



GENERAL NOTES (PART 9 - RESIDENTIAL)

PERMIT NO. **RM#24-00025**

All construction must comply with the Ontario Building Code (OBC) 2012 as amended, including but not limited to the following. As a minimum, the following requirements **shall** be incorporated in the final construction:

1. All footings shall rest on natural undisturbed soil or compacted granular fill with a minimum bearing capacity of 75 KPa (1570 psf) unless known capacity is less and provided for in the foundation design.
2. Step footings shall have a maximum rise of 600 mm (23 5/8") for firm soils, 400 mm (15 3/4") for sand or gravel and a minimum horizontal run of 600 mm (23 5/8").
3. Concrete for exterior steps, garage and carport floors and all exterior flat work shall have a minimum compressive strength of 32 MPa (4650 psi) at 28 days, with air entrainment of 5 to 8%. Concrete floors with no damp proofing shall have a minimum compressive strength of 25 MPa (3000 psi). All other concrete to be 15MPa (2200 psi).
4. Foundations and the soil beneath them shall be protected against freezing during winter construction. Where foundation walls require permanent lateral support, the wall shall be braced or laterally supported before backfilling.
5. When the unsupported height of a foundation wall exceeds 3.0 m (9'-10"), the wall shall be designed by an engineer in accordance with OBC Part 4.
6. Exterior concrete stairs with more than 2 steps shall be supported on unit masonry, concrete walls or piers not less than 150x150 (6"x6") with footings at 1.2 m (4') below grade.
7. Where the top of a foundation wall is reduced in thickness to permit the installation of masonry exterior facing, the reduced section shall be not less than 90 mm (3 1/2") thick and tied to the facing material with metal ties conforming to Sentence 9.20.9.4. (3), spaced not more than 200 mm (7 7/8") o.c. vertically and 900 mm (2'-11") o.c. horizontally. The space between the wall and masonry veneer shall be filled with mortar.
8. Provide continuous lateral support to top flange of all steel beams. Steel beams shall have minimum 90 mm (3 1/2") bearing length. Connections to other steel beams shall have a minimum of 2-M20 (3/4" dia.) A325 steel bolts or a full welded connection (with full shear capacity of beam). Steel beams supported on wood shall be designed by an Engineer.
9. Provide solid blocking support under all point loads and continue down to the foundation. Built-up columns shall comply with OBC 9.23.10.7. For engineered systems, follow manufacturer's specifications for correct blocking and bearing requirements.
10. Refer to the approved engineered layout drawings for engineered floor joist and roof truss systems, including beams and supports. Follow manufacturers specifications for bridging, bracing, bearing and connection requirements for built up beams or joists.
11. Tie the lower ends of roof rafters with continuous horizontal ties to the opposing rafters unless lateral thrust is otherwise specifically designed for.
12. Guards shall be constructed in accordance with Supplementary Standard 7 of the OBC or in conformance with OBC Part 4 (including design loads on guards). Min. guard height to comply with OBC 9.8.8. All guards to be non-climbable.
13. All masonry veneer ties shall be corrosion-resistant, minimum of 0.76 mm (0.03") thick, 22 mm (7/8") wide and be spaced in accordance with Table 9.20.9.5 of the OBC
14. Ceramic floor tile and its supporting floor shall be constructed in accordance to OBC 9.30.6.
15. For insulation values, window and door U-values and efficiency of appliances refer to SB-12 requirements: Prescriptive or Performance design or values specified by Energy Star requirements.
16. Foundation walls enclosing heated spaces shall be insulated to not more than 8" above the basement slab and an approved drainage layer is required on the exterior.
17. Exterior Insulated Finished System (EIFS) over wood framed wall and other moisture sensitive substrates shall consist of dual barrier with drained joints (DB/DJ). They shall be constructed in accordance to OBC 9.27.13 and shall conform to CAN/ULC-S716.1. All other exterior applied stucco finishes shall be constructed in accordance with OBC 9.28.
18. Stairs serving a house or dwelling unit shall have min. headroom of 1950 mm (6'-5"), min. width of 860 mm (2'-10"), max. rise of 200 mm (7 7/8") & min. 125 mm (4 7/8") and a min. run of 255 mm (10"). Tapered stairs shall have a min. average run of 255 mm (10") at the point of 300mm measured from the center of the handrail. The tolerance of stair dimensions shall conform to OBC 9.8.4.4. Secure stair stringers at top and bottom.
19. Basement ceiling height shall be min. 2.1 m (6'-11") over at least 75% of the area and 1.95 m. (6'-5") under beams and ducts.
20. Every floor level containing a bedroom shall be provided with at least 1 outside window with an operable unobstructed opening having a minimum area of 0.35 sq. m. (3.8 sq. ft.), with no dimension less than 380 mm (15"). Every floor level, requiring travel of more than 1 storey to an exit door, shall be provided with an unobstructed escape window opening of not less than 1 m. (3'-3") in height and 0.55 m (21 5/8") in width with the sill not more than 1 m (3'-3") above the floor and 7 m. (23') above adjacent ground level or that floor shall be provided with a balcony. Except for basement locations, all windows shall have a maximum sill height of 1 m. (3'-3") above the floor.
21. Provide window protection to minimize the hazard to children in accordance with OBC 9.7.1.6.
22. Exterior walls, which are less than 1.2 m (4'-0") from the lot line, shall have no unprotected opening and be constructed with a 3/4 hr. fire resistance rating. These walls shall be rated from the interior. Exterior walls, which are less than 0.6 m (2'-0") from the lot line, shall in addition have non-combustible cladding.
23. All entrance doors, doors between the dwelling unit and the attached garage, patio doors and windows within 2m (6'-7") of adjacent ground level shall conform to OBC Subsections 9.6.8 & 9.7.6 'Resistance to Forced Entry'.
24. Roof vents shall be provided on the basis of 1 sq. ft./300 sq. ft. of insulated ceiling area. Where the roof slope is less than 1 in 6 or in cathedral ceilings, roof vents shall be provided on the basis of 1 sq. ft./150 sq. ft. of insulated ceiling area. Roof vents shall be uniformly distributed to ventilate each roof space with a minimum of 25% of the required vent space to be located at the top and the bottom of the roof.
25. Eave protection is required, beneath the start strip, from the edge of the roof to a minimum distance of 900 mm (3'-0") up the roof slope to not less than 300 mm (12") inside the inner face of the exterior wall on shingled, shake or tile roofs except as provided by 9.26.5.1.(2).
26. Foamed plastic insulation shall be protected with interior finishes according to OBC 9.10.17.10.
27. The wall and ceiling between an attached garage and the dwelling unit shall be constructed and sealed so as to provide an effective barrier to exhaust fumes. Door between the garage and the dwelling unit shall be tight fitting, weather-stripped and equipped with a self closing device.
28. Smoke alarms shall be provided on each floor level and be located within each bedroom. Smoke alarms shall be interconnected and hard wired with no disconnect switch. Smoke alarms are required to have a visual signaling component conforming to NFPA 72.
29. A carbon monoxide detector conforming to CAN/CGA-6.19 or UL 2034 shall be installed on every building containing a fuel burning appliance or an attached garage in conformance with the OBC 9.33.4.
30. In addition to the above carbon monoxide detectors, Town of Richmond Hill By-law No. 245-99 requires that a carbon monoxide detector, equipped with an alarm that is audible within bedrooms when the intervening doors are closed and conforming to CAN/CGA-6.19 or UL 2034, be installed in accordance with the manufacturer's instructions in every dwelling unit. Where the carbon monoxide detector is electrically powered, it must be approved by the Canadian Standards Association and be equipped with a visual indicator indicating that it is in operating condition and have NO switch between the carbon monoxide alarm and the power distribution panel.
31. A mechanical ventilation system is required in every dwelling. An exhaust only' ventilation system is permitted only where forced air heating is used, there is no electric heating or fireplace (other than a direct vent gas fireplace), and where a mechanically vented induced draft or direct vented furnace and hot water tank are used. A ventilation system with a heat recovery ventilator or Part 6 design is required in all other cases.
32. All exterior doors greater than 600mm above grade which do not exit onto a deck shall be permanently adjusted to prevent opening as per 9.6.4.1(2) of the OBC or be guarded as per 9.8.8 of the OBC
33. The main bathroom shall have stud reinforcement to accommodate future installation of grab bars adjacent to water closets and shower or bathtub as per OBC 9.5.2.3.
34. Slopes on roof surfaces shall comply with OBC 9.26.3.1.
35. Windows shall comply with OBC 9.7
36. Exhaust ducts connected to laundry drying equipment shall comply with OBC 6.2.3.8. (7)

Strip Footings

For Singles and Semi-Detached Houses up to 2 storeys

For 8" or 10" foundation walls with 2x8 / 2x10 floor joists

20" wide x 6" thick concrete strip footings below foundation walls.
24" wide x 8" thick concrete strip footings below party walls.

Foundation walls with engineered joists over 16' spans

24" wide x 8" thick concrete strip footings below party walls.

Footings on engineered fill

24" wide x 8" thick concrete strip footings with reinforcing below exterior walls.
30" wide x 8" thick concrete strip footings with reinforcing below party walls.
(refer to the footings details on engineered fill)

Assume the larger footing size when two conditions apply.

Assumed 120 kPa (18 psi) soil bearing capacity or 90 kPa engineered soil fill. Bearing capacity to be verified on site, **by soil engineer report**

Concrete Pad Footing Sizes

120 kPa Native Soil

F1 = 42" x 42" x **2'3"**

F2 = 36" x 36" x **1'8"**

F3 = 30" x 30" x **1'3"**

F4 = 24" x 24" x 1'2"

F5 = 16" x 16" x 8"

90 kPa Engineered Fill

F1 = 48" x 48" x **2'4"**

F2 = 40" x 40" x **2'0"**

F3 = 34" x 34" x **1'7"**

F4 = 28" x 28" x **1'2"**

F5 = 18" x 18" x 8"

Refer to the floor plans for non-standard footing sizes.

Brick Veneer Cuts

When the brick veneer cut is greater than 26" a 10" thick poured concrete foundation wall is required.

Exterior Concrete Slabs

All garage slabs, porch slabs, poured concrete stairs and exposed concrete flat work to be 32 MPa with 5-8% air entrainment.

Ceramic Tile over Joists

Space conventional floor joists @ 12" o/c below all ceramic tile areas. Provide 1 row of bridging for spans of 5'-7" and 2 rows for spans greater than 7'-0".

Engineered Roof Trusses

Refer to the roof truss shop drawings for all roof framing information.

Engineered Floor Joists

Refer to the floor framing shop drawings for engineered framing layouts, hardware and details.

Steel Column Notes

C1 = 4" x 4" x $\frac{1}{4}$ " HSS w/ 10" x 8" x $\frac{1}{2}$ " base plate and 2 - $\frac{3}{4}$ " dia. anchor bolts.
C2 = 5" x 5" x $\frac{1}{4}$ " HSS w/ 12" x 12" x $\frac{1}{2}$ " base plate and 4 - $\frac{3}{4}$ " dia. anchor bolts.

Use 4 bolts for moment connection.

"M" = Moment connection at beam and column = 35 kN-m

Grading

Plans and elevations are not drawn to accurate grade elevations. Refer to final grading plan.

Door Schedule

No.	Width	Ceiling Heights 8' to 9'	10' or more	Type
1	2'-10" (34")	6'-8"	8'-0"	Insulated entrance door
1A	2'-8" (32")	6'-8"	8'-0"	Insulated entrance door
2	2'-8" (32")	6'-8"	8'-0"	Wood and glass door
3	2'-8" (32")	6'-8"	8'-0"	Exterior slab door
4	2'-8" (32")	6'-8"	8'-0"	Interior slab door
5	2'-6" (30")	6'-8"	8'-0"	Interior slab door
6	2'-2" (26")	6'-8"	8'-0"	Interior slab door
7	1'-6" (18")	6'-8"	8'-0"	Interior slab door

Garage Wall - 2x4 Stud Design

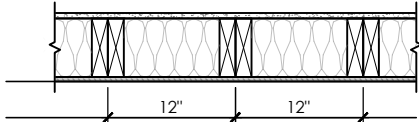
Studs	Spacing	Maximum Height
2x4	16" o/c	8'-0" (2.44m)
2x4	12" o/c	8'-10" (2.69m)
2-2x4	16" o/c	10'-1" (3.07m)
2-2x4	12" o/c	10'-9" (3.28m)
3-2x4	16" o/c	11'-2" (3.40m)
3-2x4	12" o/c	12'-4" (3.76m)

Notes

- For roof design snow loads of 2.6kPa
- Supported roof truss length of 6.0m
- Supported floor joist length of 2.5m
- Studs exceeding 3.0m in height shall be installed per OBC 9.23.10.1.(2)

Two Storey Height Wall Details - max. 18'-0" tall

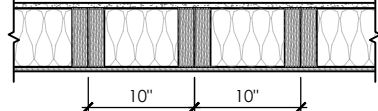
2 - 2 x 6 stud wall nailed together and spaced at 12" o/c full height c/w solid blocking @ 48" o/c vertical and $\frac{3}{16}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 18'-0" and maximum length is 40'-0".

Two Storey Height Wall Detail - max. 20'-2" tall

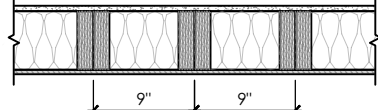
2 - 1 $\frac{1}{2}$ " x 5 $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 10" o/c full height c/w solid blocking @ 8'-0" o/c vertical and $\frac{3}{16}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 20'-2" and maximum length is 40'-0".

Two Storey Height Wall Detail - max. 21'-5" tall

2 - 1 $\frac{1}{2}$ " x 5 $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 9" o/c full height c/w solid blocking @ 8'-0" o/c vertical and $\frac{3}{16}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 21'-5" and maximum length is 40'-0".

