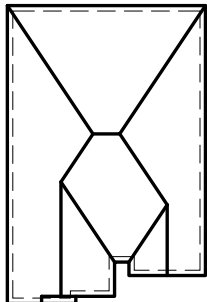


# CELESTIAL 1

## (MODEL 3187 S.F.)

SB-12 PRESCRIPTIVE ENERGY EFFICIENCY DESIGN MATRIX				
<div>A1</div>		GLASS/WALL AREA RATIO		
		ELEV. 1	WALL AREA	396.0 m²
			GLASS AREA	44.4 m²
			% GLASS	11.21 %
		ELEV. 2	WALL AREA	0.0 m²
			GLASS AREA	0.0 m²
% GLASS	0.0 %			
SPACE HEATING FUEL		ELEV. 3	WALL AREA	000.00 m²
<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL		GLASS AREA	00.00 m²
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE		% GLASS	0.00 %
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL			
BUILDING COMPONENTS			PROPOSED (A1)	
INSULATION (RSI)				
CEILING W/ATTIC SPACE			10.57 (R60)	
CEILING W/O ATTIC SPACE			5.46 (R31)	
EXPOSED FLOOR			5.46 (R31)	
WALLS ABOVE GRADE			4.22 (R24)	
BASEMENT WALLS			3.52 (R20)	
BELOW GRADE SLAB ENTIRE SURFACE >600mm BELOW GRADE			-	
EDGE OF BELOW GRADE SLAB ≤600mm BELOW GRADE			1.76 (R10)	
HEATED SLAB ≤600mm BELOW GRADE			1.76 (R10)	
CONC. SLAB ≤600mm) BELOW GRADE			1.76 (R10)	
WINDOWS & DOORS (U-VALUE)				
WINDOWS/SLIDING GLASS DOORS (MAX. U-VALUE)			1.6 (0.28)	
SKYLIGHTS (MAX. U-VALUE)			2.8 (0.49)	
APPLIANCE EFFICIENCY				
SPACE HEATING EQPT. (MIN. AFUE %)			96%	
HRV EFFICIENCY (%) (MIN. SRE)			75%	
DHW HEATER (MIN. EF)			0.8	



ROOF PLAN



FRONT ELEVATION 1  
LOT-12

AREA CALCULATIONS - EL.1	
TOTAL GROUND FLOOR AREA	= 1452 SQ. FT.
TOTAL SECOND FLOOR AREA	= 1735 SQ. FT.
TOTAL GROSS FLOOR AREA	= 3187 SQ. FT.
	296.08 m <sup>2</sup>
SUBTRACT OPEN AREAS	= 0 SQ. FT.
	0.00 m <sup>2</sup>
TOTAL NET FLOOR AREA	= 3187 SQ. FT.
	296.08 m <sup>2</sup>

W Architect Inc.  
DESIGN CONTROL REVIEW  
FEB. 04, 2019  
FINAL BY: MMI  
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### TYPICAL BASEMENT FLOOR PLAN NOTES

ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 75Kpa (1500 PSF), AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR WALLS AND FOOTINGS SHALL BE A MINIMUM OF 15Mpa.

CONCRETE STRENGTH FOR GARAGE SLABS, CONC. PORCHES, AND STEPS SHALL BE A MINIMUM OF 32Mpa. WITH 5-8% AIR ENTRAINMENT.

CONCRETE STRIP FOOTING SIZE FOR 8" POURED CONC. WALLS SHALL BE A MINIMUM OF 6"x20" UNREINFORCED.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND A ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH THE SPAN OF SUPPORTED JOISTS THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB-FLOOR TO BE GLUED & NAILED (TYP.)

REFER TO APPROVED FLOOR JOIST LAYOUT DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL FLOOR FRAMING AND DETAILS.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS

#### CONC. PAD FOOTING LEGEND (75 KPa)

(UNLESS OTHERWISE SPECIFIED)

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 30"x30"x12" CONCRETE PAD  
F5 = 24"x24"x12" CONCRETE PAD  
F6 = 18"x18"x10" CONCRETE PAD  
F7 = 16"x16"x8" CONCRETE PAD

#### BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 8" SPR. No. 2  
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR. No. 2  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR. No. 2  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR. No. 2  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR. No. 2  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR. No. 2  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR. No. 2  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR. No. 2  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR. No. 2

#### DOOR SCHEDULE:

1 = 2'-10" x 6'-8" (865x2033) INSULATED ENTRANCE DOOR  
1A = 2'-8" x 6'-8" (815x2033) INSULATED ENTRANCE DOOR  
2 = 2'-8" x 6'-8" (815x2033) EXTERIOR WOOD & GLAZED DOOR  
3 = 2'-8" x 6'-8" x 1 3/4" (815x2033x45) EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1 3/8" (815x2033x35) INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1 3/8" (760x2033x35) INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1 3/8" (660x2033x35) INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1 3/8" (460x2033x35) INTERIOR SLAB DOOR

#### WOOD LINTELS:

WB1 = 2- 2" x 8" (2-38x184) SPR. No. 2  
WB2 = 3- 2" x 8" (3-38x184) SPR. No. 2  
WB3 = 2- 2" x 10" (2-38x235) SPR. No. 2  
WB4 = 3- 2" x 10" (3-38x235) SPR. No. 2  
WB5 = 2- 2" x 12" (2-38x286) SPR. No. 2  
WB6 = 3- 2" x 12" (3-38x286) SPR. No. 2  
WB7 = 5- 2" x 12" (5-38x286) SPR. No. 2  
WB10 = 4- 2" x 8" (4-38x184) SPR. No. 2  
WB11 = 4- 2" x 10" (4-38x235) SPR. No. 2  
WB12 = 4- 2" x 12" (4-38x286) SPR. No. 2  
LSL = TIMBERSTRAND BOARD

#### STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

#### LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7" 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7" 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7" 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7" 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9" 1/2" (1-45x235)  
LVL4 = 2-1 3/4" x 9" 1/2" (2-45x235)  
LVL5 = 3-1 3/4" x 9" 1/2" (3-45x235)  
LVL5A = 4-1 3/4" x 9" 1/2" (4-45x235)  
LVL6A = 1-1 3/4" x 11" 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11" 7/8" (2-45x300)

#### NOTE: LVL BEAMS

ALL LVL BEAMS SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

STRUDET INC.



FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-12  
ELEVATION 1  
(GR)

PACKAGE 'A1'

O.REG. 332/12

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6		
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1	APR. 25, 2018	ISSUED TO CONTROL ARCHITECT FOR PRELIMINARY APPROVAL

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Walter Botter  21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

TITLE SHEET

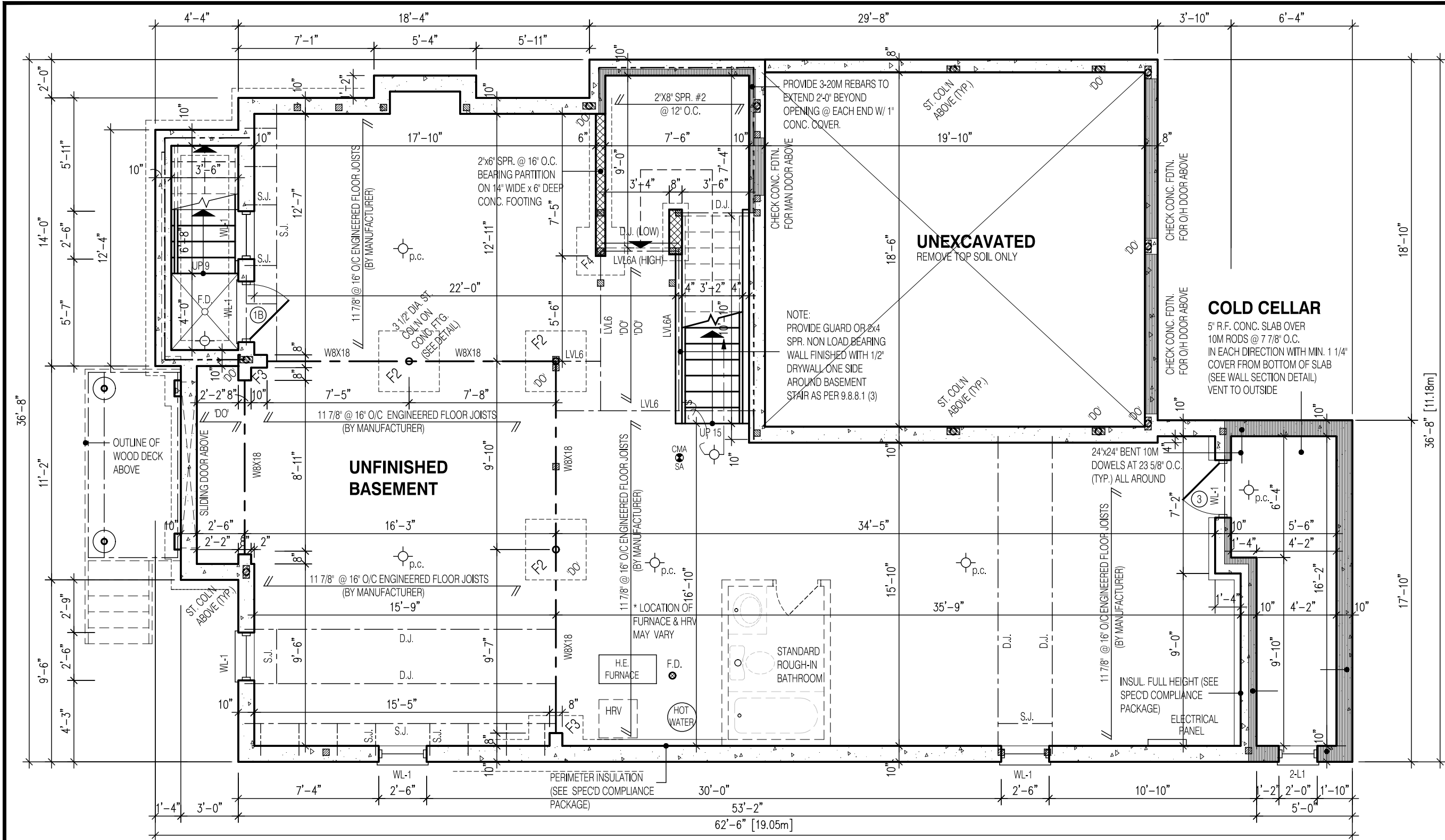
GRANELLI HOMES  
BRAMPTON



MODEL: ---

SCALE: 3/16"=1'-0"

PROJ. No. 17-55 DWG. No. 0



**NOTE:**  
FOR WALK-UP AND DECK  
CONDITION, REFER TO PARTIAL  
PLANS ON PAGE 3-1

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
FEB. 04, 2019  
**FINAL** BY: MMI  
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**NOTE:**  
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**LEGEND** (75 KPa)  
(UNLESS OTHERWISE SPECIFIED)  
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**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL.  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
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  - STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
  - SINGLE JOIST
  - DOUBLE JOIST
  - TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS
  - ELECTRIC VEHICLE CHARGING SYSTEM



**3187**  
**13.1m LOTS**  
**CELESTIAL 1-12**  
**ELEVATION 1**  
**(GR)**  
**PACKAGE 'A1'**  
**O.REG. 332/12**

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No: DATE: WORK DESCRIPTION:

**jardin**  
**DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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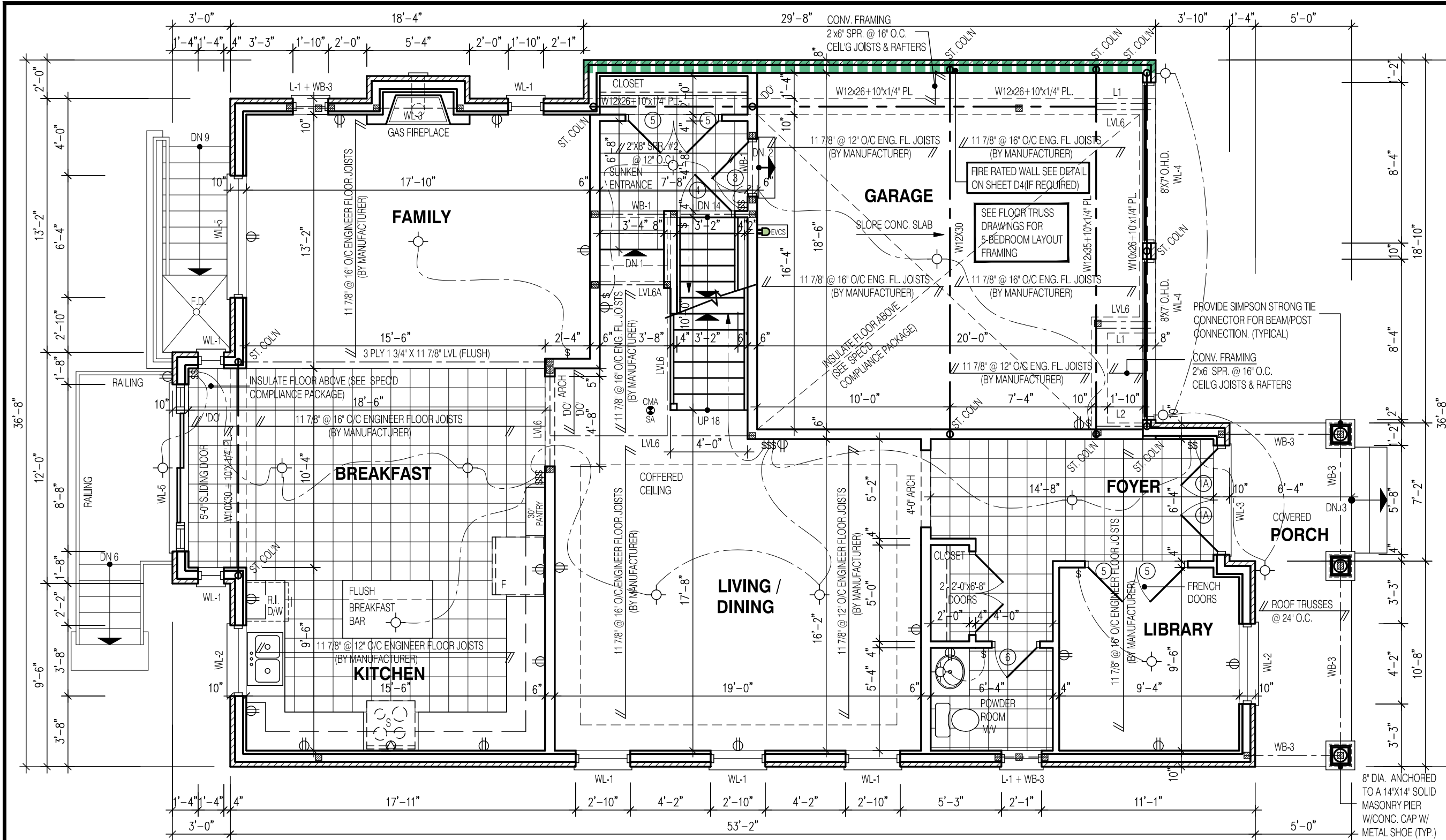
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *WBE* 21031  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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**jardin design group inc.** 27763  
FIRM NAME BCIN

**BASEMENT PLAN EL-1**  
**GRANELLI HOMES**  
**BRAMPTON**

**BILD**  
MODEL: ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 17-55 DWG. No. 1



**NOTE:**  
FOR WALK-UP AND DECK  
CONDITION, REFER TO PARTIAL  
PLANS ON PAGE 3-1

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
FEB. 04, 2019  
**FINAL** BY: MMI  
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**NOTE:**  
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**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

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  - STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
  - SINGLE JOIST
  - DOUBLE JOIST
  - TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS
  - ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.

FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-12  
ELEVATION 1  
(GR)

PACKAGE 'A1'

