

3128

AUBURN 4  
ELEVATION 1

O.REG. 332/12

2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'

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1	MAR. 27, 2017	INTRO. PLAN FROM RIMINI 13-11 - AUBURN 4

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

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**Walter Botter** 21037  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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**jardin design group inc.** 27763  
FIRM NAME BCIN

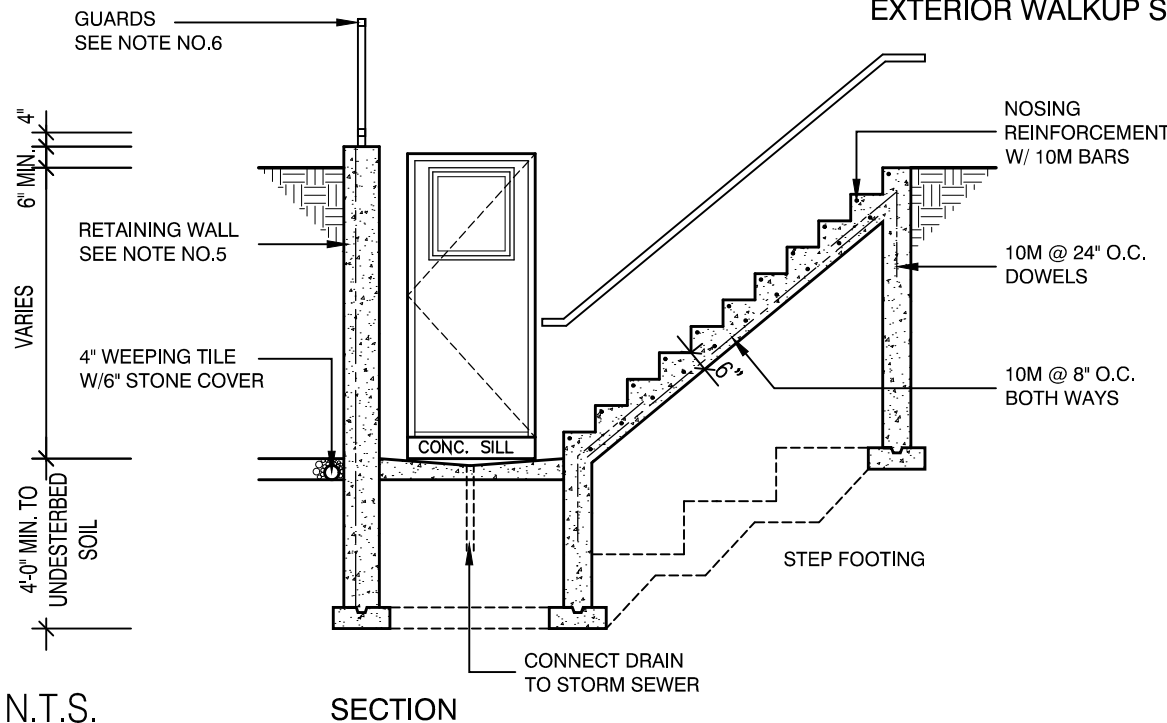
AREA/GENERAL NOTES

OSTIENSE  
BRAMPTON



MODEL T
SCALE: 3/16"= 1'-0"
PROJ. No. 17-14
DWG. No. 0

EXTERIOR WALKUP STAIRS DETAILS



GENERAL NOTES:

FOOTING

- 24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.

CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.

EXTERIOR STAIRS

- 7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM

INSULATION

- FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.

RETAINING WALL

- 10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.

GUARDS

- 3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11": 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR.  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM WB6 = 3- 2" x 12" SPRUCE BEAM  
WB2 = 3- 2" x 8" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM  
WB3 = 2- 2" x 10" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM  
WB4 = 3- 2" x 10" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM  
WB5 = 2- 2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1 1/4" (90 x 90 x 6) L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8) L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR  
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR  
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR  
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)  
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
10 = 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
11 = 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F2 = 42"x42"x18" CONCRETE PAD  
F3 = 36"x36"x16" CONCRETE PAD  
F4 = 30"x30"x12" CONCRETE PAD  
F5 = 24"x24"x12" CONCRETE PAD  
16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.

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FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

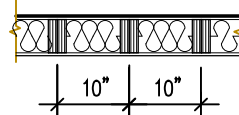
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AUBURN 4 ELEV.-1		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	857.47	132.05	15.40 %
LEFT SIDE	1127.11	69.96	6.21 %
RIGHT SIDE	1128.07	39.99	3.54 %
REAR	896.43	175.74	19.60 %
TOTAL	4009.08	417.74	10.42 %

AREA CALCULATIONS EL-1

GROUND FLOOR AREA	=	1398 Sq. Ft.
SECOND FLOOR AREA	=	1599 Sq. Ft.
TOTAL FLOOR AREA	=	2997 Sq. Ft.
ADD OPEN AREAS	=	73 Sq. Ft.
ADD FIN. BASEMENT AREA	=	58 Sq. Ft.
GROSS FLOOR AREA	=	3128 Sq. Ft.
GROUND FLOOR COVERAGE	=	1398 Sq. Ft.
GARAGE COVERAGE / AREA	=	391 Sq. Ft.
PORCH COVERAGE / AREA	=	54 Sq. Ft.
COVERAGE W/ PORCH	=	1843 Sq. Ft.
COVERAGE W/O PORCH	=	171.22 Sq. m.
	=	1789 Sq. Ft.
	=	16620 Sq. m.

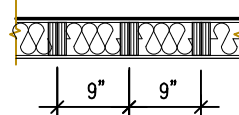
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL  
GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C.  
FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND  
7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL  
GLUED AND NAILED TOGETHER AND SPACED MAX. @9" O.C.  
FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND  
7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

