

CONSTRUCTION SUMMARY

Legacy Hill - Trinigroup Development Inc.

PURCHASERS: Jin BAI and Yi Se PAN

TEL:

LOT / PHASE 35 / 1	REG. PLAN # 65M-4818	HOUSE TYPE Rose 5 Elev 1 (5 Bedroom)		
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CABINETRY

1 - KITCHEN - CABINETRY PROVISION - PROVISION FOR PLUG ON ISLAND (PLUG EXTRA ORDERED SEPARATELY) 16May24 Note:	
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CERAMIC TILE

1 - DELETE ALL CERAMIC BATHROOM ACCESSORIES - DELETE TOWEL BAR, PAPER HOLDER & SOAP DISH THROUGHOUT 21Apr25 Note:	
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CONSTRUCTION

1 - FAMILY ROOM - 6 BOX WAFFLE CEILING 16May24 Note:	
1 - PROVISION FOR SHAMPOO NICHE APPROX. 14” WIDE X 20” HIGH AS PER SKETCH – IF CONSTRUCTION PERMITS 16May24 Note:	
MASTER ENSUITE	
1 - MASTER ENSUITE - PROVISION FOR FRAMELESS GLASS SHOWER ENCLOSURE - REMOVE SIDE WALL AND REPLACE WITH GLASS TO ACCOMMODATE FRAMELESS GLASS SHOWER ENCLOSURE SEE SKETCH 16May24 Note:	
1 - SMOOTH CEILING ON SECOND FLOOR 16May24 Note:	
1 - SMOOTH CEILINGS ON FIRST FLOOR 16May24 Note:	
1 - LOWER LEVEL - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL 27Oct23 Note:	
1 - FIRST FLOOR INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET 27Oct23 Note:	

COUNTER TOP

1 - MASTER ENSUITE - SHAMPOO NICHE 14” WIDE X 20” HIGH AS PER SKETCH – MARBLE, GRANITE OR QUARTZ – IF CONSTRUCTION PERMITS - REQUIRES PROVISION FROM CONSTRUCTION 16May24 Note: SUPPLY & INSTALL	
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ELECTRICAL

1 - ELECTRIC VEHICLE ROUGH-IN PROVISION ONLY FOR FUTURE ELECTRIC CAR (CONDUIT FROM BASEMENT INTO JUNCTION BOX IN GARAGE WITH PULL STRING, NO WIRE) 18Jul24 Note:	
3 - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH 16May24 Note: FOR POT LIGHTS FAMILY ROOM, LIVING ROOM & DINING ROOM	
4 - LIVING ROOM - POT LIGHT - LED - FIRST FLOOR INSTALLATION 16May24 Note: STANDARD LIGHT ON SEPARATE SWITCH	
4 - DINING ROOM - POT LIGHT - LED - FIRST FLOOR INSTALLATION 16May24 Note: STANDARD LIGHT ON SEPARATE SWITCH	
1 - KITCHEN - RELOCATE STANDARD KITCHEN LIGHT TO BE CENTERED OVER ISLAND 16May24 Note:	

RECEIVED

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6 - KITCHEN - POT LIGHT - LED - FIRST FLOOR INSTALLATION 16May24 Note: STANDARD LIGHT ON SEPARATE SWITCH	
4 - BREAKFAST AREA - POT LIGHT - LED - FIRST FLOOR INSTALLATION 16May24 Note: STANDARD LIGHT ON SEPARATE SWITCH	
6 - FAMILY ROOM - POT LIGHT - LED - FIRST FLOOR INSTALLATION 16May24 Note: DELETE STANDARD CEILING LIGHT	
4 - FAN - BATHROOM EXHAUST FAN - ENERGY STAR 80 CFM - IN LIEU OF STANDARD FAN MASTER ENSUITE, ENSUITE 2, ENSUITE 3 & SHARED ENSUITE 4/5 16May24 Note:	
1 - PLUG - ELECTRICAL PLUG - TO BE INSTALLED OVER FIREPLACE 16May24 Note:	
1 - KITCHEN - PLUG - ELECTRICAL PLUG - ADD TO ISLAND 16May24 Note:	

FIREPLACE AND ACCESSORIES

1 - GAS LINE ROUGH-IN FOR STOVE (INCLUDES ELECTRICAL OUTLET) - FIRST FLOOR 16May24 Note:	
1 - GAS LINE ROUGH-IN FOR BARBECUE - FIRST FLOOR 16May24 Note:	

