

BRICK VENEER LINTELS

ML1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
 ML2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 ML3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 ML4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 ML5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 ML6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 ML7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 ML8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 ML9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
 WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
 WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
 WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
 WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
 WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
 WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
 WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
 WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)
 LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
 L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
 L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
 L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
 L5 = 6"x4"x3/8" (150x100x10.0L)
 L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10"
 FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW
 FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY
 WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER
 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW
 FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH
 REINFORCING
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH
 REINFORCING
 BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
 WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING
 CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO
 BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
 F2 = 36"x36"x18" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
 F2 = 40"x40"x18" CONCRETE PAD
 F3 = 34"x34"x14" CONCRETE PAD
 F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE
 PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10"
 POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS
 (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH
 5-8% AIR ENTRAINMENT

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
 O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF
 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
 ALL ROOF FRAMING INFORMATION

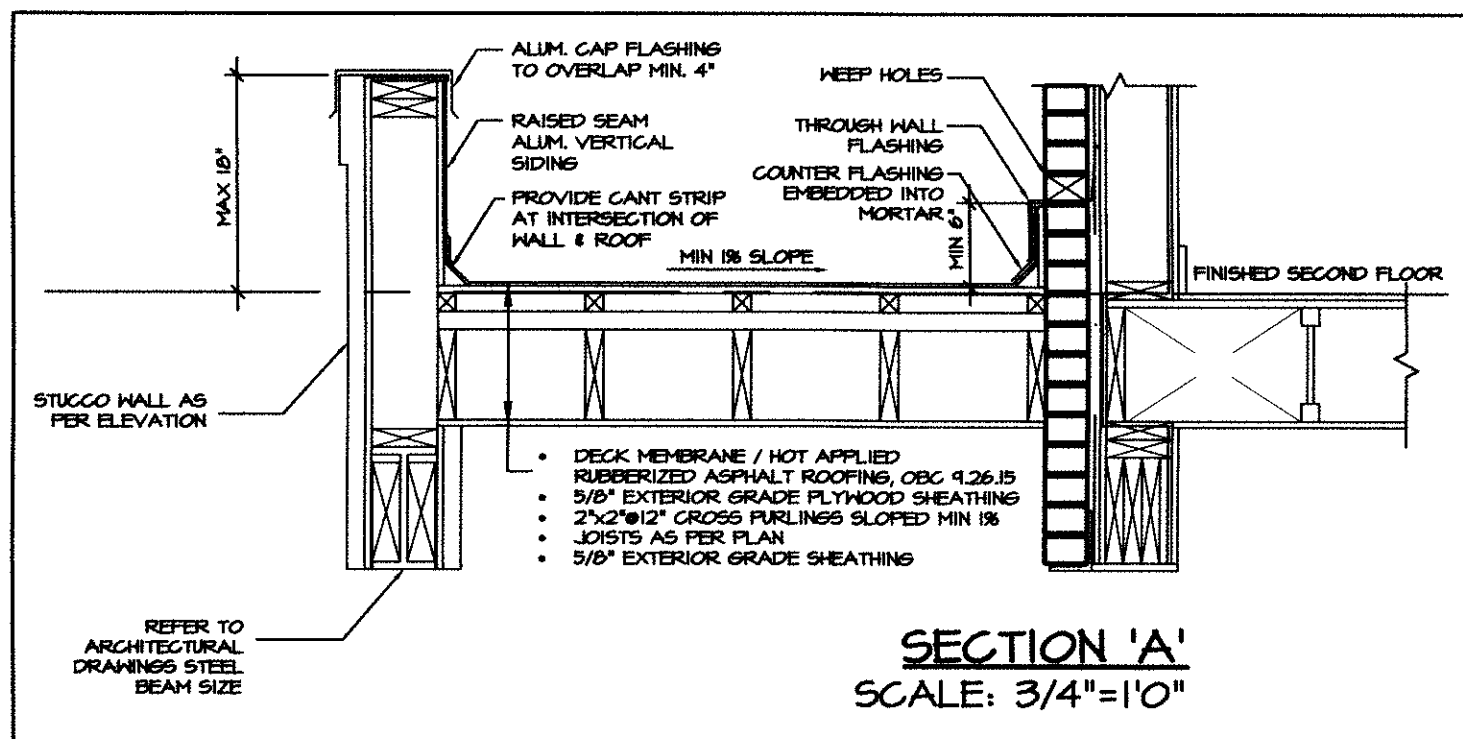
PLANS NOT DRAWN TO ACTUAL GRADE. REFER
 TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
 FOR ENGINEERED FRAMING LAYOUTS

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
 SHALL CONFORM TO THE FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1054	Sq. Ft.
SECOND FLOOR AREA	=	1226	Sq. Ft.
TOTAL FLOOR AREA	=	2280	Sq. Ft.
		211.82	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	6	Sq. Ft.
ADD TOTAL OPEN AREAS	=	6	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2286	Sq. Ft.
		212.38	Sq. M.
GROUND FLOOR COVERAGE	=	1054	Sq. Ft.
GARAGE COVERAGE / AREA	=	217	Sq. Ft.
PORCH COVERAGE / AREA	=	65	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1336	Sq. Ft.
		124.12	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1271	Sq. Ft.
		118.08	Sq. m.