O.REG. 332/12

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No:      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
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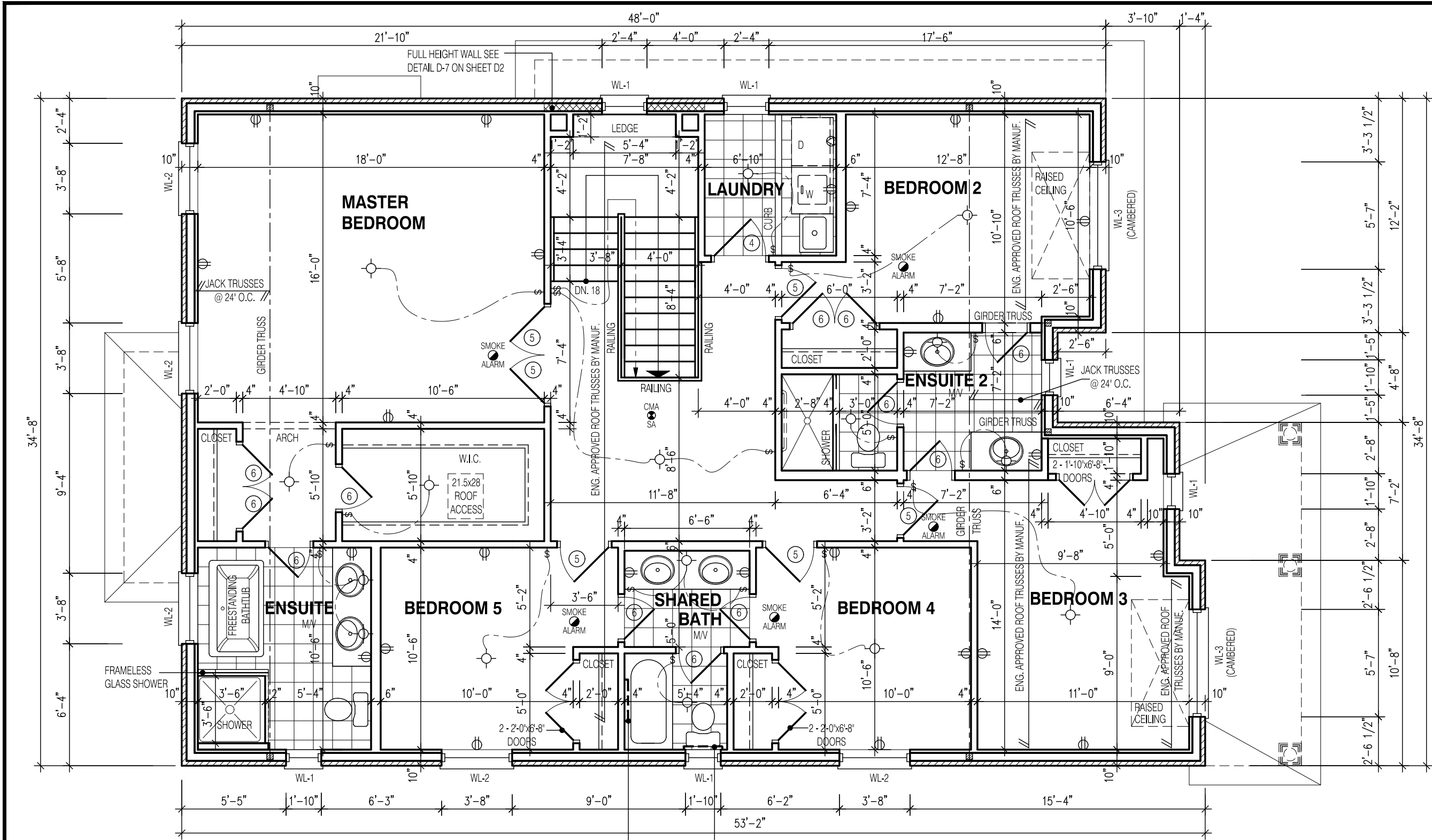
jardin design group inc. 27763  
FIRM NAME      BCIN

FIRST FLOOR PLAN EL-1

GRANELLI HOMES  
BRAMPTON

MODEL: ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 17-55      DWG. No. 2





REINFORCE STUDS WITH  
BLOCKING FOR FUTURE  
GRAB BARS-SEE DETAIL  
D-25 & D-26 ON SHEET D6

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**NOTE:**

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**NOTE:**

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
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STRUDET INC.



FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-12  
ELEVATION 1  
(GR)

PACKAGE 'A1'

O.REG. 332/12

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jardin design group inc. 27763  
FIRM NAME BCIN