HEATING AND AIR CONDITIONING

1 - HUMIDIFER (MANUAL) 16May24 Note:	
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MIRRORS AND GLASS

1 - MASTER ENSUITE – FRAMELESS GLASS SHOWER ENCLOSURE – INCLUDES CHROME KNOB AND HINGES 16May24 Note:	
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MISCELLANEOUS

1 - GARAGE DOOR OPENER - LIFTMASTER 8155 WITH BELT DRIVE - INCLUDES 1 KEY PAD & 2 HANDHELD CONTROLS - PRICE IS FOR TWO GARAGE DOOR 16May24 Note:	
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PLUMBING

1 - MASTER ENSUITE - DELTA SHOWER KIT - DELTA CONTEMPORARY SQUARE CHROME - DF-KIT19 16May24 Note:	
3 - DELTA - IN2ITION 4 SETTING HAND SHOWER #58499 CHROME IN LIEU OF STANDARD SHOWER HEAD ENSUITE 2, ENSUITE 3 & SHARED ENSUITE 4/5 16May24 Note: ENSUITE 2, ENSUITE 3 & SHARED ENSUITE 4/5	
1 - KITCHEN - DELTA - WALL MOUNT POT FILLER - CONTEMPORARY #1165LF - CHROME 16May24 Note:	
1 - WATER LINE FOR FRIDGE - ROUGH-IN ONLY 16May24 Note:	

PROMOTIONAL

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1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 27Oct23 Note:				

EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Ten <i>Worksheet</i> Note:	
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This Document is Extremely Time Sensitive - Printed 21 Apr 25 at 10:52

Purchasers:Jin BAI & Yi Se PAN

Property: 35

Telephone Res. / Bus: /

Project: Trinigroup Development Inc.

Decor Advisor: Ida Viola

Model and Elevation: Rose 5 Elev 1 (5 Bedroom)

Lock Date: 21-Apr-25

21-Apr-25

Plan #: 65M-4818

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	DORAL W500	464SA
Laundry Room	ELISSE	Standard
Powder Room	DORAL W500	464SA
Master Ensuite Bathroom	DORAL W500	464SA
Ensuite Bath - Bedroom 2	DORAL W500	464SA
Ensuite Bath - Bedroom 3	DORAL W500	464SA
Ensuite Bath - Bedroom 4/5	DORAL W500	464SA

Stove Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge	Niche
Kitchen / Breakfast	GRANITE-GRIGIO SARDO	#370 EDGE	
Laundry Room	N/A		
Powder Room	LAMINATE-WHITE CARRARA 4924-38		
Master Ensuite Bathroom	LAMINATE-WHITE CARRARA 4924-38		Quartz-Atmosfera Aurum Strand
Ensuite Bath - Bedroom 2	LAMINATE-WHITE CARRARA 4924-38		
Ensuite Bath - Bedroom 3	LAMINATE-WHITE CARRARA 4924-38		
Ensuite Bath - Bedroom 4/5	LAMINATE-WHITE CARRARA 4924-38		
Kitchen Backsplash	N/A		

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3. Ceramic Flooring

At a 45

Entrance Vestibule	TILE-LOFT CENDRA 12 5 X 12.5	☐
Main Hall	HARDWOOD	☐
Kitchen / Breakfast	TILE-LOFT CENDRA 12 5 X 12.5	☐
Laundry Room	TILE-LOFT CENDRA 12.5 X 12.5	☐
Powder Room	TILE-LOFT CENDRA 12 5 X 12.5	☐
Master Ensuite Bathroom	TILE-LOFT CENDRA 12 5 X 12.5	☐
Ensuite Bath - Bedroom 2	TILE-LOFT CENDRA 12.5 X 12.5	☐
Ensuite Bath - Bedroom 3	TILE-LOFT CENDRA 12.5 X 12.5	☐
Ensuite Bath - Bedroom 4/5	TILE-LOFT CENDRA 12.5 X 12.5	☐
Mud Room	TILE-LOFT CENDRA 12.5 X 12.5	☐
		☐

