

SB-12 PRESCRIPTIVE ENERGY EFFICIENCY DESIGN MATRIX				
<div>A1</div>		GLASS/WALL AREA RATIO		
		ELEV. 1	WALL AREA	0.0 m ²
			GLASS AREA	0.0 m ²
			% GLASS	0.0 %
		ELEV. 2	WALL AREA	354.67 m ²
			GLASS AREA	32.04 m ²
% GLASS	9.03 %			
SPACE HEATING FUEL		ELEV. 3	WALL AREA	000.00 m ²
■ GAS □ OIL			GLASS AREA	00.00 m ²
□ ELECTRIC □ PROPANE			% GLASS	0.00 %
□ EARTH □ SOLID FUEL				
BUILDING COMPONENTS			PROPOSED (A1)	
INSULATION (RSI)				
CEILING W/ATTIC SPACE			10.57 (R60)	
CEILING W/O ATTIC SPACE			5.46 (R31)	
EXPOSED FLOOR			5.46 (R31)	
WALLS ABOVE GRADE			4.22 (R24)	
BASEMENT WALLS			3.52 (R20)	
BELOW GRADE SLAB ENTIRE SURFACE >600mm BELOW GRADE			-	
EDGE OF BELOW GRADE SLAB ≤600mm BELOW GRADE			1.76 (R10)	
HEATED SLAB ≤600mm BELOW GRADE			1.76 (R10)	
CONC. SLAB ≤600mm) BELOW GRADE			1.76 (R10)	
WINDOWS & DOORS (U-VALUE)				
WINDOWS/SLIDING GLASS DOORS (MAX. U-VALUE)			1.6 (0.28)	
SKYLIGHTS (MAX. U-VALUE)			2.8 (0.49)	
APPLIANCE EFFICIENCY				
SPACE HEATING EQPT. (MIN. AFUE %)			96%	
HRV EFFICIENCY (%) (MIN. SRE)			75%	
DHW HEATER (MIN. EF)			0.8	

TYPICAL BASEMENT FLOOR PLAN NOTES

ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 75Kpa (1500 PSF), AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR WALLS AND FOOTINGS SHALL BE A MINIMUM OF 15Mpa.

CONCRETE STRENGTH FOR GARAGE SLABS, CONC. PORCHES, AND STEPS SHALL BE A MINIMUM OF 32Mpa. WITH 5-8% AIR ENTRAINMENT.

CONCRETE STRIP FOOTING SIZE FOR 8" POURED CONC. WALLS SHALL BE A MINIMUM OF 6"x20" UNREINFORCED.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND A ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH THE SPAN OF SUPPORTED JOISTS THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB-FLOOR TO BE GLUED & NAILED (TYP.)

REFER TO APPROVED FLOOR JOIST LAYOUT DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL FLOOR FRAMING AND DETAILS.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS

CONC. PAD FOOTING LEGEND (75 KPa)

(UNLESS OTHERWISE SPECIFIED)

- F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 30"x30"x12" CONCRETE PAD
F5 = 24"x24"x12" CONCRETE PAD
F6 = 18"x18"x10" CONCRETE PAD
F7 = 16"x16"x8" CONCRETE PAD

BRICK VENEER LINTELS:

- WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 8" SPR. No. 2
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR. No. 2
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR. No. 2
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR. No. 2
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR. No. 2
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR. No. 2
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR. No. 2
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR. No. 2
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR. No. 2

DOOR SCHEDULE:

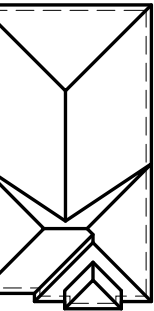
- 1 = 2'-10" x 6'-8" (865x2033) INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" (815x2033) INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" (815x2033) EXTERIOR WOOD & GLAZED DOOR
3 = 2'-8" x 6'-8" x 1 3/4" (815x2033x45) EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1 3/8" (815x2033x35) INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1 3/8" (760x2033x35) INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1 3/8" (660x2033x35) INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1 3/8" (460x2033x35) INTERIOR SLAB DOOR

WOOD LINTELS:

- WB1 = 2- 2" x 8" (2-38x184) SPR. No. 2
WB2 = 3- 2" x 8" (3-38x184) SPR. No. 2
WB3 = 2- 2" x 10" (2-38x235) SPR. No. 2
WB4 = 3- 2" x 10" (3-38x235) SPR. No. 2
WB5 = 2- 2" x 12" (2-38x286) SPR. No. 2
WB6 = 3- 2" x 12" (3-38x286) SPR. No. 2
WB7 = 5- 2" x 12" (5-38x286) SPR. No. 2
WB10 = 4- 2" x 8" (4-38x184) SPR. No. 2
WB11 = 4- 2" x 10" (4-38x235) SPR. No. 2
WB12 = 4- 2" x 12" (4-38x286) SPR. No. 2
LSL = TIMBERSTRAND BOARD

STEEL LINTELS:

- L1 = 3 1/2 x 3 1/2 x 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)



ROOF PLAN



FRONT ELEVATION 2 LOT-4

AREA CALCULATIONS - EL.2

TOTAL GROUND FLOOR AREA	=	1244 SQ. FT.
TOTAL SECOND FLOOR AREA	=	1574 SQ. FT.
TOTAL GROSS FLOOR AREA	=	2818 SQ. FT. 261.80 m ²
SUBTRACT OPEN AREAS	=	0 SQ. FT. 0.00 m ²
TOTAL NET FLOOR AREA	=	2818 SQ. FT. 261.80 m ²

W Architect Inc.
DESIGN CONTROL REVIEW

FEB. 04, 2019

FINAL BY: MMI

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STRUDET INC.



FOR STRUCTURE ONLY

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4" x 7" 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7" 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7" 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7" 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9" 1/2" (1-45x235)
LVL4 = 2-1 3/4" x 9" 1/2" (2-45x235)
LVL5 = 3-1 3/4" x 9" 1/2" (3-45x235)
LVL5A = 4-1 3/4" x 9" 1/2" (4-45x235)
LVL6A = 1-1 3/4" x 11" 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11" 7/8" (2-45x300)

NOTE: LVL BEAMS

ALL LVL BEAMS SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

2818

11.0m LOTS

AMELIA 2-04
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter
NAME SIGNATURE 21031 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