BRIDGEFORD 1		SB12 - ELEV.2			
ELEVATI ON	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTA GE
FRONT	440.83	45.60	78.87	7.33	16.07 %
LEFT SIDE	1209.00	112.32	0.00	0.00	0.00 %
RIGHT SIDE	1227.50	114.04	92.60	8.60	7.54 %
REAR	440.83	45.60	104.66	9.72	21.32 %
TOTAL	3418.17	317.56	276.13	25.65	8.08 %

JAN 16 2017

BRIDGEFORD 1 - 07
 COMPLIANCE PACKAGE "A1"

THE PLANNING
 PARTNERSHIP LTD.
 Design Control Review

I, Richard F. Merrill of The Planning
 Partnership Ltd., certify that the
 Plans/ Drawings comply with the
 approved architectural control
 guidelines. This stamp is ONLY
 for the purposes of design control
 and carries no other professional
 obligation.

Reviewed By: _____
 Date: _____
 Reviewed For:
☐ Final Review
☐ Preliminary Review



The undersigned has reviewed and takes responsibility for this
 design, and has the qualifications and meets the requirements set
 out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

NICOLA LOMBARDO
 NAME SIGNATURE 28679 BCIN

REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 736-4096
 F (905) 560-0746

REGION
 DESIGN
 INC.

SHEET TITLE
 AREA CHARTS
 SCALE 3/16"=1'-0"
 DATE APR 2016 BY F.E./B.K.
 TYPE PROJECT 01-01-01

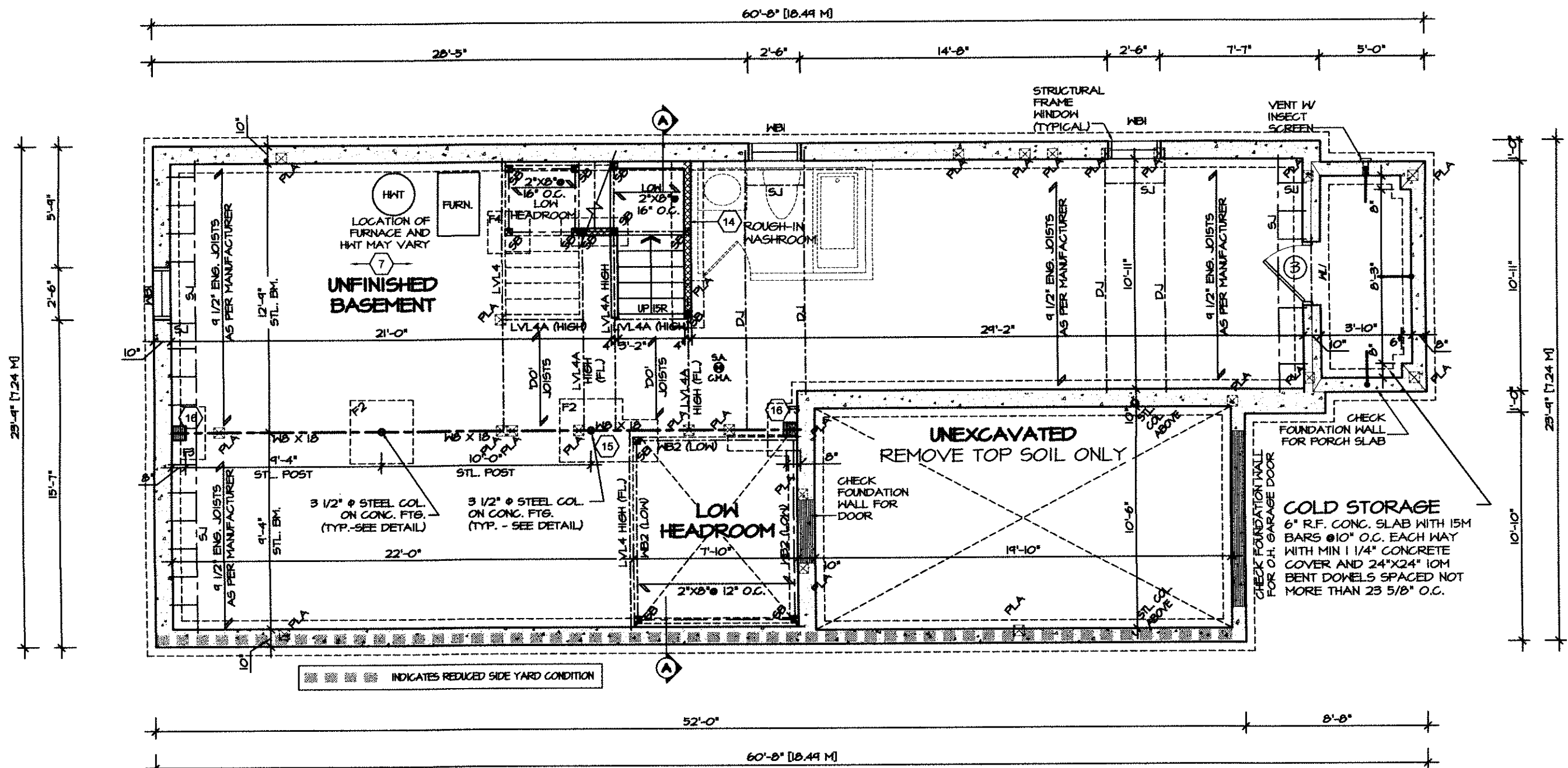
CONTRACTOR SHALL CHECK ALL
 DIMENSIONS AND ELEVATIONS BEFORE
 COMMENCING WITH WORK AND REPORT
 ANY DISCREPANCIES TO THE DESIGNER.
 PRINTS ARE NOT TO BE SCALED.