** Refer to Construction Summary ** METAL STRIP THRESHOLD WHERE APPLICABLE UNLESS SPECIFIED **

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall		
Shower Stall	TILE-SILVIA WHITE 8X16	
Bathtub Enclosure Walls		
Ensuite Bath - Bedroom 2	TILE-SILVIA WHITE 8X16	
Ensuite Bath - Bedroom 3	TILE-SILVIA WHITE 8X16	
Ensuite Bath - Bedroom 4/5	TILE-SILVIA WHITE 8X16	
Mud Room		
Kitchen Backsplash		

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Trim Carpentry

Interior Doors	CARRARA-SMOOTH
Interior Trim	As Per Construction Specifications

** Refer to Construction Summary

6. Plaster Mouldings and Medallions

Entrance Vestibule			Kitchen/Breakfast		
Main Hall			Den/Library		
Living Room			Lower Landing		
Dining Room					
Family Room					

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7. Other Flooring

Main Hall	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Living Room	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Dining Room	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Family Room	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Den / Library / Study	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Basement Landing(If Applies)	N/A
Lower Landing (If Applies)	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Upper Landing	HARDWOOD - STANDARD 3 1/4" NATURAL RED OAK
Upper Hall	LAMINATE -STANDARD NAUTRAL RED OAK
Master Bedroom	LAMINATE -STANDARD NAUTRAL RED OAK
Bedroom #2	LAMINATE -STANDARD NAUTRAL RED OAK
Bedroom #3	LAMINATE -STANDARD NAUTRAL RED OAK
Bedroom #4	LAMINATE -STANDARD NAUTRAL RED OAK
Bedroom #5	LAMINATE -STANDARD NAUTRAL RED OAK

Underpad

Standard☐

Upgrade

** Refer to Construction Summary

8. Railings and Pickets

Railing Type	AS PER CONSTRUCTION SPECIFICATIONS	Colour	NATURAL RED OAK
Picket Type	AS PER CONSTRUCTION SPECIFICATIONS	Colour	NATURAL RED OAK
Stringer / Riser	AS PER CONSTRUCTION SPECIFICATIONS	Colour	NATURAL RED OAK
Treads	AS PER CONSTRUCTION SPECIFICATIONS	Colour	NATURAL RED OAK

Red Oak Stairs as Per Vendor's Standard

** Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall	22 WARM GREY	Master Bedroom	22 WARM GREY
Living Room	22 WARM GREY	Bedroom #2	22 WARM GREY
Dining Room	22 WARM GREY	Bedroom #3	22 WARM GREY
Kitchen / Breakfast	22 WARM GREY	Bedroom #4	22 WARM GREY
Family Room	22 WARM GREY	Bedroom #5	22 WARM GREY
Powder Room	22 WARM GREY	Master Ensuite	22 WARM GREY
Laundry Room	22 WARM GREY	Ensuite Bath - Bedroom 2	22 WARM GREY
Den/Library	22 WARM GREY	Ensuite Bath - Bedroom 3	22 WARM GREY
Trim & Door Paint-Semi Gloss	WHITE	Ensuite Bath - Bedroom 4/5	22 WARM GREY
		Mud Room	22 WARM GREY

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10. Fireplace

Living Room

Purchased

As Per Plan

N/A

Family Room

Purchased

As Per Plan

N/A

Other Room - Specify

Fireplace Type

Mantle Type

Colour / Stain

Surround

Hearth

As Per Construction Specifications

MANTLE M2-STANDARD

AS PER CONSTRUCTION SPECIFICATIONS

BIANCO

NO

** Refer to Construction Summary

11. Air Conditioning

Air Conditioning

NO

Comment

** Refer to Construction Summary

12. General Comments

** Refer to Construction Summary

Disclaimers and Notes

1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

5) In the event of a conflict between the Standard Features schedule of the Agreement of Purchase and Sale and the Interior Colour Scheme, the Interior Colour Scheme shall prevail.