Steel Angles and Wood Beam Schedules

Brick Veneer Steel Lintels + Wood Lintels and Beams

Label	Steel Angle Size (v x h x t)	Wood Size (members + w + h)
WL1	= 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2]	+ 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2
WL2	= 4" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (102 x 89 x 7.9) [?] +	2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2
WL3	= 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +	2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2
WL4	= 6" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (152 x 89 x 9.5) [?] +	2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2
WL5	= 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +	2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2
WL6	= 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +	2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2
WL7	= 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +	3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2
WL8	= 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4] +	3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2
WL9	= 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +	3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2

Wood Lintels and Beams

Label	Beam Size (members + w + h)
WB1	= 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2
WB2	= 3 - 2 x 8 (3 - 38 x 184) S.P.F. No. 2
WB3	= 2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2
WB4	= 3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2
WB5	= 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2
WB6	= 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2
WB7	= 5 - 2 x 12 (5 - 38 x 286) S.P.F. No. 2
WB11	= 4 - 2 x 10 (4 - 38 x 235) S.P.F. No. 2
WB12	= 4 - 2 x 12 (4 - 38 x 286) S.P.F. No. 2

Laminated Veneer Lumber (LVL) Beams

Label	Beam Size (members + w + h)
LVL1A	= 1 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (1 - 45 x 184)
LVL1	= 2 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (2 - 45 x 184)
LVL2	= 3 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (3 - 45 x 184)
LVL3	= 4 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (4 - 45 x 184)
LVL4A	= 1 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (1 - 45 x 240)
LVL4	= 2 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (2 - 45 x 240)
LVL5	= 3 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (3 - 45 x 240)
LVL5A	= 4 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (4 - 45 x 240)
LVL6A	= 1 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (1 - 45 x 300)
LVL6	= 2 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (2 - 45 x 300)
LVL7	= 3 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (3 - 45 x 300)
LVL7A	= 4 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (4 - 45 x 300)
LVL8	= 2 - 1 $\frac{3}{4}$ " x 14" (2 - 45 x 356)
LVL9	= 3 - 1 $\frac{3}{4}$ " x 14" (3 - 45 x 356)
LVL10	= 2 - 1 $\frac{3}{4}$ " x 18" (2 - 45 x 456)

Loose Steel Lintels

Label	Steel Size (v x h x t)
L1	= 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2]
L2	= 4" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (102 x 89 x 7.9) [?] +
L3	= 5" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (127 x 89 x 7.9) [4]
L4	= 6" x 3 $\frac{1}{2}$ " x $\frac{3}{16}$ " (152 x 89 x 9.5) [?] +
L5	= 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +
L6	= 7" x 4" x $\frac{3}{8}$ " (178 x 102 x 9.5) [?] +

Glue-Laminated Floor Beams

Label	Beam Size (w x h)
GLU1	= 3 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (80 x 300)
GLU2	= 5 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (130 x 300)

Minimum Thermal Performance

The minimum thermal performance of building envelope and equipment shall conform to the following.

Prescriptive Package A1

Space Heating Fuel Gas

Component	Max. Nominal	Max. U	R Min. Effective
Ceiling with Attic Space	60	0.017	59.22
Ceiling without Attic Space	31	0.036	27.65
Exposed Floor	31	0.034	29.80
Walls Above Grade	22	0.059	17.03
Basement Walls	20 ci	0.047	21.12

Below Grade Slab Entire Surface
> 600 mm Below Grade

Heated Slab or Slab
<= 600 mm Below Grade

Edge of Below Grade Slab
<= 600 mm Below Grade

Windows and Sliding Glass Doors	Energy rating: 25	Max. U: 0.28
Skylights	Max. U: 0.49	
Space Heating Equipment	Min. AFAU: 96%	
HRV	Min. SRE: 75%	
Domestic Water Heater	Min. EF: 0.80	

Area Calculations Villa 3-1

Ground Floor	1178 sq ft, 109.44 sq m
Second Floor	1469 sq ft, 136.47 sq m
Total floor area	2647 sq ft, 245.91 sq m

Total open to below	15 sq ft, 1.39 sq m
Finished basement	0 sq ft, 0.00 sq m
Total gross floor area	2662 sq ft, 247.31 sq m

Coverage Areas	
Ground floor	1178 sq ft, 109.44 sq m
Garage	396 sq ft, 36.79 sq m
Porch	53 sq ft, 4.92 sq m
Other structures	0 sq ft, 0.00 sq m
Coverage w/o porch	1574 sq ft, 146.23 sq m
Coverage w/ porch	1627 sq ft, 151.15 sq m

Area Calculations Villa 3-2

Ground Floor	1178 sq ft, 109.44 sq m
Second Floor	1469 sq ft, 136.47 sq m
Total floor area	2647 sq ft, 245.91 sq m

Total open to below	15 sq ft, 1.39 sq m
Finished basement	0 sq ft, 0.00 sq m
Total gross floor area	2662 sq ft, 247.31 sq m

Coverage Areas	
Ground floor	1178 sq ft, 109.44 sq m
Garage	396 sq ft, 36.79 sq m
Porch	53 sq ft, 4.92 sq m
Other structures	0 sq ft, 0.00 sq m
Coverage w/o porch	1574 sq ft, 146.23 sq m
Coverage w/ porch	1627 sq ft, 151.15 sq m

Area Calculations Villa 3-3

Ground Floor	1165 sq ft, 108.23 sq m
Second Floor	1467 sq ft, 136.29 sq m
Total floor area	2632 sq ft, 244.52 sq m

Total open to below	15 sq ft, 1.39 sq m
Finished basement	0 sq ft, 0.00 sq m
Total gross floor area	2647 sq ft, 245.91 sq m

Coverage Areas	
Ground floor	1165 sq ft, 108.23 sq m
Garage	397 sq ft, 36.88 sq m
Porch	52 sq ft, 4.83 sq m
Other structures	0 sq ft, 0.00 sq m
Coverage w/o porch	1562 sq ft, 145.11 sq m
Coverage w/ porch	1614 sq ft, 149.95 sq m

OPTIONAL 8'-6" FOUNDATION POUR HEIGHT

- 10" THICK CONCRETE FOUNDATION WALLS (15 MPa)
- BASEMENT FLOOR TO FLOOR HEIGHT
 - 9 $\frac{1}{2}$ " FLOOR JOISTS = 9'-2" (2.79m) HEIGHT
 - 11 $\frac{3}{8}$ " FLOOR JOISTS = 9'-4" (2.84m) HEIGHT
- BASEMENT STAIRS
 - 15 RISERS (EXTRA RISER ADDED TO BASE OF STAIR)

SB-12 Calculations Villa 3-1

Elevation	Wall Area	Window Area	Percentage
Front	637.4 sq ft (59.2 sq m)	77.7 sq ft (7.2 sq m)	12.19%
Left side	1149.3 sq ft (106.8 sq m)	68.1 sq ft (6.3 sq m)	5.93%
Right side	0.0 sq ft (0.0 sq m)	0.0 sq ft (0.0 sq m)	0.00%
Rear	623.3 sq ft (57.9 sq m)	104.3 sq ft (9.7 sq m)	16.73%
Total	2409.9 sq ft (223.9 sq m)	250.1 sq ft (23.2 sq m)	10.38%

SB-12 Calculations Villa 3-2

Elevation	Wall Area	Window Area	Percentage
Front	647.9 sq ft (60.2 sq m)	75.6 sq ft (7.0 sq m)	11.66%
Left side	1149.3 sq ft (106.8 sq m)	68.1 sq ft (6.3 sq m)	5.93%
Right side	0.0 sq ft (0.0 sq m)	0.0 sq ft (0.0 sq m)	0.00%
Rear	623.3 sq ft (57.9 sq m)	104.3 sq ft (9.7 sq m)	16.73%
Total	2420.5 sq ft (224.9 sq m)	248.0 sq ft (23.0 sq m)	10.24%

SB-12 Calculations Villa 3-3

Elevation	Wall Area	Window Area	Percentage
Front	653.2 sq ft (60.7 sq m)	81.5 sq ft (7.6 sq m)	12.47%
Left side	1149.3 sq ft (106.8 sq m)	68.1 sq ft (6.3 sq m)	5.93%
Right side	0.0 sq ft (0.0 sq m)	0.0 sq ft (0.0 sq m)	0.00%
Rear	623.3 sq ft (57.9 sq m)	104.3 sq ft (9.7 sq m)	16.73%
Total	2425.8 sq ft (225.4 sq m)	253.9 sq ft (23.6 sq m)	10.47%

W Architect Inc.

DESIGN CONTROL REVIEW

NOV. 01, 2023

FINAL

BY: *W*

This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: *W* KER

Villa 3

Compliance Package A1

Revisions

#	Description	Date	By
1.	Issued for client review	2023-07-18	JM
2.	Revised siding to stucco on Elev. 3	2023-07-26	LM
3.	Coord. floor and roof. Issued for p.eng. review	2023-09-19	JM
4.	Issued for permit	2023-09-28	JM

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack	35923	<i>Jamie Mack</i>
Name	BCIN	Signature
Registration Information	Mackitecture	103532



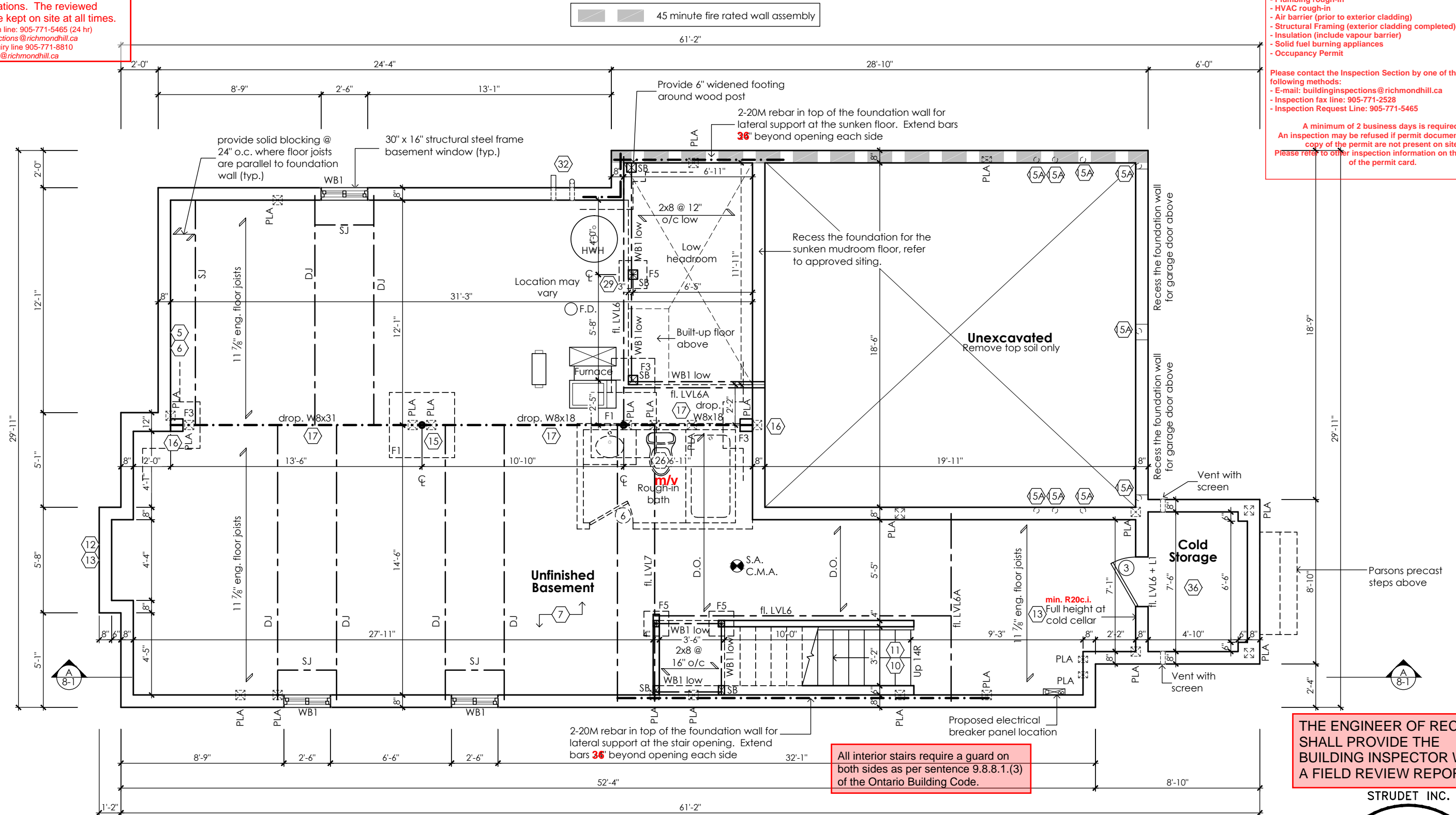
www.mackitecture.ca

975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

General Notes and Charts

Elevation 1

scale	by	area	sheet no.
	JM	2662 sq ft	0
date	type	project no.	
2023-09-28	36' Single	22-016	



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

All interior stairs require a guard on both sides as per sentence 9.8.8.1.(3) of the Ontario Building Code.

THE ENGINEER OF RECORD SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT

STRUDET INC.



