

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL
CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR
SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF
FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL
GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

2-2"x8" STUD WALL NAILED TOGETHER
AND SPACED @ 12" O.C. FULL HT C/M
SOLID BLOCKING 4'-0" O.C. VERTICAL
AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

ELMBROOK 4B - ELEV. 3				COMPLIANCE PACKAGE "A1"
ELEVATION	WALL FT ² (WALL M ²)	OPENING FT ² (OPENING M ²)		PERCENTAGE
FRONT	406.58 (37.11)	46.17 (4.29)		11.56 %
LEFT SIDE	1040.68 (96.68)	74.33 (7.31)		7.62 %
RIGHT SIDE	1040.68 (96.68)	0.00 (0.00)		0.00 %
REAR	403.17 (37.46)	120.28 (11.17)		29.85 %
TOTAL	2891.11 FT ² (268.54 M ²)	245.78 FT ² (22.83 M ²)		8.50 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

COMPLIANCE PACKAGE "A1"

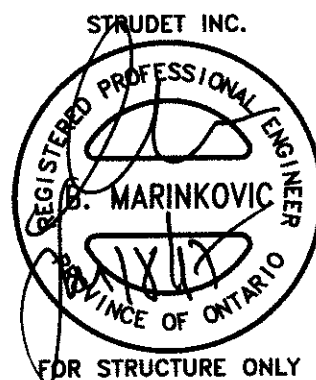
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.16 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AREA CALCULATIONS ELMBROOK 4B ELEV.3		
GROUND FLOOR AREA	=	867 Sq. Ft.
SECOND FLOOR AREA	=	1065 Sq. Ft.
TOTAL FLOOR AREA	=	1932 Sq. Ft.
1st FLOOR OPEN AREA	= 0	Sq. Ft.
2nd FLOOR OPEN AREA	= 10	Sq. Ft.
ADD TOTAL OPEN AREAS	= 10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1942 Sq. Ft.
GROUND FLOOR COVERAGE	=	867 Sq. Ft.
GARAGE COVERAGE / AREA	=	217 Sq. Ft.
PORCH COVERAGE / AREA	=	52 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1136 Sq. Ft.
	=	105.54 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1084 Sq. Ft.
	=	100.71 Sq. m.

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning
Partnership Ltd., certify that the
Plans/ Drawings comply with the
approved architectural control
guidelines. This stamp is ONLY
for the purposes of design control
and carries no other professional
obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review



5.		
4.		
3.		
2.		
1.	UPDATED FOR LOT 34	JAN 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.5 of the building code

NICOLA LOMBARDO
NAME SIGNATURE 28679
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F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS
SCALE 3/16"=1'-0"
DATE OCT 2016
BY ZMP/VG
TYPE
PROJECT 01-01-15

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 1942
PAGE No. 0
PROJECT 01-01-15

Greenpark

PROJECT NAME
STAR TIME HOME LTD.

