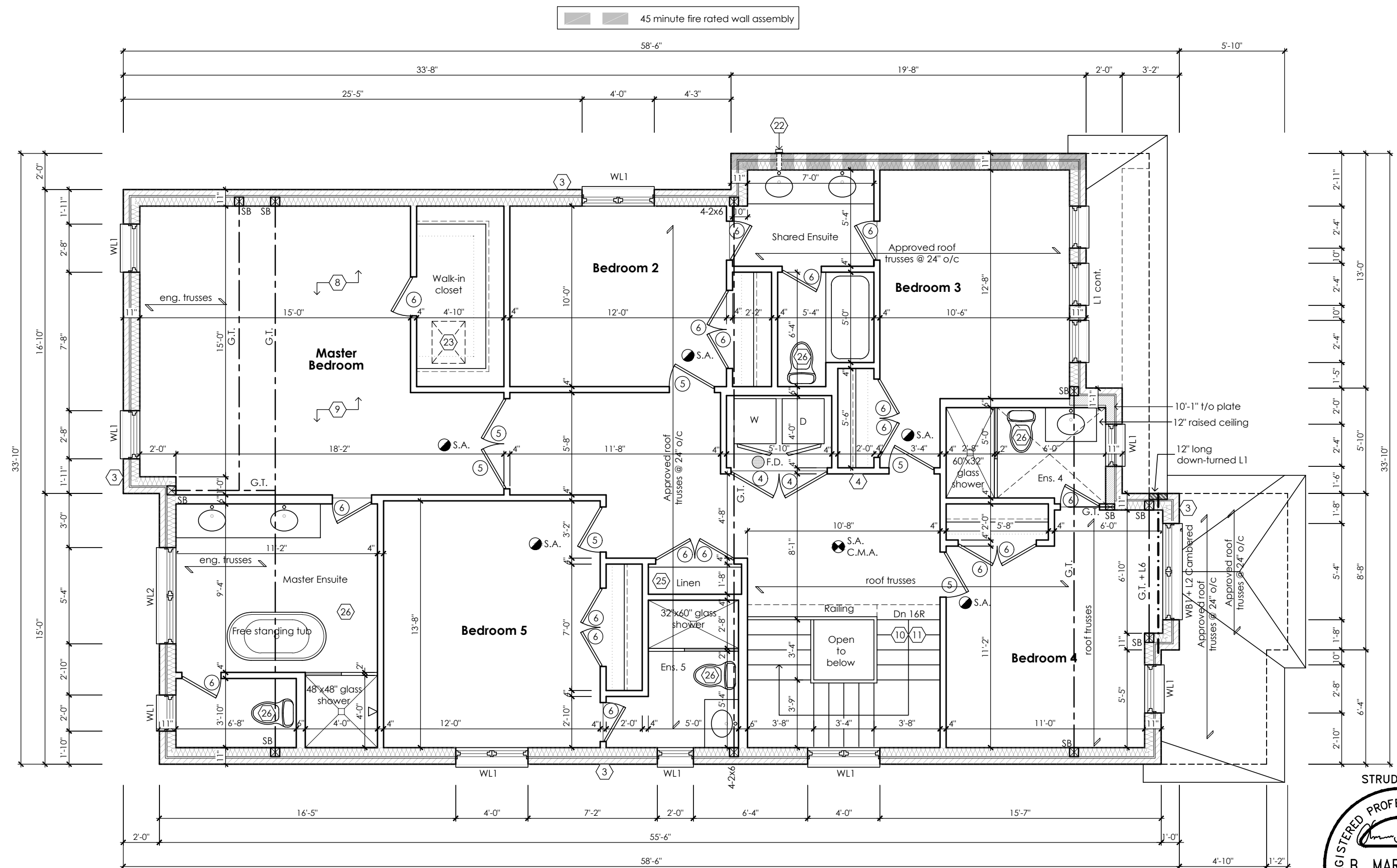
|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3186 sq ft    | sheet no.<br>3-2 |
| date<br>2023-09-11     | type<br>40' Single | project no.<br>22-016 |                  |

**Greenpark**  
www.greenparkgroup.ca


project name  
**Trinigroup Developments Inc.**







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|                          |                     |   |
|--------------------------|---------------------|---|
| Jamie Mack               | 35923               |  |
| Name                     | BCIN                | Signature   |
| Registration Information | <b>Mackitecture</b> | 103532  |



**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

### Second Floor Plan, Optional 5 Bedroom Elevation 1

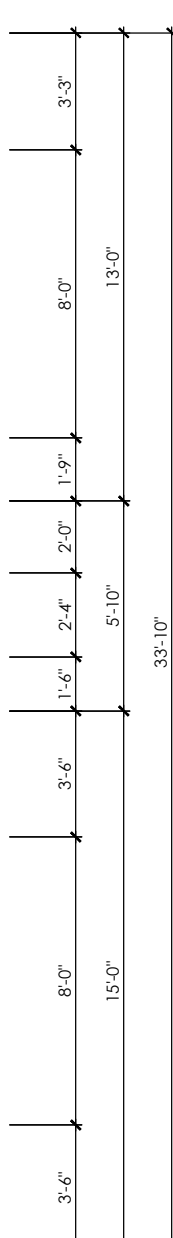
|                               |                           |                              |                          |
|-------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b>           | area<br><b>3215 sq ft</b>    | sheet no.<br><b>3-1A</b> |
| date<br><b>2023-09-11</b>     | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |                          |



project name

**Trinigroup Developments Inc.**

Drawing created with Mackitecture v.1.0.0 (build 2655), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-11 at 12:49:34 PM by JMACK

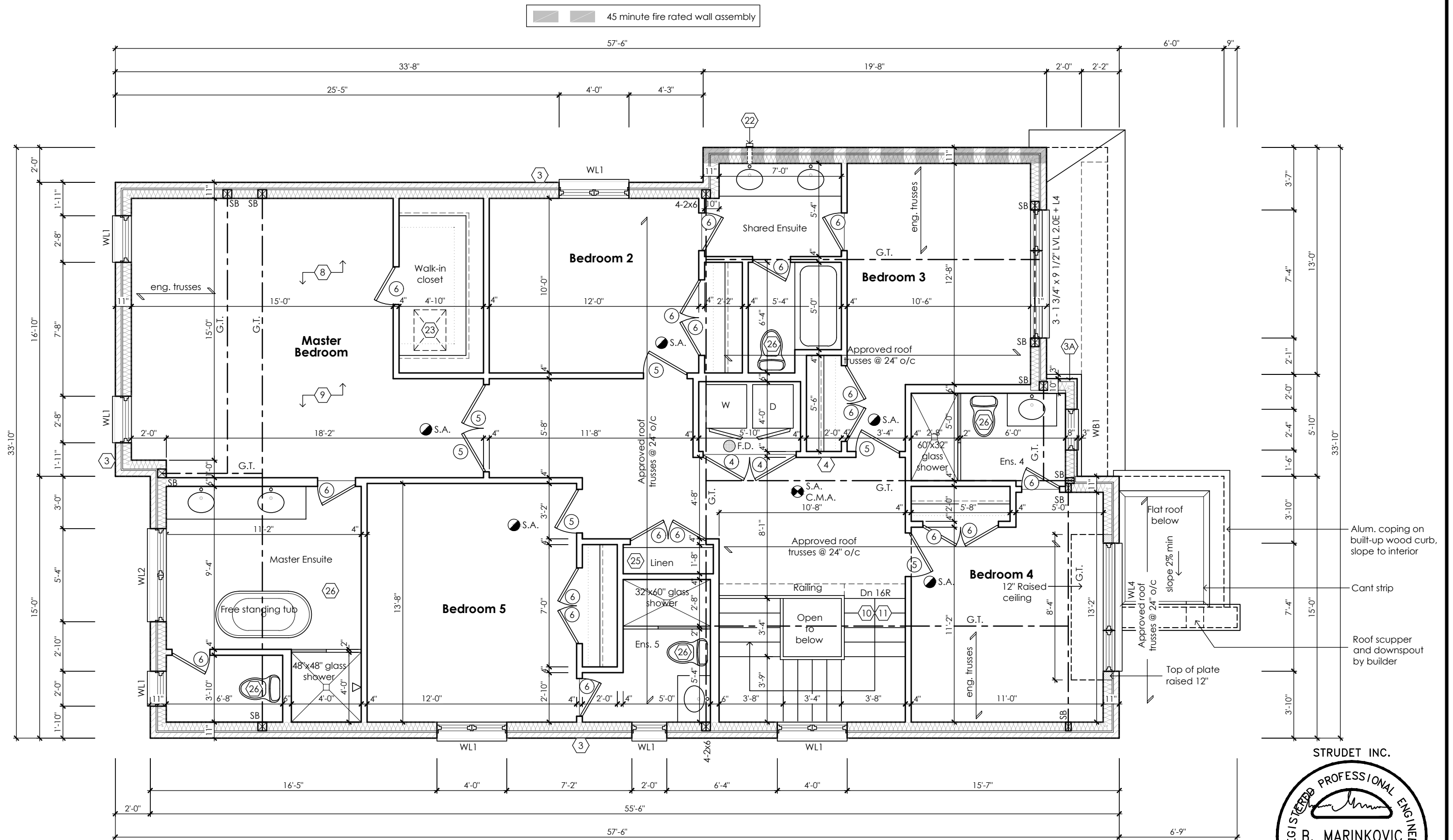


CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per:     KER    



## Rose 6

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Second Floor Plan '3'  
with Optional 5 Bedroom

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 19, 2023  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY  
**Rose 6**  
Compliance Package A1

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Jamie Mack 35923  
Name BCIN  
Registration Information **Mackitecture** 103532

**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Second Floor Plan, Optional 5 Bedroom  
Elevation 3**

|                               |                           |                              |                          |
|-------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b>           | area<br><b>3197 sq ft</b>    | sheet no.<br><b>3-3A</b> |
| date<br><b>2023-09-11</b>     | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |                          |

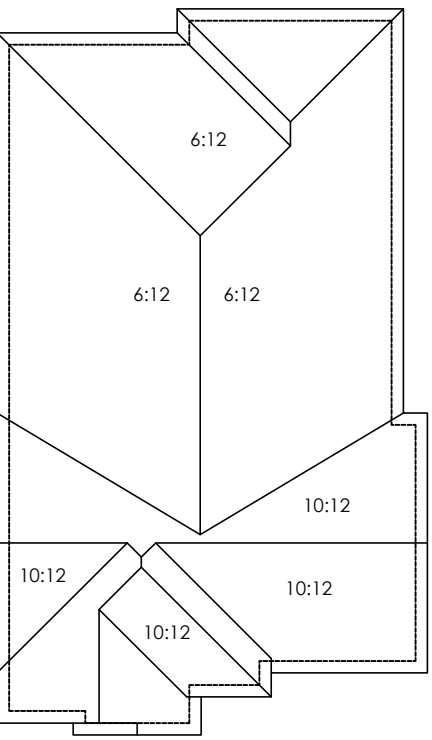
**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**

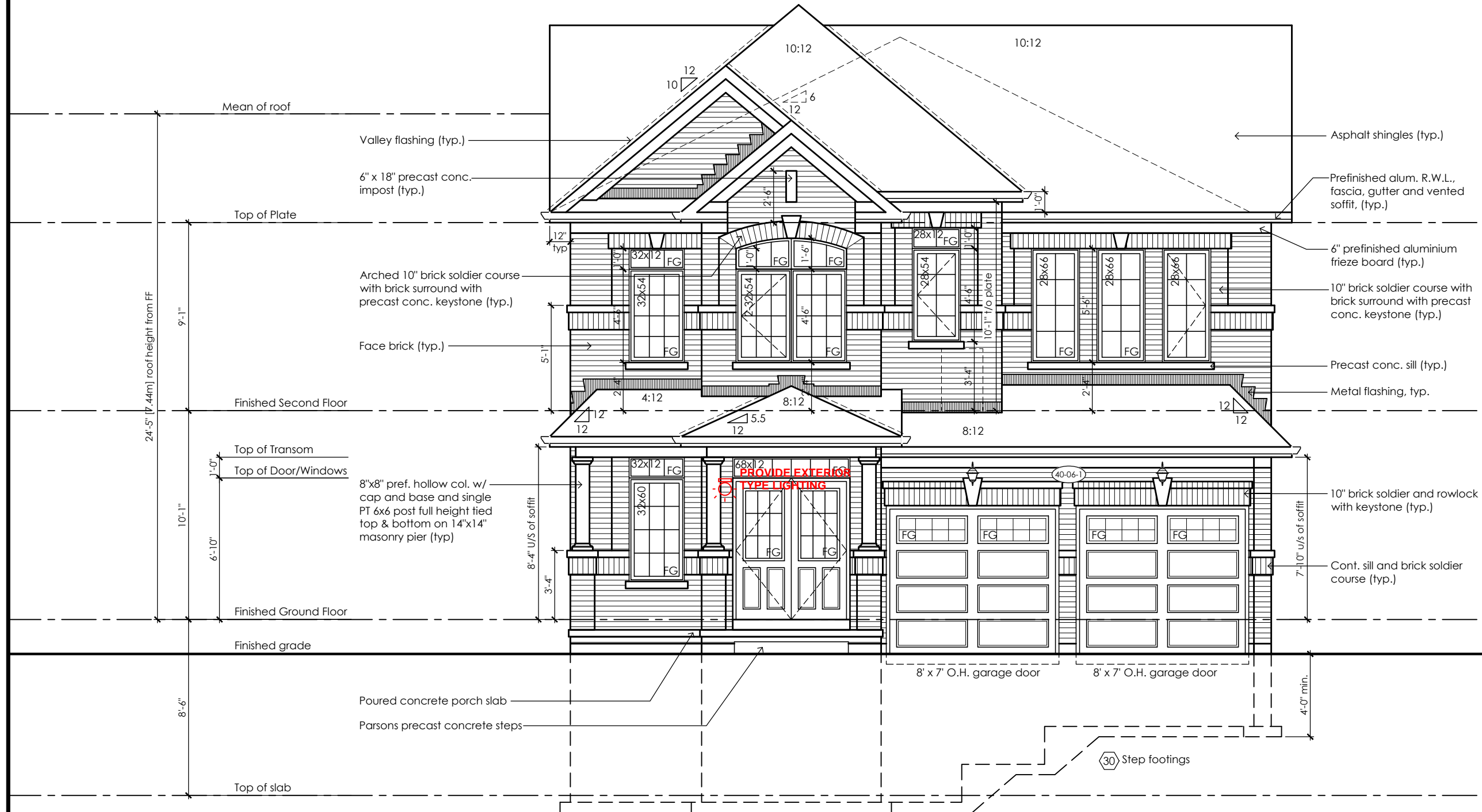


Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



Roof Plan '1'