FOR STRUCTURE ONLY

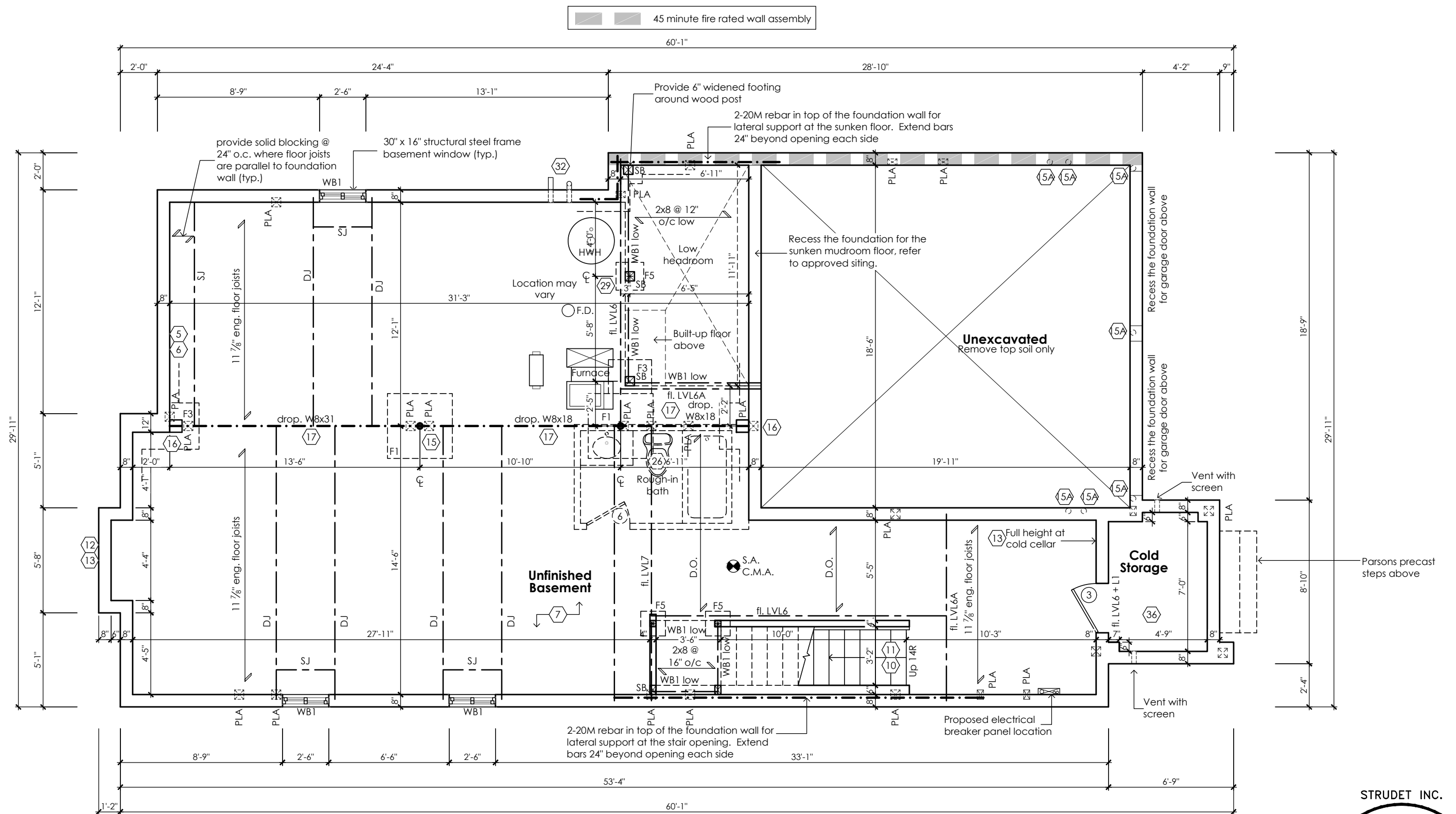
Villa 3

Compliance Package A1

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

	<p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p>Qualification Information</p> <table><tr><td>Jamie Mack</td><td>35923</td><td></td></tr><tr><td>Name</td><td>BCIN</td><td>Signature</td></tr><tr><td>Registration Information</td><td>Mackitecture</td><td>103532</td></tr></table>	Jamie Mack	35923		Name	BCIN	Signature	Registration Information	Mackitecture	103532	 <p>www.mackitecture.ca 975A Elgin Street West, Suite 353 Cobourg, ON K9A 5J3 Tel: 416-735-8190 Email: info@mackitecture.ca</p>	<table><tr><td colspan="4">title</td></tr><tr><td colspan="4">Basement Floor Plan Elevation 1</td></tr><tr><td>scale</td><td>by</td><td>area</td><td rowspan="2">sheet no.</td></tr><tr><td>3/16" = 1'-0"</td><td>JM</td><td>2662 sq ft</td></tr><tr><td>date</td><td>type</td><td>project no.</td><td rowspan="2">1-1</td></tr><tr><td>2023-09-28</td><td>36' Single</td><td>22-016</td></tr></table>	title				Basement Floor Plan Elevation 1				scale	by	area	sheet no.	3/16" = 1'-0"	JM	2662 sq ft	date	type	project no.	1-1	2023-09-28	36' Single	22-016	 <p>www.greenparkgroup.ca</p> <p>project name</p> <p>Trinigroup Developments Inc.</p>
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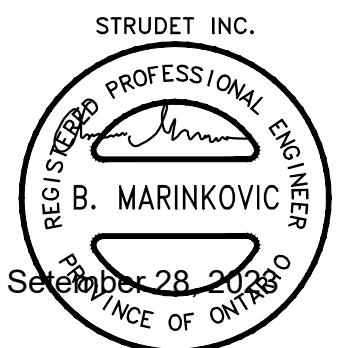
Drawing created with Mackitecture v.1.0.0 (build 2638), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-VILLA 3-WD-V1.DWG plotted on 2023-09-28 at 10:53:14 AM by JMAC



Basement Plan '3'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

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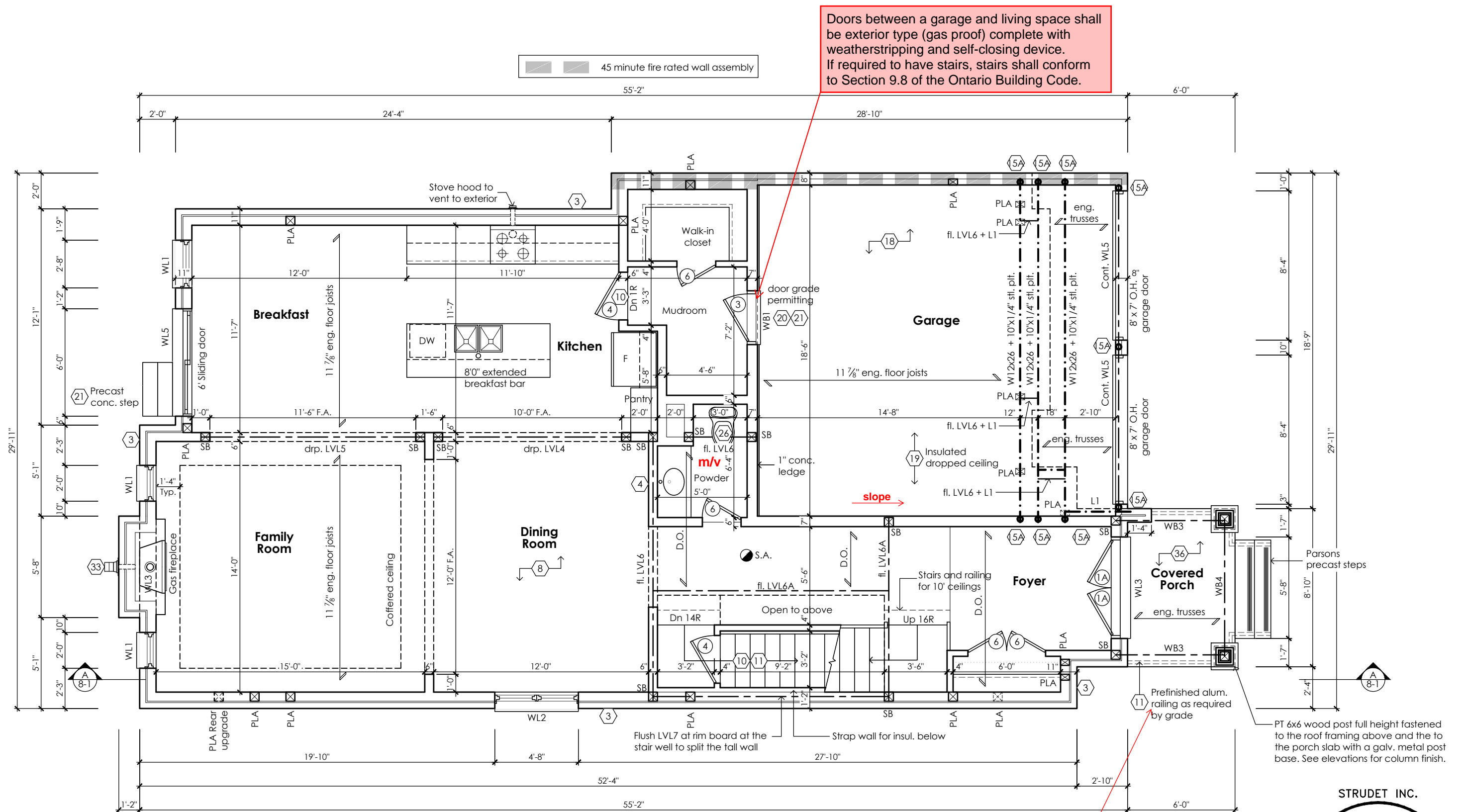


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Villa 3

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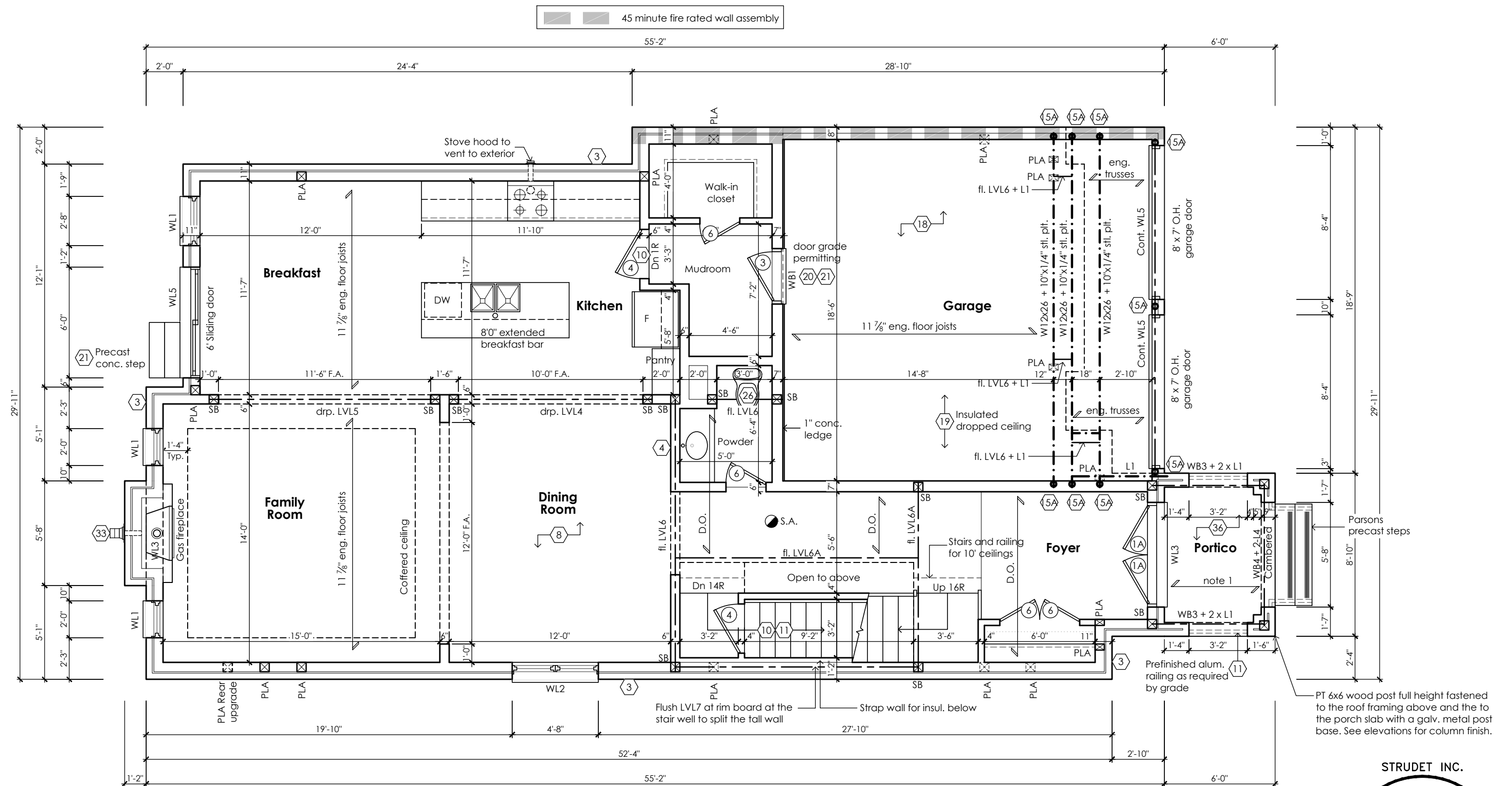
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975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

**Ground Floor Plan
Elevation 1**

scale 3/16" = 1'-0"	by JM	area 2662 sq ft	sheet no. 2-1
date 2023-09-28	type 36' Single	project no. 22-016	

Greenpark
www.greenparkgroup.ca

project name
Trinigroup Developments Inc.



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
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note 1:
flat roof framing (typ.)
2"x8" @ 12" o.c. p.t. clg. jst. w/
2"x4" @ 12" o.c. p.t. diagonally
cut cross purlins w/ 5/8" exterior
grade sheathing + single ply
roof membrane (slope to drain)

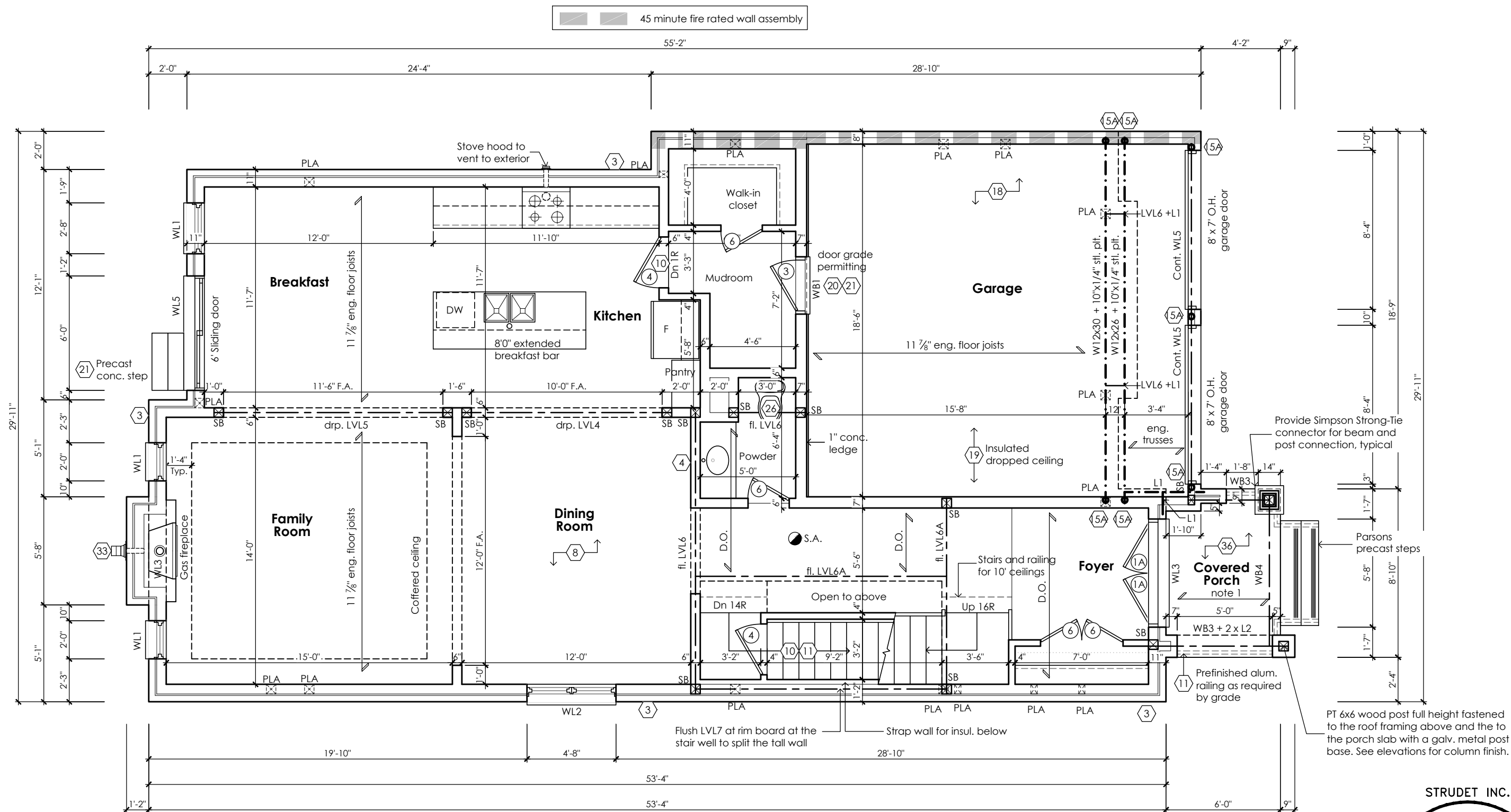


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Villa 3

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Ground Floor Plan '3'