JAN 19 2017

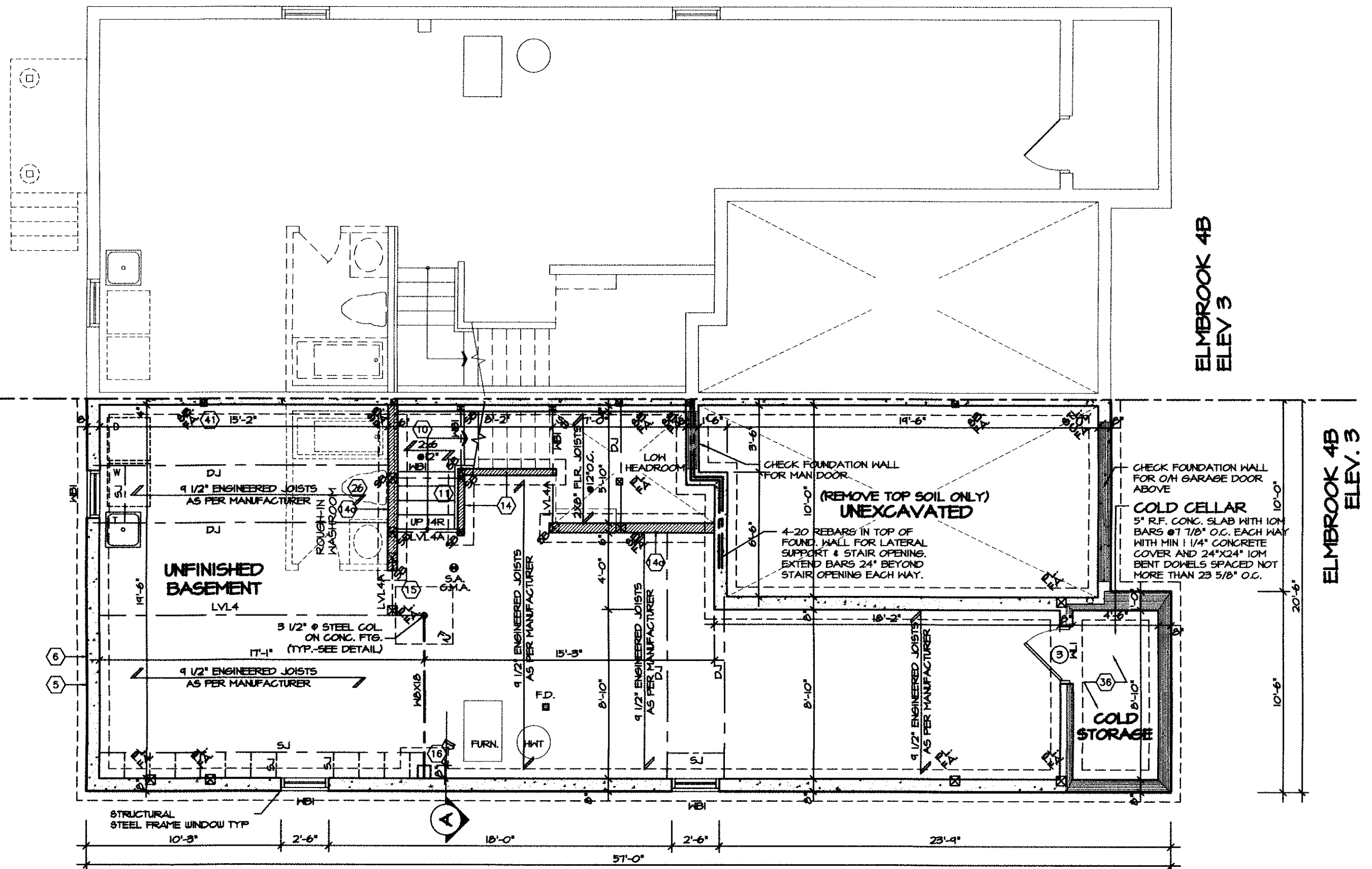
ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"



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BASEMENT PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL
CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS
FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED
FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLY AND TO BE GLUED AND
NAILED ON THIS FLOOR.

JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"

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REGION
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SHEET TITLE
BASEMENT PLAN
ELEV. 3

