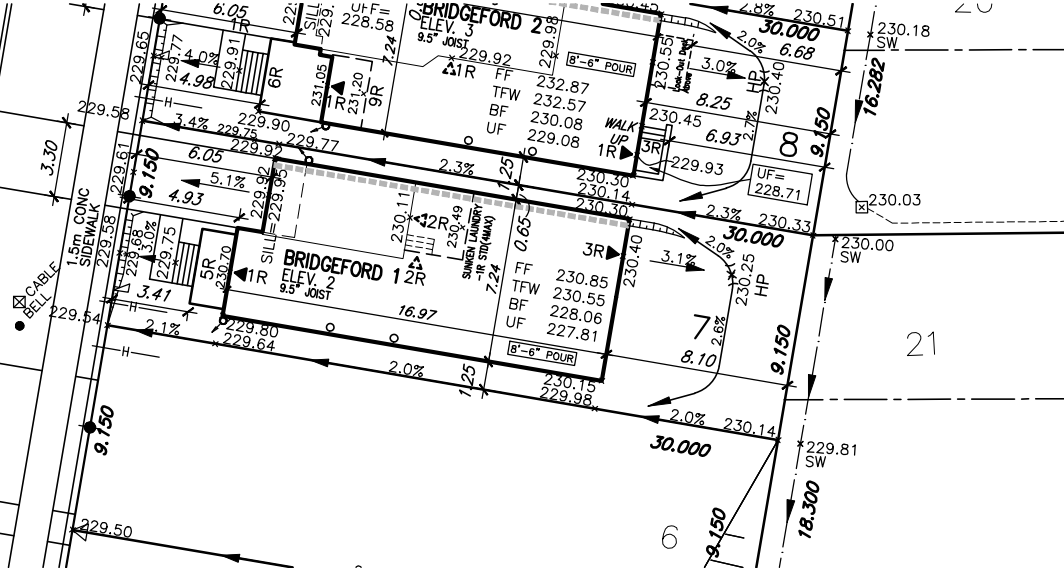


VELLORE PARK AVENUE

SAN 226.97
FDC 226.95

SAN 2
FDC 2



THE PLANNING PARTNERSHIP LTD. Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: _____
Date: _____
Reviewed For: _____
☐ Final Review
☐ Preliminary Review

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction commences. The proposed final grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VAJ Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of VAJ Design Inc. Foundation will shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not represent the proposed final grading conditions of any particular lot.

BUILDING HEIGHT (to mid-point)= 8.2m (11.0m max.)
AVG. GRADE (along front wall)= 229.85

1 ISSUED FOR PRELIMINARY REVIEW.	2 OCT. 24/16 CW	3 JAN. 09/17 CW	4
PROPOSED WALK ☒ LIGHT POLE ☒ TRANSFORMER ☒ WATER SERVICE ☒ DOUBLE SAN/SAN CONNECTION ☒ SINGLE SAN/SAN CONNECTION ☒ CATCH BASIN ☒ CHOLE TELEVISION FEEDS ☒ BELL FEEDS			
FINISHED FLOOR ELEVATION FF UNDERSIDE FOOTING AT REAR BF FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFF UNDERSIDE FOOTING AT REAR UFS UNDERSIDE FOOTING AT SIDE W.O.A. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV REVERSE PLAN			
STREET SAN ☒ SUPER MAN BOX ☒ RETAINING WALL ☒ CHAIN LINK FENCE ☒ ACROUSTICAL FENCE (SEE LANDSCAPE PLAN) ☒ WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) ☒ HYDRO SERVICE LATERAL ☒ SWALE DIRECTION ☒ EMBANKMENT			
PROVIDE 1/4" FIN. CLEAR STONE IN THIS AREA ☒ THIS LOT CONTAINS ENGINEERED FILL ☒ AIR CONDITIONER REQUIRED ☒ RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPASHPAD) ☒ SIDE WINDOW LOCATION ☒ EXTERIOR DOOR LOCATION ☒ REDUCE SIDE WIND			
Greenpark™ STAR TIME HOMES LTD. VAUGHAN PROJECT NO. 16012 DRAWING NO. SP1 DATE OCT. 2016 DRAWN BY CHECKED BY SCALE 1:250 PROJECT NAME 16012-STH-BASE-SP DATE 16012-STH-BASE-SP.dwg - Fri - Mar 17 2017 - 10:00 AM USER - H:\ARCHIVE\WORKING\2016\16012-GRE\STAR\16012-STH-BASE-SP.dwg - Fri - Mar 17 2017 - 10:00 AM V:\ARCHIVE\WORKING\2016\16012-GRE\STAR\16012-STH-BASE-SP.dwg - Fri - Mar 17 2017 - 10:00 AM			