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CITY OF RICHMOND HILL
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grade sheathing + single ply
roof membrane (slope to drain)

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROFESSIONAL ENGINEER
September 28, 2023
OFFICE OF ON 23

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Villa 3
Compliance Package A1

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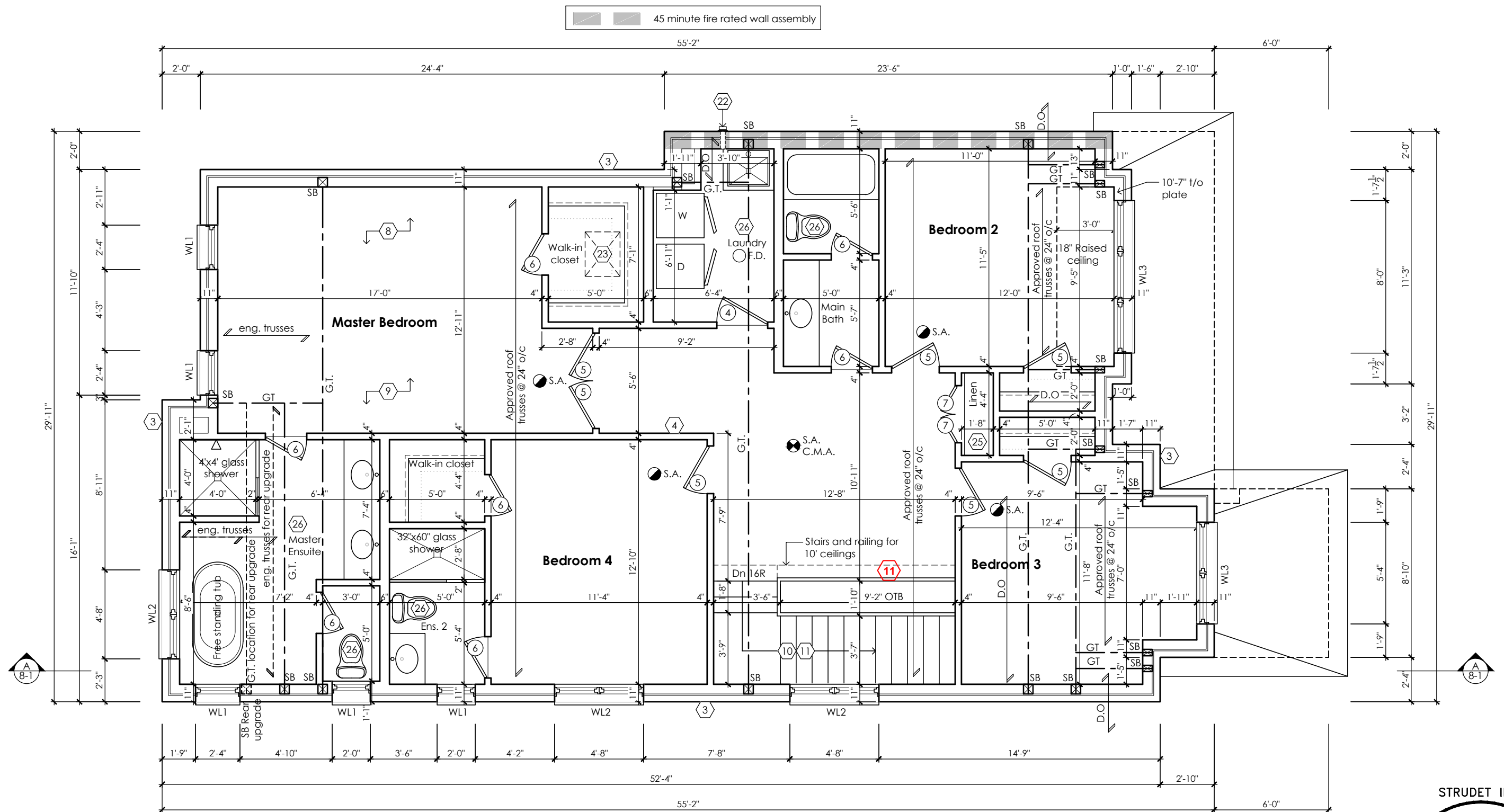
Qualification Information

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Registration Information Mackitecture 103532

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Tel: 416-735-8190 Email: info@mackitecture.ca

Ground Floor Plan Elevation 3			
scale	by	area	sheet no.
3/16" = 1'-0"	JM	2647 sq ft	2-3
date	type	project no.	
2023-09-28	36' Single	22-016	

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project name
Trinigroup Developments Inc.



Second Floor Plan '1'

CITY OF RICHMOND HILL
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08/21/2024
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Villa 3
Compliance Package A1

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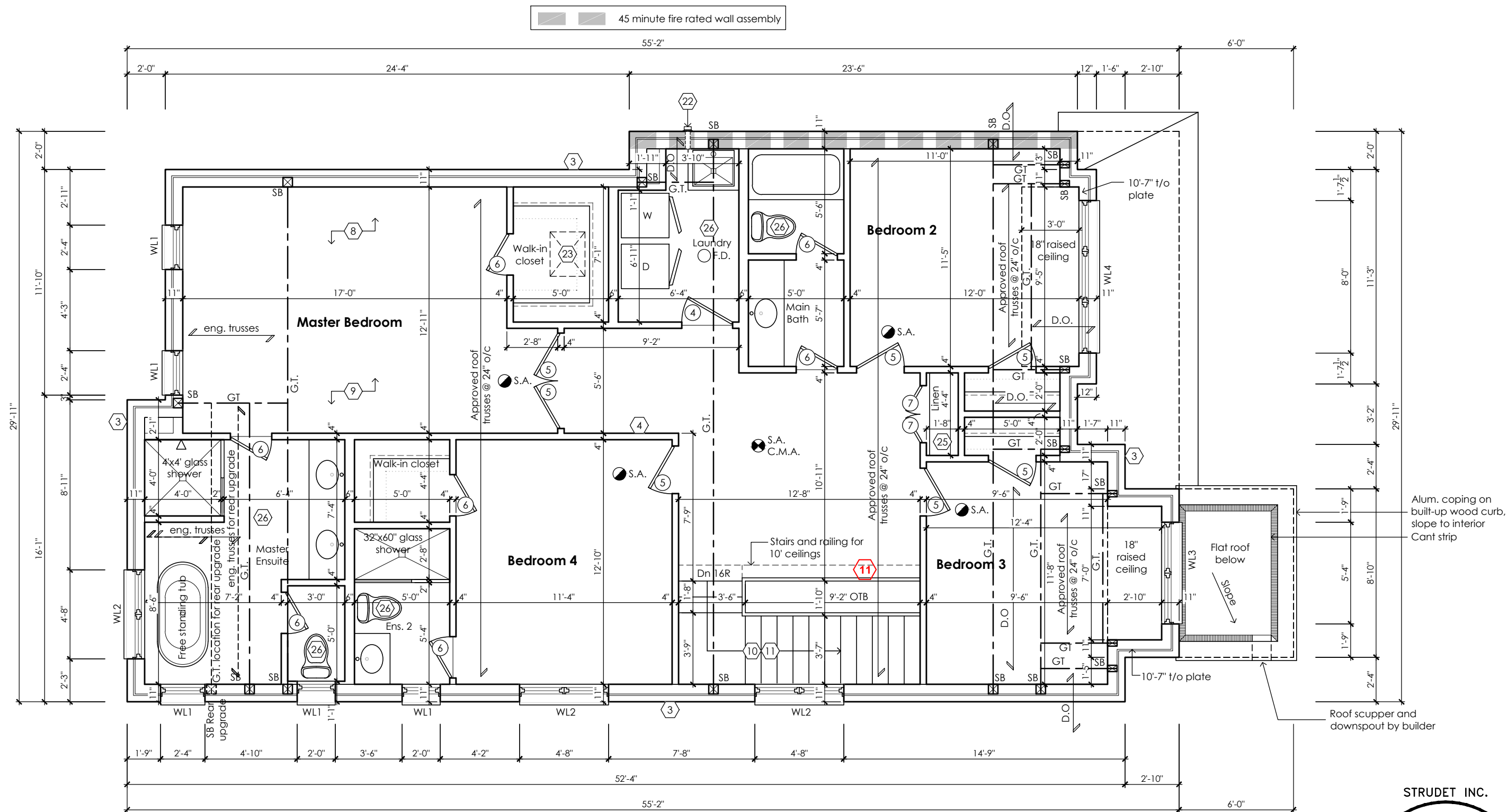
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Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

Second Floor Plan Elevation 1			
scale 3/16" = 1'-0"	by JM	area 2662 sq ft	sheet no. 3-1
date 2023-09-28	type 36' Single	project no. 22-016	

www.greenparkgroup.ca
project name
Trinigroup Developments Inc.



Second Floor Plan '2'

CITY OF RICHMOND HILL
BUILDING DIVISION
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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
September 28, 2023
PROVINCE OF ONTARIO

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Villa 3
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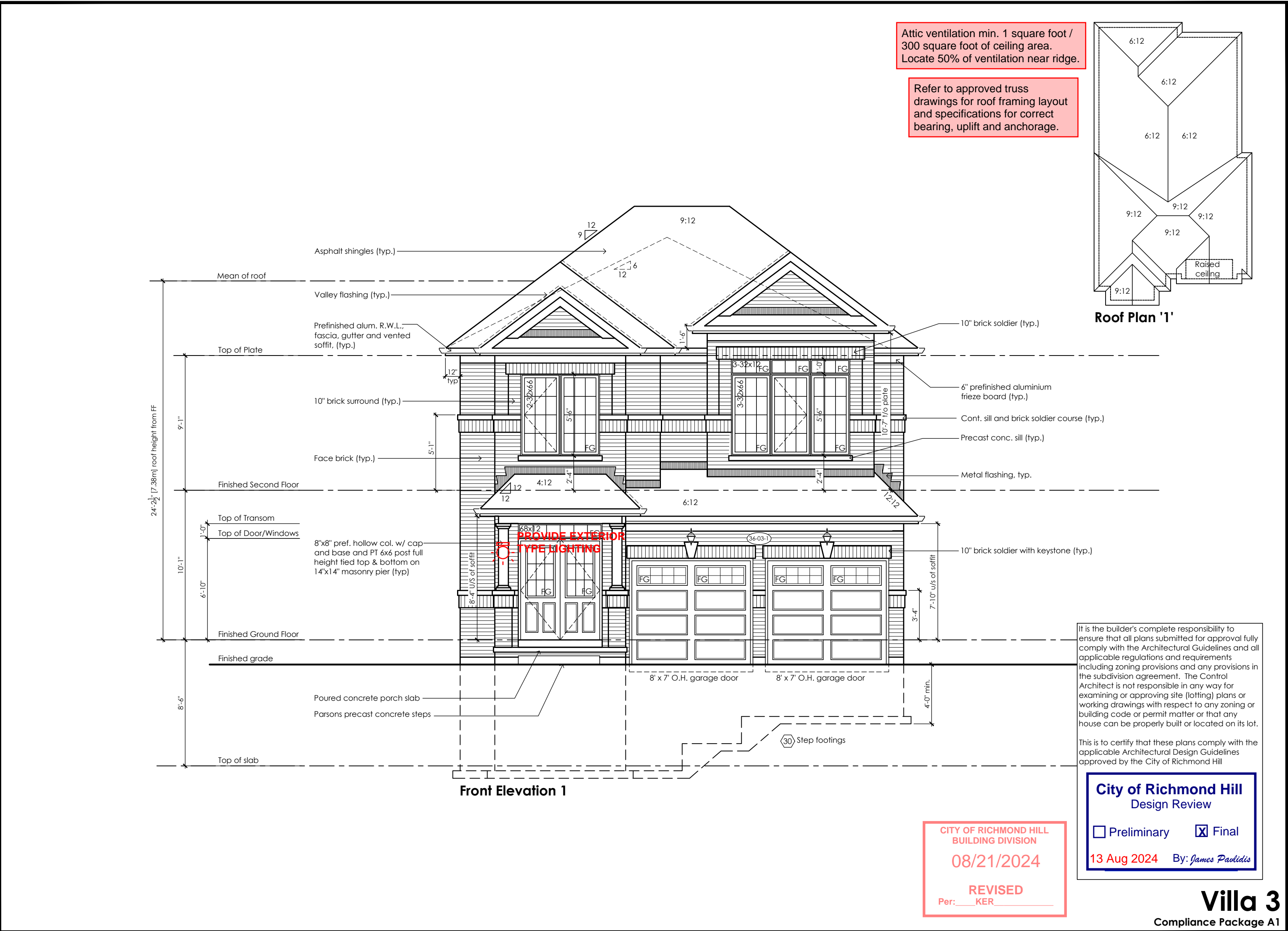
Jamie Mack 35923
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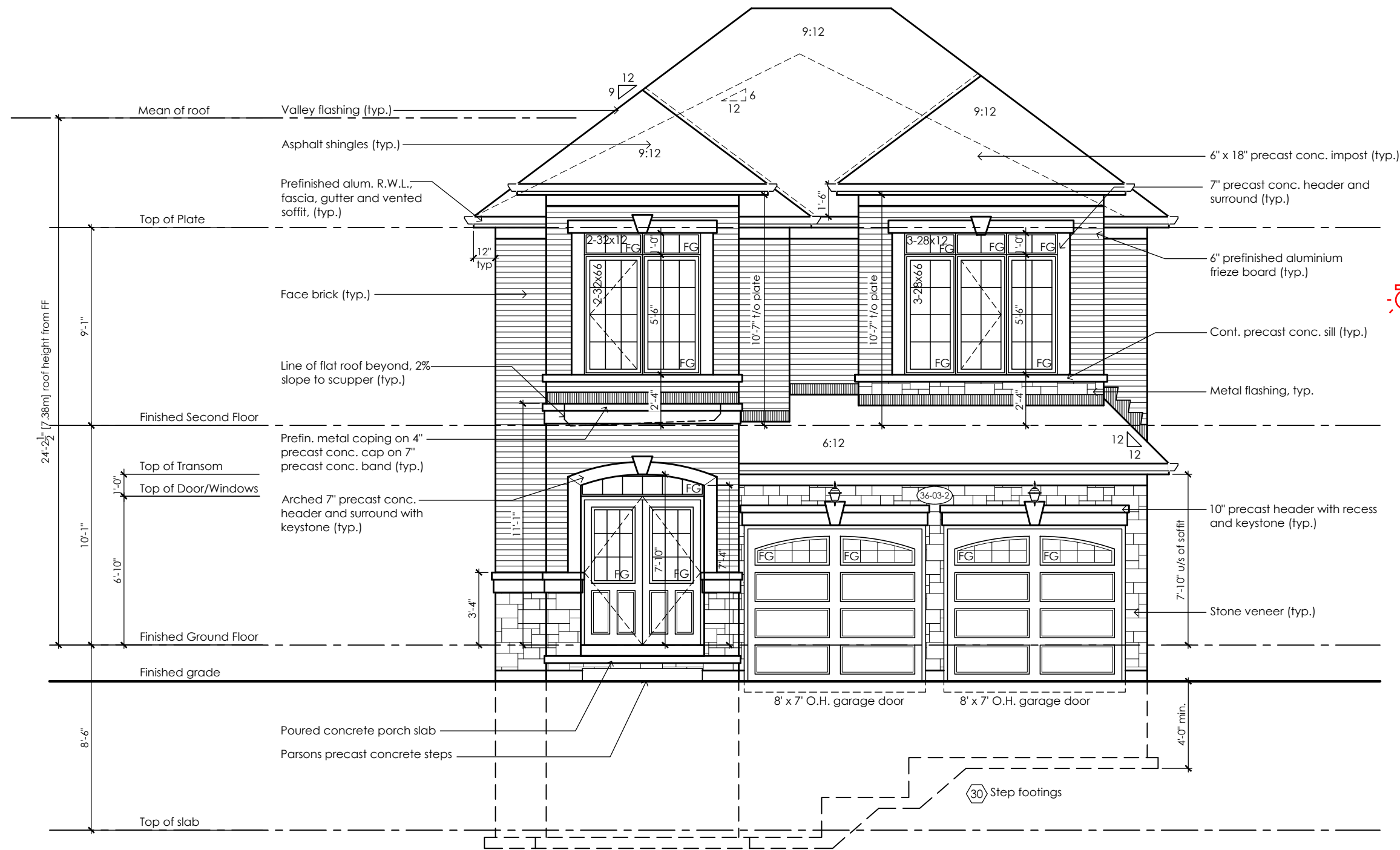
www.mackitecture.ca
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Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