Front Elevation 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

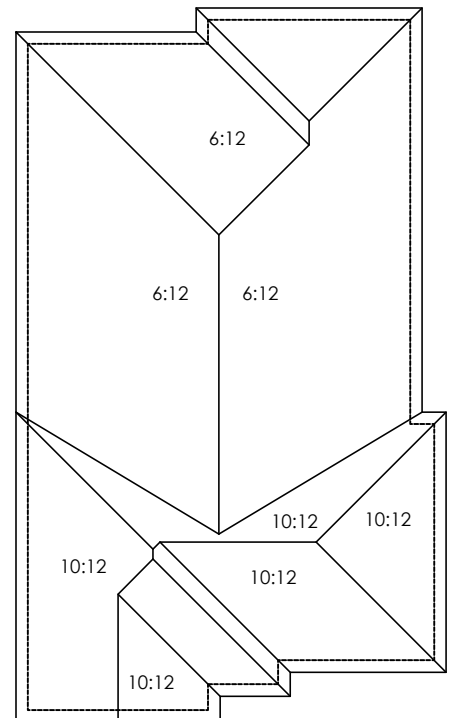
City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavidis

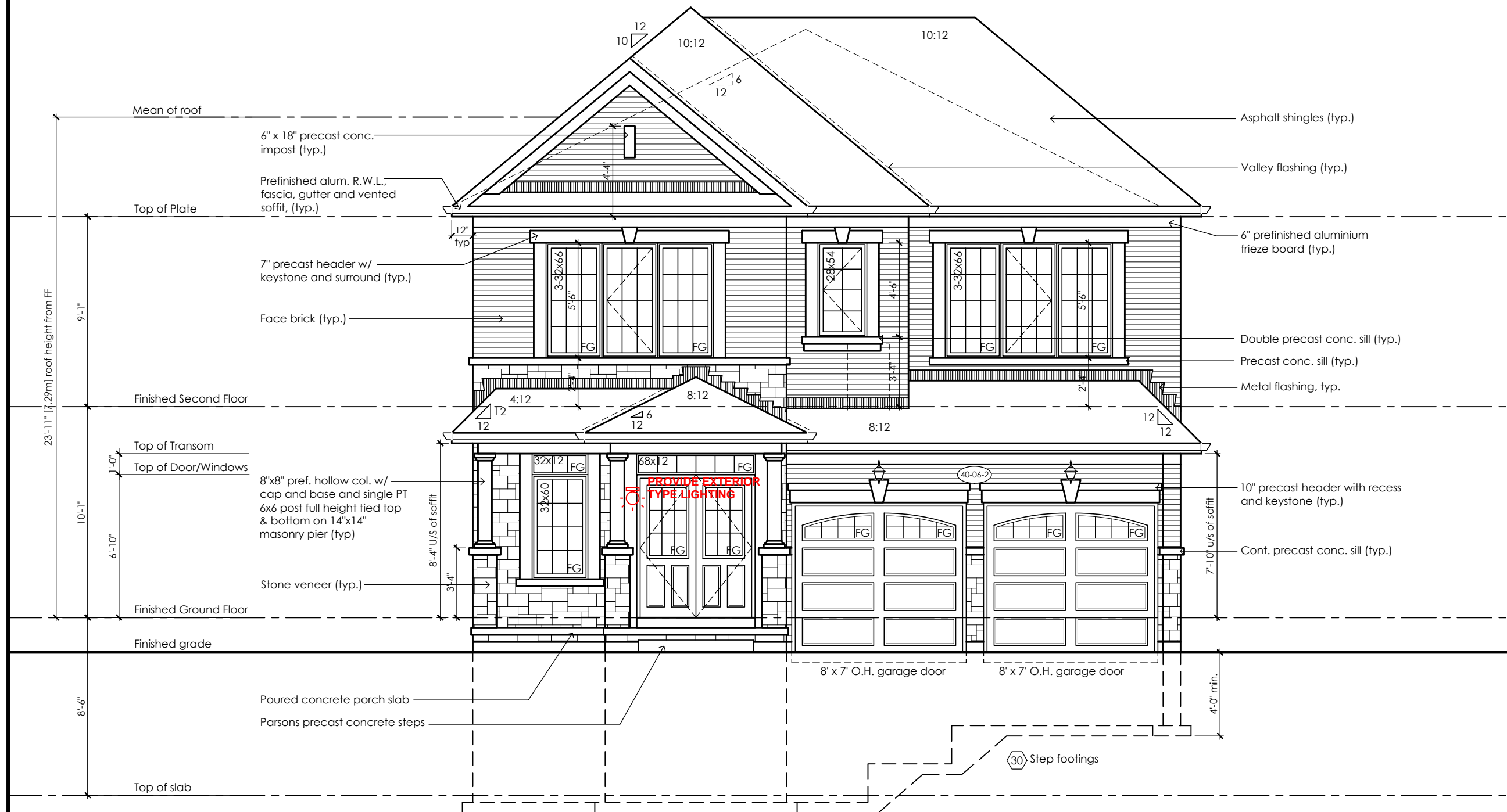
Rose 6  
Compliance Package A1

|   |   |                               |   |   |                           |   |
|---|---|-------------------------------|---|---|---------------------------|---|
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|   | Jamie Mack<br>Name<br>Registration Information  | 35923<br>BCIN<br>Mackitecture | Signature<br>4103532  | scale<br><b>3/16" = 1'-0"</b>                   | by<br><b>JM</b>           | area<br><b>3215 sq ft</b>                           |
|   |   |                               |   | date<br><b>2023-09-11</b>                       | type<br><b>40' Single</b> | project no.<br><b>22-016</b>                        |
|   |   |                               |   |   |                           | sheet no.<br><b>4-1</b>                             |
|   |   |                               |   |   |                           | project name<br><b>Trinigroup Developments Inc.</b> |



Roof Plan '2'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



Front Elevation '2'

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CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavlidis

Rose 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532

  
**www.mackitecture.ca**  
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Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Front Elevation  
Elevation 2

|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3186 sq ft    | sheet no.<br>4-2 |
| date<br>2023-09-11     | type<br>40' Single | project no.<br>22-016 |                  |

  
**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**





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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavlidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 5.28%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)



Left Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



**www.mackitecture.ca**

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Left Side Elevation  
Elevation 1**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3215 sq ft  | 5-1       |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: **5.3%**, 60.6 sq ft (5.63 sq m)  
Summary: **64 / 65.5(bsm. opt)**

Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)



Left Side Elevation '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



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Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 2

scale 3/16" = 1'-0"  
date 2023-09-11  
by JM  
type 40' Single  
area 3186 sq ft  
project no. 22-016

5-2



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 5.1%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)

Refer to  
sheet no. 5-2



Left Side Elevation '3'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532



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Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 3

scale 3/16" = 1'-0"  
date 2023-09-11  
by JM  
type 40' Single  
area 3197 sq ft  
project no. 22-016

5-3



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 5.0%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15, 00 x 16, 00: 1, 68 sq ft (0, 16 sq m)  
2 - 15, 00 x 16, 00: 1, 68 sq ft (0, 16 sq m)  
1 - 24, 00 x 42, 00: 5, 08 sq ft (0, 47 sq m)  
1 - 24, 00 x 42, 00: 5, 08 sq ft (0, 47 sq m)  
1 - 32, 00 x 66, 00: 11, 74 sq ft (1, 09 sq m)  
1 - 32, 00 x 66, 00: 11, 74 sq ft (1, 09 sq m)  
2 - 24, 00 x 48, 00: 11, 78 sq ft (1, 09 sq m)  
2 - 24, 00 x 48, 00: 11, 78 sq ft (1, 09 sq m)

Refer to  
sheet no. 5-1



**Left Side Elevation '1'**  
**with Optional 5 Bedroom Plan**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



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Tel: 416-735-8190 Email: info@mackitecture.ca

**Left Side Elevation, Optional 5 Bedroom  
Elevation 1**

scale 3/16" = 1'-0"  
date 2023-09-11  
by JM  
type 40' Single  
area 3215 sq ft  
project no. 22-016  
sheet no. 5-1A



www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavlidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 5.1%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)

Refer to  
sheet no. 5-2



**Left Side Elevation '2'**  
**with Optional 5 Bedroom Plan**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

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**Qualification Information**

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Registration Information Mackitecture 103532



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**Left Side Elevation  
Elevation 2**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3186 sq ft  | 5-2A      |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 5.1%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)

Refer to  
sheet no. 5-2



Left Side Elevation '2'  
Lot 100

No unprotected openings permitted within 1.2 metres of  
the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

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Qualification Information

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Name BCIN Signature  
Registration Information Mackitecture 103532



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Left Side Elevation  
Elevation 2 - Lot 100

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3197 sq ft  | 5-2A      |
| date          | type       | project no. |           |
| 2024-03-19    | 40' Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavlidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 2'-7 1/2" (0.80m) **Refer to sheet no. 5-2**  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 0.0%, 0.0 sq ft (0.00 sq m)  
Provided glazed openings: 5.1%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)



**Left Side Elevation '3'**  
**with Optional 5 Bedroom Plan**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532



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**Left Side Elevation**  
**Elevation 3**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3197 sq ft  | 5-3A      |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 5.1%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
1 - 32.00 x 66.00: 11.74 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)

Refer to  
sheet no. 5-2



Left Side Elevation '3'  
Lot 102

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

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Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



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title

Left Side Elevation  
Elevation 3 - Lot 102

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3197 sq ft  | 5-3A      |
| date          | type       | project no. |           |
| 2024-03-19    | 40' Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 3.1%, 38.2 sq ft (3.55 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
1 - 28,00 x 48,00: 7,10 sq ft (0,66 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