AREA 2292
 PAGE No. 0
 PROJECT 01-01-01

Greenpark.

PROJECT NAME
 STARTIME HOME LTD.

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	APR 2016
REVISIONS		



THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

BASEMENT FLOOR PLAN 2



IAN 16 2017

BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	APR 2016
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO
NAME SIGNATURE 28679 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**BASEMENT PLAN
ELEV. 2**

SCALE 3/16"=1'-0"
DATE APR 2016

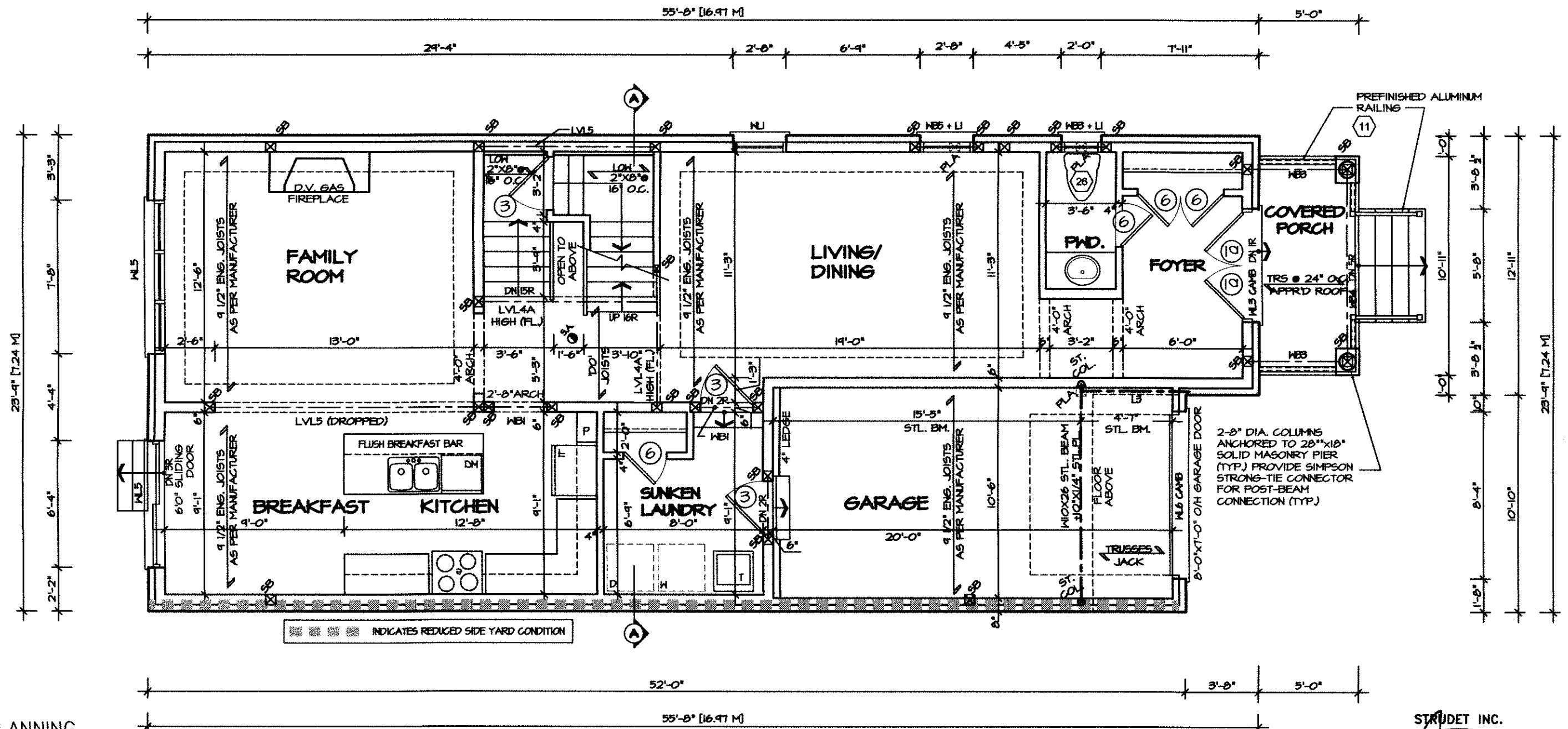
BY F.E./B.K.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2292
PAGE No. 1-2
PROJECT 01-01-01