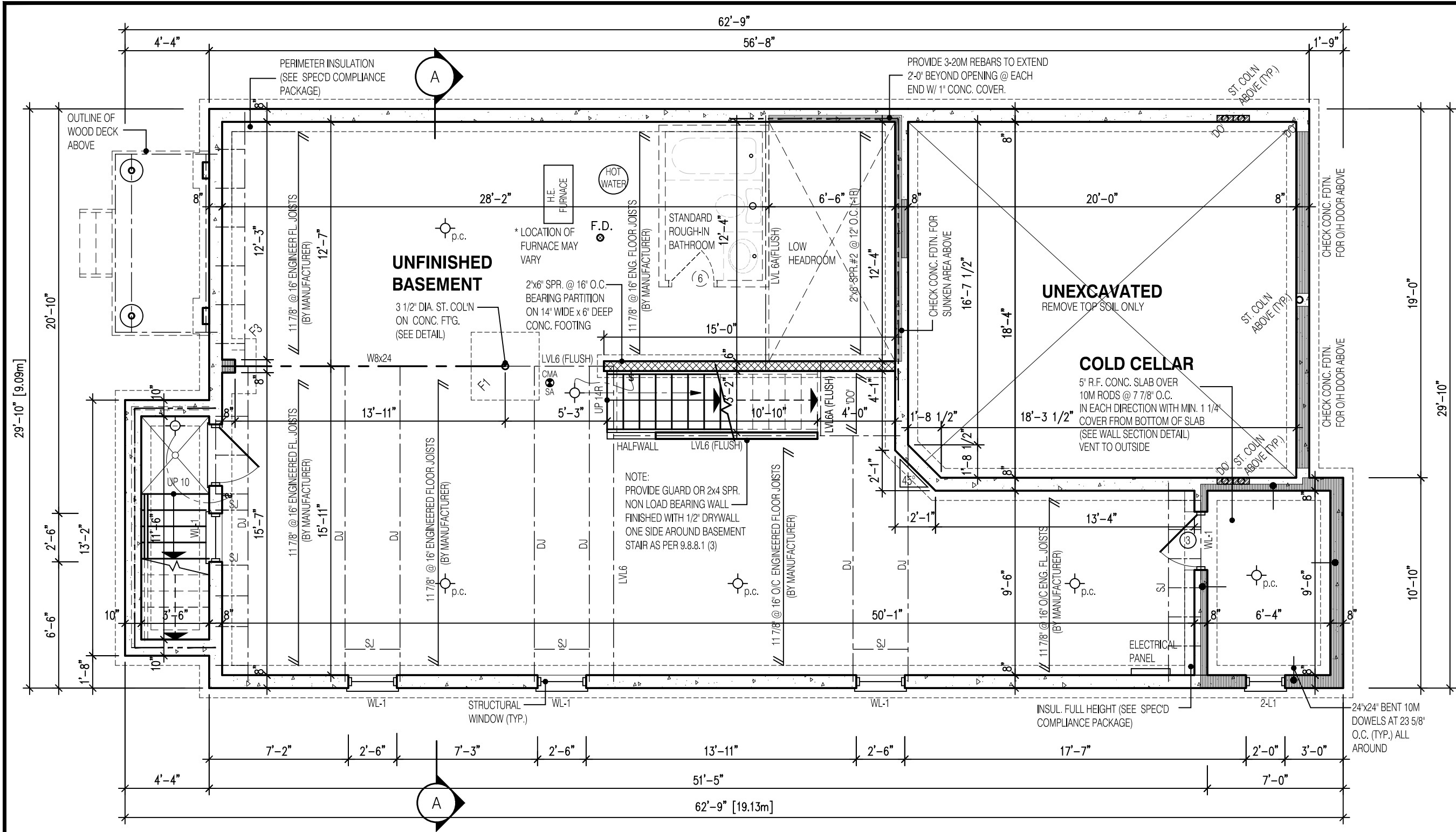
GRANELLI HOMES
BRAMPTON



MODEL: ----

SCALE: 3/16"=1'-0"

PROJ. No. 17-55 DWG. No. 0



NOTE:
FOR WALK-UP AND DECK
CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

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NOTE:
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LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO SHEET 0

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F4 = 30"x30"x12" CONCRETE PAD

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL.
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS
@ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7',
2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

LEGEND:

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- LVL
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS
- ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

2818
11.0m LOTS
AMELIA 2-04
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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64 JARDIN DR, SUITE 3A
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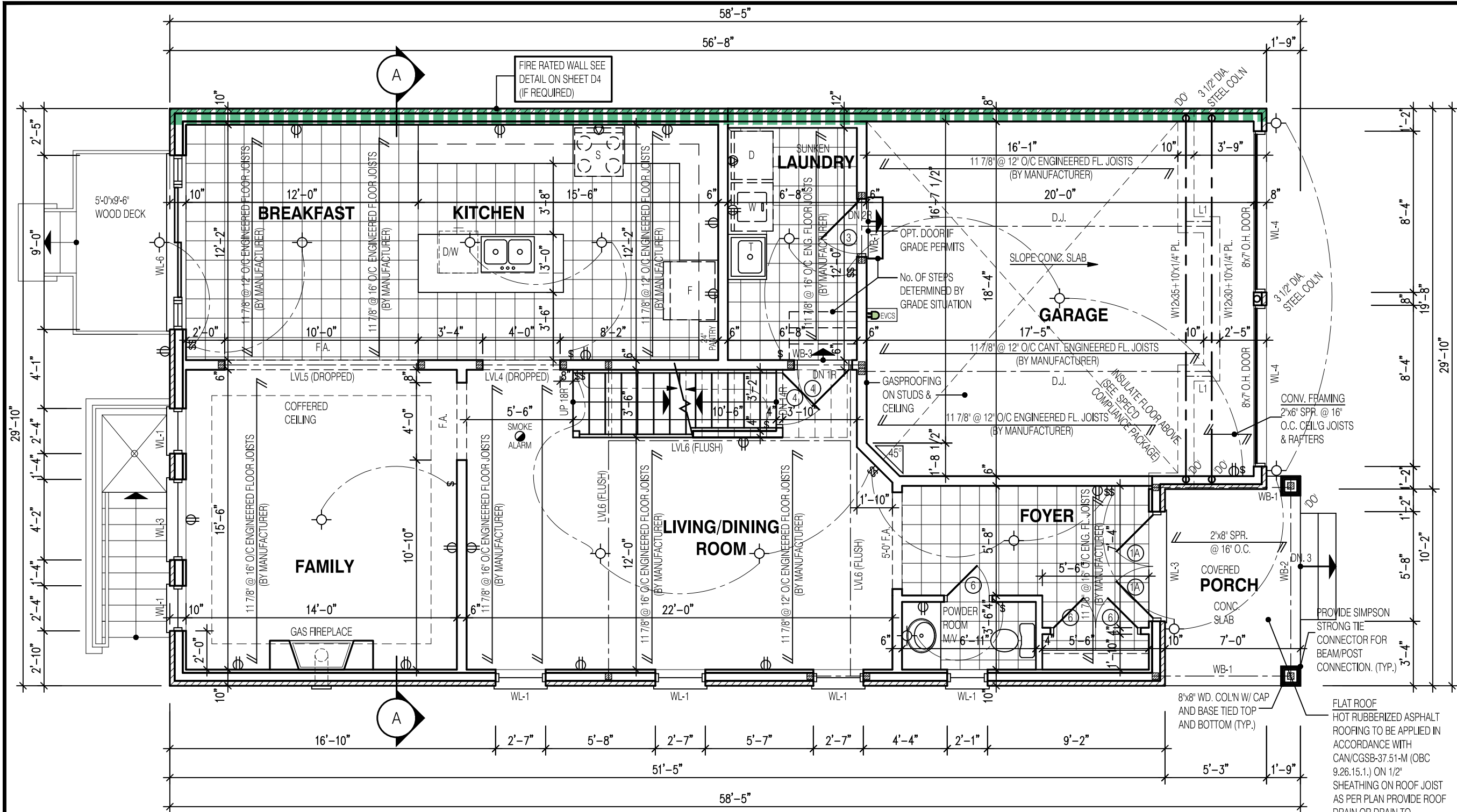
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2
GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 1A