Second Floor Plan Elevation 2			
scale 3/16" = 1'-0"	by JM	area 2662 sq ft	sheet no. 3-2
date 2023-09-28	type 36' Single	project no. 22-016	

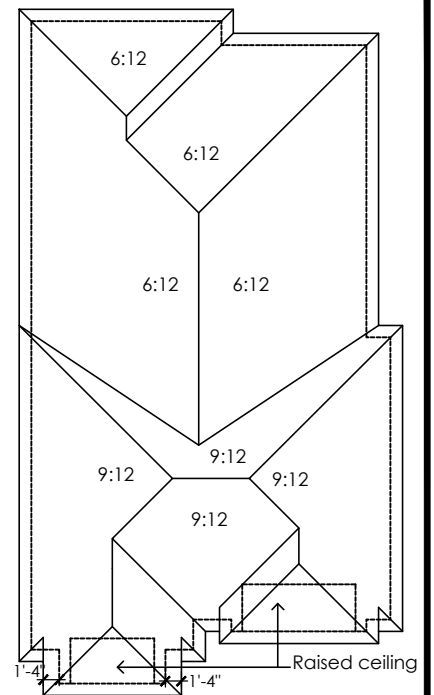
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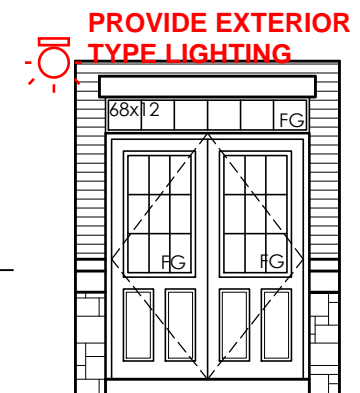


Front Elevation '2'



Roof Plan '2'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



Inside Portico Elev. '2'

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

13 Aug 2024 By: James Pavidis

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

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Villa 3

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Trinigroup Developments Inc.

Front Elevation
Elevation 2

scale	by	area	sheet no.
3/16" = 1'-0"	JM	2662 sq ft	4-2
date	type	project no.	
2023-09-28	36' Single	22-016	



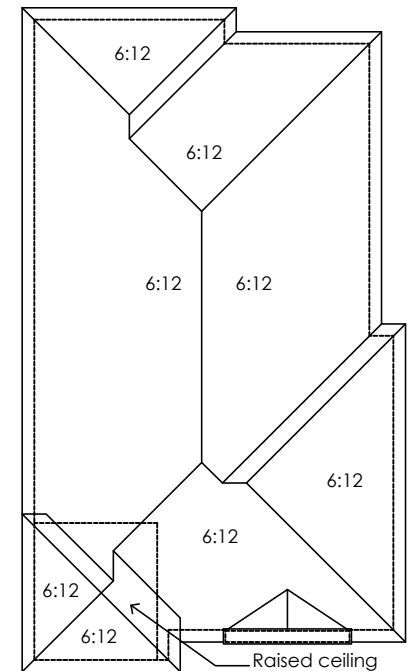
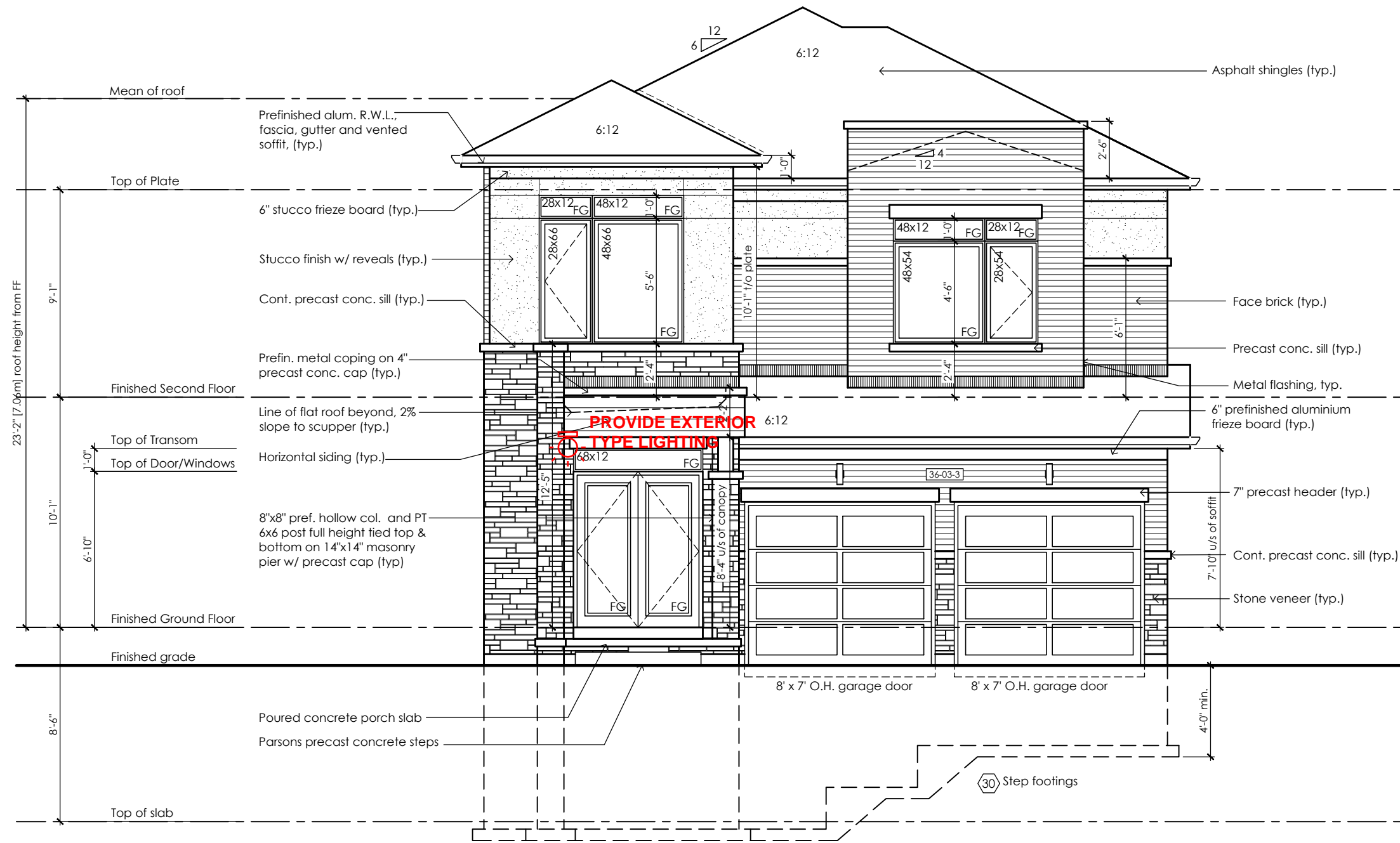
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Registration Information Mackitecture 103532

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Roof Plan '3'

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Front Elevation
Elevation 3

scale	by	area	sheet no.
3/16" = 1'-0"	JM	2647 sq ft	4-3
date	type	project no.	
2023-09-28	36' Single	22-016	



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project name
Trinigroup Developments Inc.

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Glazed Openings Calculation (OBC 9.10.15.4.)
Limiting distance: 3'-11" (1.20m)
Wall area: 1149.3 sq ft (106.77 sq m)
Permitted glazed openings: 7.0%, 80.5 sq ft (7.47 sq m)
Provided glazed openings: 5.9%, 68.1 sq ft (6.33 sq m)
Summary **70.8**
Areas calculated with a frame offset of 2.25"
2 - 15,00 x 16,00: 1.68 sq ft (0.16 sq m)
2 - 15,00 x 16,00: 1.68 sq ft (0.16 sq m)
1 - 24,00 x 42,00: 5.08 sq ft (0.47 sq m)
1 - 24,00 x 42,00: 5.08 sq ft (0.47 sq m)
1 - 28,00 x 42,00: 6.12 sq ft (0.57 sq m)
2 - 28,00 x 48,00: 14.20 sq ft (1.32 sq m)
2 - 28,00 x 48,00: 14.20 sq ft (1.32 sq m)
2 - 28,00 x 66,00: 20.07 sq ft (1.86 sq m)



Left Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL
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Design Review

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Left Side Elevation
Elevation 1

scale	by	area	sheet no.
3/16" = 1'-0"	JM	2662 sq ft	5-1
date	type	project no.	
2023-09-28	36' Single	22-016	

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2 - 28,00 x 66,00: 20.07 sq ft (1.86 sq m)

Refer to
sheet no. 5-1



Left Side Elevation '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

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Left Side Elevation
Elevation 2

scale	by	area	sheet no.
3/16" = 1'-0"	JM	2662 sq ft	5-2
date	type	project no.	
2023-09-28	36' Single	22-016	

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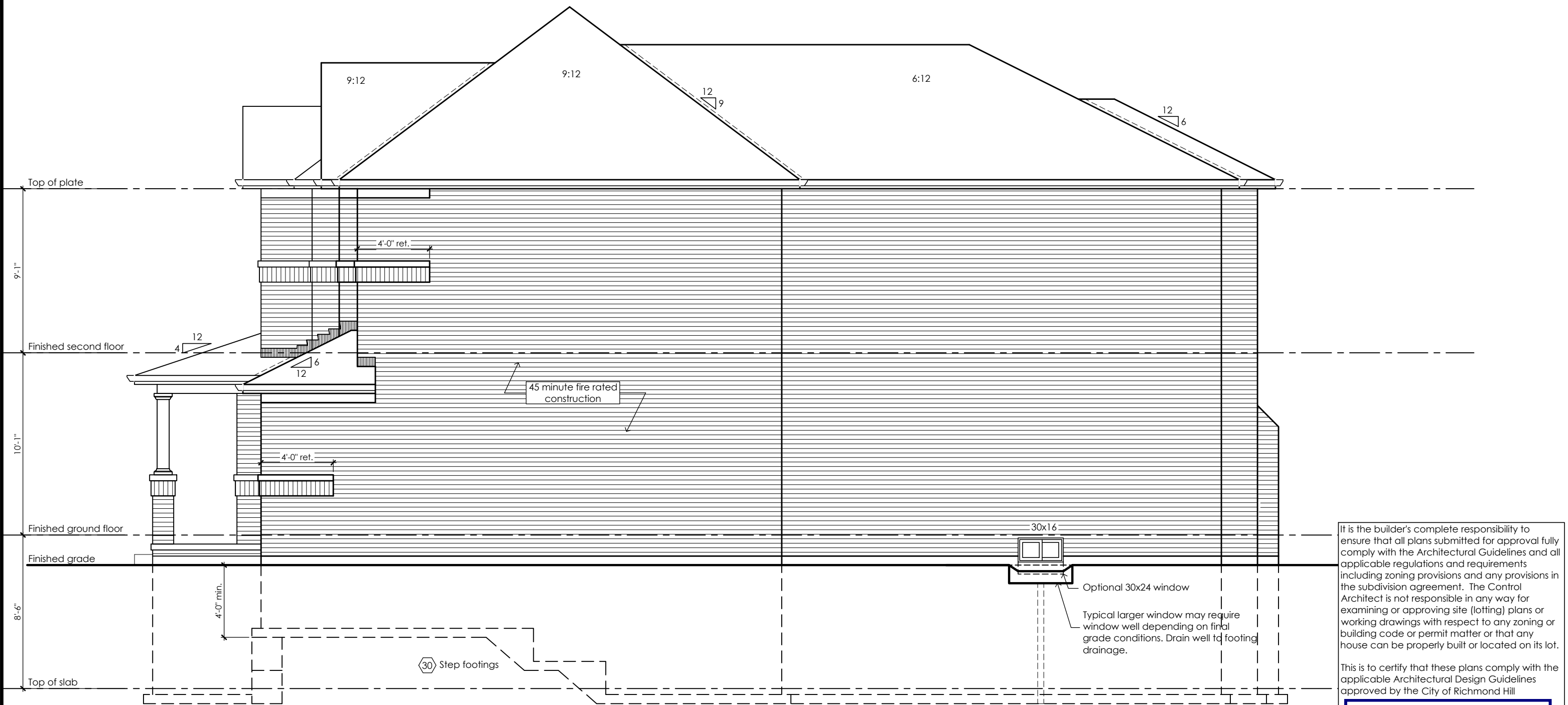
Left Side Elevation
Elevation 3
scale 3/16" = 1'-0"
date 2023-09-28
by JM
type 36' Single
area 2647 sq ft
project no. 22-016
sheet no. **5-3**