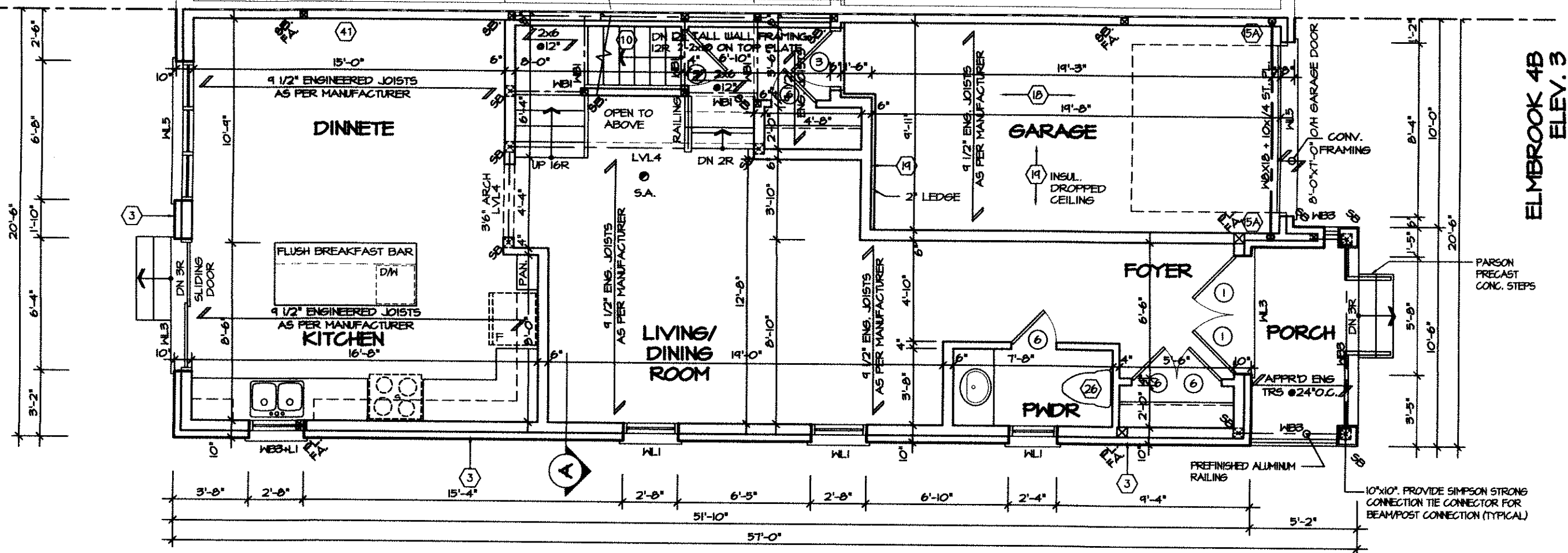
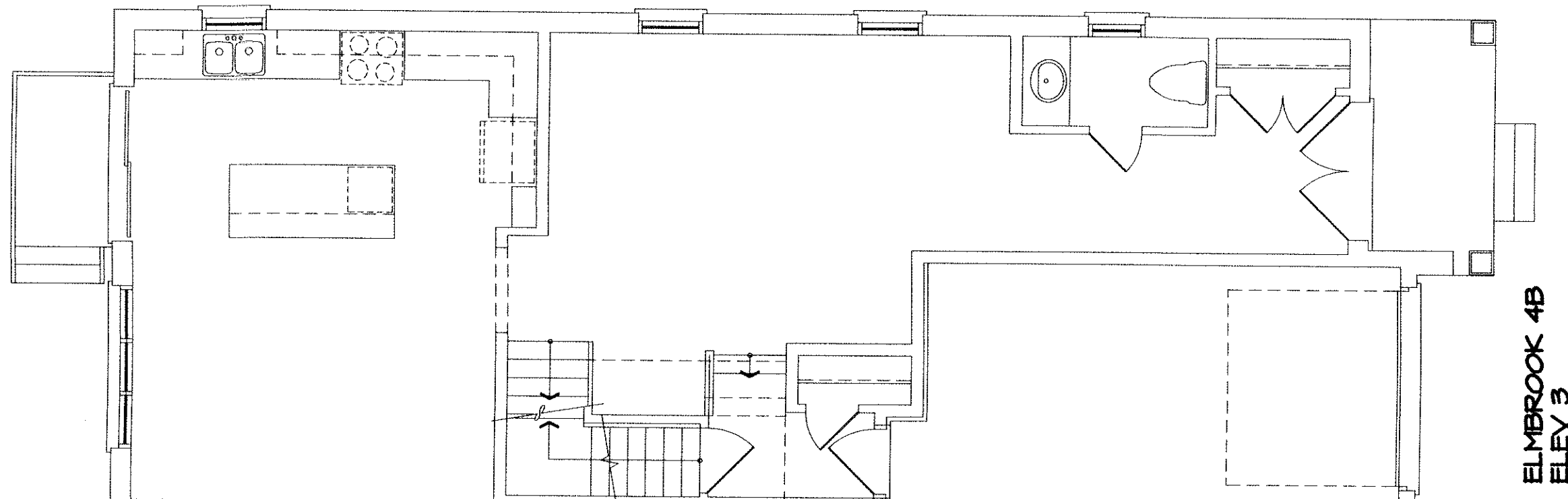
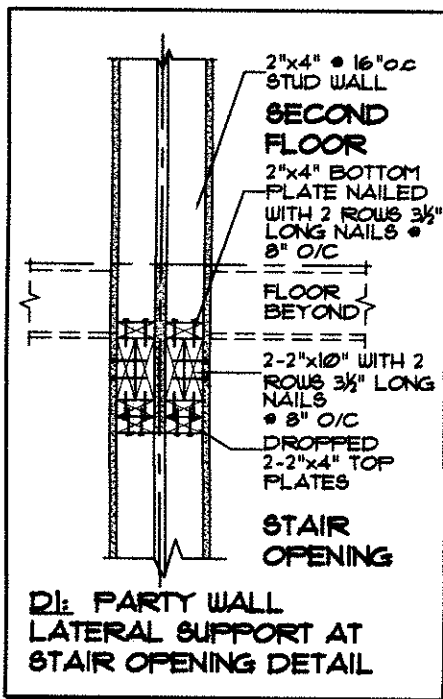
SCALE 3/16"=1'-0"
DATE OCT 2016

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AREA 1942
PAGE No. 1-3
PROJECT 01-01-15

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.