Signature:

Date:

Apr 21, 2025

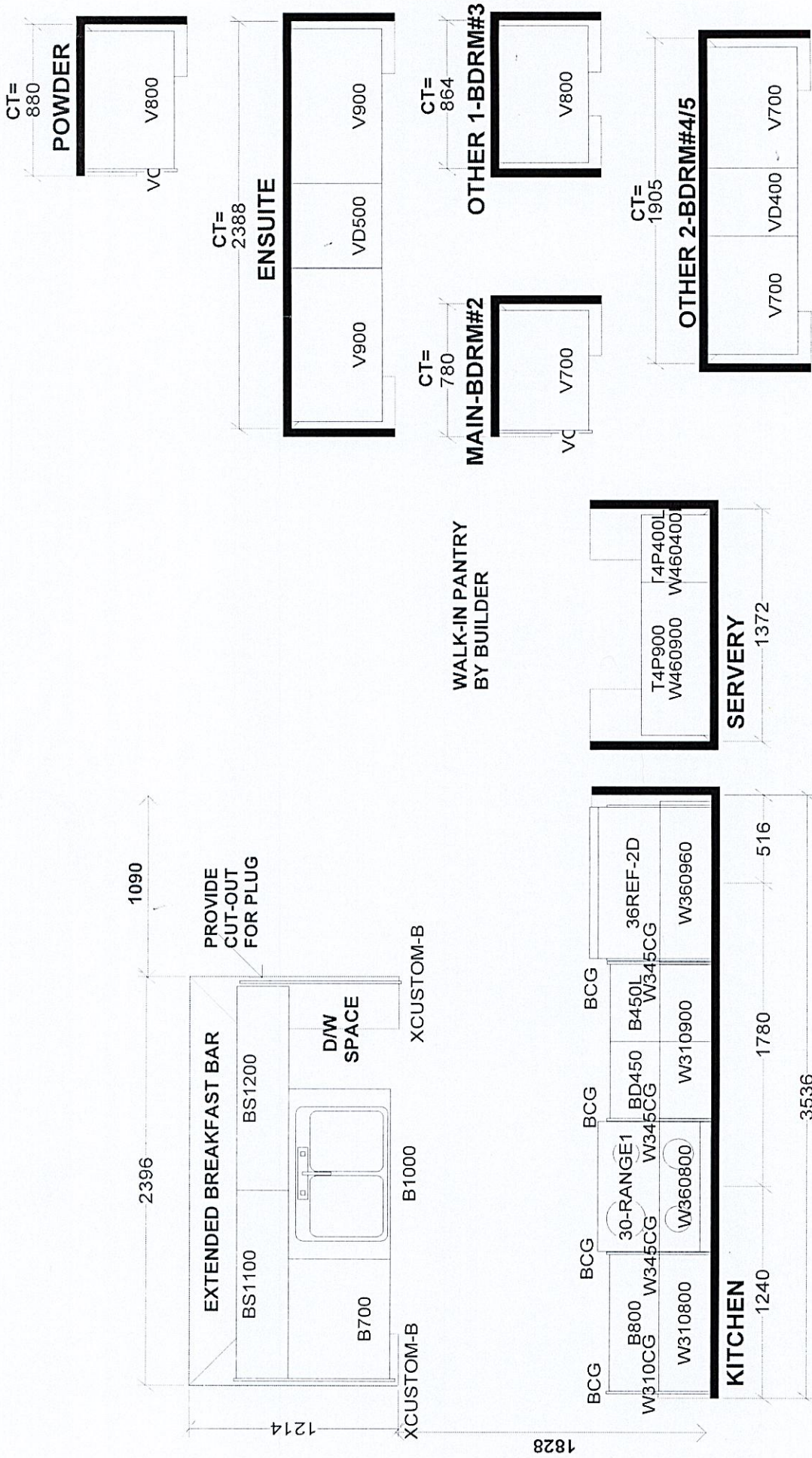
Signature:

Date:

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35 legacy



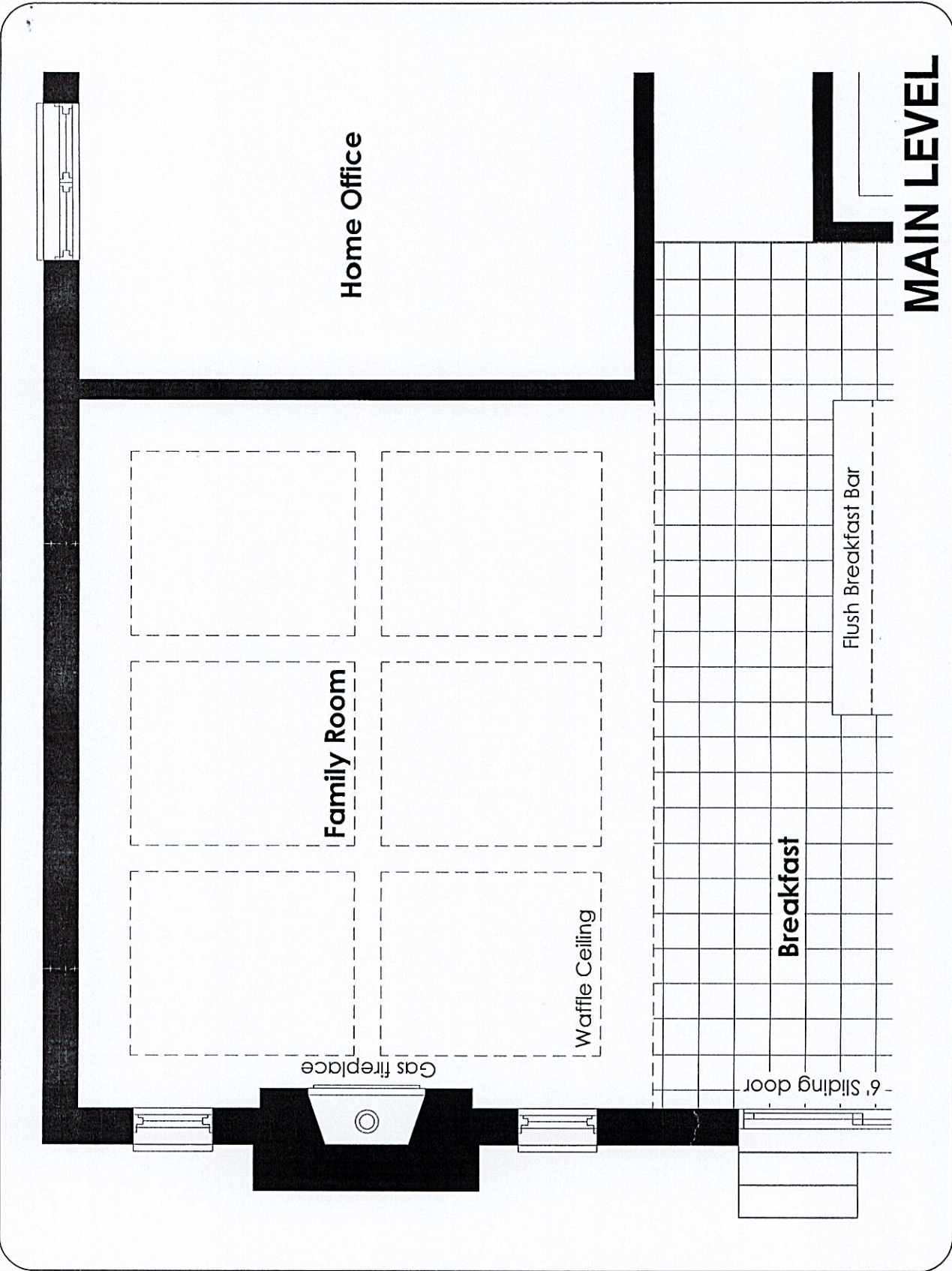
Selba Industries		J # _____	
This drawing is the intellectual property of SELBA INDUSTRIES INC. and is an original design which must not be released or copied unless applicable fee has been paid or job order placed.			
W WIDTH _____ W HGHT _____ W CNT _____		JOB NUMBER: _____	
FLOOR HGHT _____ DOOR HGHT _____		BUILDER: GREENPARK HOMES	
ST CENT _____ 2X4 _____ VENT BOX COVER _____		SITE: TRINI GROUP, Richmond Hill	
DESIGNER: KS		MODEL: ROSE 5X OPT 5 BD EL 1,2,3	
DATE: OCT 19 23		LOT #:	

LOT 35
TRINIGROUP
LEGACY HILL
CITY OF RICHMOND HILL

ROSE 5
ELEVATION 1

REVISIONS:

- REVISE COFFERED
CEILING INTO WAFFLE
CEILING.



DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

REGION
DESIGN
INC.

SCALE
BY
CV
PAGE No.
1 OF 1
N.T.S.



Elev. 1: 3,357 sq.ft. Elev. 2: 3,337 sq.ft. Elev. 3: 3,339 sq.ft.

* Smooth Cellings: - 1st & 2nd Floor *

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variances. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model views may vary due to siting. E. O. E. September 2023