Greenpark.

PROJECT NAME
STARTIME HOME LTD.



THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning
Partnership Ltd., certify that the
Plans/ Drawings comply with the
approved architectural control
guidelines. This stamp is ONLY
for the purposes of design control
and carries no other professional
obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

GROUND FLOOR PLAN 2

5.	
4.	
3.	
2.	
1.	ISSUED FOR REVIEW
REVISIONS	
	APR 2016

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5. of the building code
NICOLA LOMBARDO
NAME
28679
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE FIRST FLOOR PLAN ELEV. 2	
SCALE 3/16"=1'-0"	BY F.E. / B.K.
DATE APR 2016	TYPE

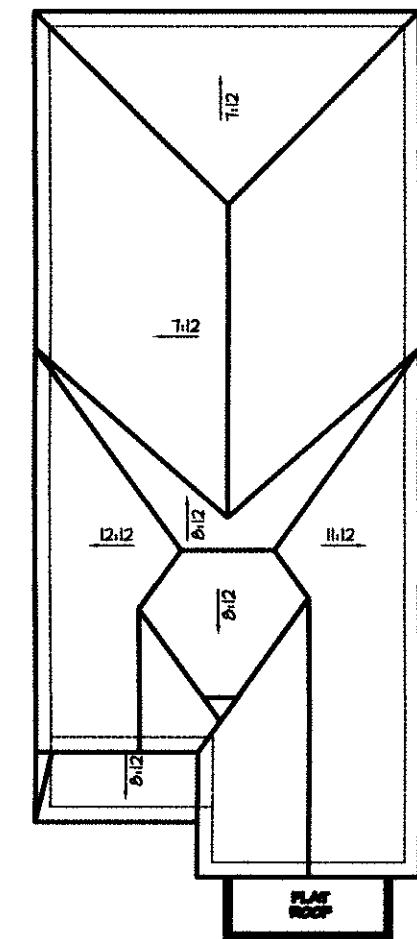
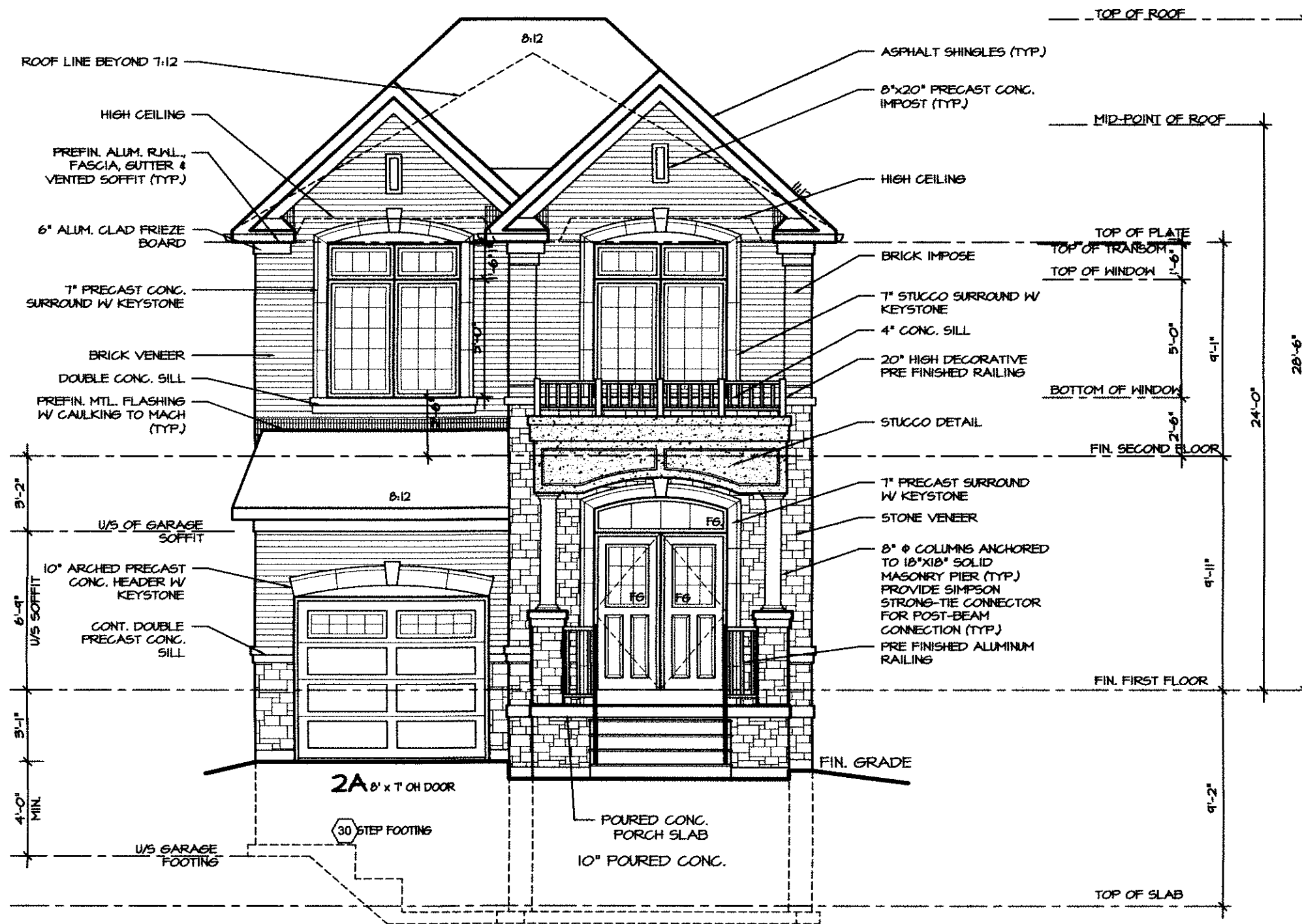
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2292	PAGE No. 2-2
PROJECT 01-01-01	