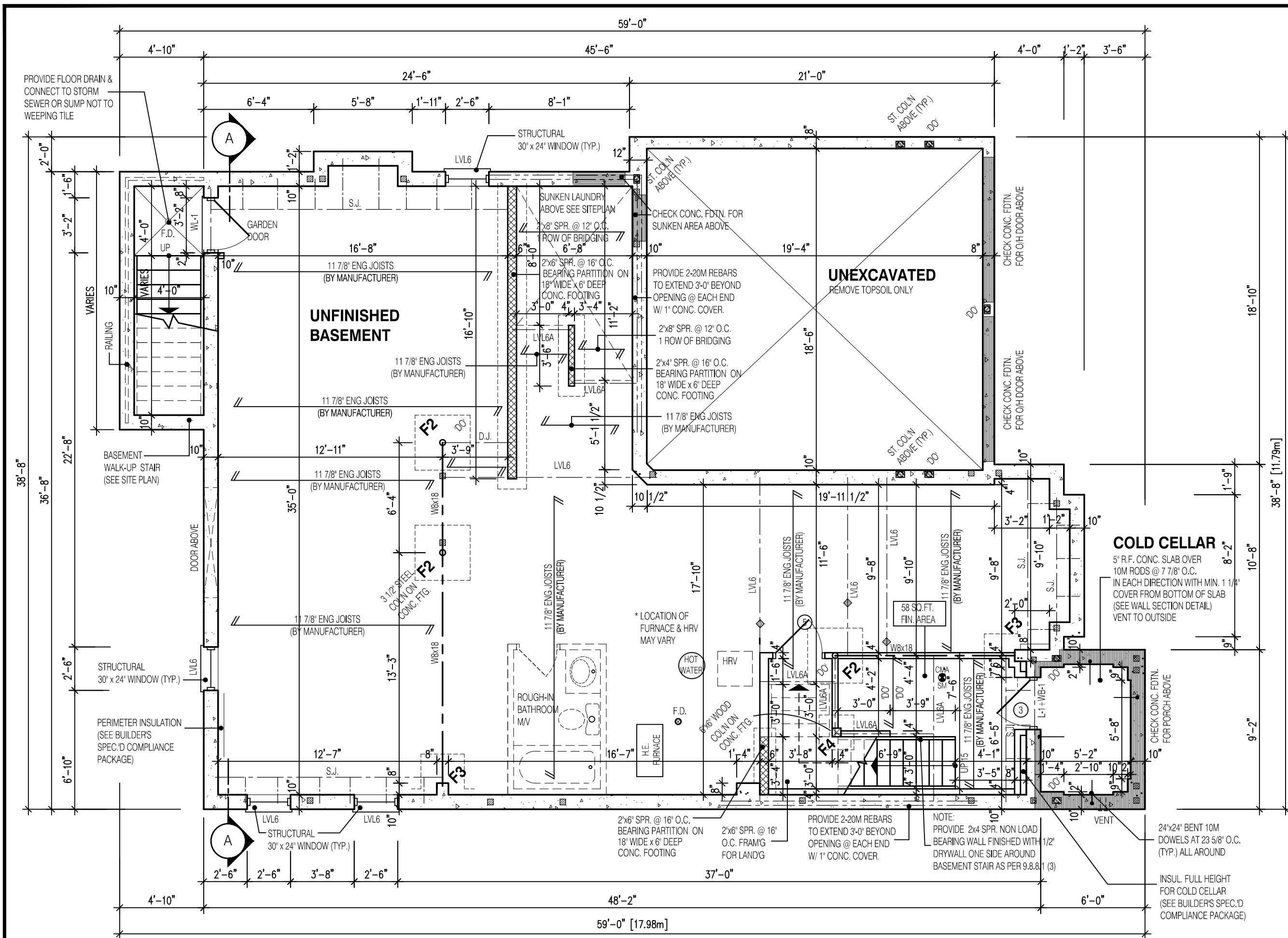
STRUDET INC.



FOR STRUCTURE ONLY

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- STL. PLATE FOR STEEL COL'N ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
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**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

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3128


AUBURN 4  
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O.REG. 332/12

2017-SB-12  
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BASEMENT PLAN EL-1

OSTIENSE  
BRAMPTON



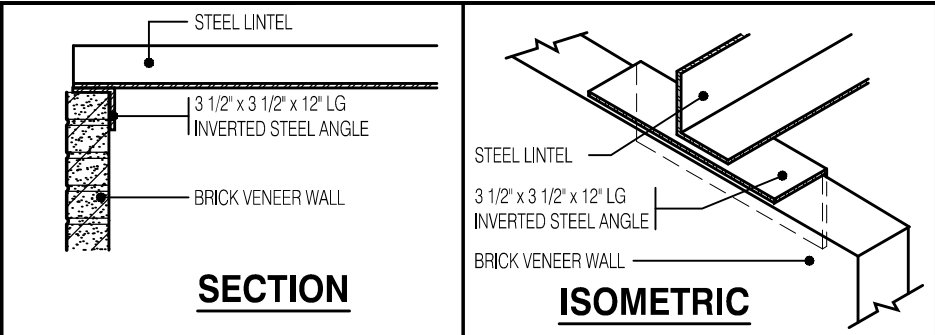
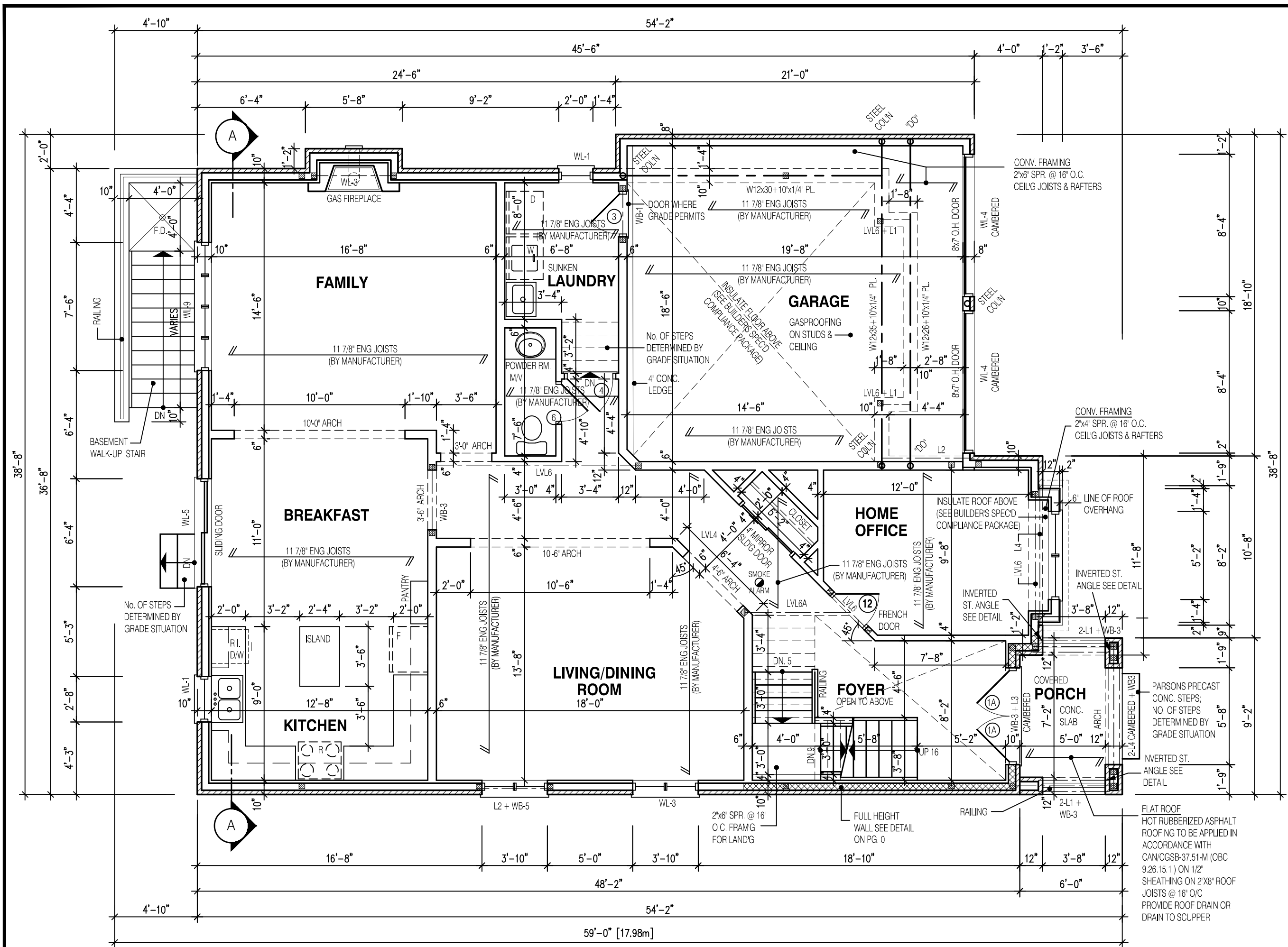
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SCALE:  
3/16" = 1'-0"