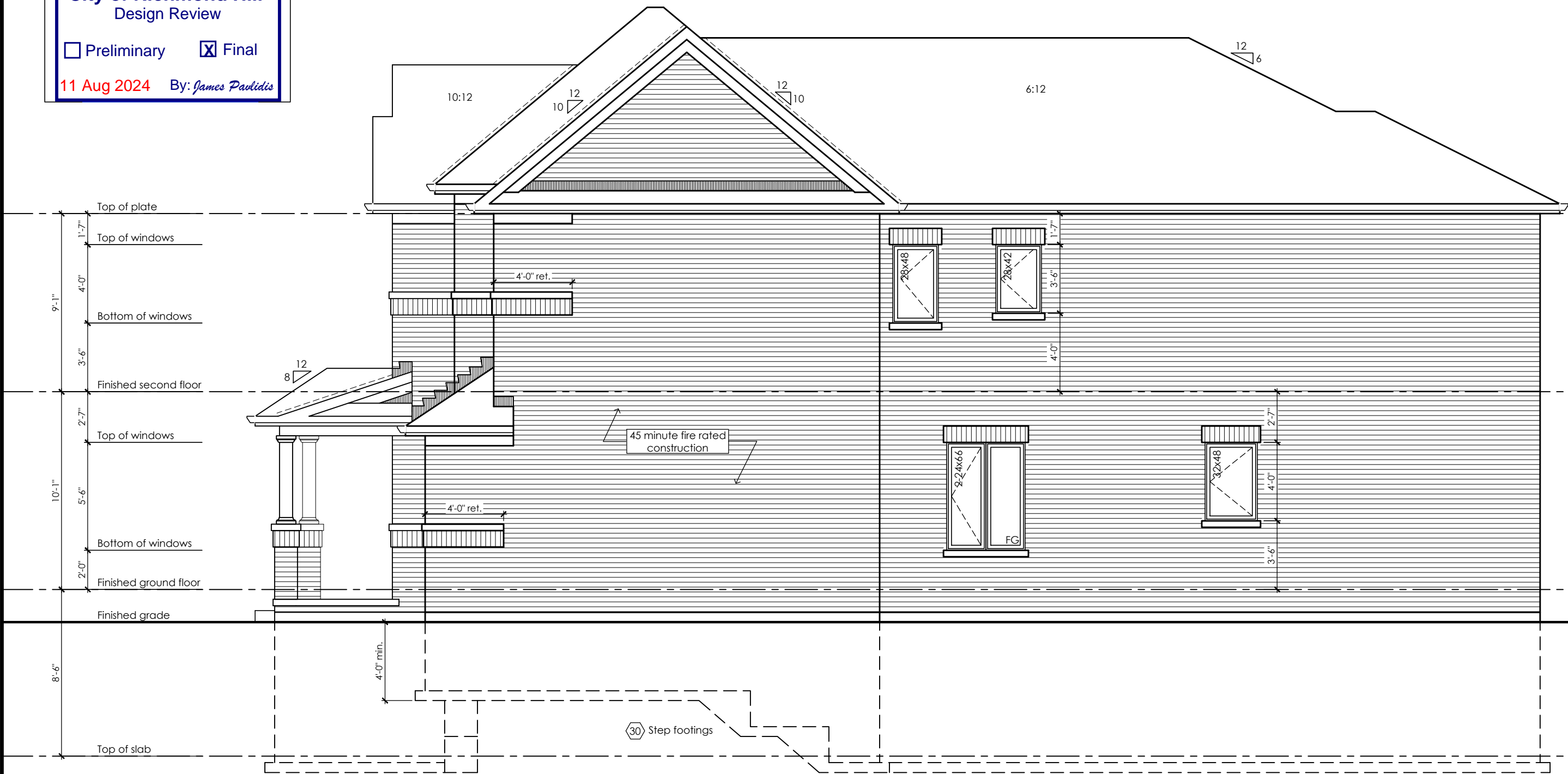
**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**

Provide 12.7mm (1/2") type 'x' gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**

At the rim joist provide 15.9mm (5/8") type 'x' gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



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**Right Side Elevation  
Elevation 1**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3215 sq ft  | 6-1       |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.28 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 3.2%, 38.2 sq ft (3.55 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
1 - 28,00 x 48,00: 7,10 sq ft (0,66 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**

Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**

At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532



**www.mackitecture.ca**

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Right Side Elevation  
Elevation 2**

|                               |                           |                              |
|-------------------------------|---------------------------|------------------------------|
| scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b>           | area<br><b>3186 sq ft</b>    |
| date<br><b>2023-09-11</b>     | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |

**6-2**



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.28 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 3.2%, 38.2 sq ft (3.55 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
1 - 28.00 x 42.00: 6.12 sq ft (0.57 sq m)  
1 - 28.00 x 48.00: 7.10 sq ft (0.66 sq m)  
1 - 32.00 x 48.00: 8.31 sq ft (0.77 sq m)  
2 - 24.00 x 66.00: 16.66 sq ft (1.55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**  
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**  
At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '3'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



www.mackitecture.ca

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Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Right Side Elevation  
Elevation 3

scale 3/16" = 1'-0"  
date 2023-09-11  
by JM  
type 40' Single  
area 3197 sq ft  
project no. 22-016

sheet no.  
6-3



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 3.0%, 36.7 sq ft (3.41 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**

Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**

At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '1'  
with Optional 5 Bedroom Plan

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

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Tel: 416-735-8190 Email: info@mackitecture.ca

**Right Side Elevation, Optional 5 Bedroom  
Elevation 1**

|                        |                    |                       |                   |
|------------------------|--------------------|-----------------------|-------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3215 sq ft    | sheet no.<br>6-1A |
| date<br>2023-09-11     | type<br>40' Single | project no.<br>22-016 |                   |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

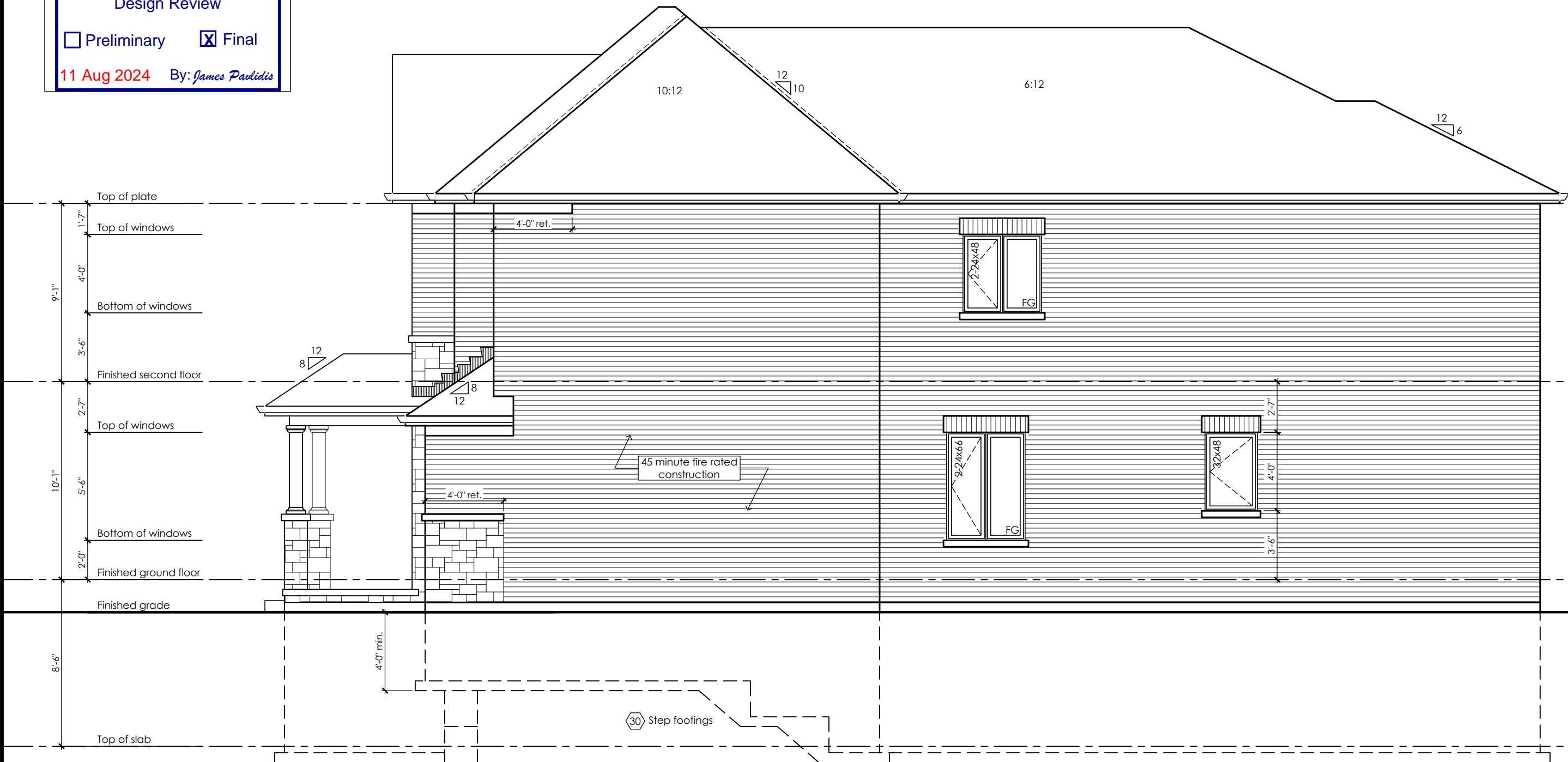
11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1197.9 sq ft (111.29 sq m)  
Permitted glazed openings: 7.0%, 83.9 sq ft (7.79 sq m)  
Provided glazed openings: 3.1%, 36.7 sq ft (3.41 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**  
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**  
At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '2'  
with Optional 5 Bedroom Plan

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532

**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Right Side Elevation, Optional 5 Bedroom  
Elevation 2**

|                        |                    |                       |                   |
|------------------------|--------------------|-----------------------|-------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3186 sq ft    | sheet no.<br>6-2A |
| date<br>2023-09-11     | type<br>40' Single | project no.<br>22-016 |                   |

**Greenpark**  
www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 3.0%, 36.7 sq ft (3.41 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

### **45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)

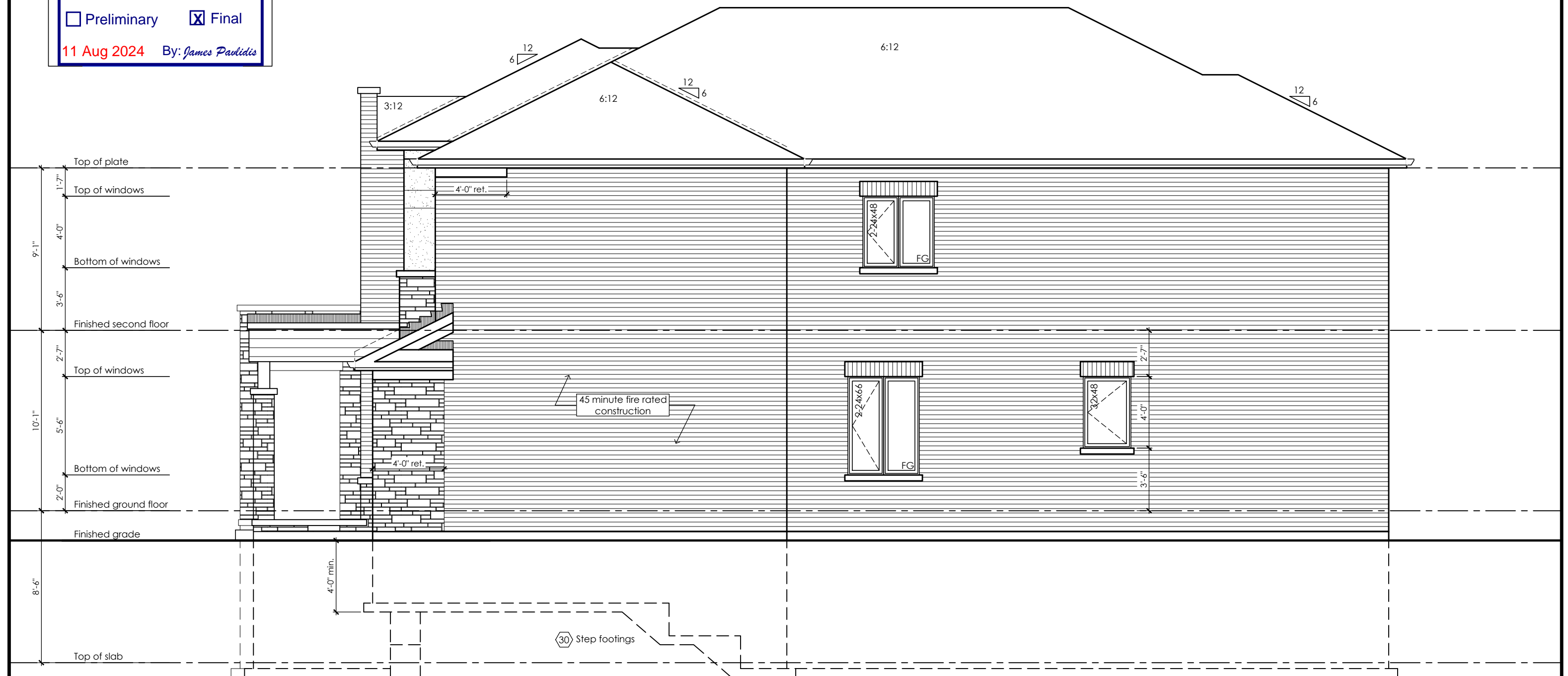
For exposing building face with a limiting distance less than 1.2m (3'-11")

### Stud Wall with Brick Veneer

Grid Wall with Brick Veneer  
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

## Rim Joist

At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



### Right Side Elevation '3' with Optional 5 Bedroom Plan

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

**CITY OF RICHMOND HILL  
BUILDING DIVISION**

08/21/2024

REVISED  
Per: KER

Per:           KER          

## Rose 6

### Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

### Qualification Information

|            |       |
|------------|-------|
| Jamie Mack | 35923 |
| Name       | BCIN  |

## Registration Information

## Mackitecture

103532



[www.mackitecture.ca](http://www.mackitecture.ca)