NOTE:
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CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

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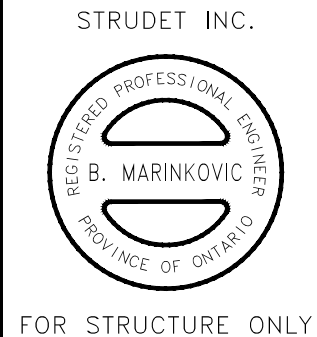
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NOTE:
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NOTE:
SPACE CONVENTIONAL FLOOR JOISTS
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PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7",
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NOTE:
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- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
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 - STL. PLATE FOR STEEL COL'N ABOVE
LAMINATED VENEER LUMBER
 - LVL
 - S.J.
 - D.J.
 - T.J.
 - REPEAT NOTE
 - SHOWER WEEPERS
 - EVCS ELECTRIC VEHICLE CHARGING SYSTEM



2818

11.0m LOTS

AMELIA 2-04

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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21031

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jardin design group inc. 27763

FIRM NAME BCIN

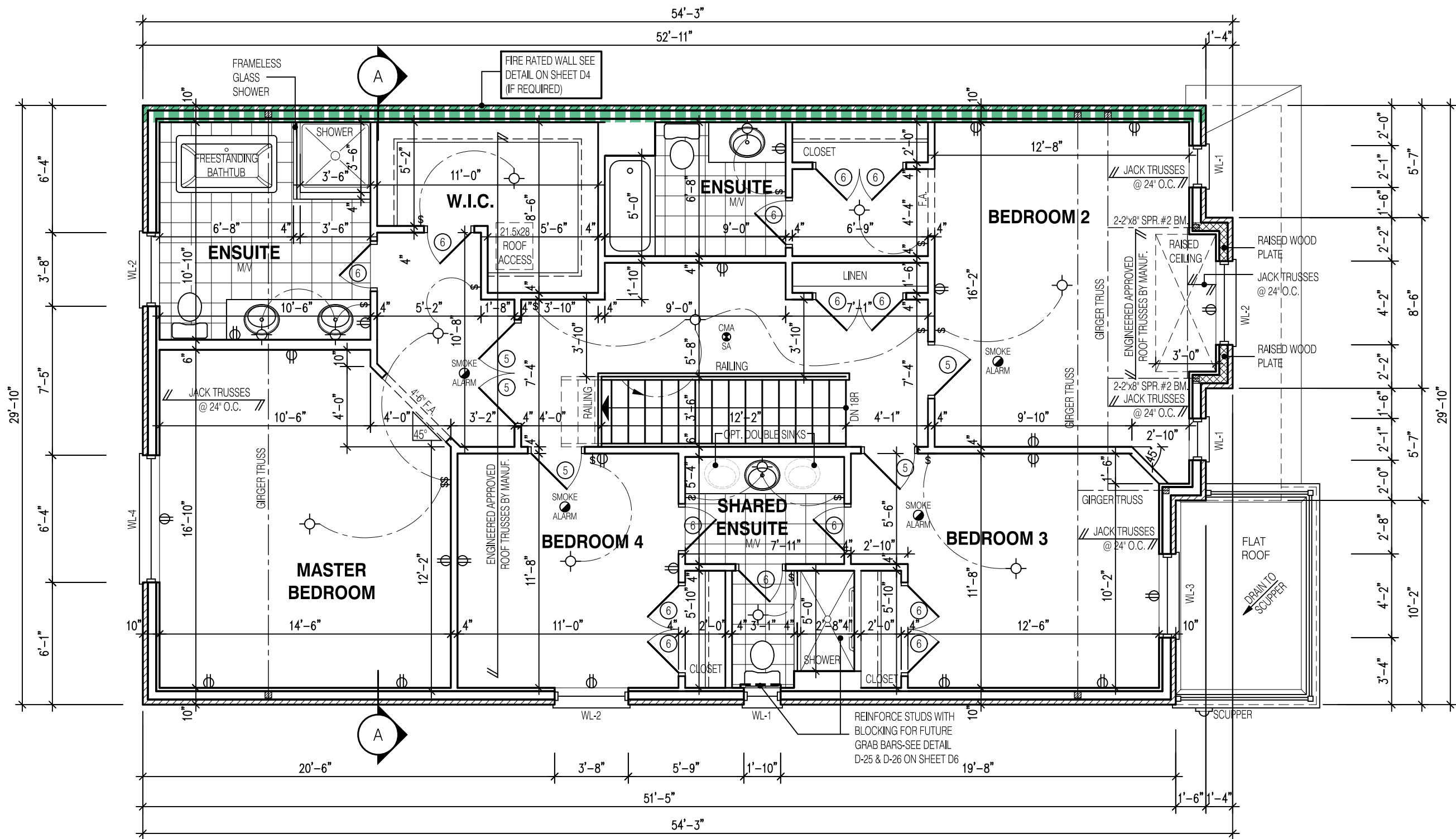
FIRST FLOOR PLAN EL-2

GRANELLI HOMES
BRAMPTON

MODEL: ---

SCALE: 3/16" = 1'-0"

PROJ. No. 17-55 DWG. No. 2A



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NOTE:

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE LAMINATED VENEER LUMBER
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STRUDET INC.