PROJ. No.  
17-14

DWG. No.  
1

DRAWN BY: DRAWING NAME: AUBURN 4



**INVERTED STEEL ANGLE DETAIL**  
Scale: 3/4" = 1'-0"

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GREENYORK  
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SIGNATURE

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jardin design group inc.

27763

FIRM NAME

BCIN

FIRST FLOOR PLAN EL-1

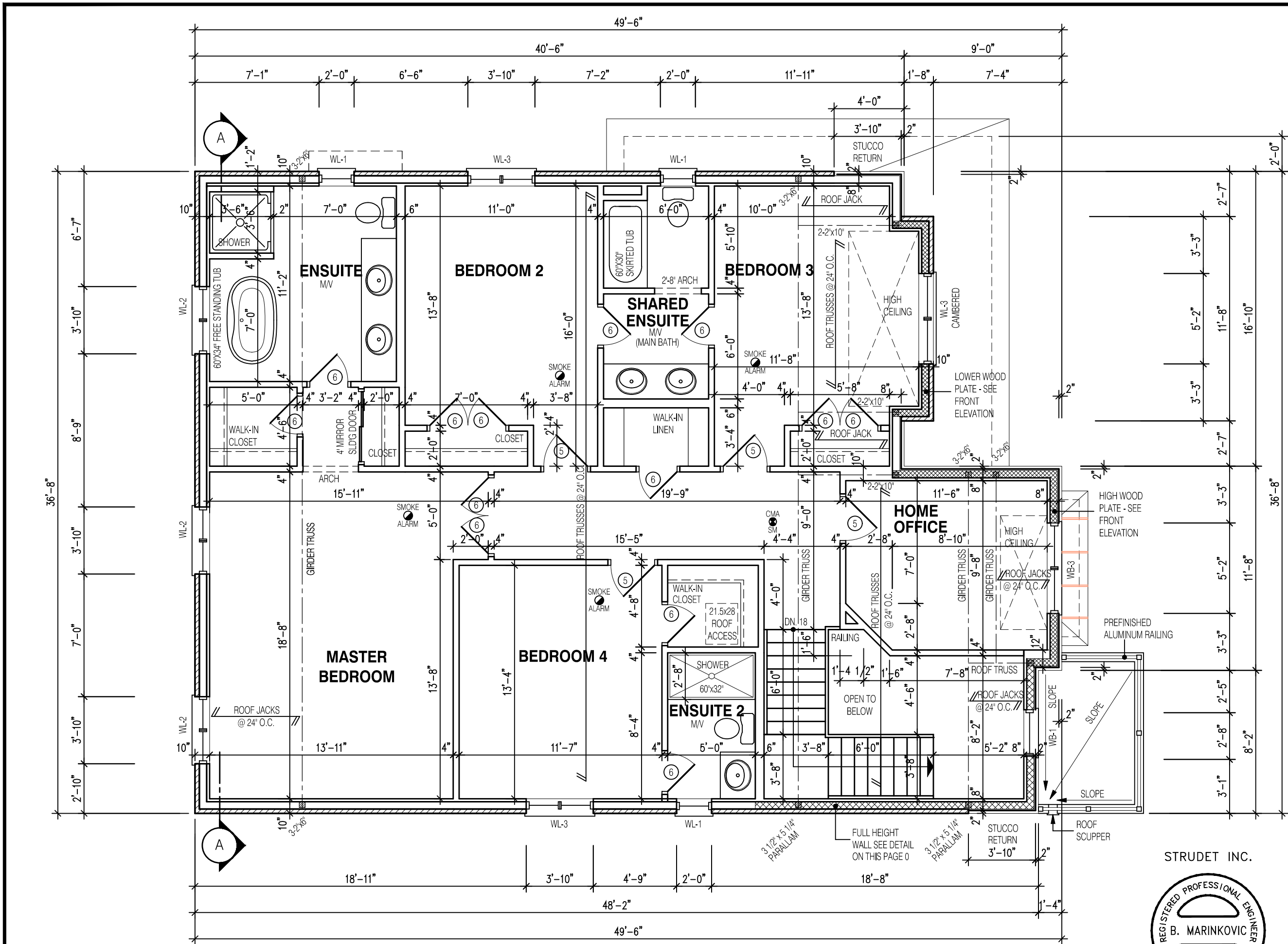
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BRAMPTON

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DRAWN BY:      DRAWING NAME: AUBURN 4





STRUDET INC.