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: [info@mackitecture.ca](mailto:info@mackitecture.ca)

|  | title |
|--|-------|
|--|-------|

### Right Side Elevation, Optional 5 Bedroom Elevation 3

scale

|    |    |
|----|----|
| by | JM |
|----|----|

|      |                   |
|------|-------------------|
| area | <b>3197 sq ft</b> |
|------|-------------------|

|           |
|-----------|
| sheet no. |
|-----------|

date  
**2023-09-11**

type  
**40' Single**

|             |               |
|-------------|---------------|
| project no. | <b>22-016</b> |
|-------------|---------------|

**6-3A**



[www.greenparkgroup.ca](http://www.greenparkgroup.ca)

|              |
|--------------|
| project name |
|--------------|

Trinigroup Developments Inc.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

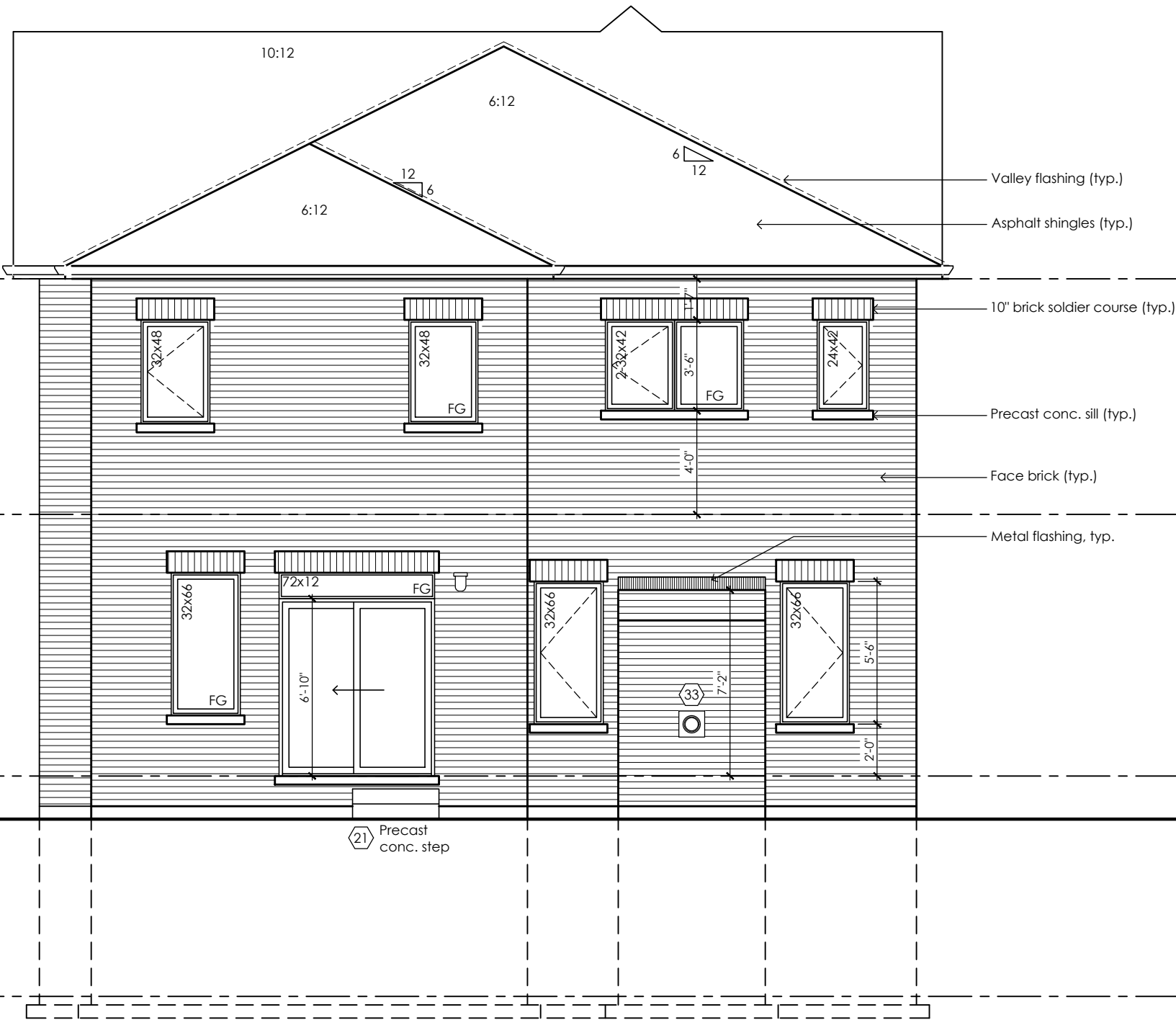
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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis



Rear Elevation '1'

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

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Qualification Information

Jamie Mack 35923  
Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

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Rear Elevation  
Elevation 1

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3215 sq ft  | 7-1       |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

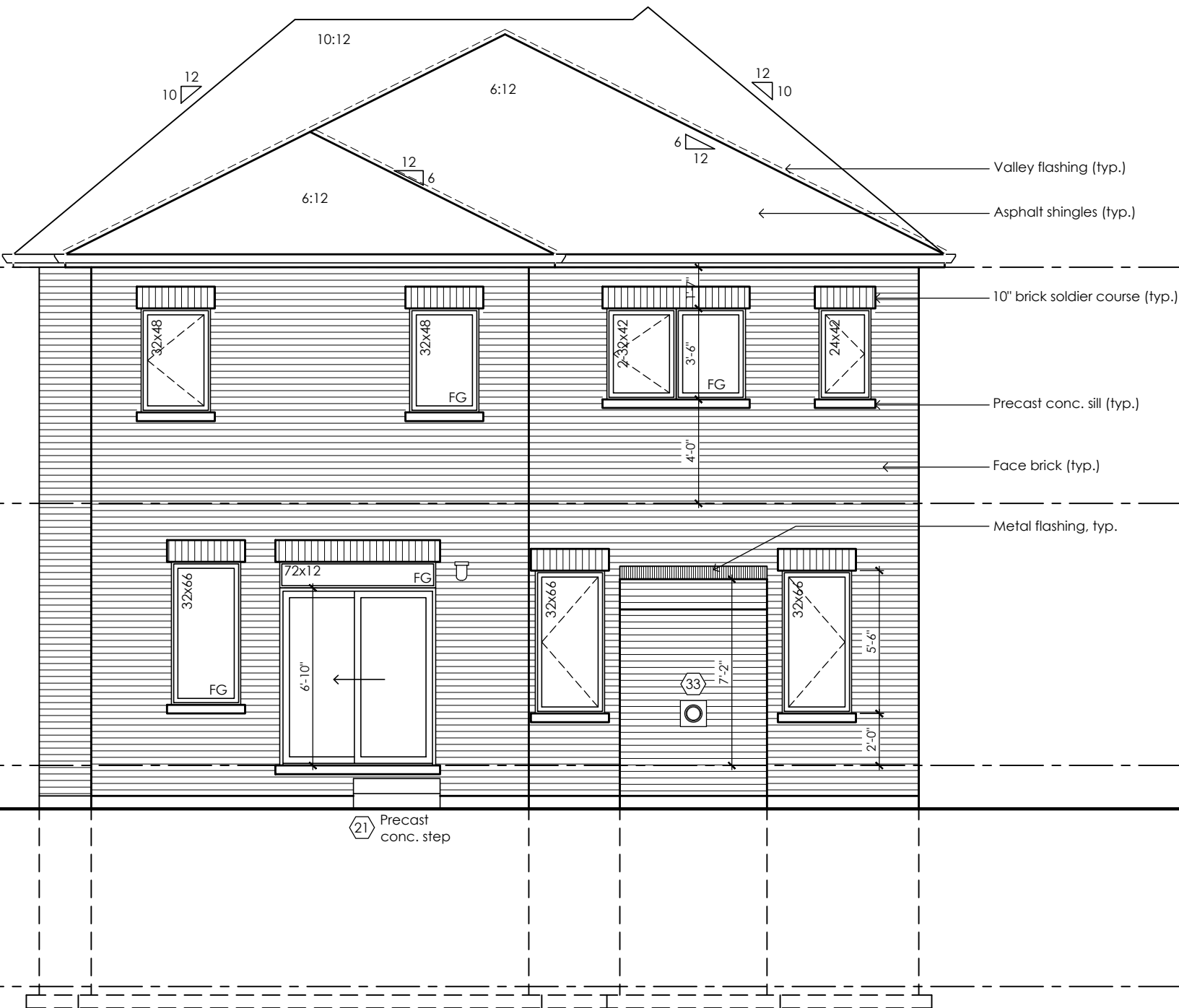
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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis



Rear Elevation '2'

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

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Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
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Tel: 416-735-8190 Email: info@mackitecture.ca

Rear Elevation  
Elevation 2

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3186 sq ft  | 7-2       |
| date          | type       | project no. |           |
| 2023-09-11    | 40' Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis



Rear Elevation '3'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

Rose 6

Compliance Package A1

|   |   |   |   |  |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |   |
|---|---|---|---|--|--|--|--|-------------------------------|-----------------|---------------------------|-------------------------|---------------------------|---------------------------|------------------------------|--|---|
|   | <p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p><b>Qualification Information</b></p> <div><div>Jamie Mack</div><div>35923</div><div></div></div> <div><div>Name</div><div>BCIN</div><div>Signature</div></div> <div><div>Registration Information</div><div><b>MackitECTURE</b></div><div>103532</div></div> | <div><br/><b>www.mackitECTURE.ca</b><br/>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitECTURE.ca</div> | <table><tr><td colspan="4">Title<br/><b>Rear Elevation<br/>Elevation 3</b></td></tr><tr><td>scale<br/><b>3/16" = 1'-0"</b></td><td>by<br/><b>JM</b></td><td>area<br/><b>3197 sq ft</b></td><td>sheet no.<br/><b>7-3</b></td></tr><tr><td>date<br/><b>2023-09-11</b></td><td>type<br/><b>40' Single</b></td><td>project no.<br/><b>22-016</b></td><td></td></tr></table> | Title<br><b>Rear Elevation<br/>Elevation 3</b> |  |  |  | scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b> | area<br><b>3197 sq ft</b> | sheet no.<br><b>7-3</b> | date<br><b>2023-09-11</b> | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |  | <div><br/><b>www.greenparkgroup.ca</b></div> <div>project name<br/><b>Trinigroup Developments Inc.</b></div> |
| Title<br><b>Rear Elevation<br/>Elevation 3</b>  |   |   |   |  |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |   |
| scale<br><b>3/16" = 1'-0"</b>   | by<br><b>JM</b>   | area<br><b>3197 sq ft</b>   | sheet no.<br><b>7-3</b>   |  |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |   |
| date<br><b>2023-09-11</b>   | type<br><b>40' Single</b>   | project no.<br><b>22-016</b>  |   |  |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |   |
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. |   |   |   |  |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |   |

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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis



Rear Upgrade Elevation '1'

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532



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| Rear Upgrade Elevation<br>Elevation 1 |                           |                              |                          |
|---------------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b>         | by<br><b>JM</b>           | area<br><b>3197 sq ft</b>    | sheet no.<br><b>7-1A</b> |
| date<br><b>2023-09-11</b>             | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |                          |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis



Rear Upgrade Elevation '2'

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532

**M**

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Rear Upgrade Elevation<br>Elevation 2 |                           |                              |                          |
|---------------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b>         | by<br><b>JM</b>           | area<br><b>3197 sq ft</b>    | sheet no.<br><b>7-2A</b> |
| date<br><b>2023-09-11</b>             | type<br><b>40' Single</b> | project no.<br><b>22-016</b> |                          |

**Greenpark**

www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**

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**City of Richmond Hill**  
Design Review