Greenpark
www.greenparkgroup.ca
project name **Trinigroup Developments Inc.**

45 Minute Fire Rated Wall Assemblies (refer to MMAH SB-2 Section 2.3.)
For exposing building face with a limiting distance less than 1.2m (3'-11")

Stud Wall with Brick Veneer
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

Rim Joist
At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

13 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 3

Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923
Name BCIN Signature

Registration Information **Mackitecture** 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

**Right Side Elevation
Elevation 1**

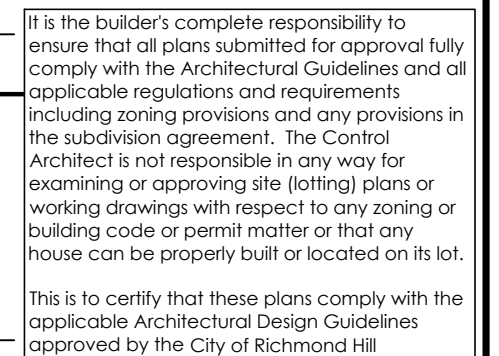
scale	by	area	sheet no.
3/16" = 1'-0"	JM	2662 sq ft	6-1
date	type	project no.	
2023-09-28	36' Single	22-016	



www.greenparkgroup.ca

project name
Trinigroup Developments Inc.

<p>Rim Joist</p> <p>At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.</p>
--



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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

13 Aug 2024 By: *James Paulidis*

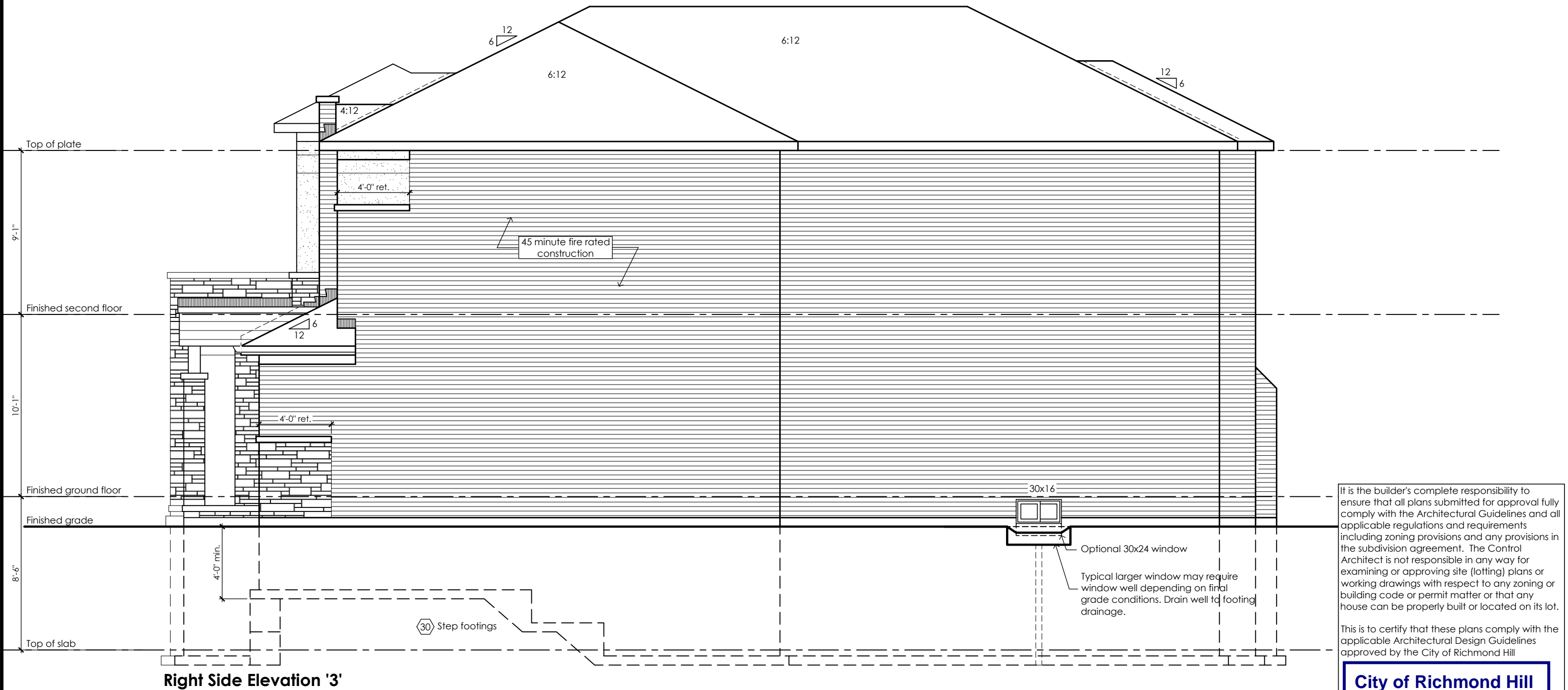
Villa 3

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.	The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer. Qualification Information			 www.mackitecture.ca 975A Elgin Street West, Suite 353 Cobourg, ON K9A 5J3 Tel: 416-735-8190 Email: info@mackitecture.ca	title Right Side Elevation Elevation 2			 www.greenparkgroup.ca		
	Jamie Mack Name	35923 BCIN	 Signature		scale 3/16" = 1'-0"	by JM	area 2662 sq ft		sheet no. 6-2	project name Trinigroup Developments Inc.
	Registration Information	Mackitecture	103532		date 2023-09-28	type 36' Single	project no. 22-016			

45 Minute Fire Rated Wall Assemblies (refer to MMAH SB-2 Section 2.3.)
For exposing building face with a limiting distance less than 1.2m (3'-11")

Stud Wall with Brick Veneer
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

Rim Joist
At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.



Right Side Elevation '3'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

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☐ Preliminary ☒ Final

13 Aug 2024 By: James Paulidis

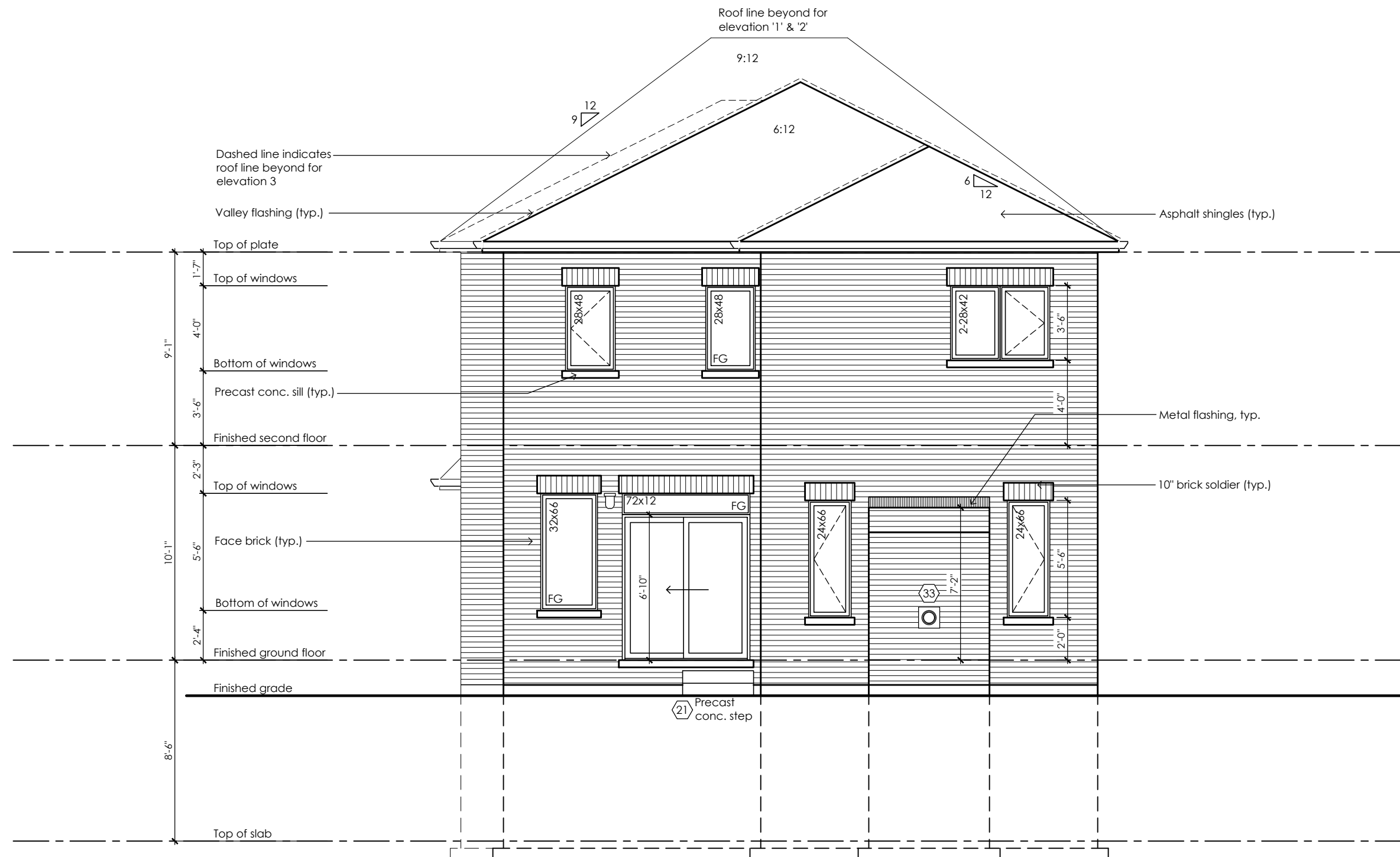
CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

Villa 3
Compliance Package A1

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Qualification Information		www.mackitecture.ca		Scale 3/16" = 1'-0"		Project Name Trinigroup Developments Inc.	
Jamie Mack 35923		975A Elgin Street West, Suite 353 Cobourg, ON K9A 5J3 Tel: 416-735-8190 Email: info@mackitecture.ca		By JM		Area 2647 sq ft	
Name BCIN		Date 2023-09-28		Type 36' Single		Project No. 22-016	
Registration Information Mackitecture 103532		Sheet No. 6-3		Drawing created with Mackitecture v.1.0.0 (build 2658). File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-VILLA 3-WD-V1.DWG plotted on 2023-09-28 at 10:54:13 AM by JMACK			



Rear Elevation '1', '2' & '3'

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13 Aug 2024 By: James Paulidis

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BUILDING DIVISION

08/21/2024

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Per: KER

Villa 3

Compliance Package A1

Greenpark

www.greenparkgroup.ca

project name
Trinigroup Developments Inc.

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Qualification Information

Jamie Mack 35923
Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

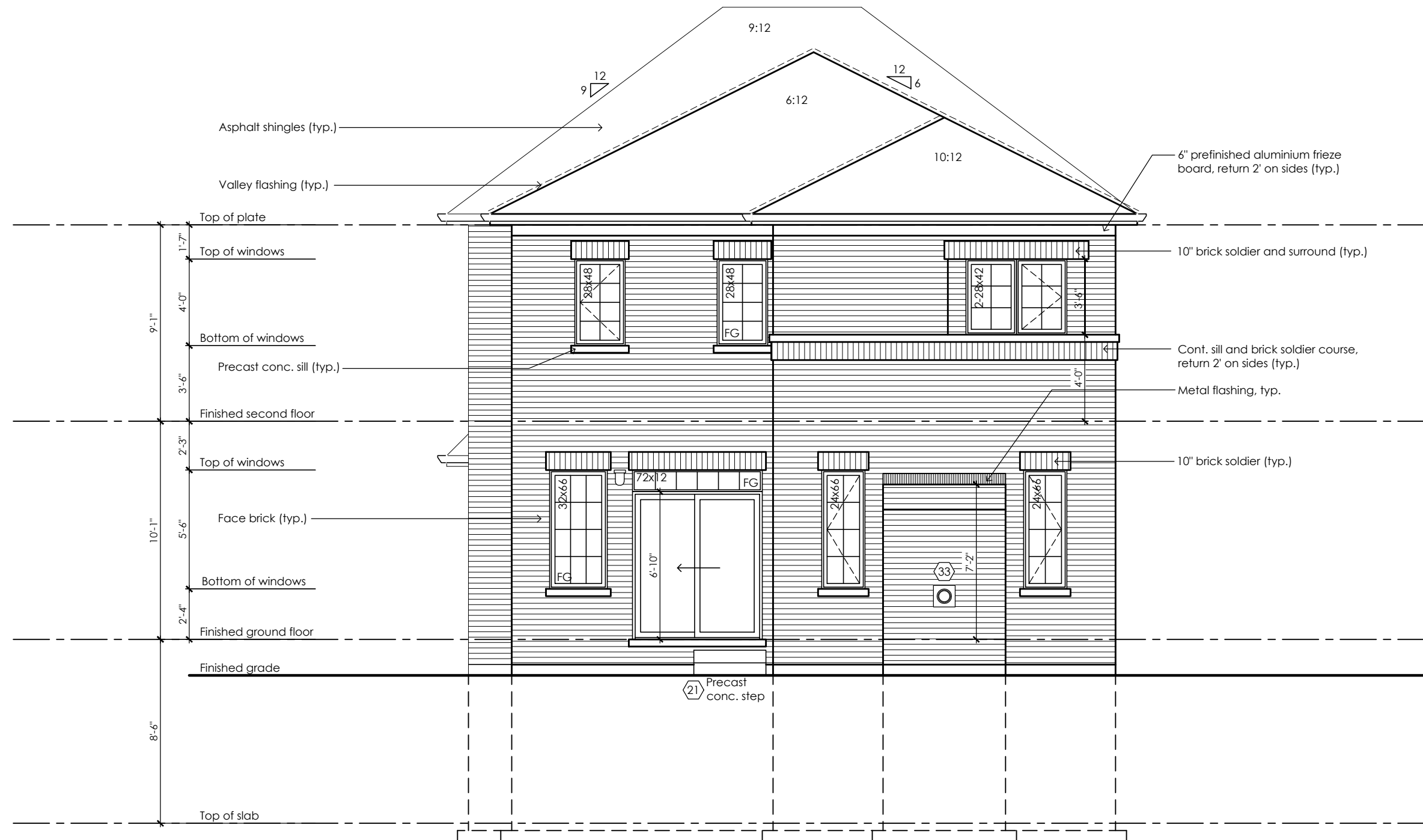
975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

title
Rear Elevation
Elevation 1, 2, 3

scale
3/16" = 1'-0"
date
2023-09-28
by
JM
type
36' Single
area
-
project no.
22-016

sheet no.
7-1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.