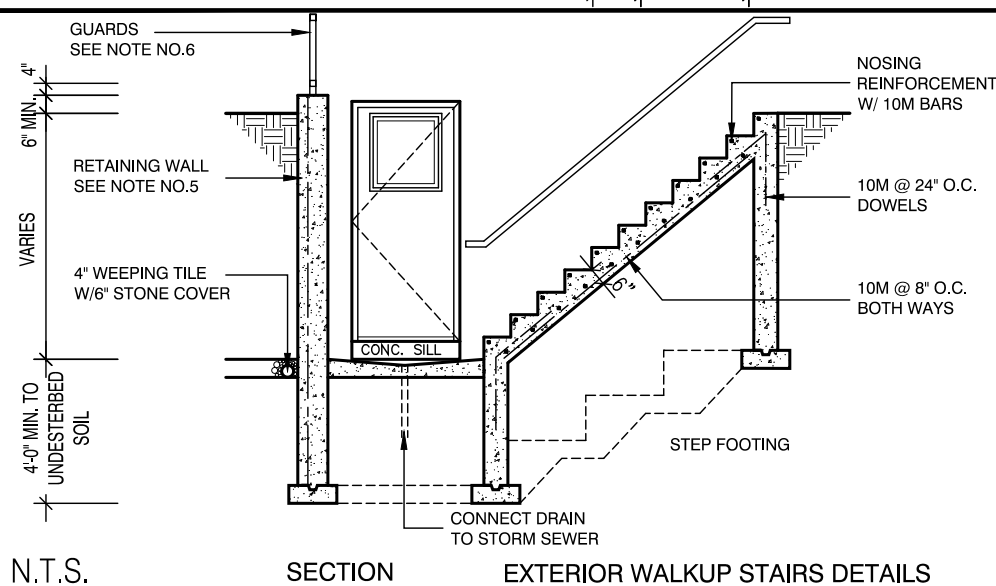
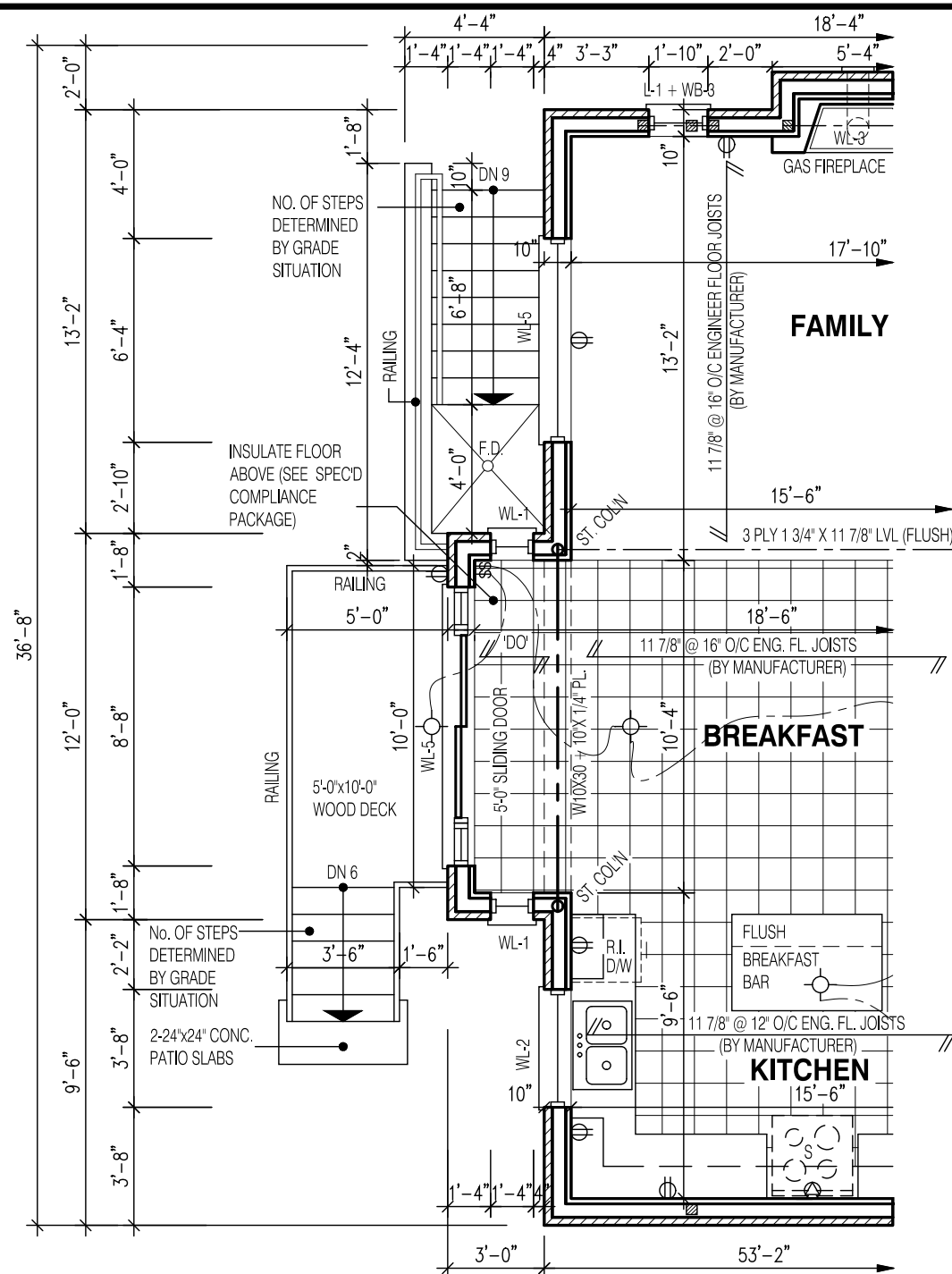
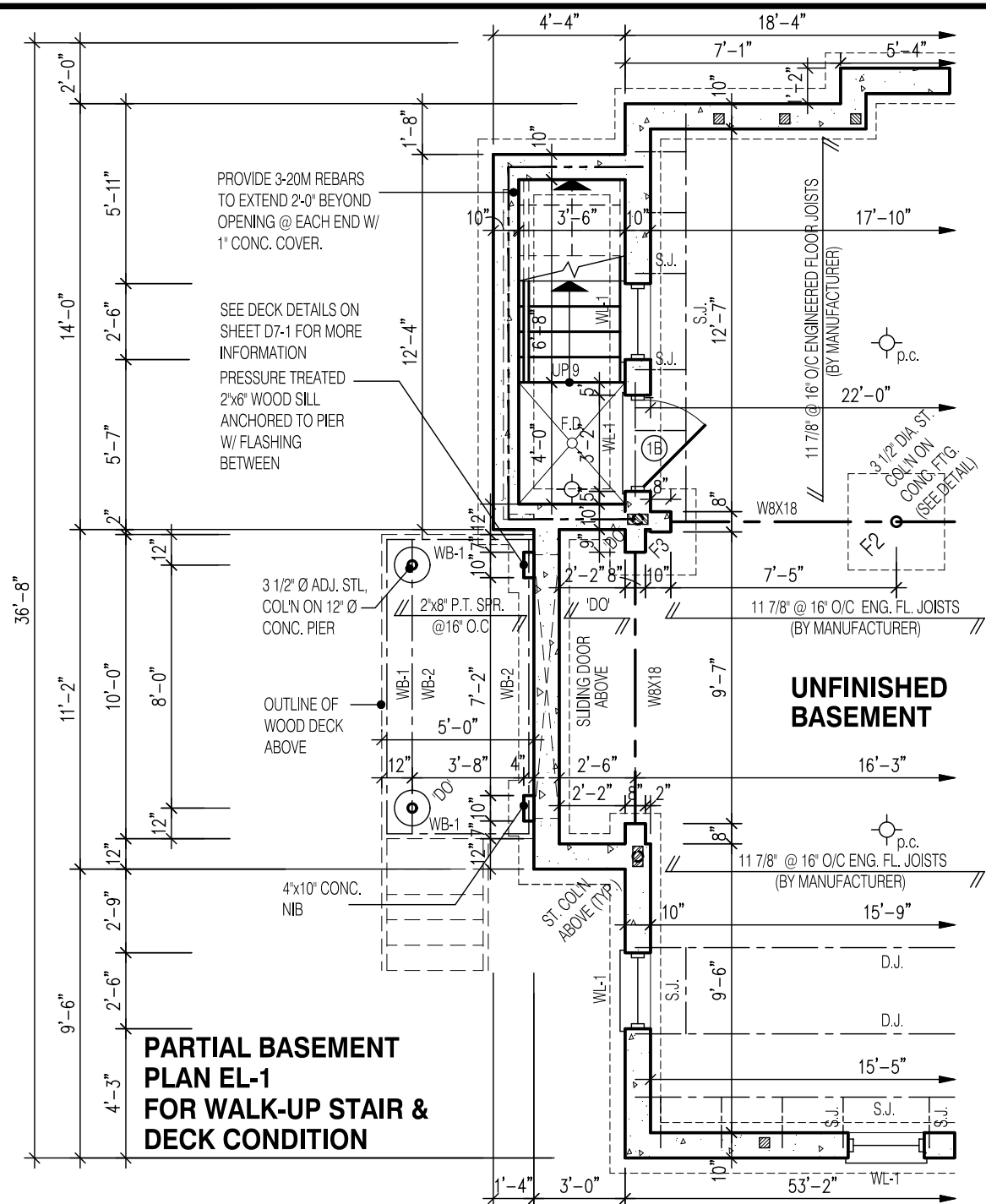
ALT.SEC. FL. PLAN EL-1

GRANELLI HOMES  
BRAMPTON



MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No. 17-55 DWG. No. 3





- GENERAL NOTES:**
- FOOTING**  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- 1.
- CONCRETE**  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- 2.
- EXTERIOR STAIRS**  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
- 3.
- INSULATION**  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- 4.
- RETAINING WALL**  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- 5.
- GUARDS**  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11": 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- 6.