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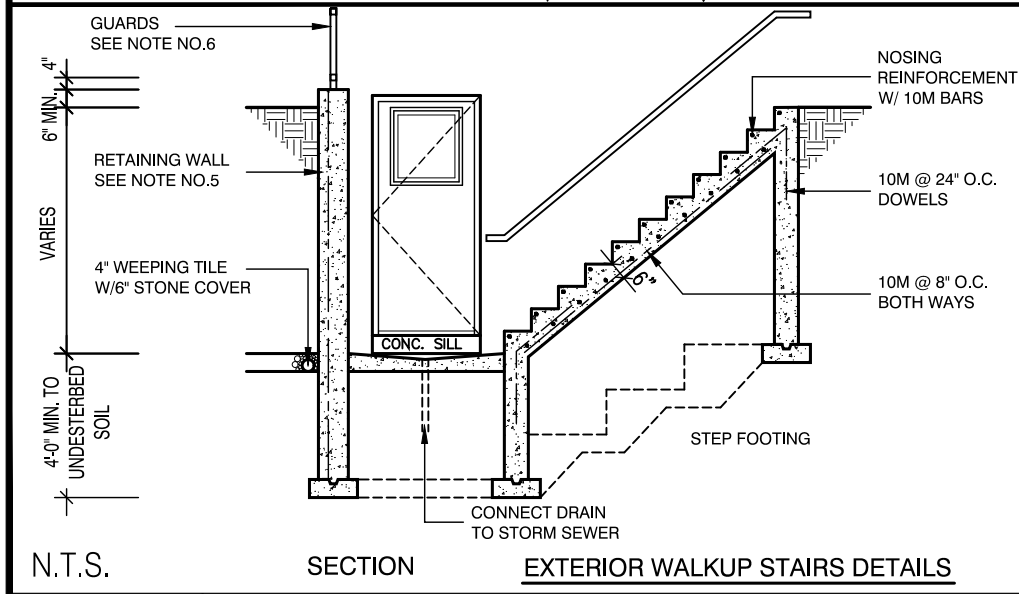
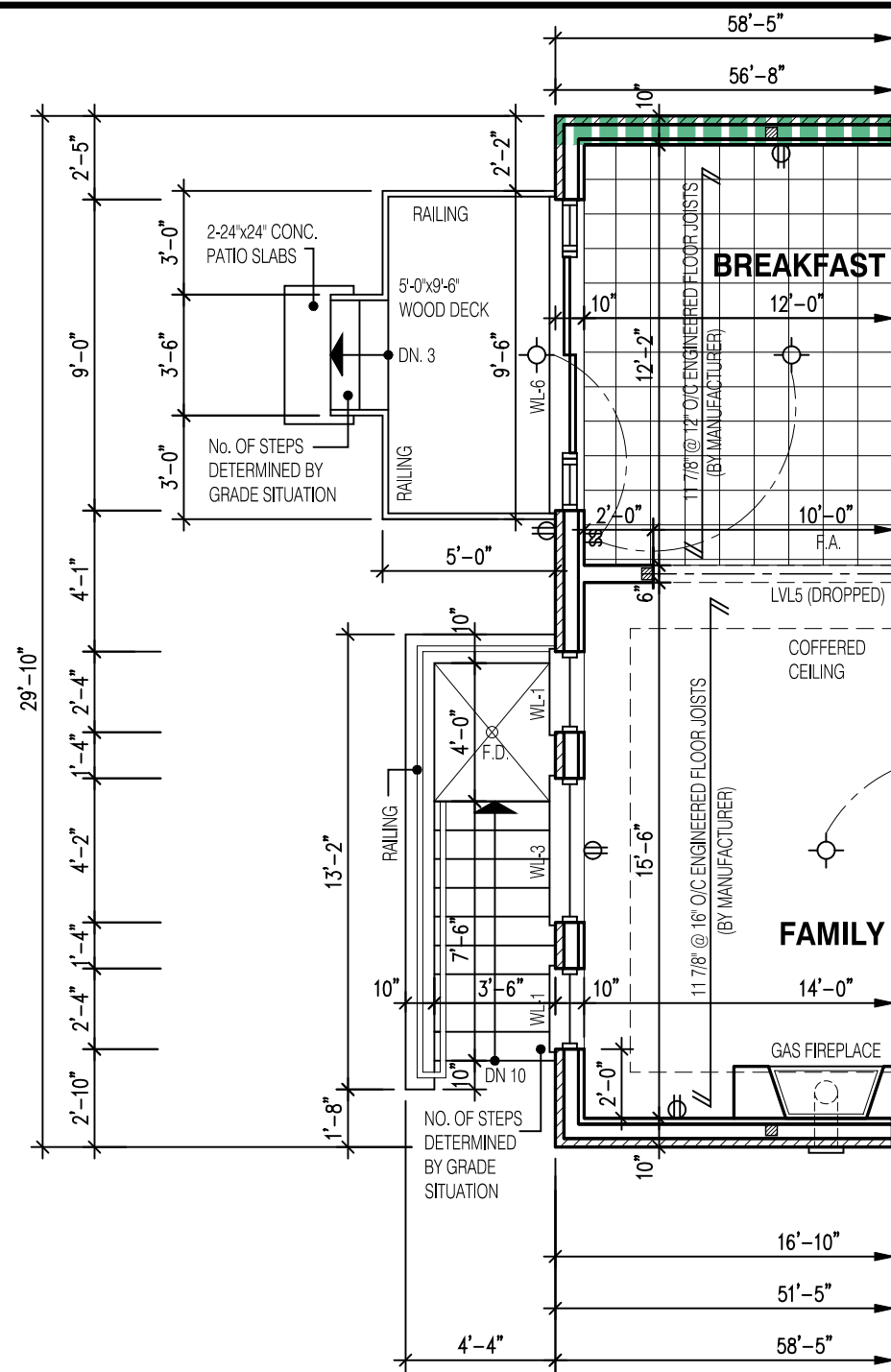
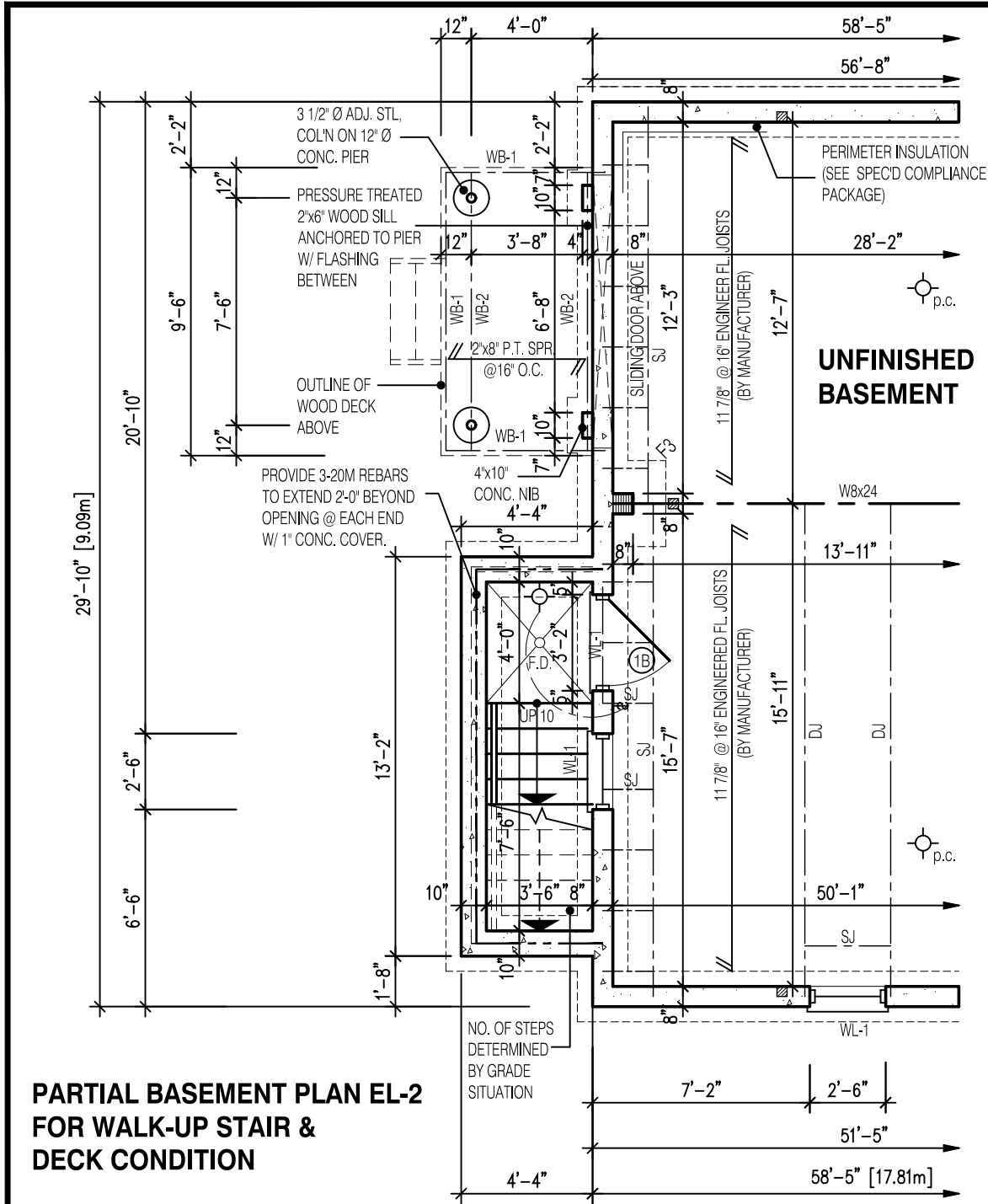
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Walter Botter 21031
NAME SIGNATURE BCIN