GROUND FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

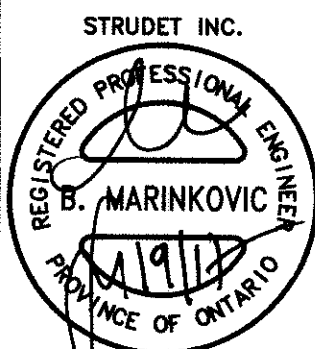
REFER TO FLOOR FRAMING SHOP DRAWING FOR ENGINEERED FRAMING LAYOUTS

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

ALL SUBFLOORS TO BE 5/8" PLY AND TO BE GLUED AND NAILED ON THIS FLOOR.

JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"



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Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

REVISIONS	
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1.	UPDATED FOR LOT 34
	JAN 2017

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REGION
DESIGN
INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEV. 3

SCALE
3/16"=1'-0"

DATE
OCT 2016

BY
ZMP/VG

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
1942

PROJECT
01-01-15

PAGE No.
2-3

Greenpark.

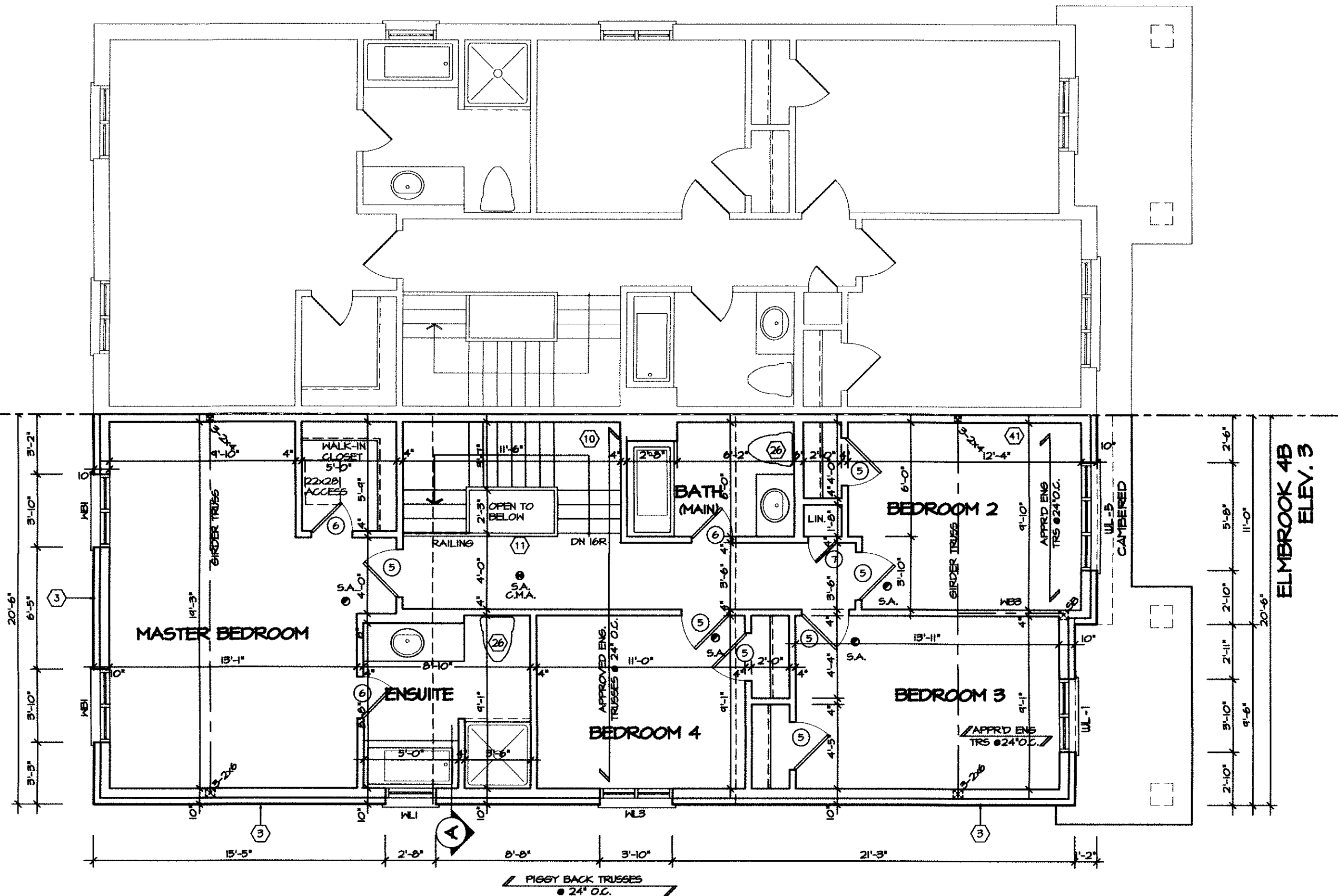
PROJECT NAME
STAR TIME HOME LTD.