STRUDET INC.



FOR STRUCTURE ONLY

**NOTE:**

RAILING REQUIRED WHEN  
GRADE IS MORE THAN 2'-0"

**NOTE:**

WHEN VENEER CUT IS GREATER  
THAN 26", A 10" POURED CONCRETE  
FOUNDATION WALL IS REQUIRED

**NOTE:**

ACTUAL FINISH GRADES MAY VARY DEPENDING  
ON LOT CONDITIONS.  
(REFER TO GRADING PLANS)

3187

## 11.0m LOTS

**CELESTIAL 1-12  
ELEVATION 1  
(GR)**

## PACKAGE 'A1'

**O.REG. 332/12**

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7		
6		
5		
4		
3	DEC. 21, 2018	ISSUED FOR BUILDING PERMIT
2	AUG. 15, 2018	COORDINATED AS PER ENGINEERS COMMENTS
1	JULY 26, 2018	ISSUED FOR STRUCTURAL REVIEW

No:	DATE:	WORK DESCRIPTION:
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**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: [info@jardindesign.ca](mailto:info@jardindesign.ca)

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter  21031  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

<i>jardin design group inc.</i>	27763
FIRM NAME	BCIN

WALK-UP &amp; DECK CONDITION EL-1

GRANELLI HOMES  
BRAMPTON

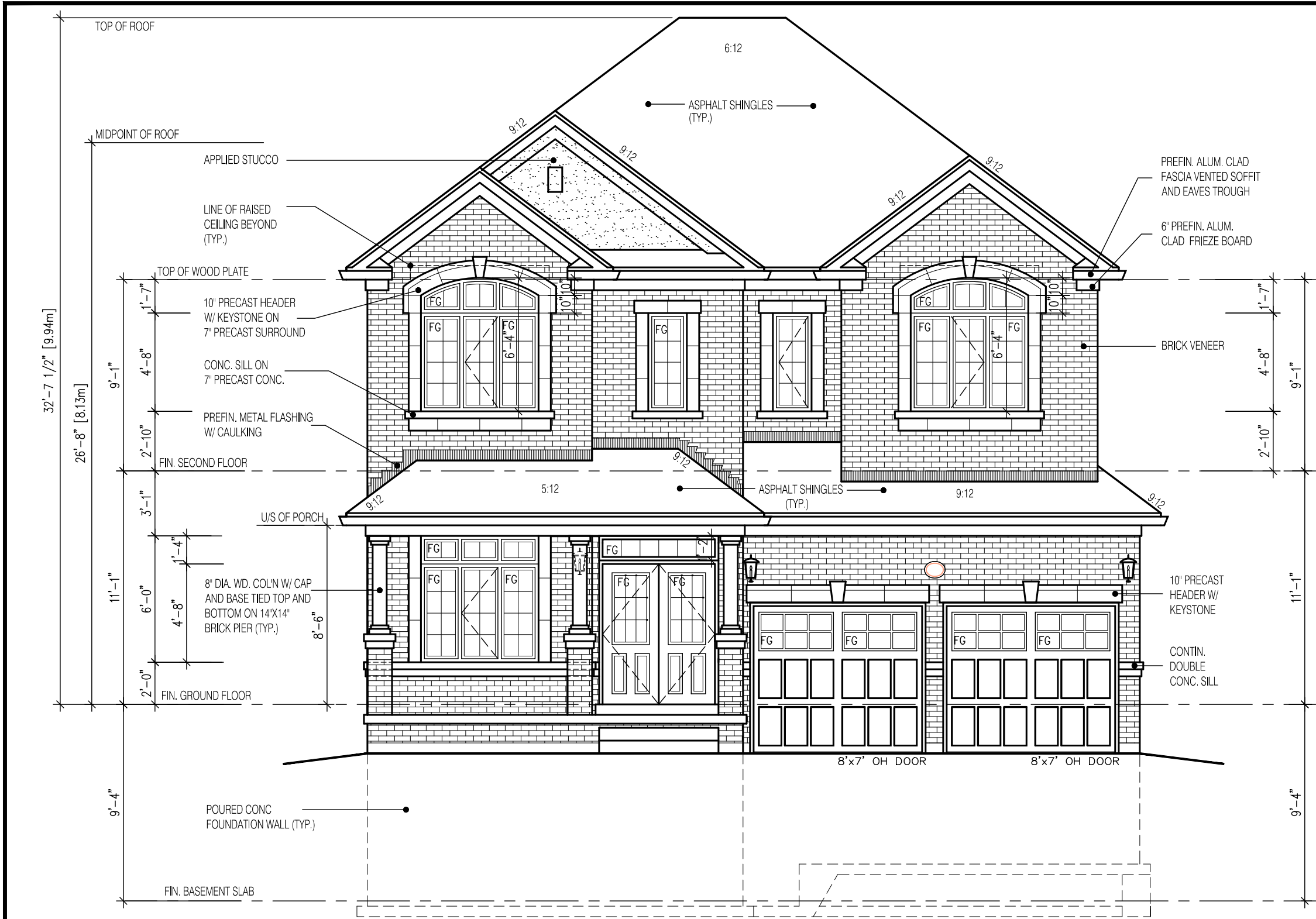


MODEL:

SCALE: 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

$$3/16'' = 1'-0''$$

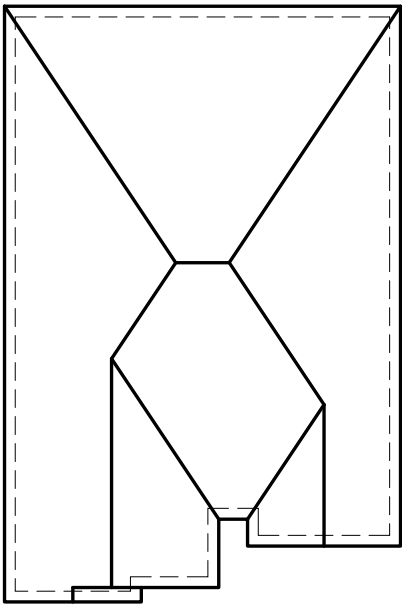
PROJ. No. 17-55	DWG. No. 3-1
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FRONT ELEVATION 1  
LOT-12

3187-ELEV.-1		ENERGY EFFICIENCY-SB12	
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	789.00	139.00	17.62 %
LEFT SIDE	1302.00	109.00	8.37 %
RIGHT SIDE	1284.00	43.00	3.35 %
REAR	888.00	187.00	21.06 %
TOTAL	4263.00	478.00	11.21 %

DRAWN BY:      DRAWING NAME: —



ROOF PLAN

N.T.S.

W Architect Inc.  
DESIGN CONTROL REVIEW  
FEB. 04, 2019  
FINAL BY: MMI  
This stamp is only for the purposes of design control and carries no other professional obligations.

3187  
13.1m LOTS  
CELESTIAL 1-12  
ELEVATION 1  
(GR)  
PACKAGE 'A1'  
O.REG. 332/12

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1	APR. 25, 2018	ISSUED TO CONTROL ARCHITECT FOR PRELIMINARY APPROVAL

No:      DATE:      WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter  21031  
NAME      SIGNATURE      BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME      BCIN

FRONT ELEVATION 1  
GRANELLI HOMES  
BRAMPTON

MODEL: ---	
SCALE: 3/16" = 1'-0"	
PROJ. No. 17-55	DWG. No. 4



**SIDE ELEVATION 1**  
**5 BEDROOM**  
**LOT-12**  
**UNPROTECTED OPENINGS**

WALL AREA	1302.0	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	91.4	⌘
ACTUAL GLAZED AREA	85.0	⌘

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
FEB. 04, 2019  
**FINAL** BY: MMI  
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**3187**  
**13.1m LOTS**  
**CELESTIAL 1-12**  
**ELEVATION 1**  
**(GR)**  
**PACKAGE 'A1'**  
**O.REG. 332/12**

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Walter Botter *WBE* 21031  
NAME SIGNATURE BCIN

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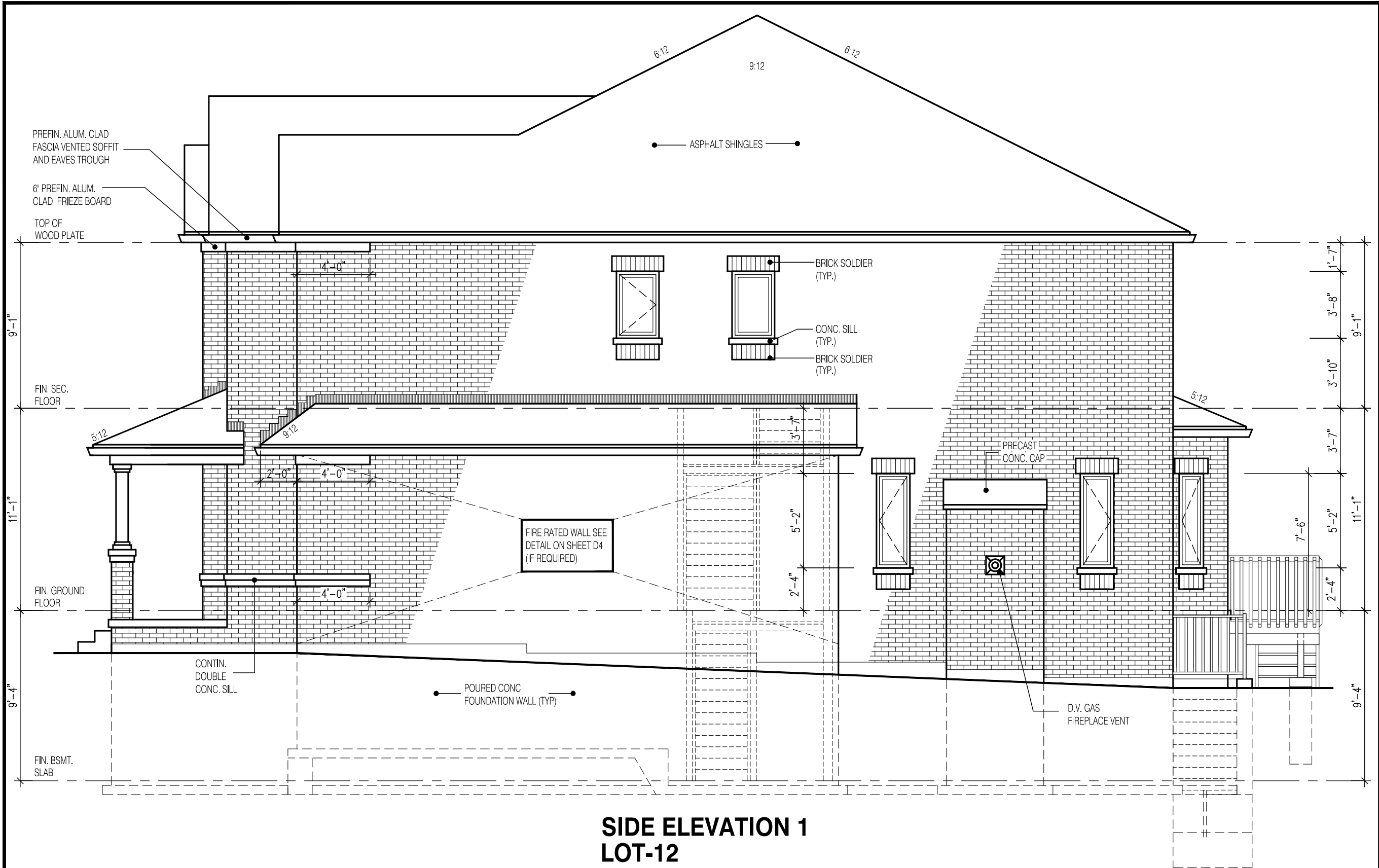
jardin design group inc. 27763  
FIRM NAME BCIN