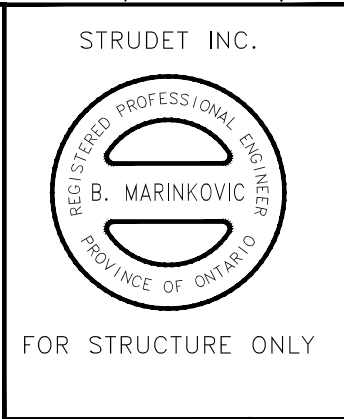
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jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2
GRANELLI HOMES
BRAMPTON

BILD
MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 3A



- GENERAL NOTES:**
- FOOTING**
24\"X8\" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
 - CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS**
7 7/8\" RISE MAXIMUM
8 1/4\" RUN MINIMUM
9 1/4\" TREAD MINIMUM
 - INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL**
10\" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7\". PROVIDE 15M VERTICAL REINFORCEMENT @ 16\" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24\" O.C. FOR WALL HEIGHTS TO 7'-0\". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
 - GUARDS**
3'-6\" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11\". 2'-11\" FOR LESSER HEIGHTS. MAXIMUM 4\" BETWEEN VERTICAL PICKETS.



**PARTIAL FIRST FLOOR PLAN EL-2
FOR WALK-UP STAIR &
DECK CONDITION**



NOTE:
RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

NOTE:
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NOTE:
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2818

11.0m LOTS

AMELIA 2-04

ELEVATION 2

PACKAGE 'A1'