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☐ Preliminary Review



SECOND FLOOR PLAN 3

JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"

NO.	REVISIONS	DATE
5.		
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REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEV. 3

SCALE 3/16"=1'-0"
DATE OCT 2016

BY ZMP/VG
TYPE

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AREA 1942
PAGE No. 3-3

PROJECT 01-01-15

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.

SELF SEALED
ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. RAIL.
FASCIA, GUTTER &
VENTED SOFFIT

BRICK SOLDIER CRS.
W/ KEYSTONE
1"x6" FRIEZE BOARD
(PAINTED)

BRICK SOLDIER CRS.

METAL FLASHING W/
CAULKING
(TYP.)

BRICK STACK BOND

W/8 OF GARAGE SOFFIT

CONC. SILL

8"x8" COLUMN PROVIDE
SIMPSON STRONG CONNECTION
TIE CONNECTOR FOR
BEAM/POST CONNECTION
(TYPICAL)

PREFINISHED ALUMINUM
RAILING

FIN. BASEMENT SLAB

ELEVATION 3
ELMBROOK 4B

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REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 3

SCALE
3/16"=1'-0"
DATE
OCT 2016

BY
ZMP/VG
TYPE

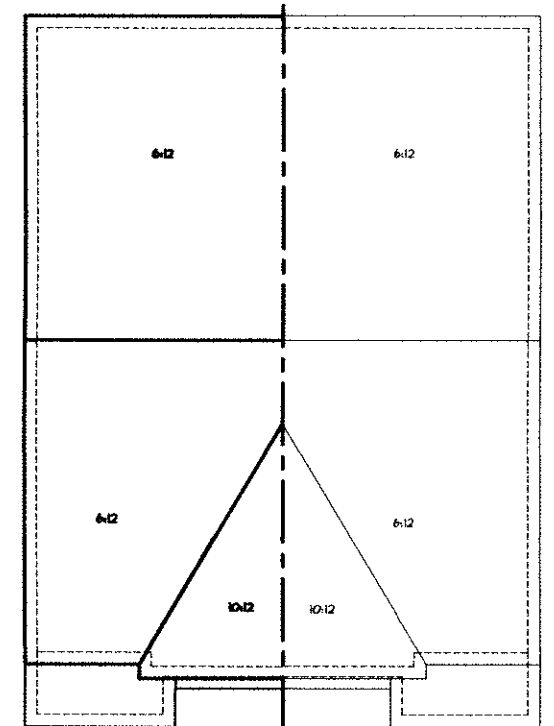
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AREA
1942
PROJECT
01-01-15

PAGE No.
4-3

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.