Greenpark.

PROJECT NAME
STARTIME HOME LTD.



BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"



ROOF PLAN 1
SCALE- N.T.S.

FRONT ELEVATION 2

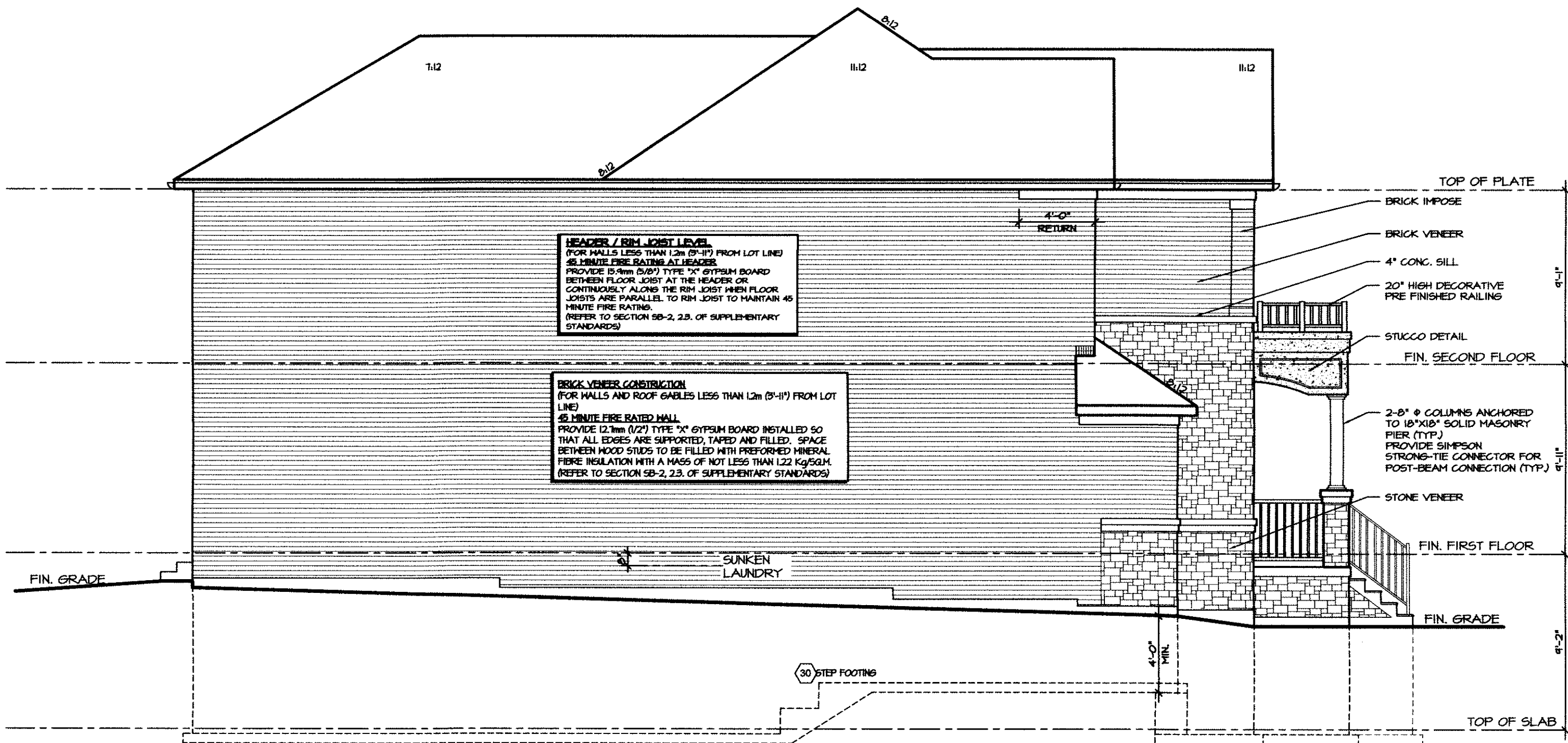
THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