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1	MAR. 27, 2017	INTRO. PLAN FROM RIMINI 13-11 - AUBURN 4

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031  
NAME SIGNATURE BCIN

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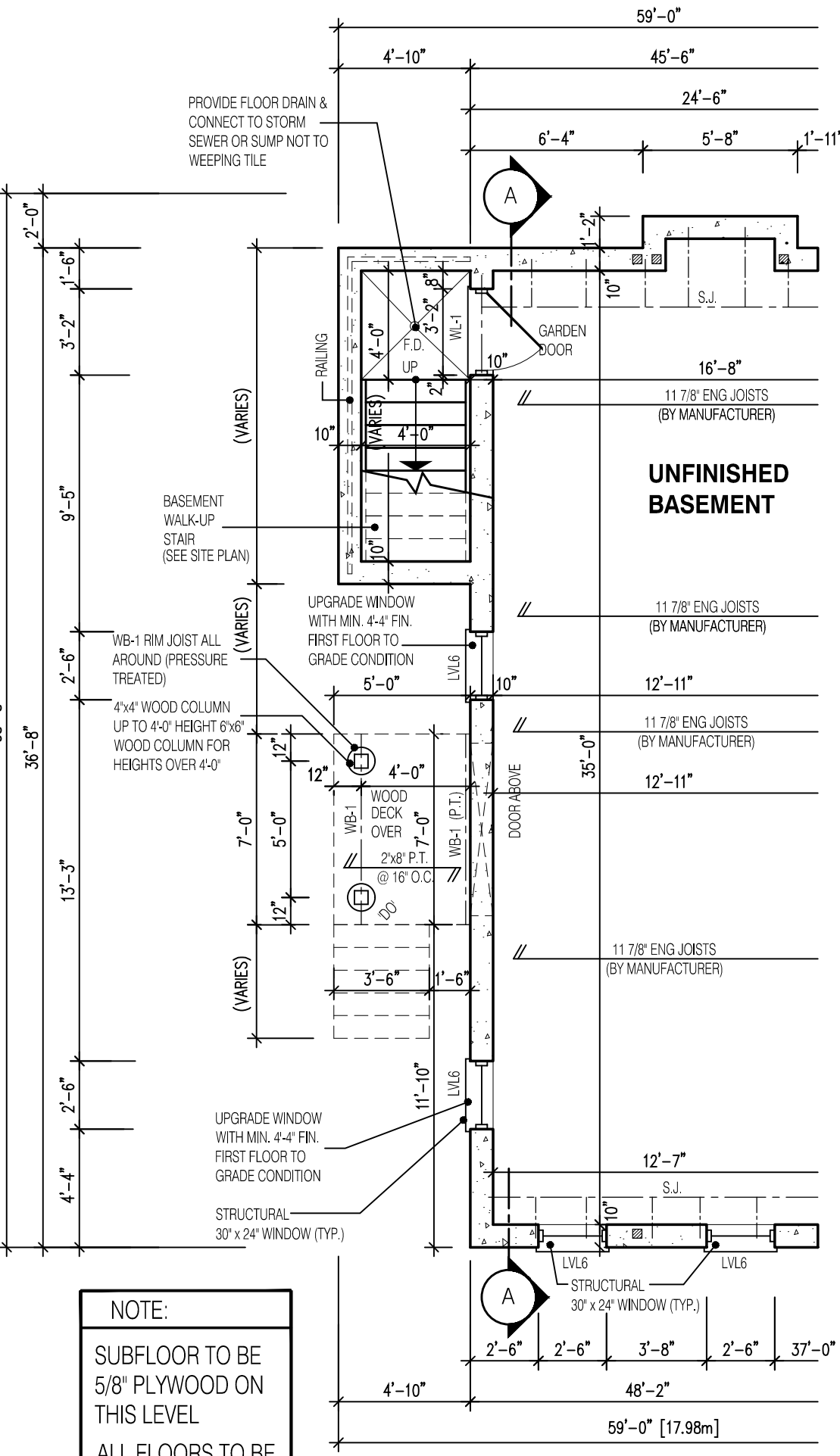
jardin design group inc. 27763  
FIRM NAME BCIN