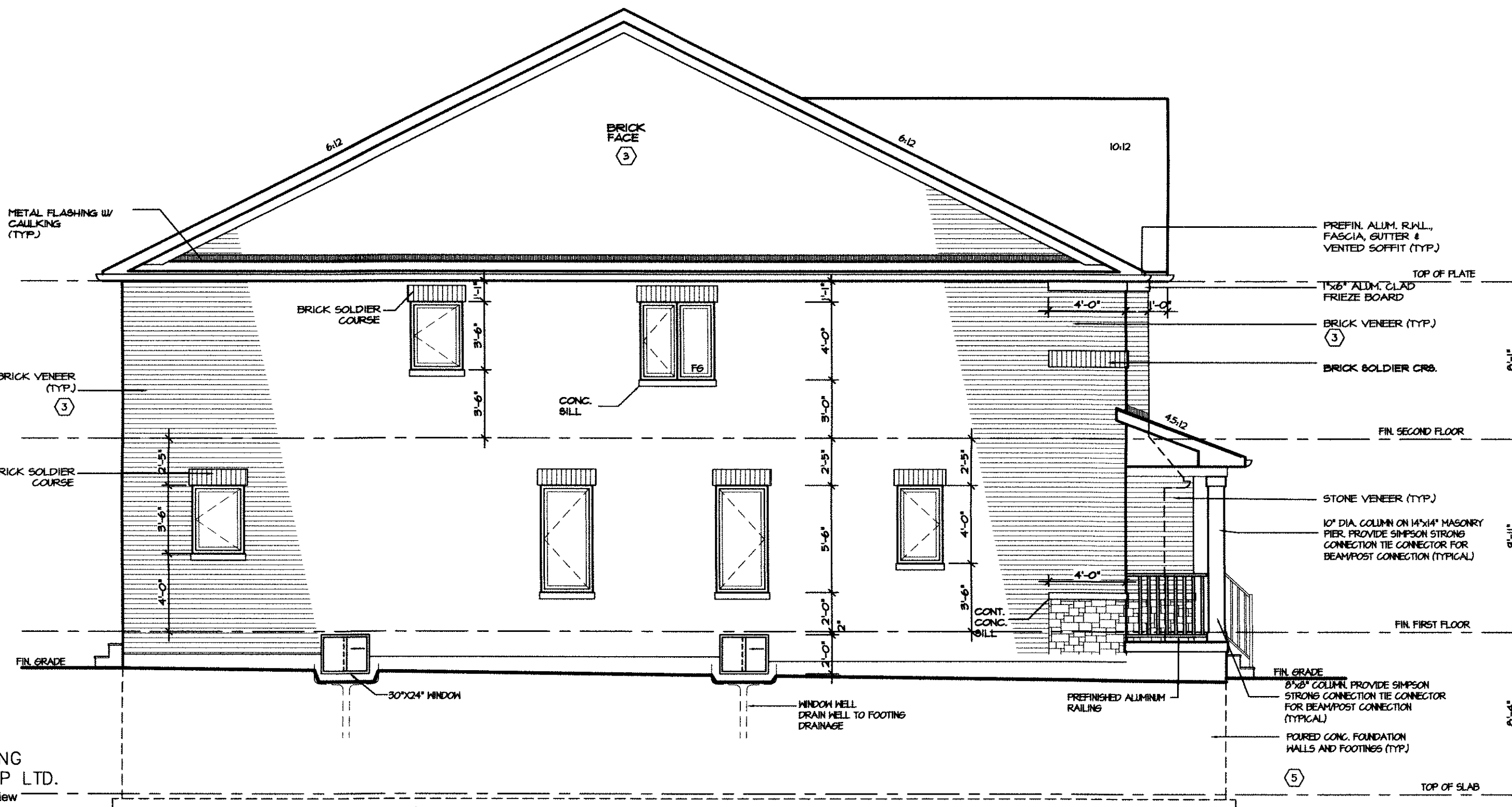


ELEVATION 3
ELMBROOK 4B
ROOF PLAN
NT8

ELEVATION 3
ELMBROOK 4B

JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"



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PARTNERSHIP LTD.
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ELMBROOK 4B LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