JAN 16 2017
BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. 1. ISSUED FOR REVIEW APR 2016 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO NAME SIGNATURE 28679 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 680-0746	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION ELEV. 2 SCALE 3/16"=1'-0" DATE APR 2016 BY F.E. / B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2292 PAGE No. 4-2 PROJECT 01-01-01	Greenpark. PROJECT NAME STARTIME HOME LTD.
---	---	--	--	---	---	---



LEFT SIDE ELEVATION 2

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

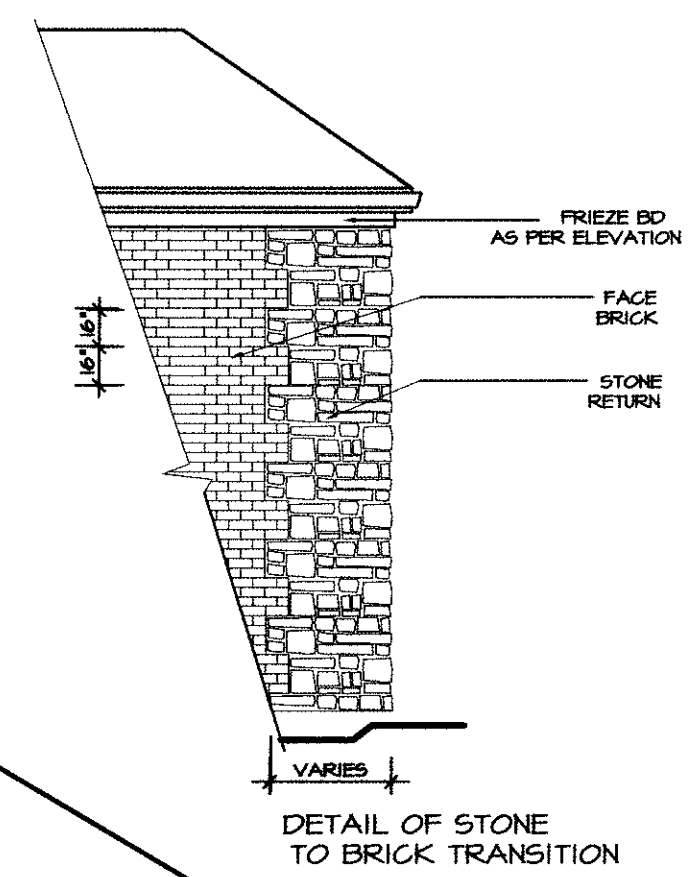
I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For: _____
☐ Final Review
☐ Preliminary Review

JAN 16 2017

BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. ISSUED FOR REVIEW APR 2016 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE LEFT SIDE ELEVATION ELEV. 2 SCALE 3/16"=1'-0" DATE APR 2016 BY F.E. / B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2292 PROJECT 01-01-01 PAGE No. 5-2	Greenpark. PROJECT NAME STARTIME HOME LTD.
---	---	--	--	---	--	---



THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning
Partnership Ltd., certify that the
Plans/ Drawings comply with the
approved architectural control
guidelines. This stamp is ONLY
for the purposes of design control
and carries no other professional
obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