Rear Upgrade Elevation '1'

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

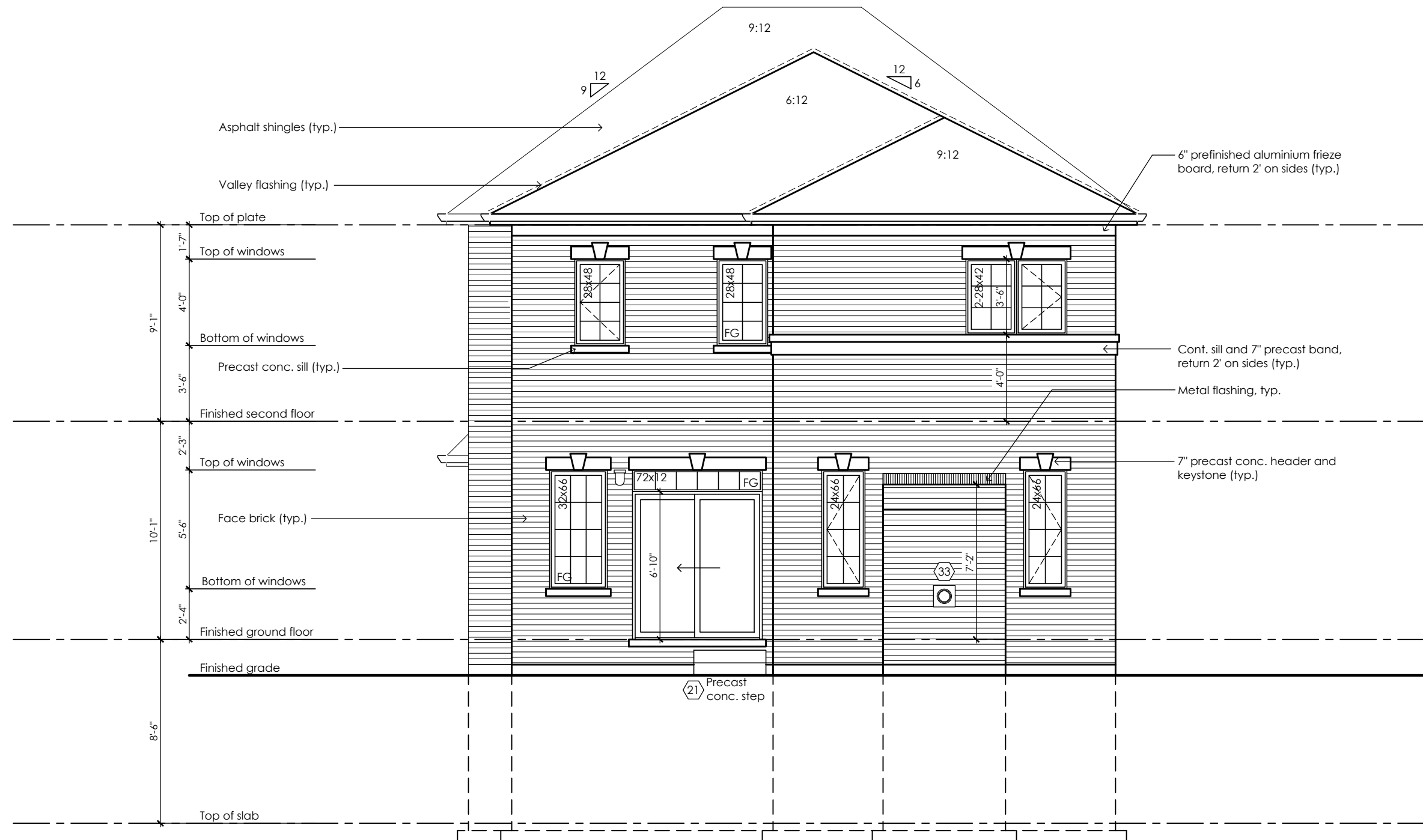
13 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

Villa 3

Compliance Package A1

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Jamie Mack	35923																				
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date 2023-09-28	type 36' Single	project no. 22-016																			
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Rear Upgrade Elevation '2'

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

13 Aug 2024 By: James Pavlidis

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

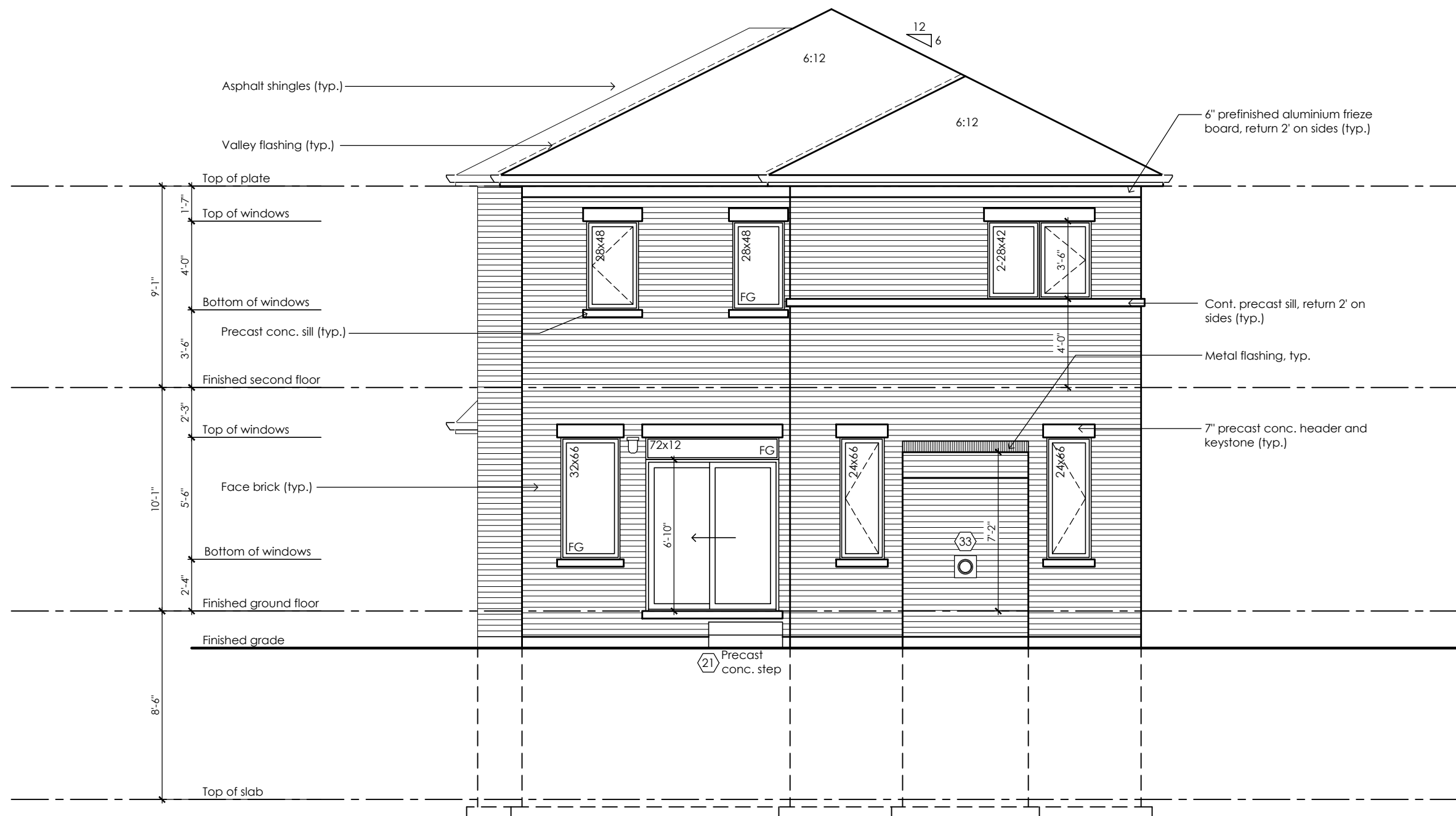
REVISED

Per: KER

Villa 3

Compliance Package A1

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Jamie Mack	35923																				
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Rear Upgrade Elevation '3'

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Design Review

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13 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL
BUILDING DIVISION

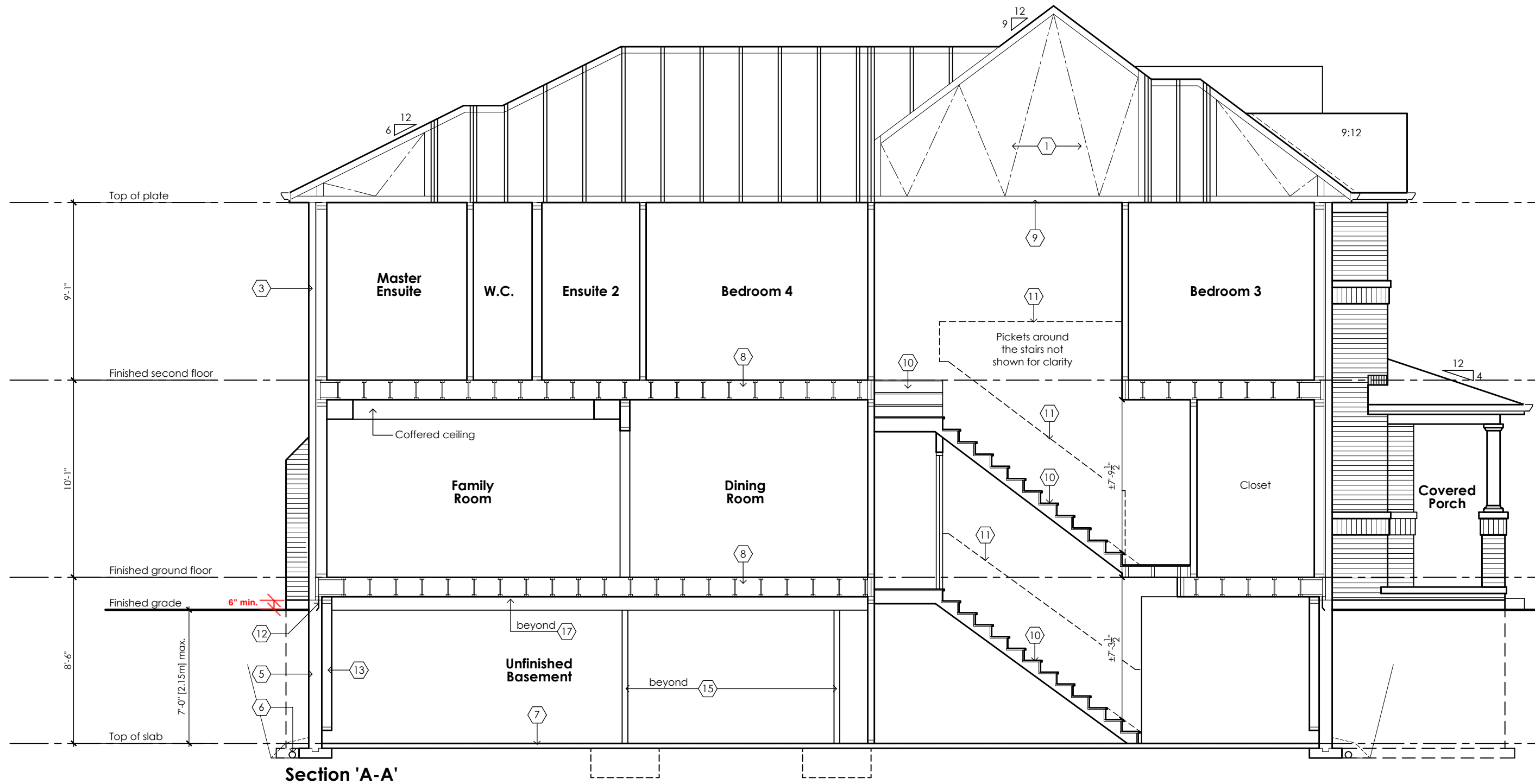
08/21/2024

REVISED
Per: KER

Villa 3

Compliance Package A1

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Section 'A-A'