☐ Preliminary    ☒ Final

11 Aug 2024    By: James Paulidis



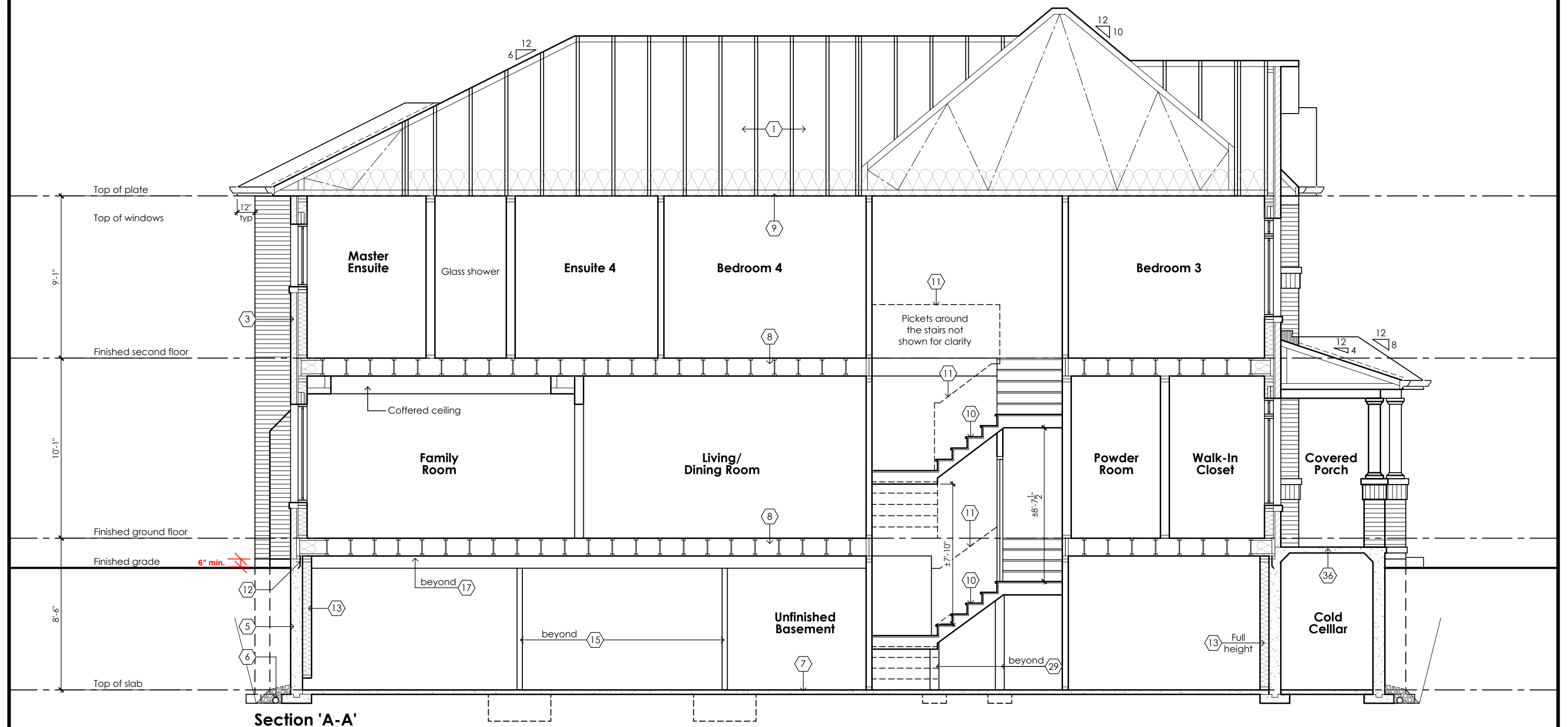
Rear Upgrade Elevation '3'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

**Rose 6**  
Compliance Package A1

|   |   |                                      |   |  |  |  |   |                          |
|---|---|--------------------------------------|---|--|--|--|---|--------------------------|
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. | The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.<br><b>Qualification Information</b> |                                      | <br><b>www.mackitECTURE.ca</b><br>975A Elgin Street West, Suite 353<br>Cobourg, ON K9A 5J3<br>Tel: 416-735-8190 Email: info@mackitECTURE.ca |  | <b>Rear Upgrade Elevation<br/>Elevation 3</b>              |  | <br><b>www.greenparkgroup.ca</b><br>project name<br><b>Trinigroup Developments Inc.</b> |                          |
|   | Jamie Mack<br>Name<br>Registration Information  | 35923<br>BCIN<br><b>MackitECTURE</b> |   |  | scale<br><b>3/16" = 1'-0"</b><br>date<br><b>2023-09-11</b> | by<br><b>JM</b><br>type<br><b>40' Single</b> | area<br><b>3197 sq ft</b><br>project no.<br><b>22-016</b>                               | sheet no.<br><b>7-3A</b> |





CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

**Rose 6**

Compliance Package A1

|   |   |               |  |  |                               |                           |   |                              |   |
|---|---|---------------|--|--|-------------------------------|---------------------------|---|------------------------------|---|
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|   | Jamie Mack<br>Name  | 35923<br>BCIN |  | <br>Signature | scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b>           |   | area<br><b>-</b>             | sheet no.<br><b>8-1</b>                             |
|   | Registration Information<br><b>Mackitecture</b>   |               |  | 103532   | date<br><b>2023-09-11</b>     | type<br><b>40' Single</b> |   | project no.<br><b>22-016</b> | project name<br><b>Trinigroup Developments Inc.</b> |

Drawing created with Mackitecture v.1.0.0 (build 2655). File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-11 at 12:51:29 PM by JMACK

SB-12 Calculations  
Rose 6 Deck Condition

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 704.9 sq ft (65.5 sq m)   | 101.2 sq ft (9.4 sq m)  | 14.36%     |
| Left side  | 1218.8 sq ft (113.2 sq m) | 60.6 sq ft (5.6 sq m)   | 4.97%      |
| Right side | 1218.8 sq ft (113.2 sq m) | 38.2 sq ft (3.5 sq m)   | 3.13%      |
| Rear       | 795.1 sq ft (73.9 sq m)   | 109.1 sq ft (10.1 sq m) | 13.72%     |
| Total      | 3937.5 sq ft (365.8 sq m) | 309.0 sq ft (28.7 sq m) | 7.85%      |

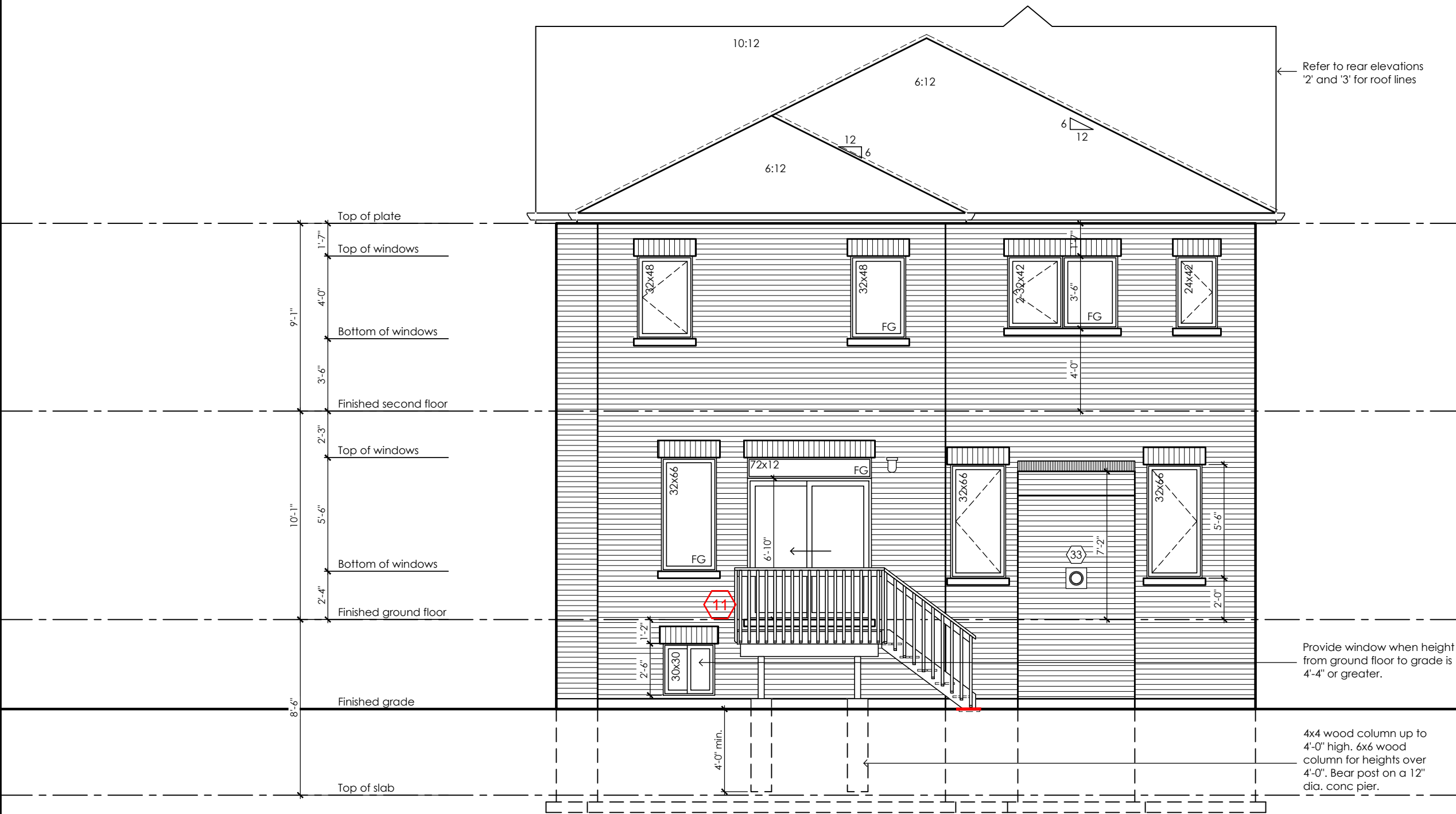
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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paolidis



Rear Elevation '1', '2' & '3'  
Deck Condition

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Rose 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532

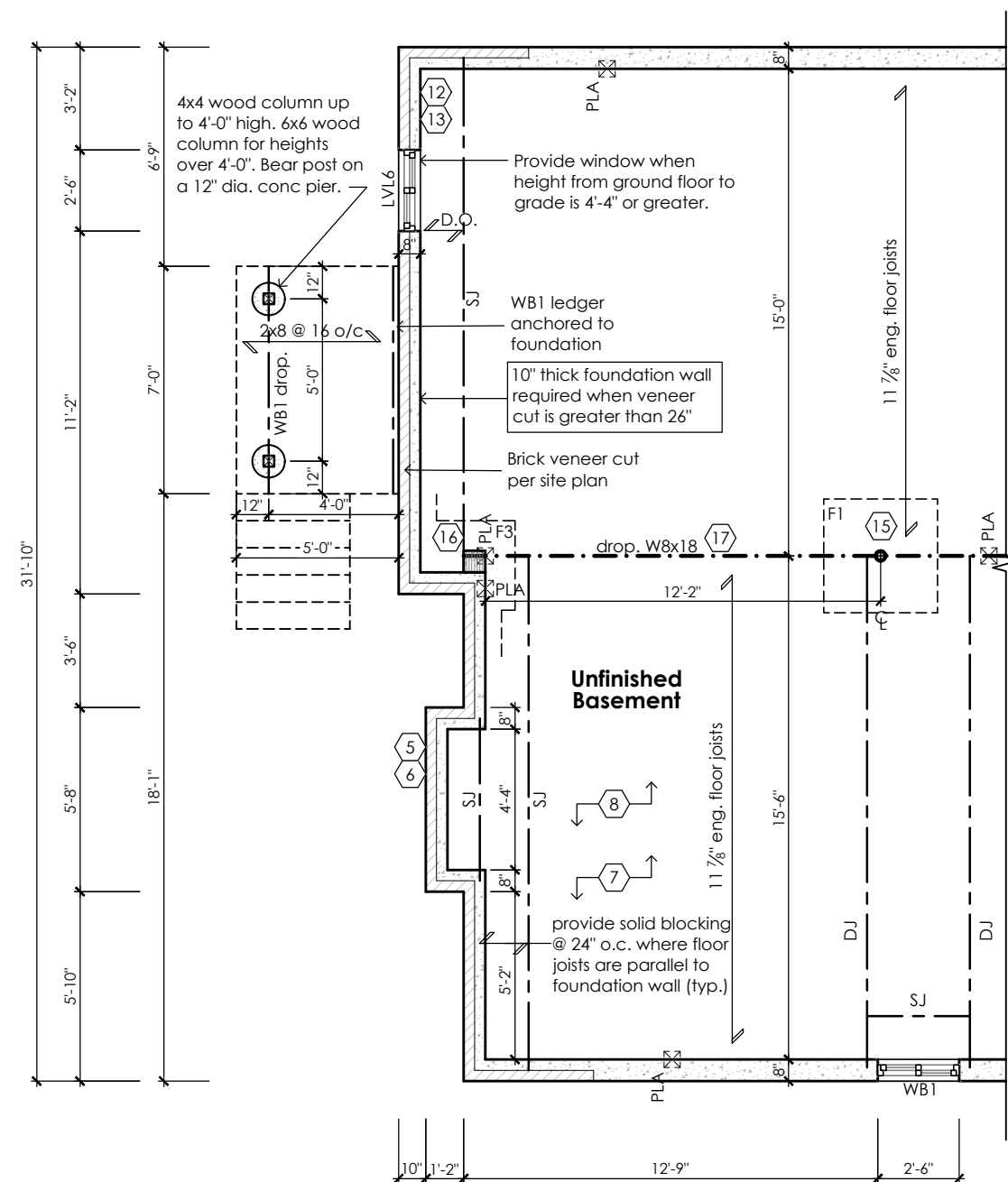
**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Deck Elevation  
Elevations 1, 2 and 3**