RIGHT SIDE ELEVATION 2

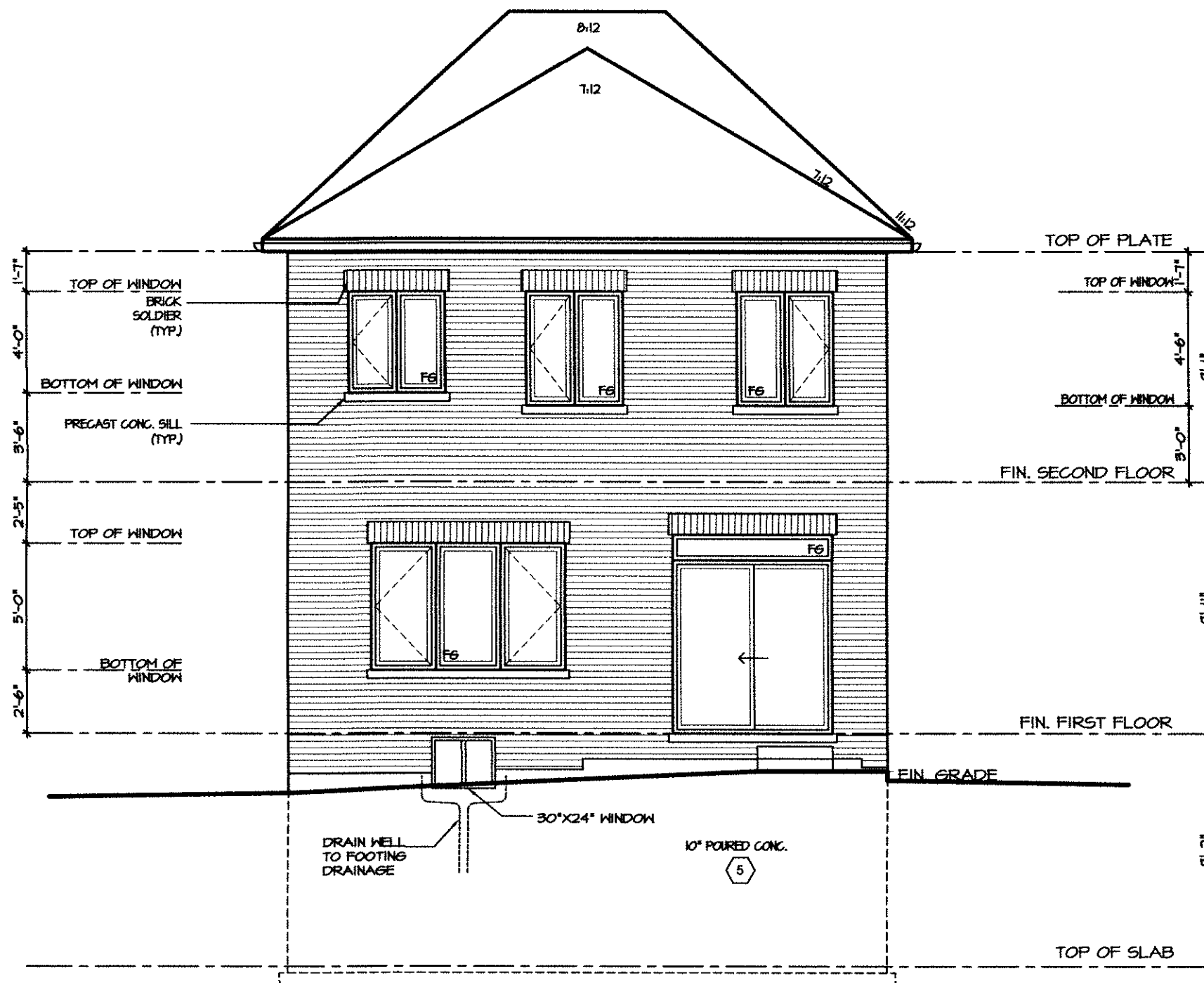
ALLOWABLE GLAZING (STANDARD PLAN)	
WALL AREA	= 1227 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M	= 85.84 Sq. Ft.
SIDE YARD	
ACTUAL GLAZED AREA	= 68.3 Sq. Ft.

JAN 16 2017

BRIDGEFORD 1 - 07

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME STARTIME HOME LTD.
4.					SCALE 3/16"=1'-0"	BY F.E. / B.K.	AREA 2292	PAGE No. 6-2	
3.					DATE APR 2016	TYPE	PROJECT 01-01-01		
2.									
1.									
REVISIONS		JAN 12							