SECOND FL. PLAN EL-1

OSTIENSE  
BRAMPTON



MODEL  
T  
SCALE:  
3/16" = 1'-0"  
PROJ. No.  
17-14  
DWG. No.  
3



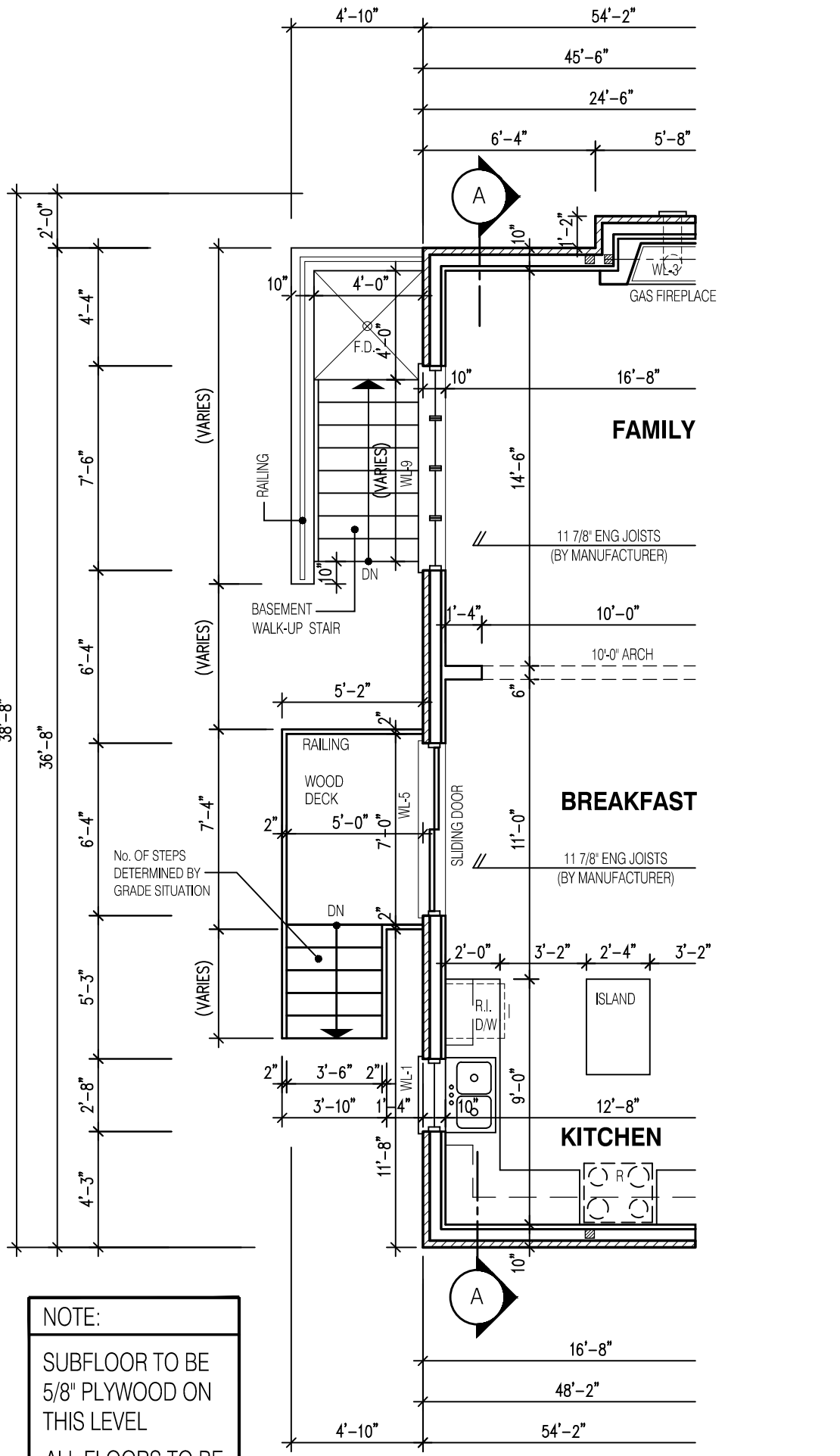
PARTIAL BASEMENT LAYOUT  
FOR DECK CONDITION EL-1

**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER .

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER .



PARTIAL FIRST FLOOR LAYOUT  
FOR DECK CONDITION EL-1

**NOTE:**  
SUBFLOOR TO BE  
5/8" PLYWOOD ON  
THIS LEVEL  
ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE  
LAMINATED VENEER LUMBER
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

3128

AUBURN 4  
ELEVATION 1

O.REG. 332/12

2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'

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Walter Botter

21031

NAME SIGNATURE BCIN

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jardin design group inc.

27763

FIRM NAME BCIN

PARTIAL DECK EL-1

OSTIENSE  
BRAMPTON

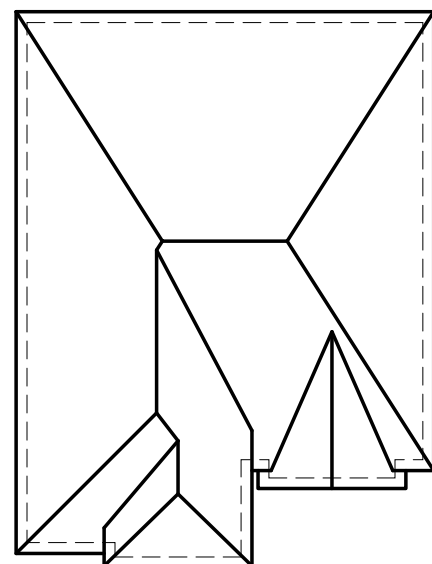
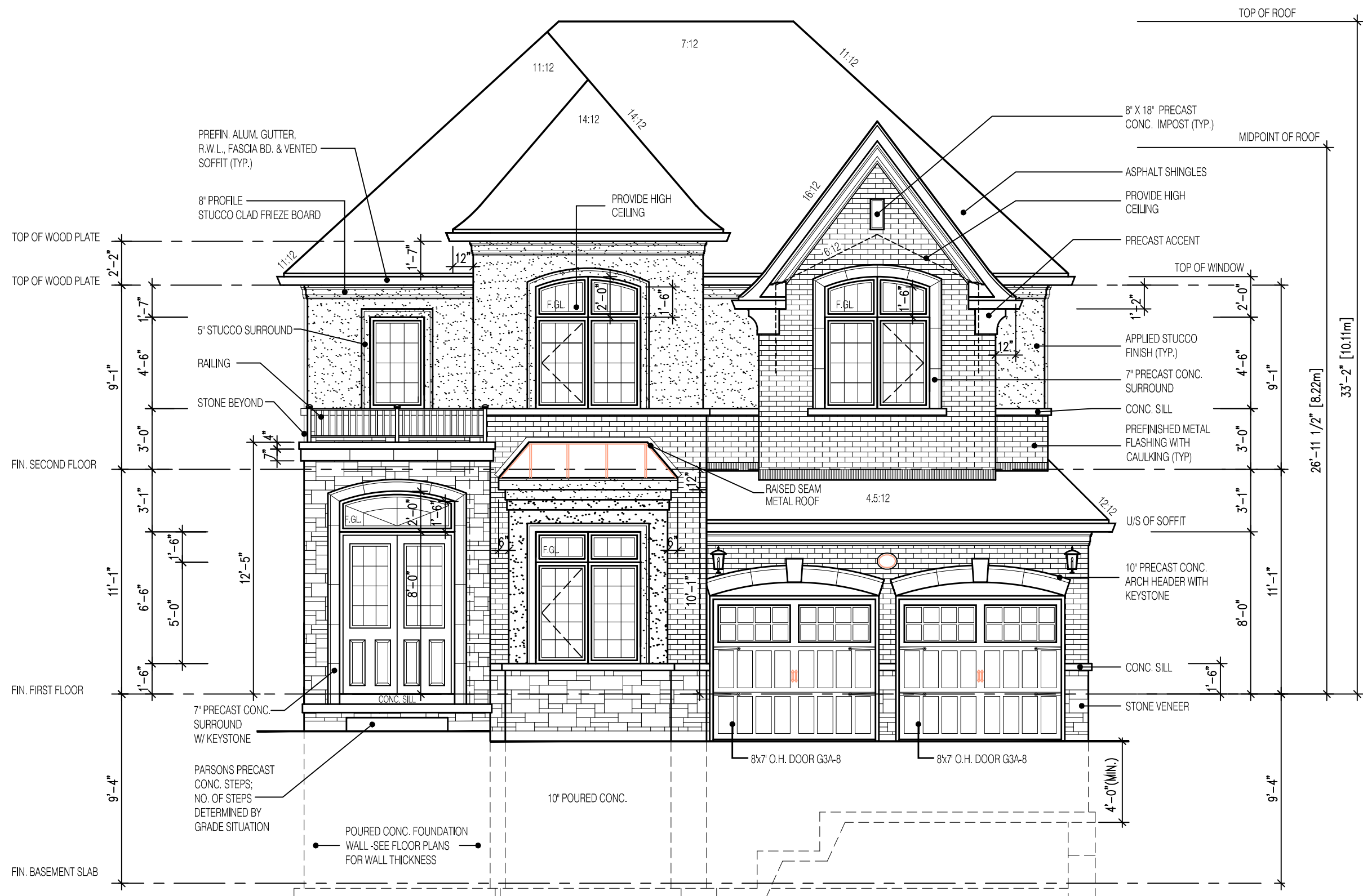
MODEL  
T