**SIDE ELEVATION 1**  
**GRANELLI HOMES**  
**BRAMPTON**

**BILD**  
MODEL: ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 17-55 DWG. No. 5







**SIDE ELEVATION 1**  
**LOT-12**  
**UNPROTECTED OPENINGS**

WALL AREA	1284.0	⌀
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	89.8	⌀
ACTUAL GLAZED AREA	32.7	⌀

W Architect Inc.  
DESIGN CONTROL REVIEW  
FEB. 04, 2019  
FINAL BY: MMI

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3187  
11.0m LOTS  
CELESTIAL 1-12  
ELEVATION 1  
(GR)  
PACKAGE 'A1'  
O.REG. 332/12

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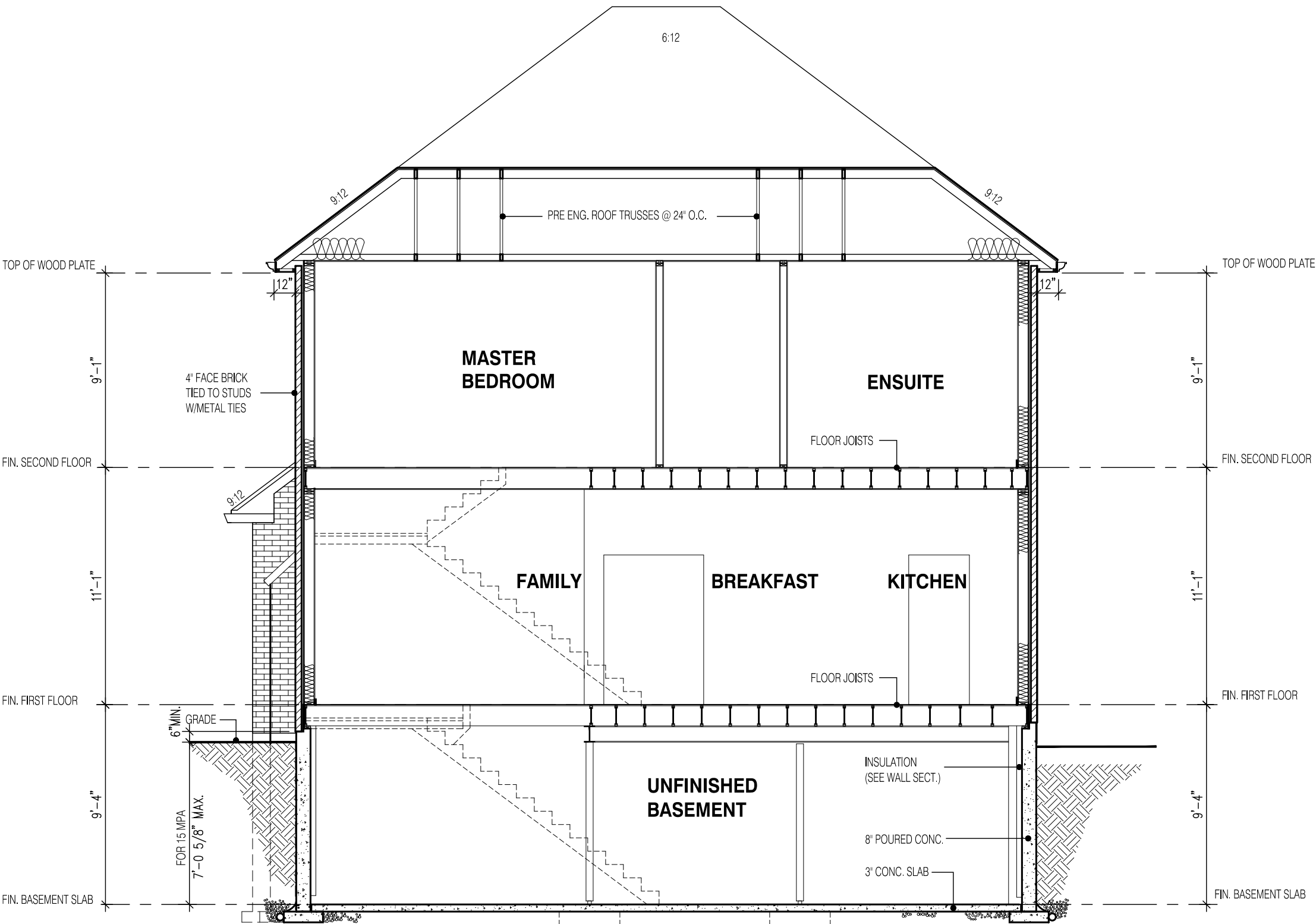
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jardin design group inc. 27763  
FIRM NAME BCIN

SIDE ELEVATION 1  
GRANELLI HOMES  
BRAMPTON

MODEL: ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 17-55 DWG. No. 7



SECTION A-A  
ELEVATION 1

W Architect Inc.  
DESIGN CONTROL REVIEW  
FEB. 04, 2019  
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STRUDET INC.



FOR STRUCTURE ONLY

3187  
11.0m LOTS  
CELESTIAL 1-12  
ELEVATION 1  
(GR)  
PACKAGE 'A1'  
O.REG. 332/12

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NAME SIGNATURE BCIN

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jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-1

GRANELLI HOMES  
BRAMPTON

 MODEL: ---  
SCALE: 3/16" = 1'-0"  
PROJ. No. 17-55 DWG. No. 8