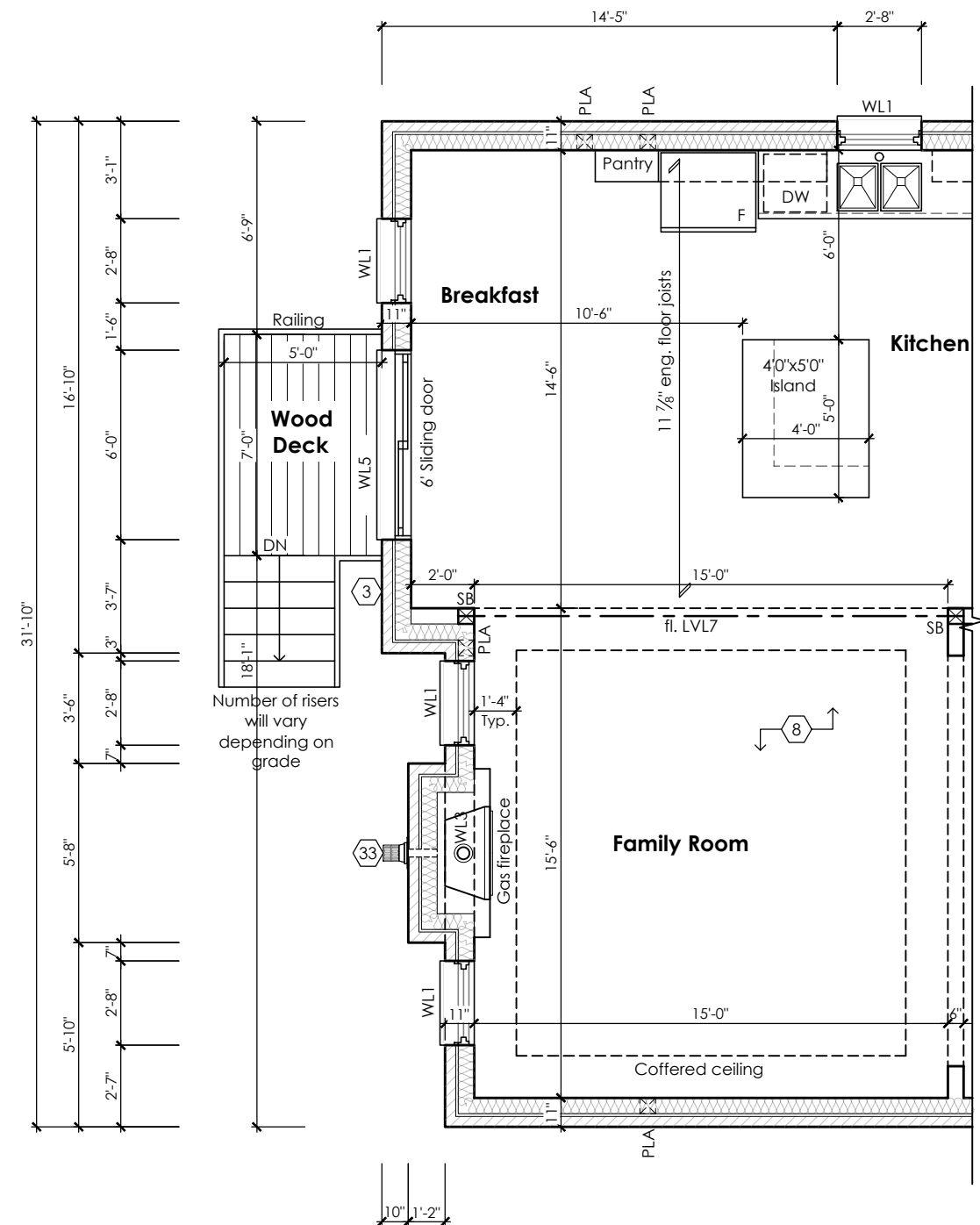
|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>-             | sheet no.<br>9-1 |
| date<br>2023-09-11     | type<br>40' Single | project no.<br>22-016 |                  |

**Greenpark**  
www.greenparkgroup.ca

Trinigroup Developments Inc.



All wood deck lumber is decay resistant and fasteners are corrosion resistant



### Partial Basement Plan For Deck Condition Elevation '1', '2' and '3'

Deck and guard construction shall comply with attached details.

**Partial Ground Floor Plan For Deck Condition**  
**Elevation '1', '2' and '3'**

STRUDET INC.

A circular professional engineer seal for B. Marinkovic. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "B. MARINKOVIC" at the bottom. In the center, there is a signature and the word "Edition" is partially visible on the left.

September 19, 2023

ANCE OF ONT

FOR STRUCTURE ONLY

**CITY OF RICHMOND HILL  
BUILDING DIVISION**

08/21/2024

Per: **REVISED**  
**KER**

## Rose 6

### Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

### Qualification Information

|            |       |
|------------|-------|
| Jamie Mack | 35923 |
| Name       | BCIN  |

### Registration Information

## Mackitecture

103532



**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

### Deck Plans Elevations 1, 2 and 3

scale

|    |  |
|----|--|
| by |  |
|----|--|

|      |
|------|
| area |
|------|

|           |
|-----------|
| sheet no. |
|-----------|

|      |
|------|
| date |
|------|

|  |      |
|--|------|
|  | type |
|--|------|

|  |             |
|--|-------------|
|  | project no. |
|--|-------------|

9-2



**Greenpark**

[www.greenparkgroup.ca](http://www.greenparkgroup.ca)

|              |
|--------------|
| project name |
|--------------|

Trinigroup Developments Inc.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

Drawing created with MacKilecture v.1.0.0 (build 2655), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-ROSE 6-WD-V1.DWG plotted on 2023-09-11 at 12:51:39 PM by JMACK

SB-12 Calculations  
Rose 6 - Walkout Condition

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 704.9 sq ft (65.5 sq m)   | 101.2 sq ft (9.4 sq m)  | 14.36%     |
| Left side  | 1218.8 sq ft (113.2 sq m) | 60.6 sq ft (5.6 sq m)   | 4.97%      |
| Right side | 1218.8 sq ft (113.2 sq m) | 38.2 sq ft (3.5 sq m)   | 3.13%      |
| Rear       | 953.0 sq ft (88.5 sq m)   | 154.8 sq ft (14.4 sq m) | 16.25%     |
| Total      | 4095.4 sq ft (380.5 sq m) | 354.7 sq ft (33.0 sq m) | 8.66%      |

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paolidis



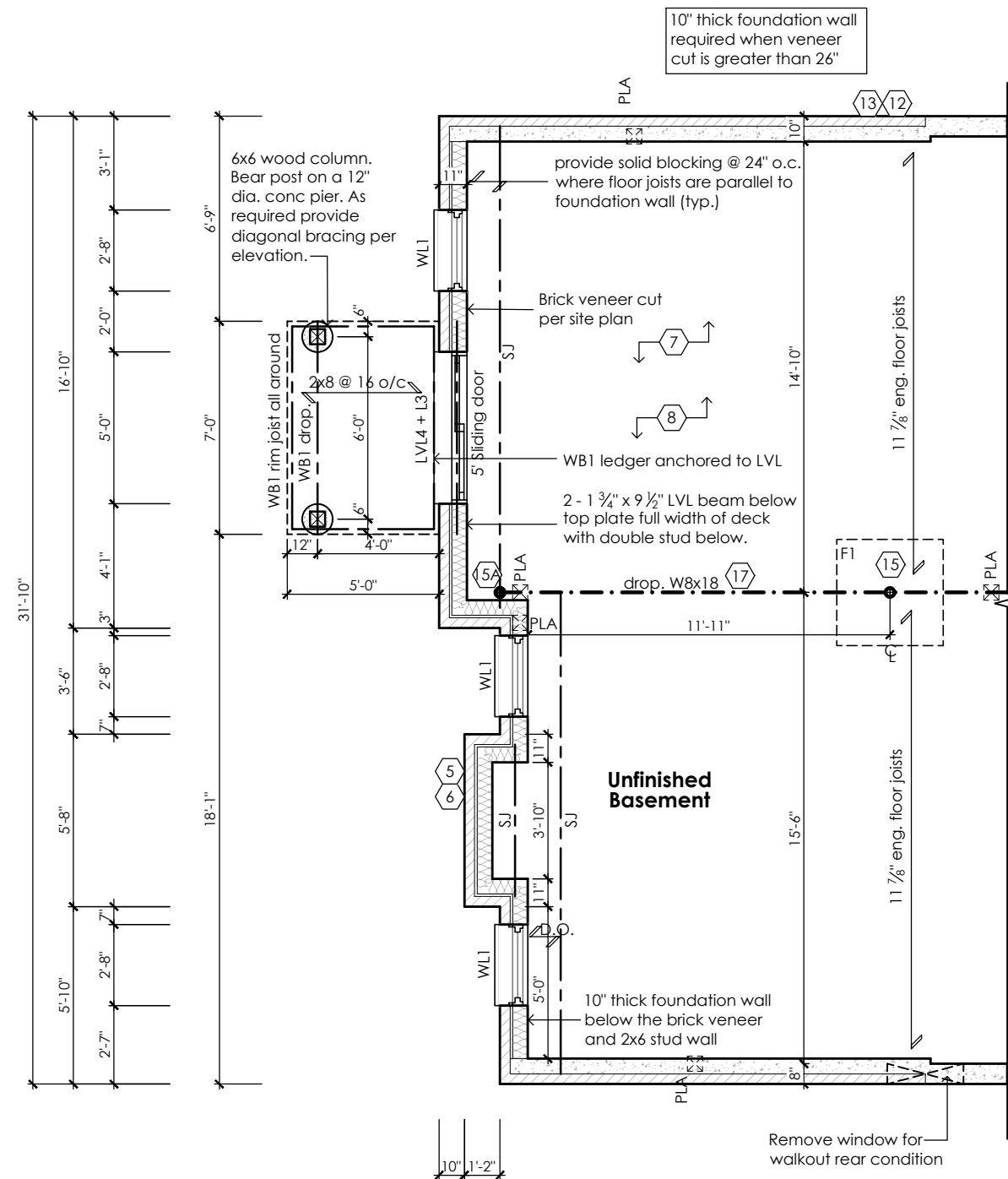
Rear Elevation '1', '2' and '3'  
Walkout Condition

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

Rose 6  
Compliance Package A1

|   |   |                                      |  |  |                               |                              |                  |   |
|---|---|--------------------------------------|--|--|-------------------------------|------------------------------|------------------|---|
|   | The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.<br><b>Qualification Information</b> |                                      | <br><b>www.mackitecture.ca</b><br>975A Elgin Street West, Suite 353<br>Cobourg, ON K9A 5J3<br>Tel: 416-735-8190 Email: info@mackitecture.ca | <b>Walkout Basement Elevation<br/>Elevations 1, 2 and 3</b>  |                               |                              |                  | <br><b>www.greenparkgroup.ca</b> |
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. | Jamie Mack<br>Name<br>Registration Information  | 35923<br>BCIN<br><b>Mackitecture</b> |  | <br>Signature<br>103532 | scale<br><b>3/16" = 1'-0"</b> | by<br><b>JM</b>              | area<br><b>-</b> | sheet no.<br><b>10-1</b>  |
|   |   |                                      |  | date<br><b>2023-09-11</b>  | type<br><b>40' Single</b>     | project no.<br><b>22-016</b> |                  |   |