SCALE:  
3/16" = 1'-0"

PROJ. No.  
17-14

DWG. No.  
3-1

DRAWN BY: DRAWING NAME: AUBURN 4



**ROOF PLAN**  
N.T.S.

**AUBURN 4  
ELEV-1**

**3128**

**AUBURN 4  
ELEVATION 1**

**O.REG. 332/12**

**2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'**

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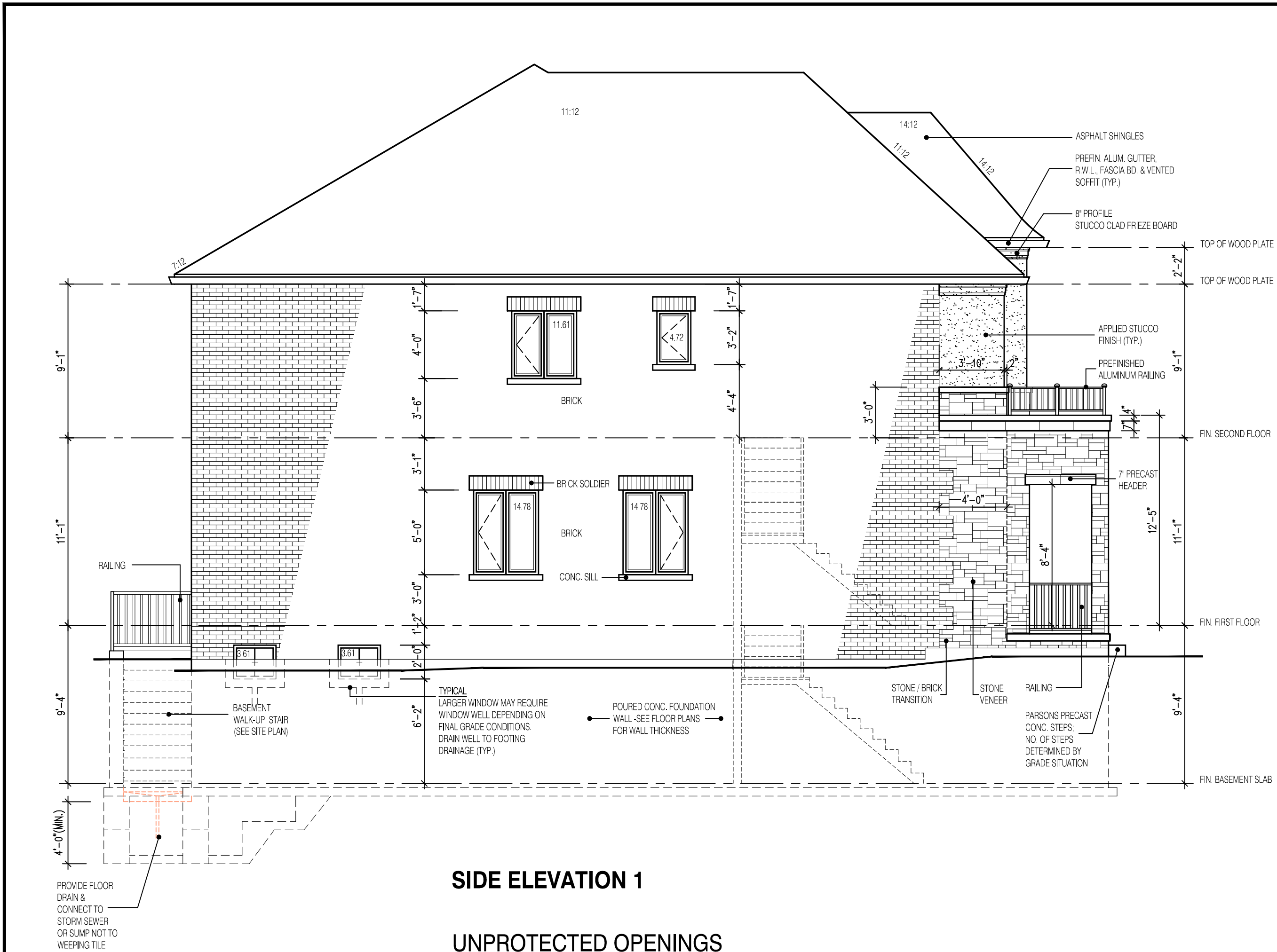
jardin design group inc. 27763  
FIRM NAME BCIN

**FRONT ELEVATION 1**

**OSTIENSE  
BRAMPTON**



MODEL  
T  
SCALE:  
3/16" = 1'-0"  
PROJ. No.  
17-14  
DWG. No.  
4



SIDE ELEVATION 1

UNPROTECTED OPENINGS

WALL AREA	1091	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	76.37	⌘
ACTUAL WINDOW AREA	53.11	⌘

3128

AUBURN 4  
ELEVATION 1

O.REG. 332/12

2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'

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jardin design group inc.