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

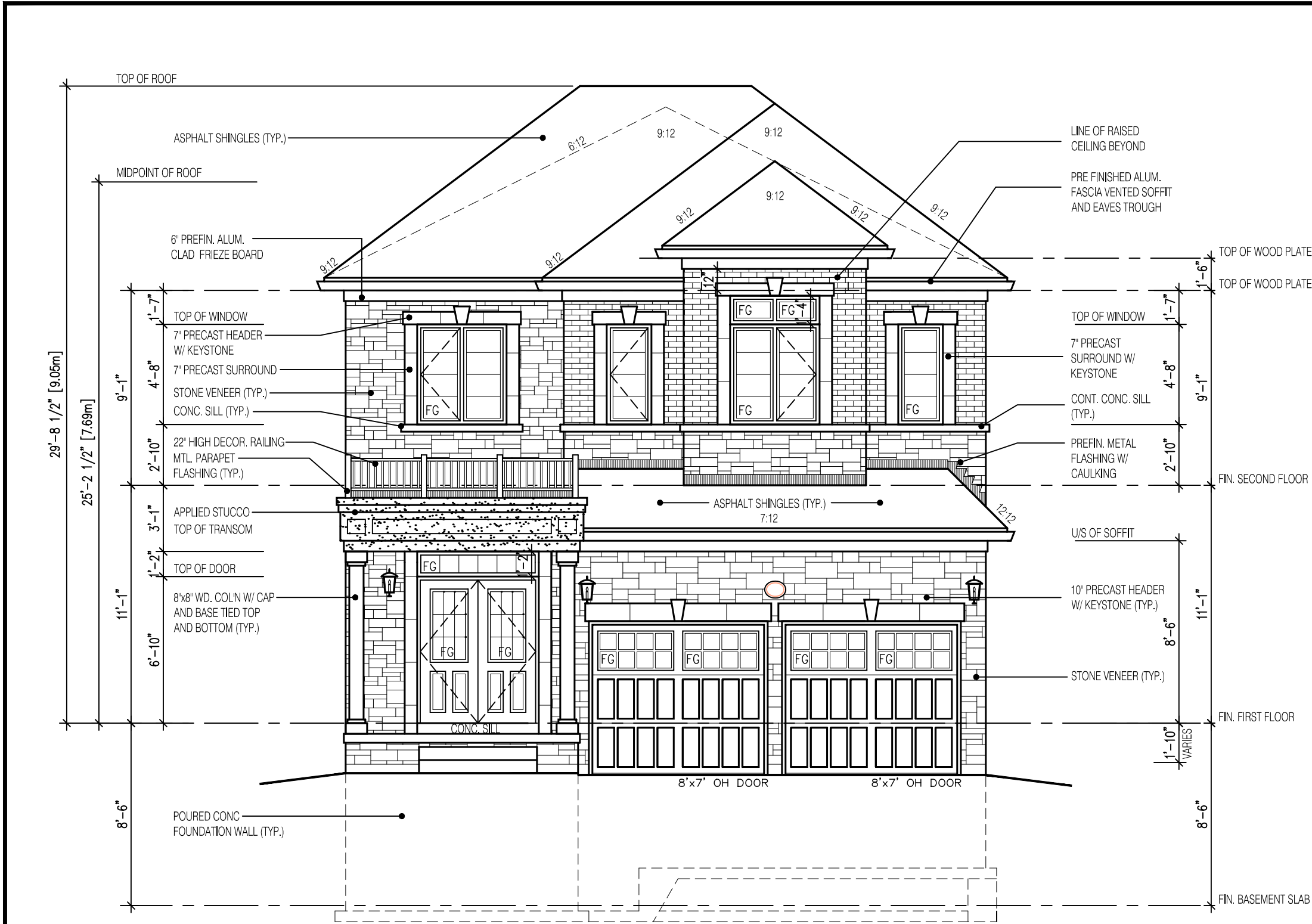
WALK-UP & DECK CONDITION EL-2

GRANELLI HOMES
BRAMPTON

MODEL: ----

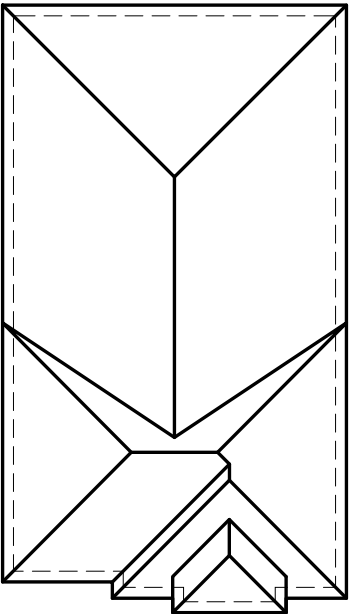
SCALE: 3/16"=1'-0"

PROJ. No. 17-55 DWG. No. 3A-1



FRONT ELEVATION 2
LOT-4

2818-ELEV.-2		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	688.00	85.00	12.35 %
LEFT SIDE	1195.84	79.88	6.68 %
RIGHT SIDE	1207.00	0.00	0.00 %
REAR	727.00	180.00	24.76 %
TOTAL	3817.84	344.88	9.03 %



ROOF PLAN

N.T.S.

2818

11.0m LOTS

AMELIA 2-04

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2

GRANELLI HOMES
BRAMPTON

BILD

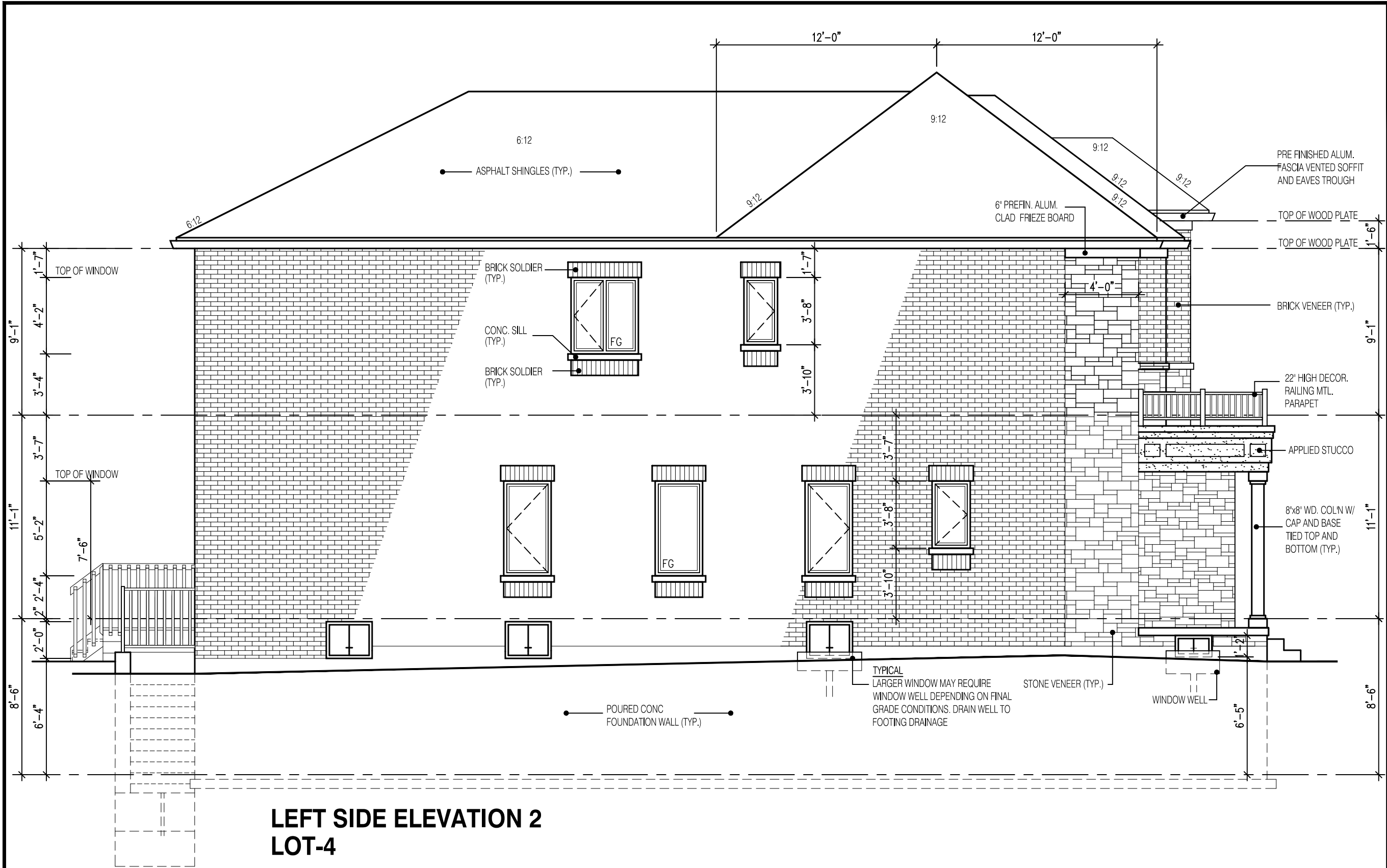
MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55
DWG. No. 4A

W Architect Inc.
DESIGN CONTROL REVIEW

FEB. 04, 2019

FINAL BY: MMI

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LEFT SIDE ELEVATION 2
LOT-4

UNPROTECTED OPENINGS

WALL AREA	1235.0	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	86.5	⌘
ACTUAL GLAZED AREA	68.5	⌘



2818

11.0m LOTS

AMELIA 2-04

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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21031

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jardin design group inc.