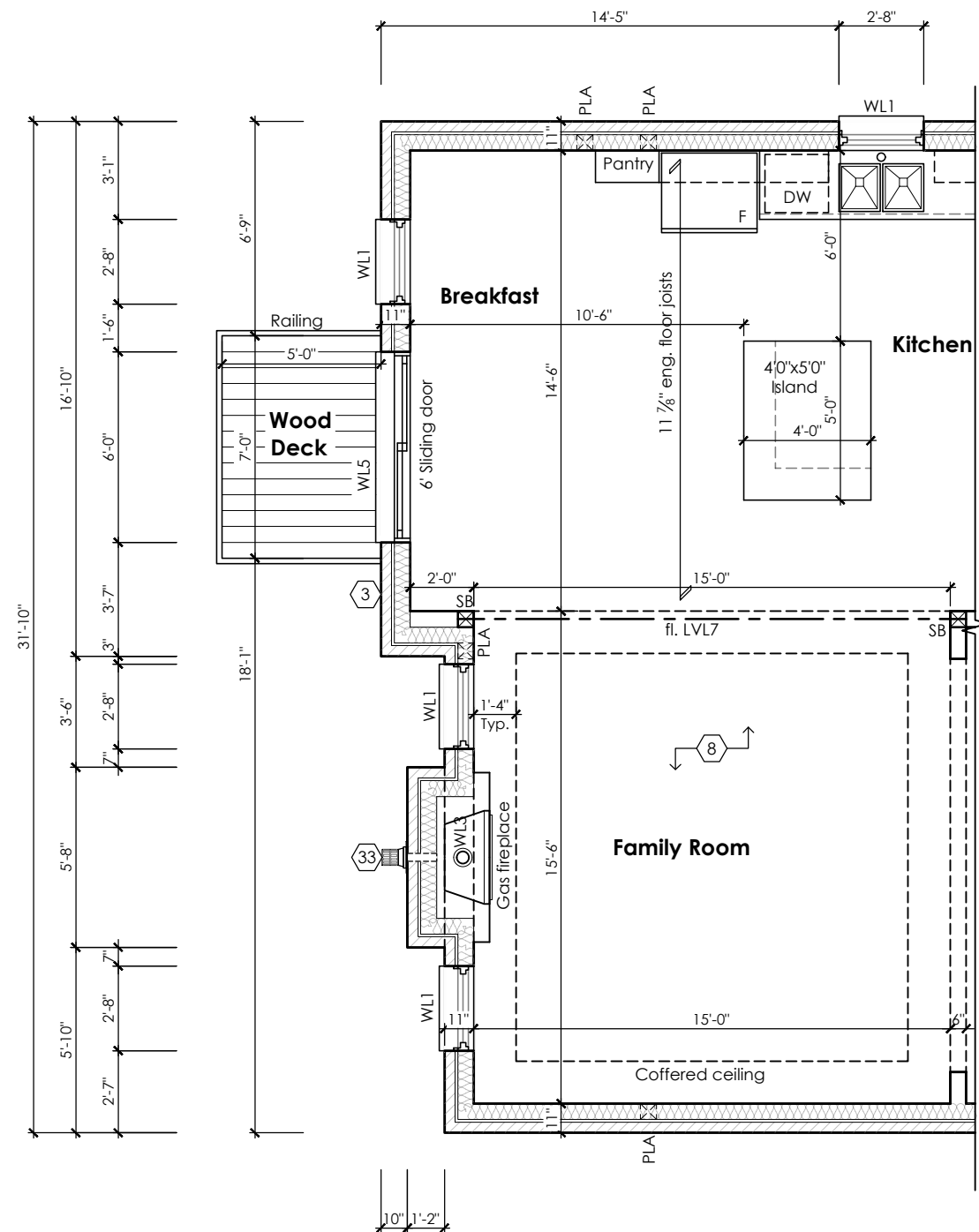




Partial Basement Plan For Walkout Condition  
Elevation '1', '2' and '3'

All wood deck lumber is  
decay resistant and fasteners  
are corrosion resistant

Deck and guard construction shall  
comply with attached details.



Partial Ground Floor Plan For Walkout Condition  
Elevation '1', '2' and '3'

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 19, 2023  
CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED FOR STRUCTURE ONLY  
Per: KER

Rose 6  
Compliance Package A1

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**Qualification Information**

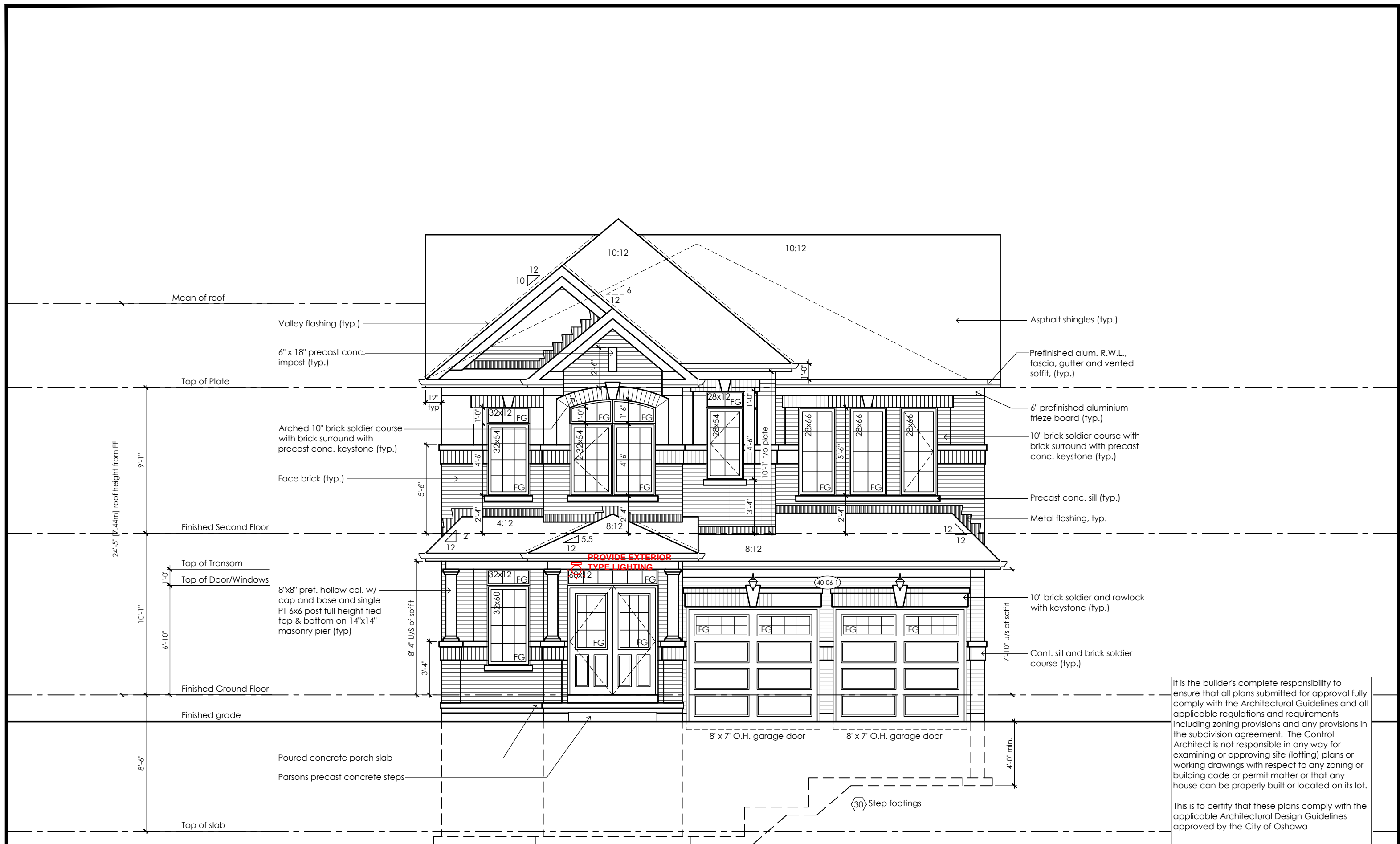
Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532

**Mackitecture**  
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975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Walkout Basement Plans<br>Elevations 1, 2 and 3 |            |             |           |  |
|---|------------|-------------|-----------|--|
| scale   | by         | area        | sheet no. |  |
| 3/16" = 1'-0"                                   | JM         | -           | 10-2      |  |
| date  | type       | project no. |           |  |
| 2023-09-11                                      | 40' Single | 22-016      |           |  |

**Greenpark**  
www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



Front Elevation 1  
For Lot 28

Changes for Lot 28

- Second floor brick band raised to 5'-6" to match side and rear upgrade
- Refer to site plan for all grading changes

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Rose 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Front Elevation  
Elevation 1

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3215 sq ft  | 28-1      |
| date          | type       | project no. |           |
| 2024-01-09    | 40' Single | 22-016      |           |

**Greenpark**  
www.greenparkgroup.ca

Trinigroup Developments Inc.

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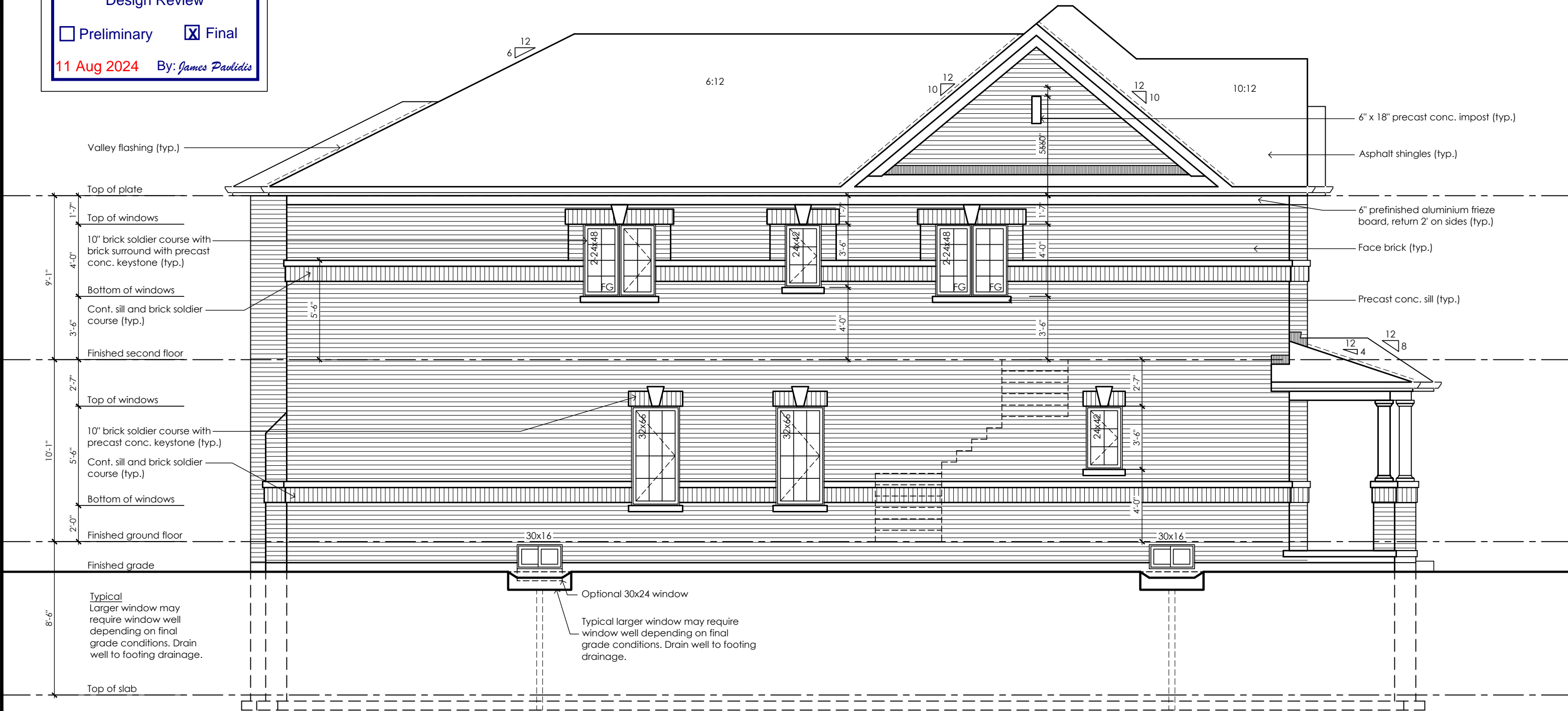
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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1218.8 sq ft (113.23 sq m)  
Permitted glazed openings: 7.0%, 85.3 sq ft (7.93 sq m)  
Provided glazed openings: 5.0%, 60.6 sq ft (5.63 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
1 - 32,00 x 66,00: 11,74 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)



**Left Side Upgrade Elevation '1'**  
**with Optional 5 Bedroom Plan**  
**For lot 28**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532



**www.mackitecture.ca**

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Left Side Elevation, Optional 5 Bedroom**  
**Elevation 1**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3215 sq ft  | 28-2      |
| date          | type       | project no. |           |
| 2024-01-09    | 40' Single | 22-016      |           |



**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

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**City of Richmond Hill**  
Design Review

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11 Aug 2024 By: James Paulidis