FIRM NAME

27763

BCIN

SIDE ELEVATION 1

OSTIENSE  
BRAMPTON

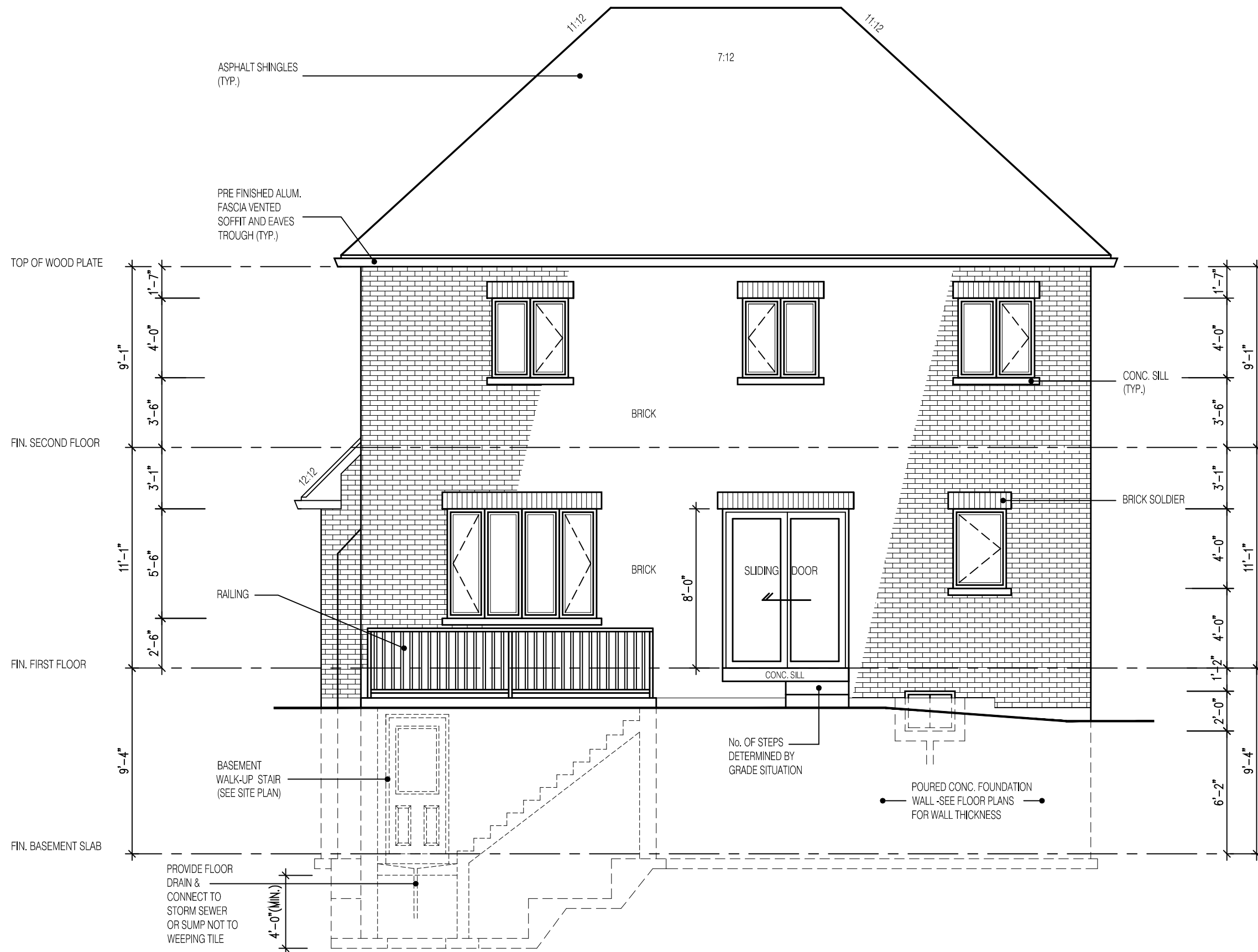
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T

SCALE:  
3/16"= 1'-0"

PROJ. No.  
17-14

DWG. No.  
5

DRAWN BY:      DRAWING NAME: AUBURN 4



REAR ELEVATION 1

3128

AUBURN 4  
ELEVATION 1

O.REG. 332/12

2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'

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jardin design group inc. 27763  
FIRM NAME BCIN

REAR ELEVATION 1

OSTIENSE  
BRAMPTON



MODEL T
SCALE: 3/16" = 1'-0"
PROJ. No. 17-14
DWG. No. 6

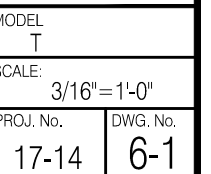


**2017-SB-12  
COMPLIANCE  
PACKAGE 'A1'**

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OSTIENSE  
BRAMPTON

**WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.  
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)**

3128

AUBURN 4  
ELEVATION 1

O.REG. 332/12

2017-SB-12  
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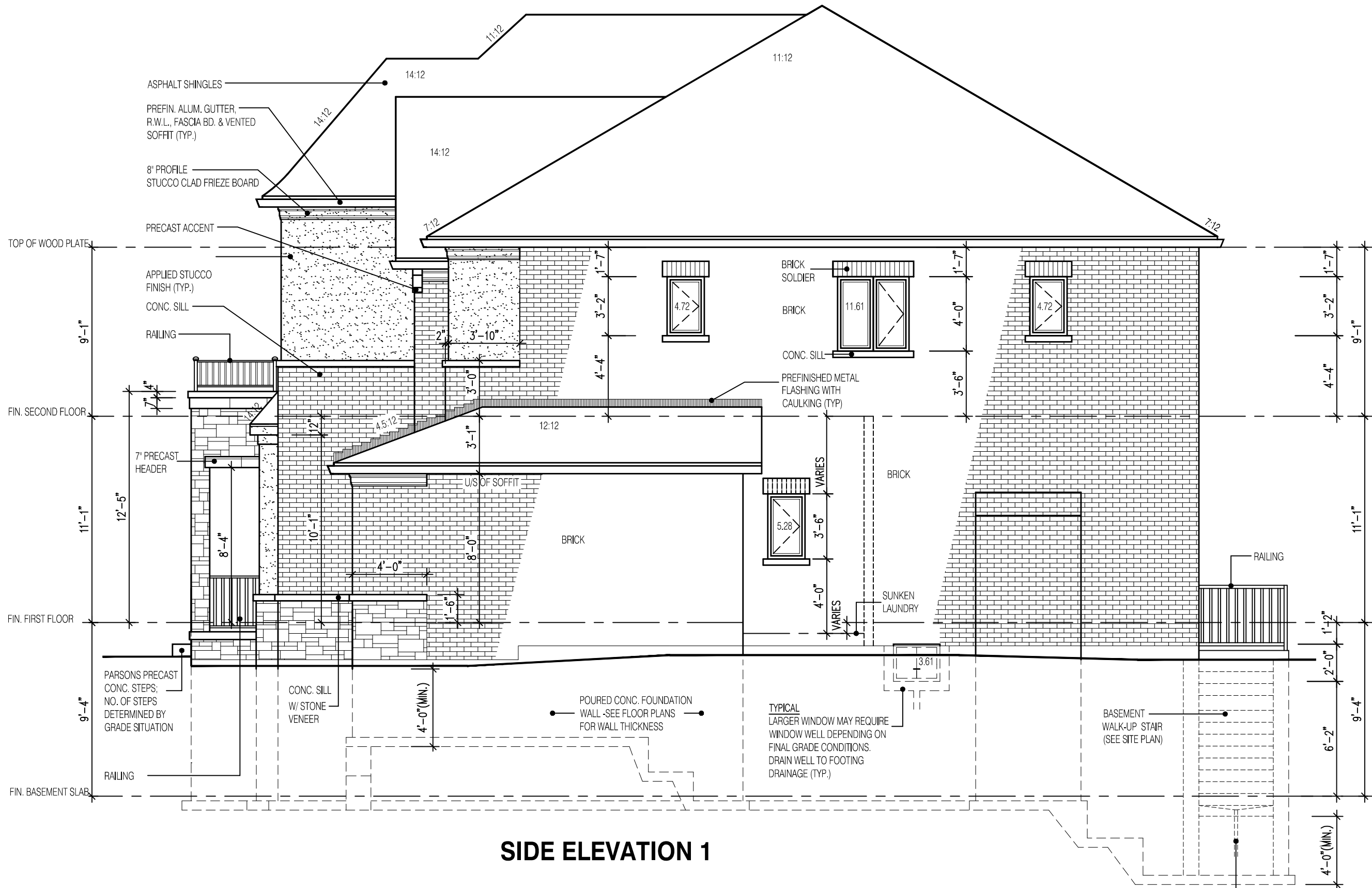
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SIDE ELEVATION 1