27763

FIRM NAME BCIN

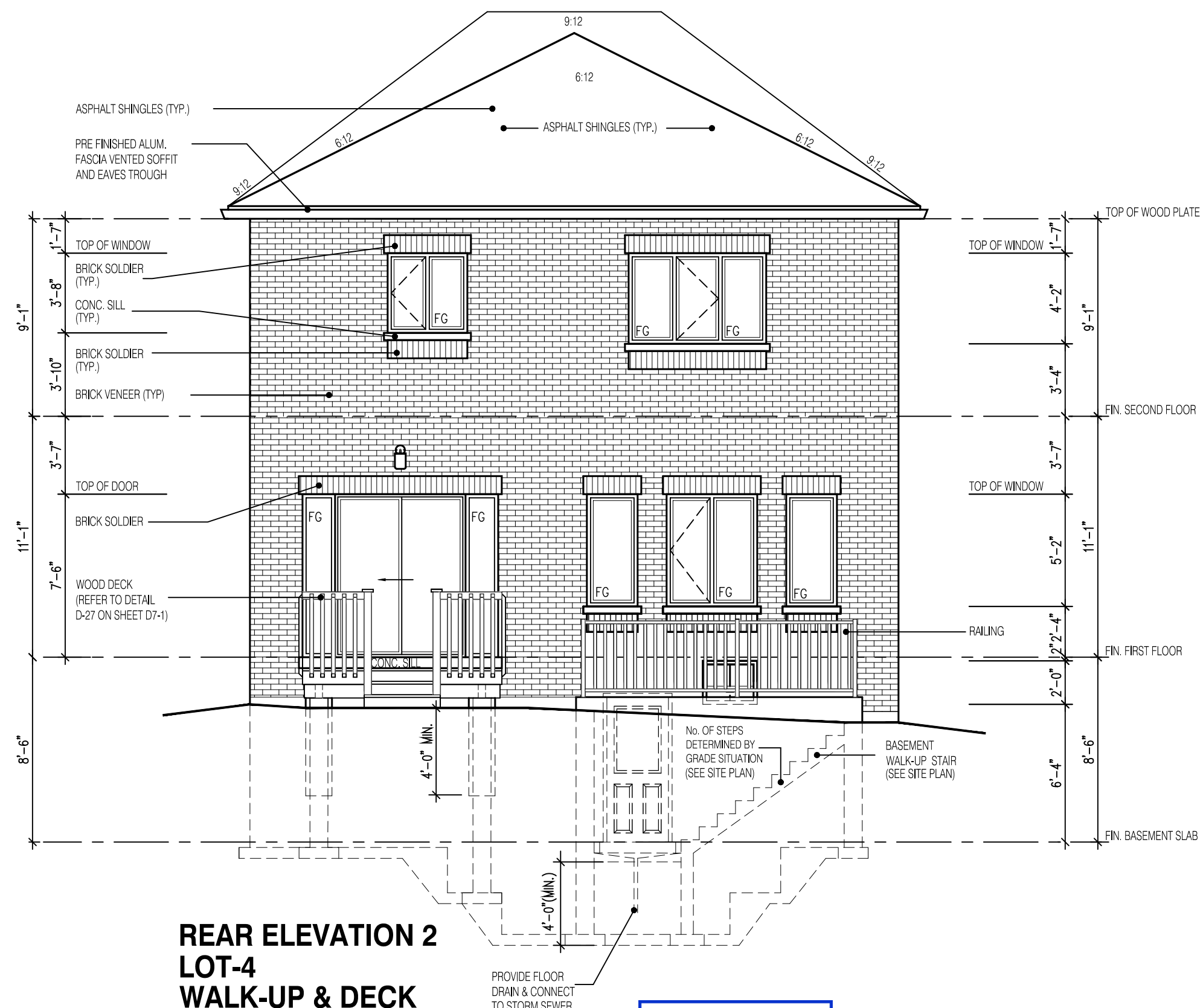
SIDE ELEVATION 2

GRANELLI HOMES
BRAMPTON

MODEL: ---

SCALE: 3/16" = 1'-0"