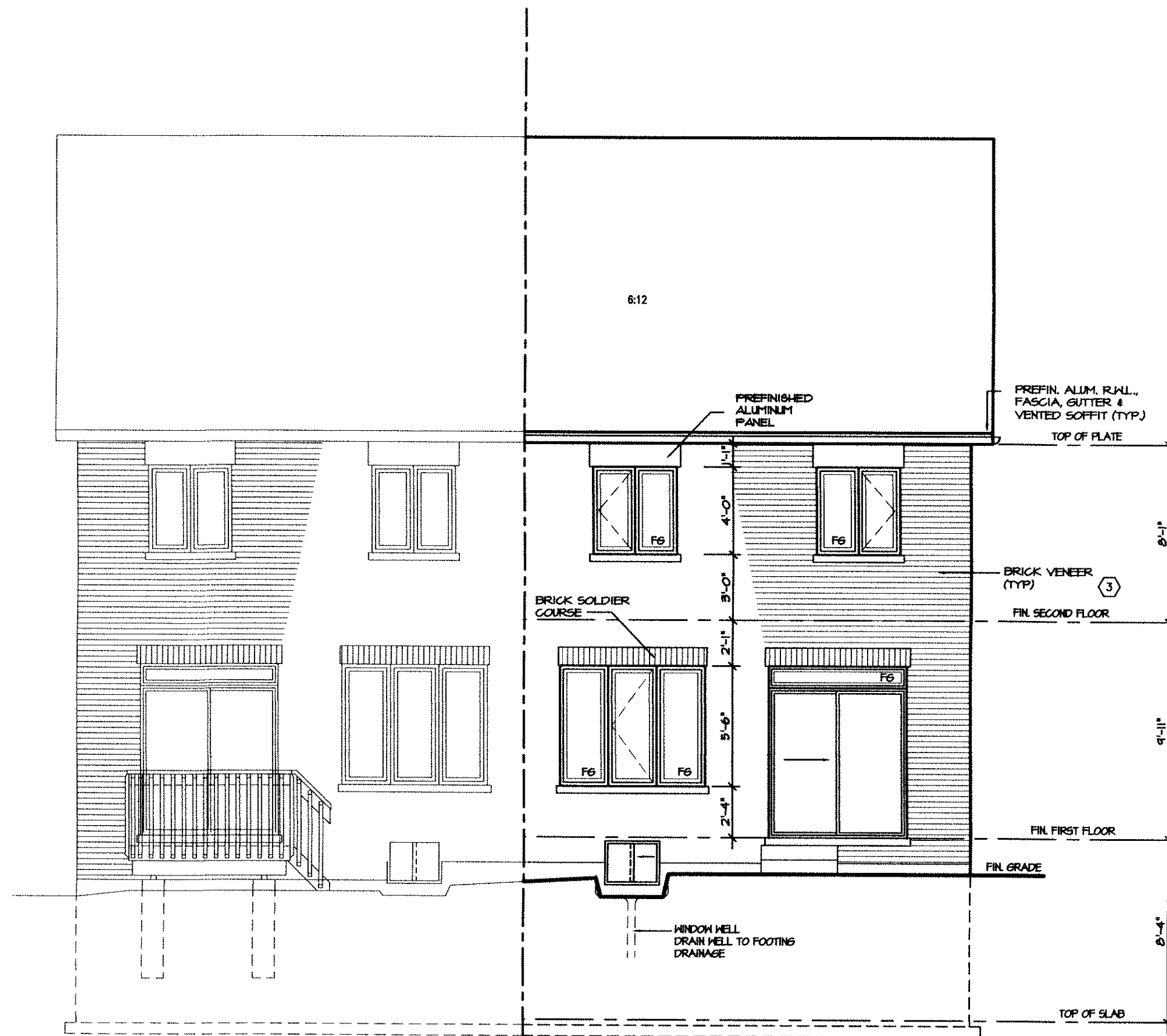
WALL AREA	1040.68
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	72.85
ACTUAL WINDOW AREA	51.60

JAN 19 2017

ELMBROOK 4B - 34L

COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. UPDATED FOR LOT 34 JAN 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code NICOLA LOMBARDO <i>[Signature]</i> 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE LEFT SIDE ELEVATION 3 SCALE 3/16"=1'-0" DATE OCT 2016 BY ZMP/VG TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 1942 PAGE No. 5-3 PROJECT 01-01-15	Greenpark. PROJECT NAME STAR TIME HOME LTD.
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ELMBROOK 4B
REAR ELEV 3

ELMBROOK 4B
REAR ELEV 3

JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"

THE PLANNING
PARTNERSHIP LTD.
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QUALIFICATION INFORMATION
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NICOLA LOMBARDO  28679
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L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
REAR ELEVATION 3

SCALE
3/16"=1'-0"