**Rear Upgrade Elevation '1'**  
**For lot 28**

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Rose 6**

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532

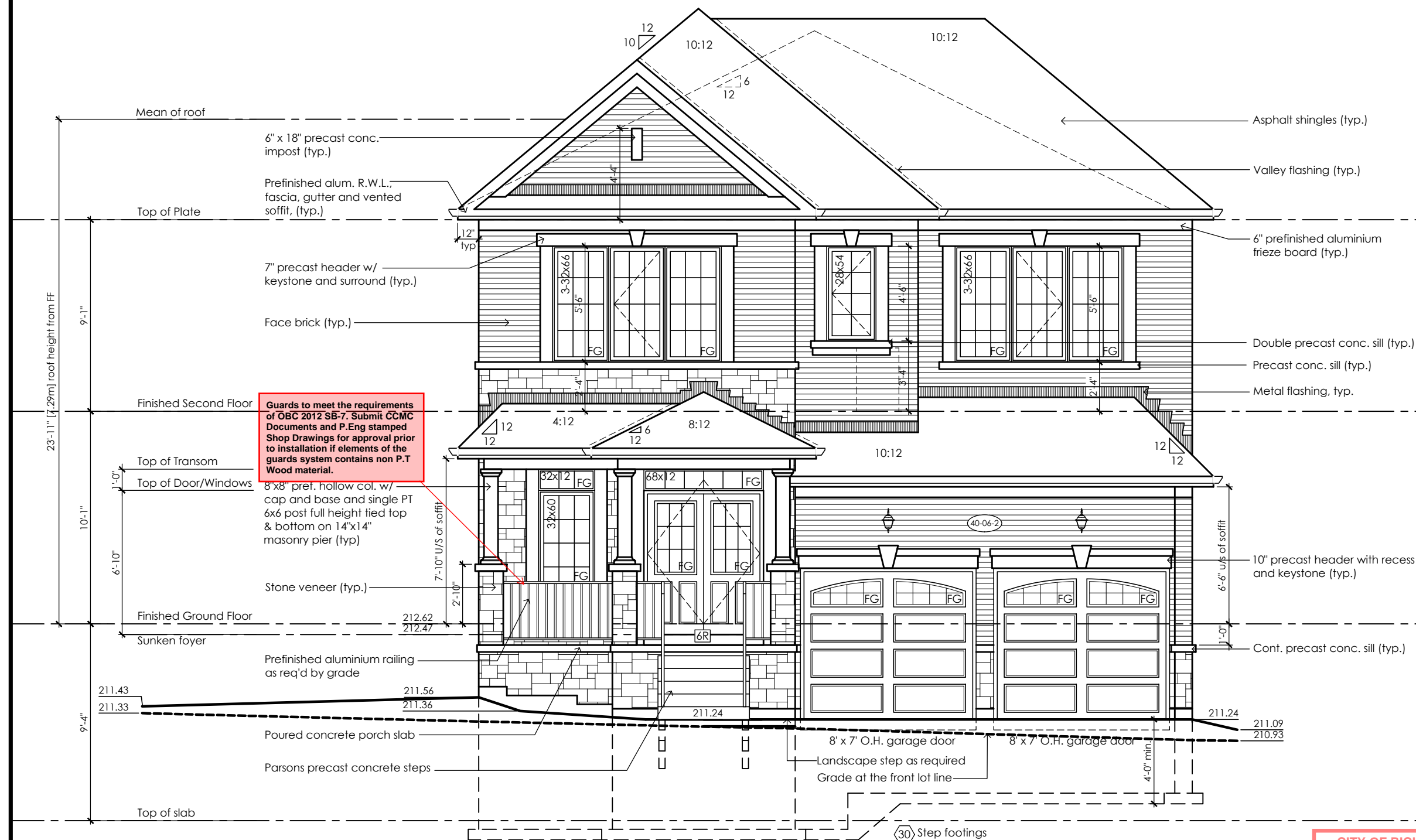
**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Rear Upgrade Elevation<br>Elevation 1 |                    |                       |                   |
|---------------------------------------|--------------------|-----------------------|-------------------|
| scale<br>3/16" = 1'-0"                | by<br>JM           | area<br>3215 sq ft    | sheet no.<br>28-3 |
| date<br>2024-01-09                    | type<br>40' Single | project no.<br>22-016 |                   |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**





Guards to meet the requirements of OBC 2012 SB-7. Submit CCMC Documents and P.Eng stamped Shop Drawings for approval prior to installation if elements of the guards system contains non P.T Wood material.

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Front Elevation '2'  
Lot 100

Lot Specific Changes

- Porch roof dropped with sunken foyer floor
- Garage roof soffit dropped 10"
- Garage roof slope changed to 10:12

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Pavlidis

Lot 100 - Rose 6-2

Compliance Package A1

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Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



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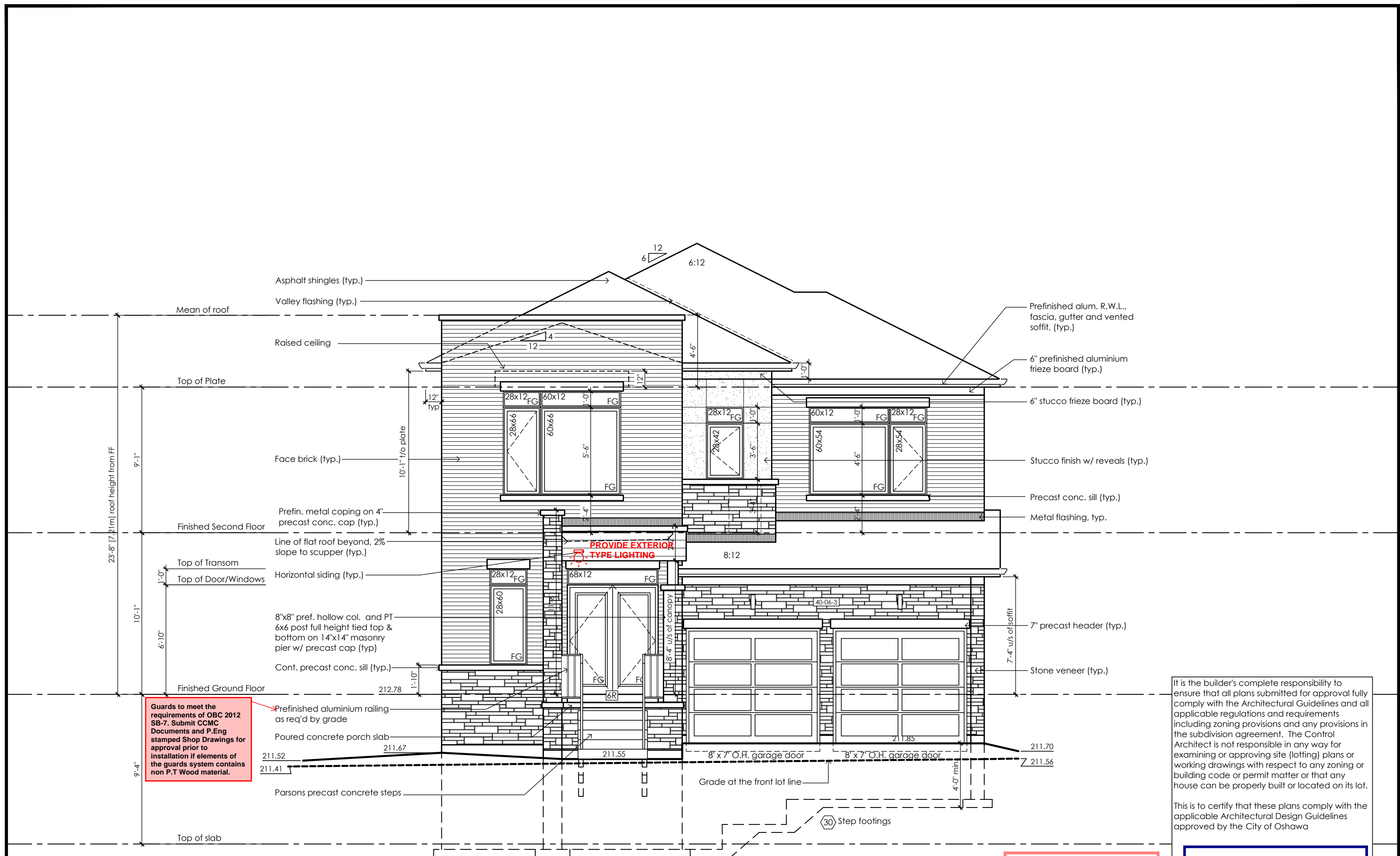
Lot 100 Front Elevation  
Rose 6, Elevation 2

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 3197 sq ft  | 100-1     |
| date          | type       | project no. |           |
| 2024-02-28    | 40' Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



Front Elevation '3'  
Lot 102

Lot Specific Changes

- Garage roof soffit dropped 6"
- Garage roof slope changed to 8:12

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

11 Aug 2024 By: James Paulidis

Lot 102 - Rose 6-3

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532

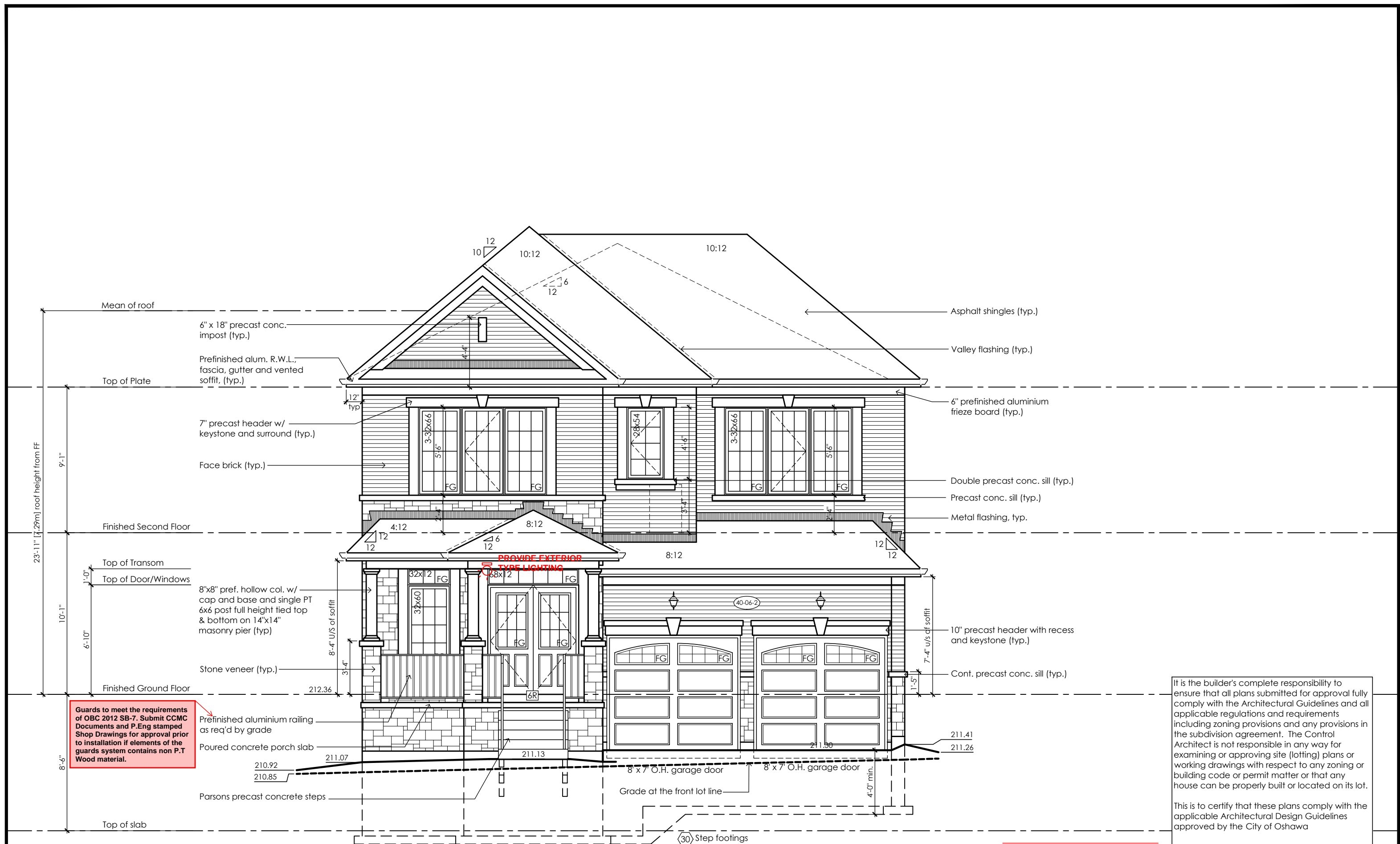
**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Lot 102 Front Elevation  
Rose 6, Elevation 3**

|                        |                    |                       |                           |
|------------------------|--------------------|-----------------------|---------------------------|
| scale<br>3/16" = 1'-0" | by<br>JM           | area<br>3197 sq ft    | sheet no.<br><b>102-1</b> |
| date<br>2024-02-28     | type<br>40' Single | project no.<br>22-016 |                           |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



Front Elevation '2'  
Lot 104

Lot Specific Changes  
- Garage roof soffit dropped 6"

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
11 Aug 2024 By: James Paulidis

## Lot 104 - Rose 6-2

Compliance Package A1

|   |   |  |  |   |   |  |  |  |   |
|---|---|--|--|---|---|--|--|--|---|
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. | The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.<br><b>Qualification Information</b><br><div><div>Jamie Mack35923</div><div>NameBCIN</div><div></div><div>Signature</div></div> <div><div>Registration Information</div><div>Mackitecture103532</div></div> |  |  | <div><br/><b>www.mackitecture.ca</b><br/>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</div> | title<br><b>Lot 104 Front Elevation<br/>Rose 6, Elevation 2</b> |  |  |  | <div><br/><b>www.greenparkgroup.ca</b></div> <div>project name<br/><b>Trinigroup Developments Inc.</b></div> |
|   | <div><div>scale</div><div>3/16" = 1'-0"</div></div> <div><div>by</div><div>JM</div></div> <div><div>area</div><div>3197 sq ft</div></div> <div><div>sheet no.</div><div>104-1</div></div> <div><div>date</div><div>2024-02-28</div></div> <div><div>type</div><div>40' Single</div></div> <div><div>project no.</div><div>22-016</div></div>  |  |  |   |   |  |  |  |   |