REAR ELEVATION 2

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

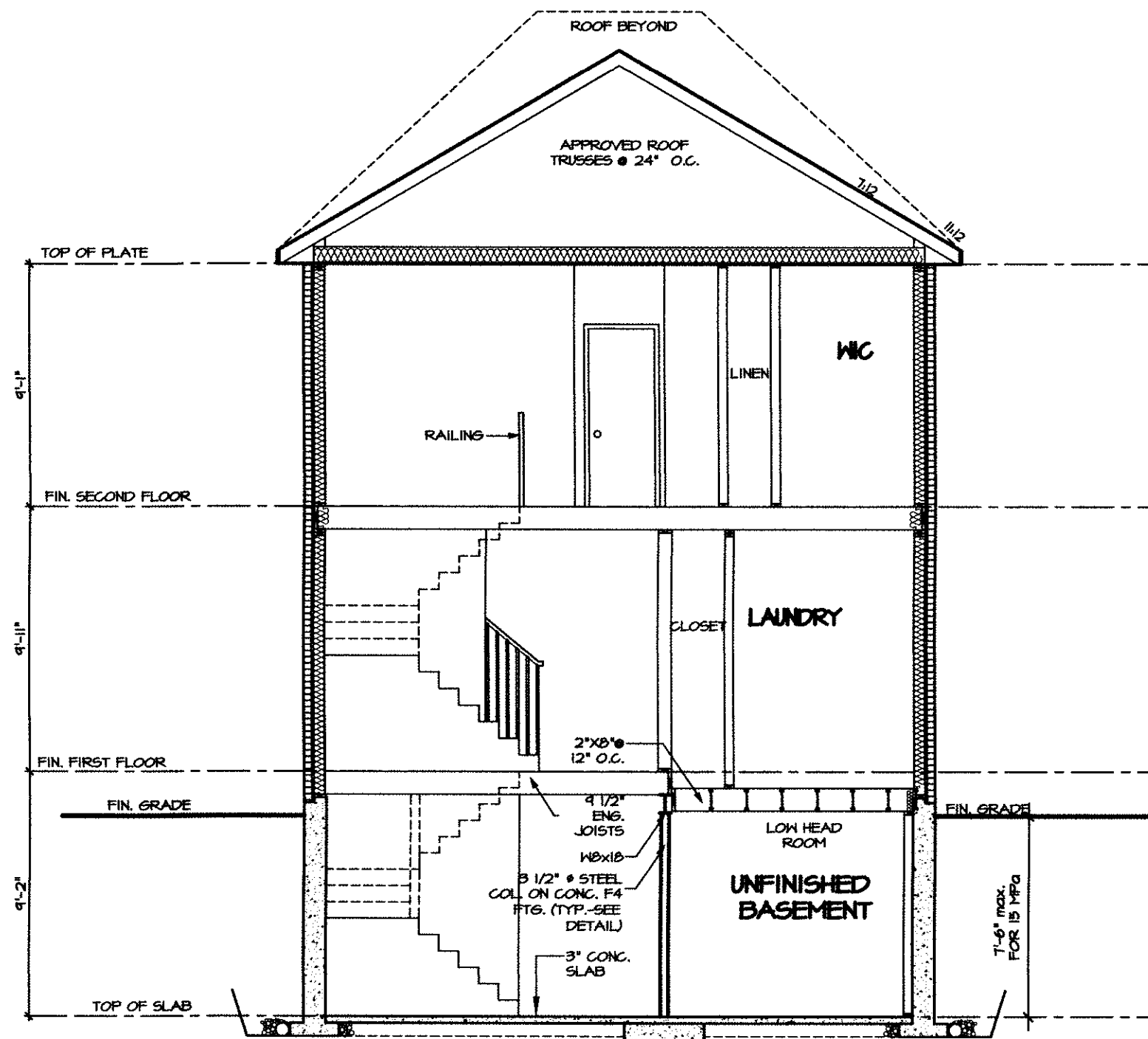
I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

JAN 16 2017

BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		Greenpark.
4.					SCALE 3/16"=1'-0"	BY F.E. / B.K.	AREA 2292	PAGE No. 7	
3.					DATE APR 2016	TYPE	PROJECT 01-01-01	PROJECT NAME STARTIME HOME LTD.	
2.									
1.	ISSUED FOR REVIEW				APR 2016				
REVISIONS									

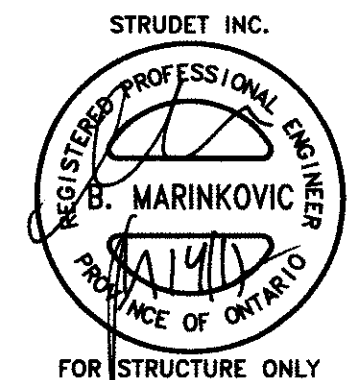


SECTION A-A

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review



JAN 16 2017

BRIDGEFORD 1 - 07
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. 1. ISSUED FOR REVIEW APR 2016 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 2.5 of the building code NICOLA LOMBARDO NAME SIGNATURE 28679 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE APR 2016 BY F.E. / B.K. TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2292 PAGE No. 8 PROJECT 01-01-01	PROJECT NAME STARTIME HOME LTD.
--	---	--	-----------------------------------	--	---	--

Greenpark.