DATE
OCT 2016

BY
ZMP/VG

TYPE

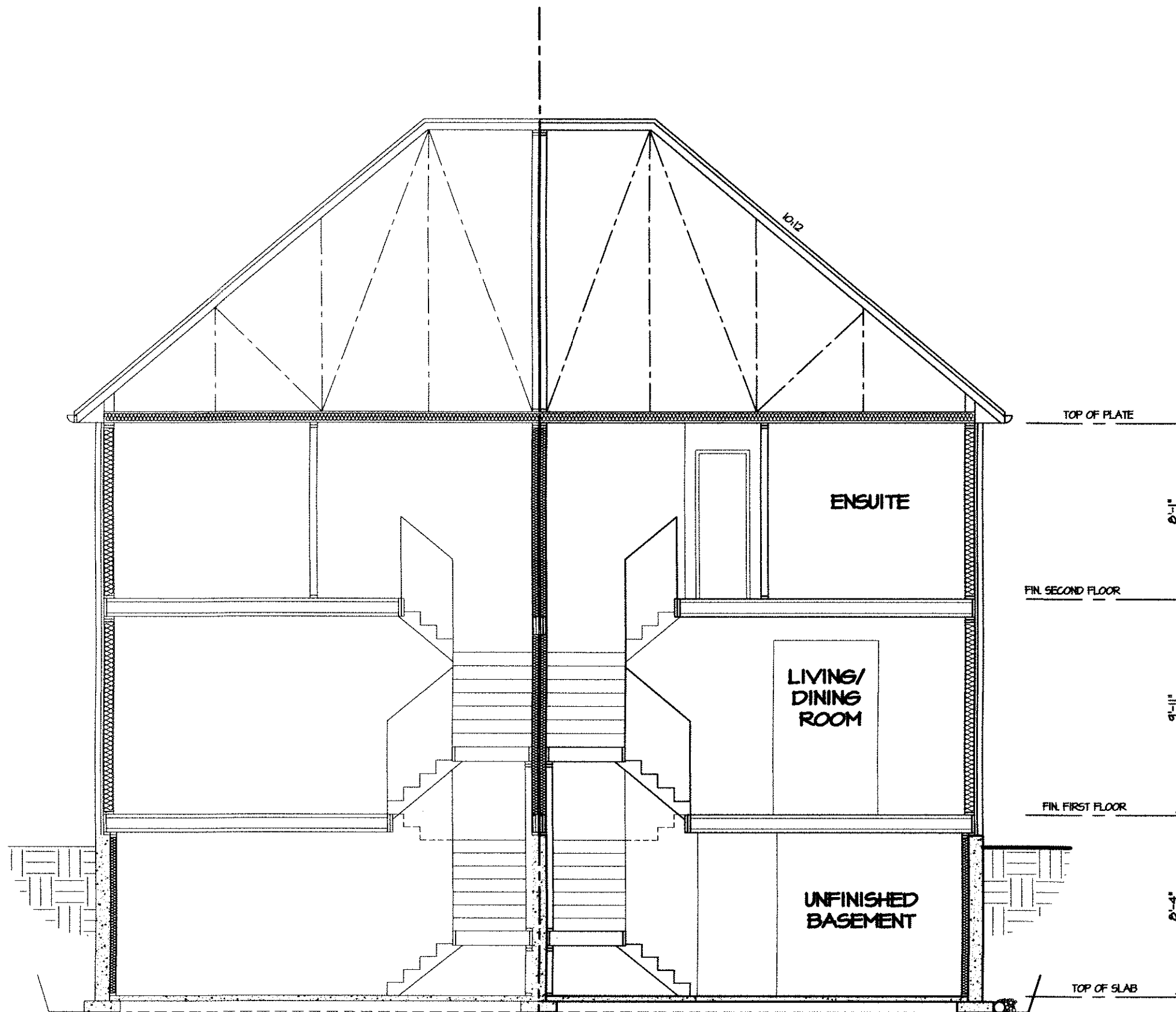
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DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
1942

PAGE No.
6-3

PROJECT
01-01-15


PROJECT NAME
STAR TIME HOME LTD.



ELMBROOK 4B
REAR ELEV 3

ELMBROOK 4B
REAR ELEV 3

A-A BUILDING SECTION

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review



JAN 19 2017

ELMBROOK 4B - 34L
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. 1. UPDATED FOR LOT 34 JAN 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO SIGNATURE 28679 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE MAR 2016 BY ZMP/VG TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 1942 PAGE No. 7 PROJECT 01-01-15	PROJECT NAME STAR TIME HOME LTD.
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Greenpark.