OSTIENSE  
BRAMPTON



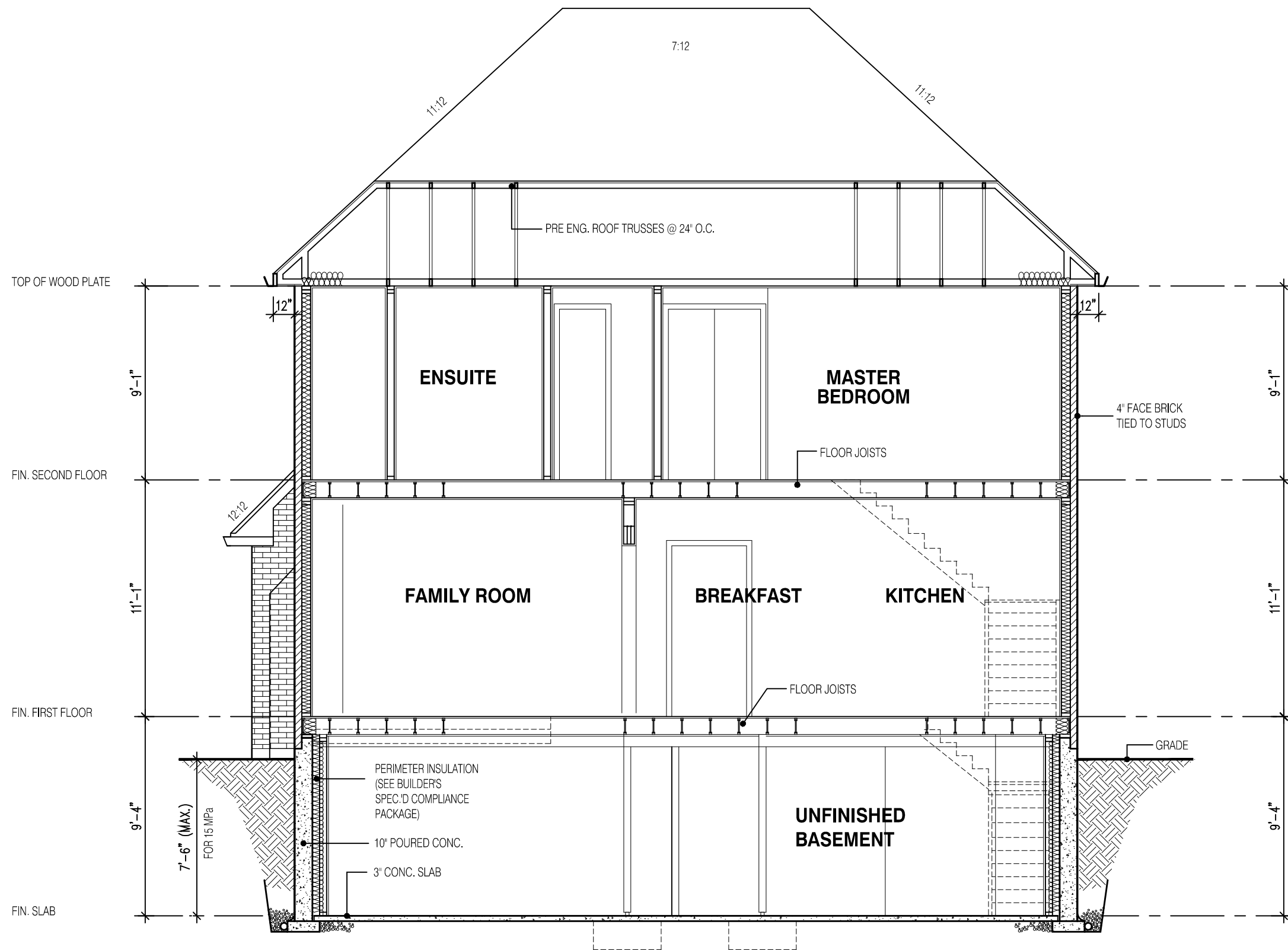
MODEL T	
SCALE: 3/16"=1'-0"	
PROJ. No. 17-14	DWG. No. 7



SIDE ELEVATION 1

UNPROTECTED OPENINGS

WALL AREA	699	Φ
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	48.93	Φ
ACTUAL WINDOW AREA	29.94	Φ



SECTION A-A  
ELEVATION 1

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

3128

AUBURN 4  
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BCIN

SECTION EL-1

OSTIENSE  
BRAMPTON

MODEL  
T

SCALE:  
3/16" = 1'-0"

PROJ. No.  
17-14

DWG. No.  
8