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

Villa 3
Compliance Package A1

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Qualification Information

Jamie Mack 35923
Name BCIN Signature

Registration Information **Mackitecture** 103532

www.mackitecture.ca
975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

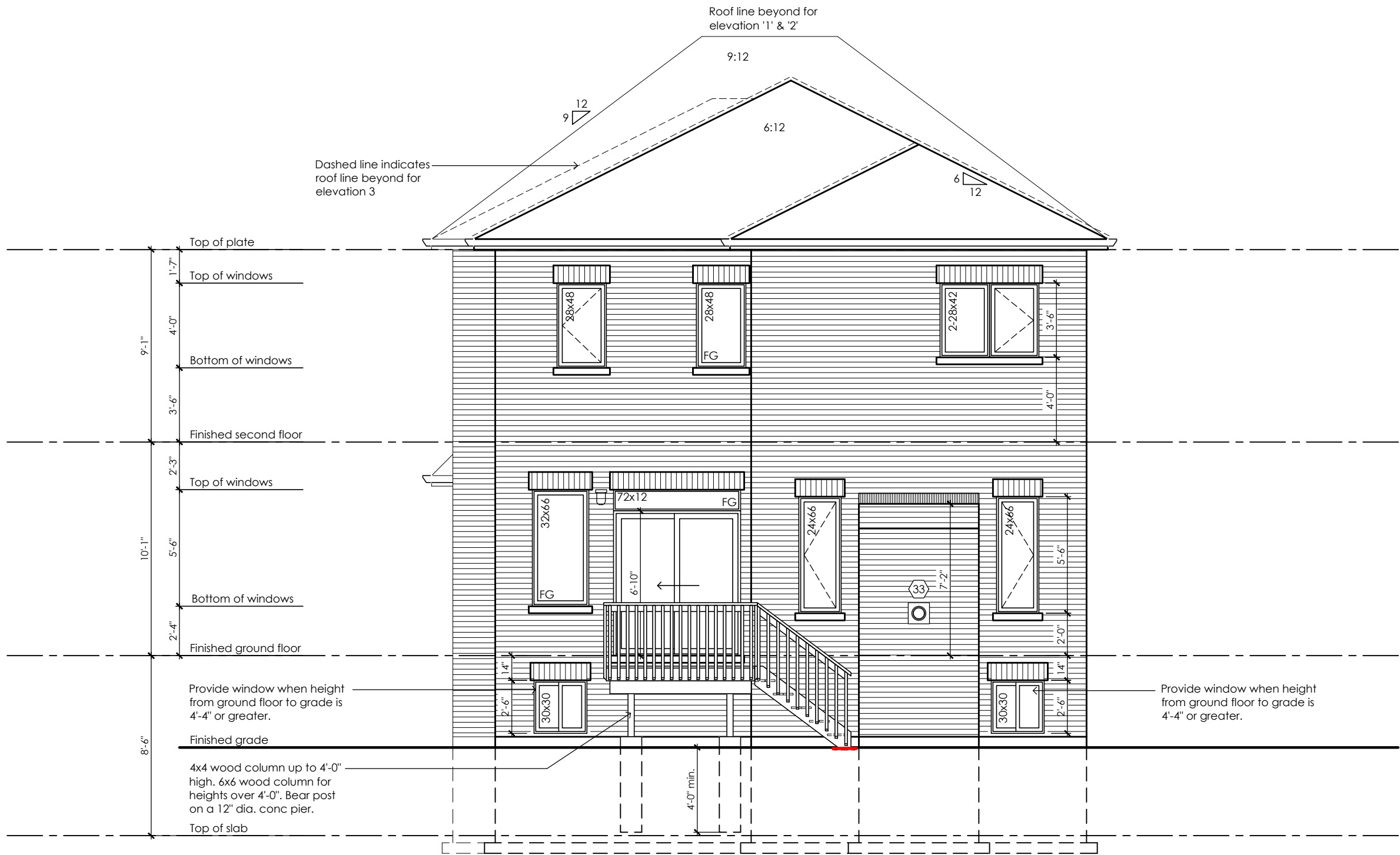
Building Section Elevations 1, 2 and 3			
scale 3/16" = 1'-0"	by JM	area -	sheet no. 8-1
date 2023-09-28	type 36' Single	project no. 22-016	

Greenpark
www.greenparkgroup.ca

project name
Trinigroup Developments Inc.

SB-12 Calculations
Rose 2 - Deck Condition

Elevation	Wall Area	Window Area	Percentage
Front	637.4 sq ft (59.2 sq m)	77.7 sq ft (7.2 sq m)	12.19%
Left side	1149.3 sq ft (106.8 sq m)	68.1 sq ft (6.3 sq m)	5.93%
Right side	0.0 sq ft (0.0 sq m)	0.0 sq ft (0.0 sq m)	0.00%
Rear	703.0 sq ft (65.3 sq m)	111.7 sq ft (10.4 sq m)	15.89%
Total	2489.7 sq ft (231.3 sq m)	257.5 sq ft (23.9 sq m)	10.34%



Rear Elevation '1', '2' & '3'
Deck Condition

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Design Review

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13 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL
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Villa 3

Compliance Package A1

Greenpark

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975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

Deck Elevation
Elevations 1, 2 and 3

scale 3/16" = 1'-0"
by JM
date 2023-09-28
type 36' Single
area -
project no. 22-016
sheet no. 9-1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.



Deck and guard construction shall comply with attached details.



 **Greenpark**
www.greenparkgroup.ca

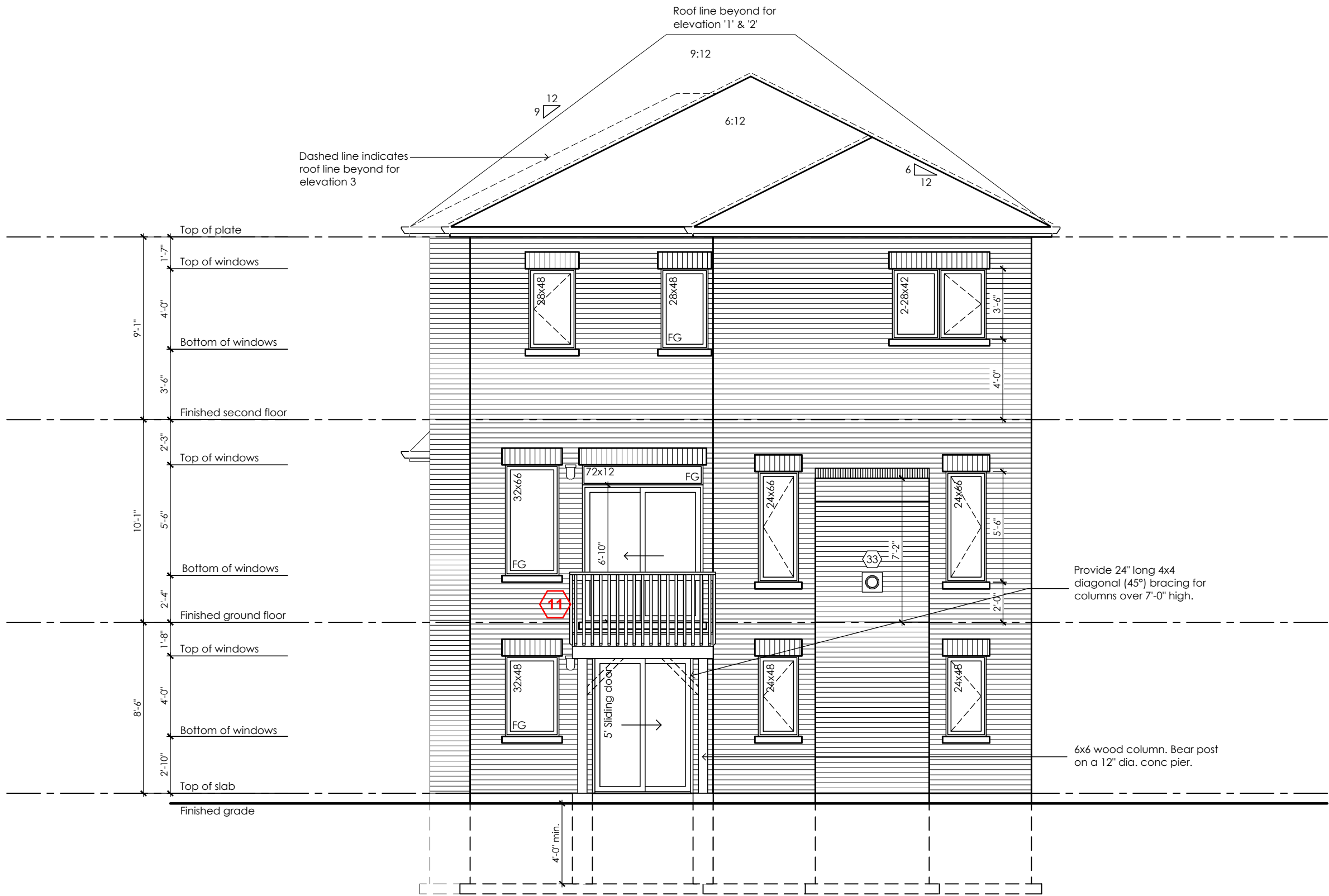
Trinigroup Developments Inc.

9-2

Drawing created with Mackitecture v.1.0.0 (build 2658), File P:\2022\22-016-GREENPARK-TRINIGROUP-RICHMOND HILL\WORKING\22-016-VILLA 3-WD-V1.DWG plotted on 2023-09-28 at 10:54:38 AM by JMACK

SB-12 Calculations
Rose 2 - Walkout Condition

Elevation	Wall Area	Window Area	Percentage
Front	637.4 sq ft (59.2 sq m)	77.7 sq ft (7.2 sq m)	12.19%
Left side	1149.3 sq ft (106.8 sq m)	68.1 sq ft (6.3 sq m)	5.93%
Right side	0.0 sq ft (0.0 sq m)	0.0 sq ft (0.0 sq m)	0.00%
Rear	842.7 sq ft (78.3 sq m)	133.6 sq ft (12.4 sq m)	15.85%
Total	2629.3 sq ft (244.3 sq m)	279.4 sq ft (26.0 sq m)	10.63%



Rear Elevation '1', '2' & '3'
Walkout Condition

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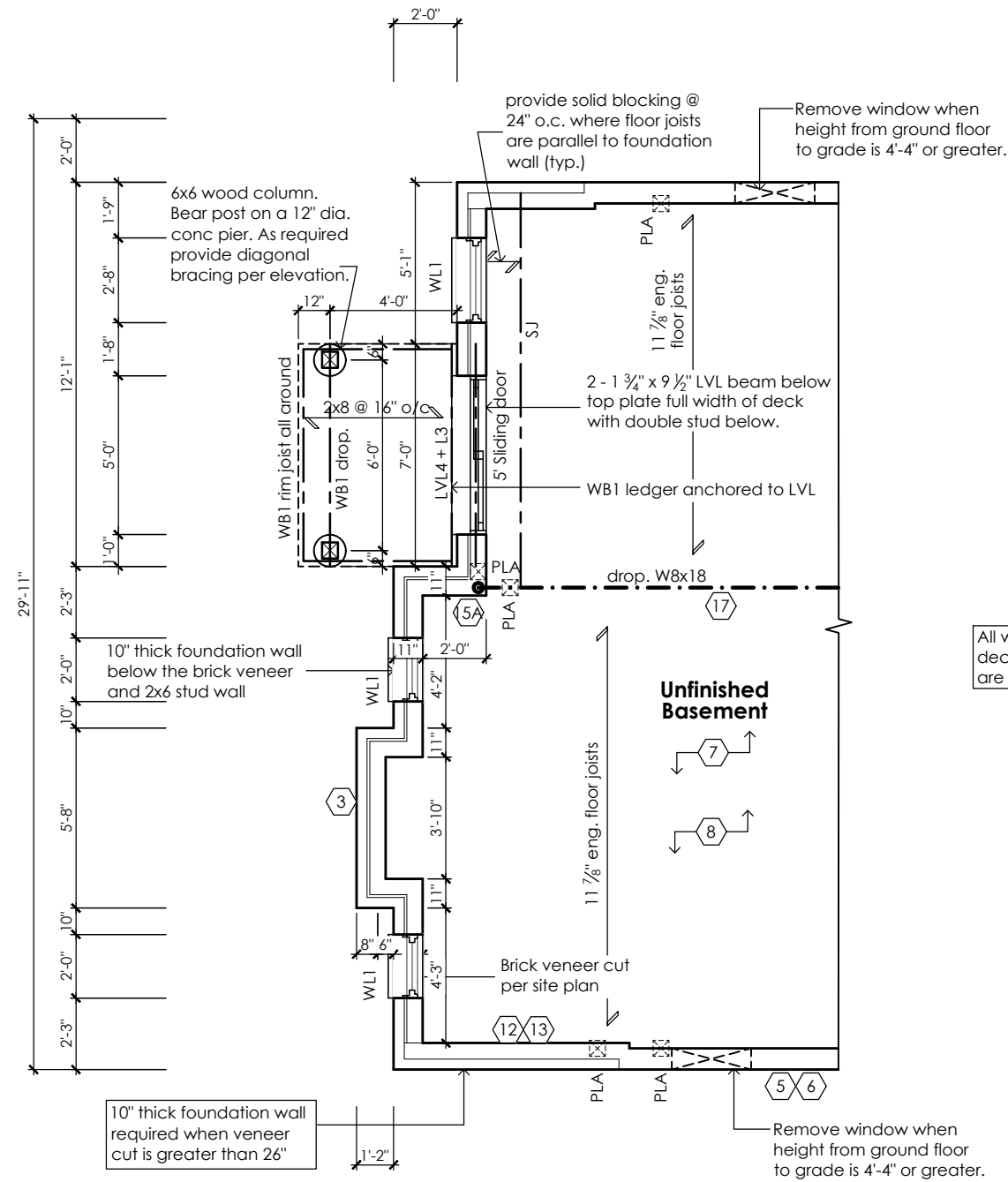
Walkout Basement Elevation
Elevations 1, 2 and 3

scale 3/16" = 1'-0"
by JM
date 2023-09-28
type 36' Single
area -
project no. 22-016
sheet no. 10-1



www.greenparkgroup.ca

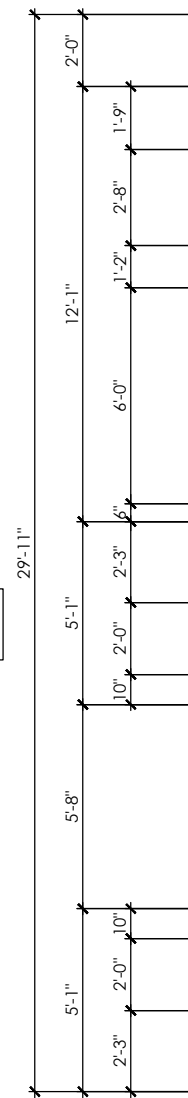
project name
Trinigroup Developments Inc.



Partial Basement Plan For Walkout Condition
Elevation '1', '2' and '3'

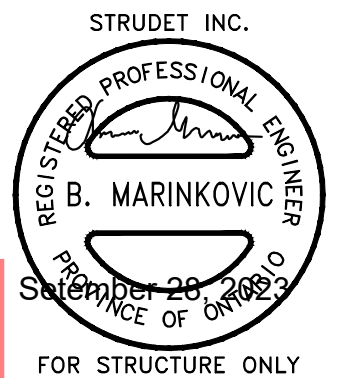
All wood deck lumber is
decay resistant and fasteners
are corrosion resistant

Deck and guard construction shall
comply with attached details.



Partial Ground Floor Plan For Walkout Condition
Elevation '1', '2' and '3'

CITY OF RICHMOND HILL
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