PROJ. No. 17-55 DWG. No. 5A



REAR ELEVATION 2
LOT-4
WALK-UP & DECK
CONDITION

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 04, 2019
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2818
11.0m LOTS
AMELIA 2-04
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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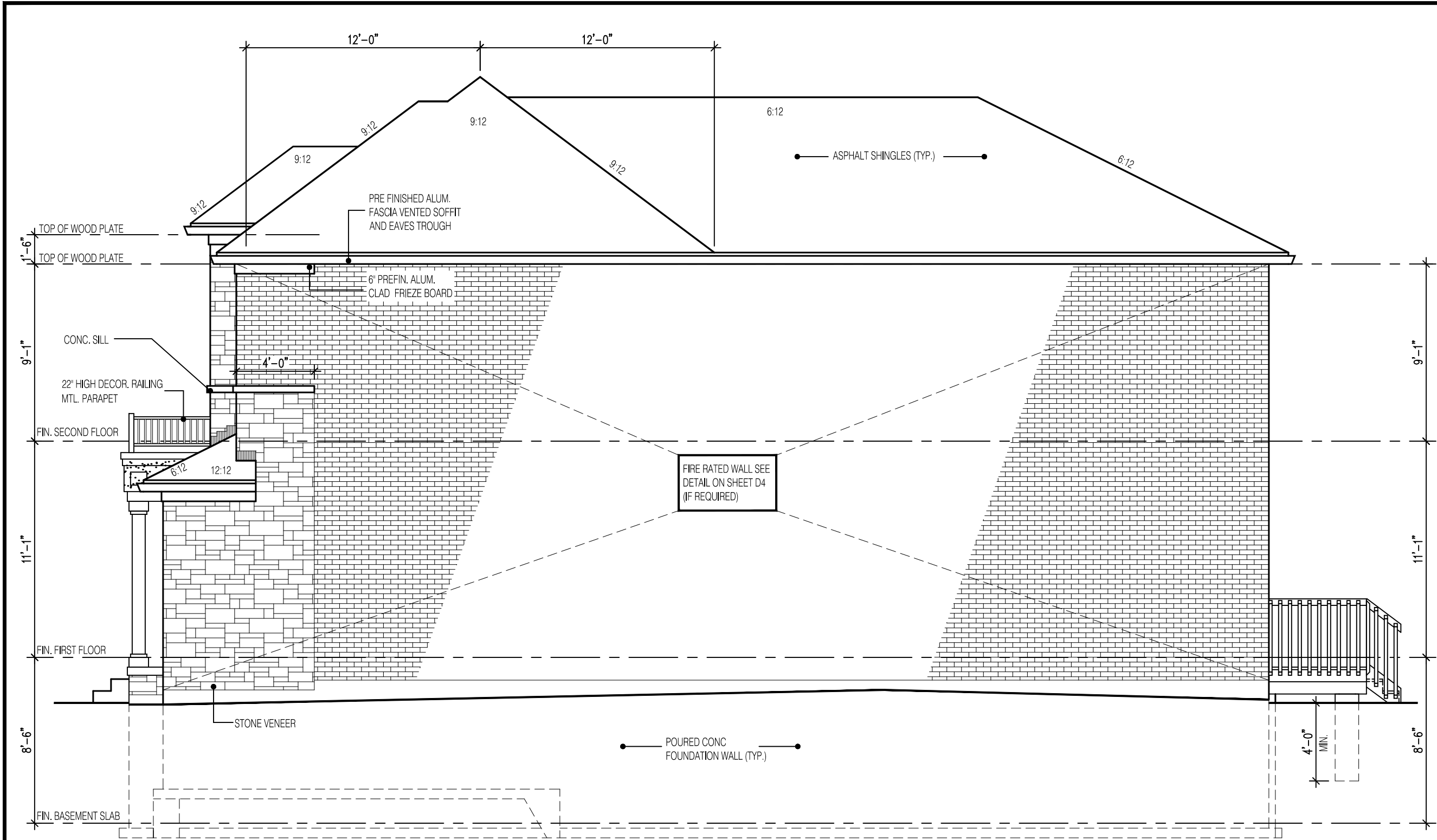
Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 2
GRANELLI HOMES
BRAMPTON

BILD MODEL: ---
SCALE: 3/16"=1'-0"
PROJ. No. 17-55 DWG. No. 6A



RIGHT SIDE ELEVATION 2
LOT-4

W Architect Inc.
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2818
11.0m LOTS
AMELIA 2-04
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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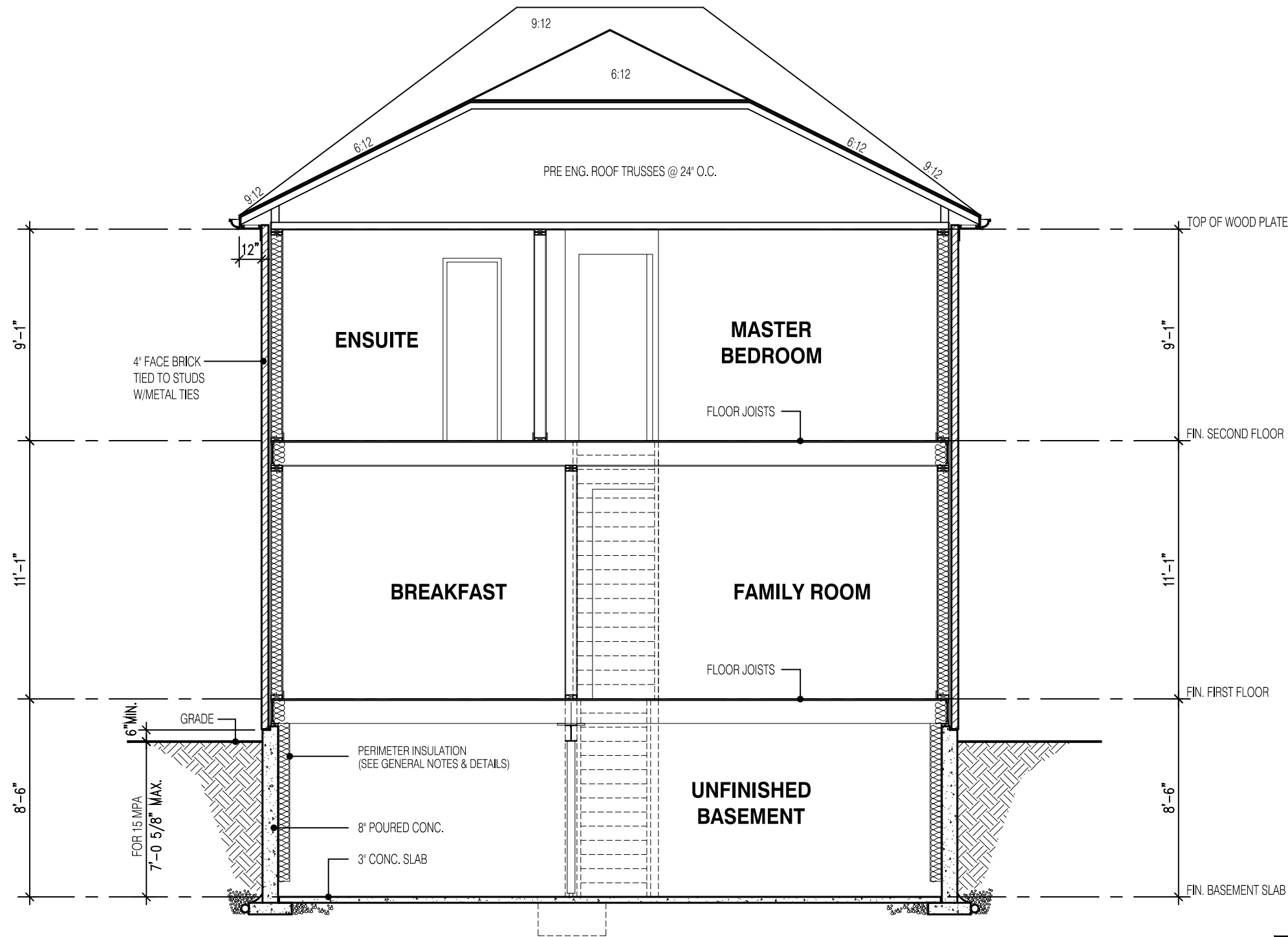
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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 7A



SECTION A-A
ELEVATION 2

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STRUDET INC.



FOR STRUCTURE ONLY

2818
11.0m LOTS
AMELIA 2-04
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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FIRM NAME BCIN

SECTION EL-2
GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 8A