

NOTE:
FOR WALK-UP AND DECK
CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

NOTE:
FOR TYP. BASEMENT FLOOR PLAN NOTES, SIZES PERTAINING TO
LAMINATED VENEER LUMBER (LVL) BEAMS, WOOD LINTELS, STEEL
LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO SHEET 0

CONC. PAD FOOTING
LEGEND (75 KPa)
(UNLESS OTHERWISE SPECIFIED)
F1 = 42"x42"x18" CONCRETE PAD F5 = 24"x24"x12" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F6 = 18"x18"x10" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD F7 = 16"x16"x8" CONCRETE PAD
F4 = 30"x30"x12" CONCRETE PAD

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL.
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS
@ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7',
2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS
- ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

2538

11.0m LOTS

AMELIA 12-15
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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1	APR. 25, 2018	ISSUED TO CONTROL ARCHITECT FOR PRELIMINARY APPROVAL

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763

FIRM NAME BCIN

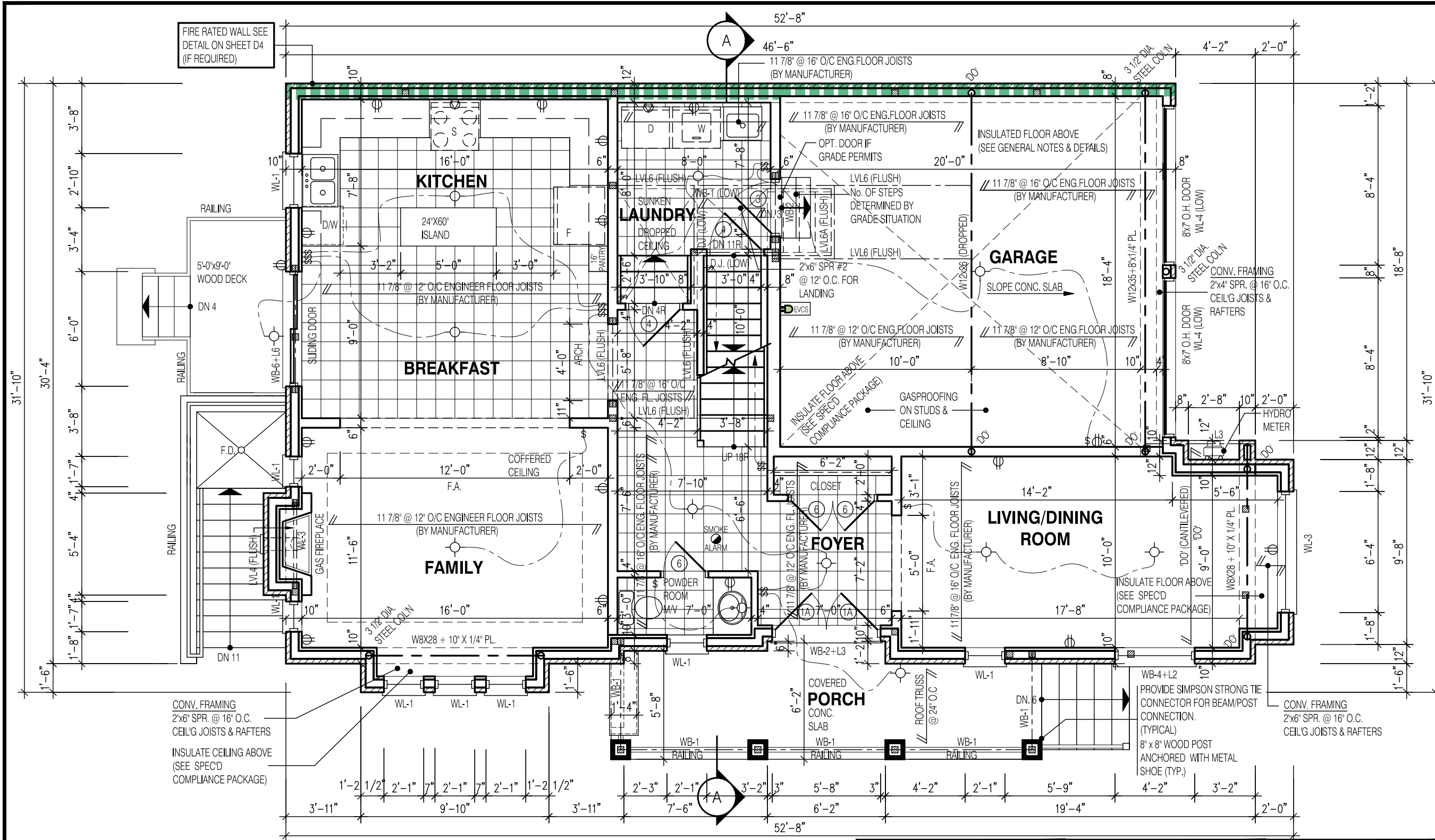
BASEMENT PLAN EL-2

GRANELLI HOMES
BRAMPTON

BILD

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 1A

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 11, 2019
FINAL BY: MMI
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FIRE RATED WALL SEE
DETAIL ON SHEET D4
(IF REQUIRED)

CONV. FRAMING
2"x6" SPR. @ 16" O.C.
CEIL'G JOISTS & RAFTERS

INSULATE CEILING ABOVE
(SEE SPEC'D
COMPLIANCE PACKAGE)

NOTE:
FOR WALK-UP AND DECK
CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

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NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL.
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LAMINATED VENEER LUMBER
- SINGLE JOIST
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- TRIPLE JOIST
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STRUDET INC.

FOR STRUCTURE ONLY

2538

11.0m LOTS

AMELIA 12-15

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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VAUGHAN ONT, L4K 3P3

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Walter Botter

21031

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jardin design group inc. 27763

FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

GRANELLI HOMES

BRAMPTON

MODEL: ---

SCALE: 3/16"=1'-0"

PROJ. No. 17-55 DWG. No. 2A

2538

11.0m LOTS

AMELIA 12-15
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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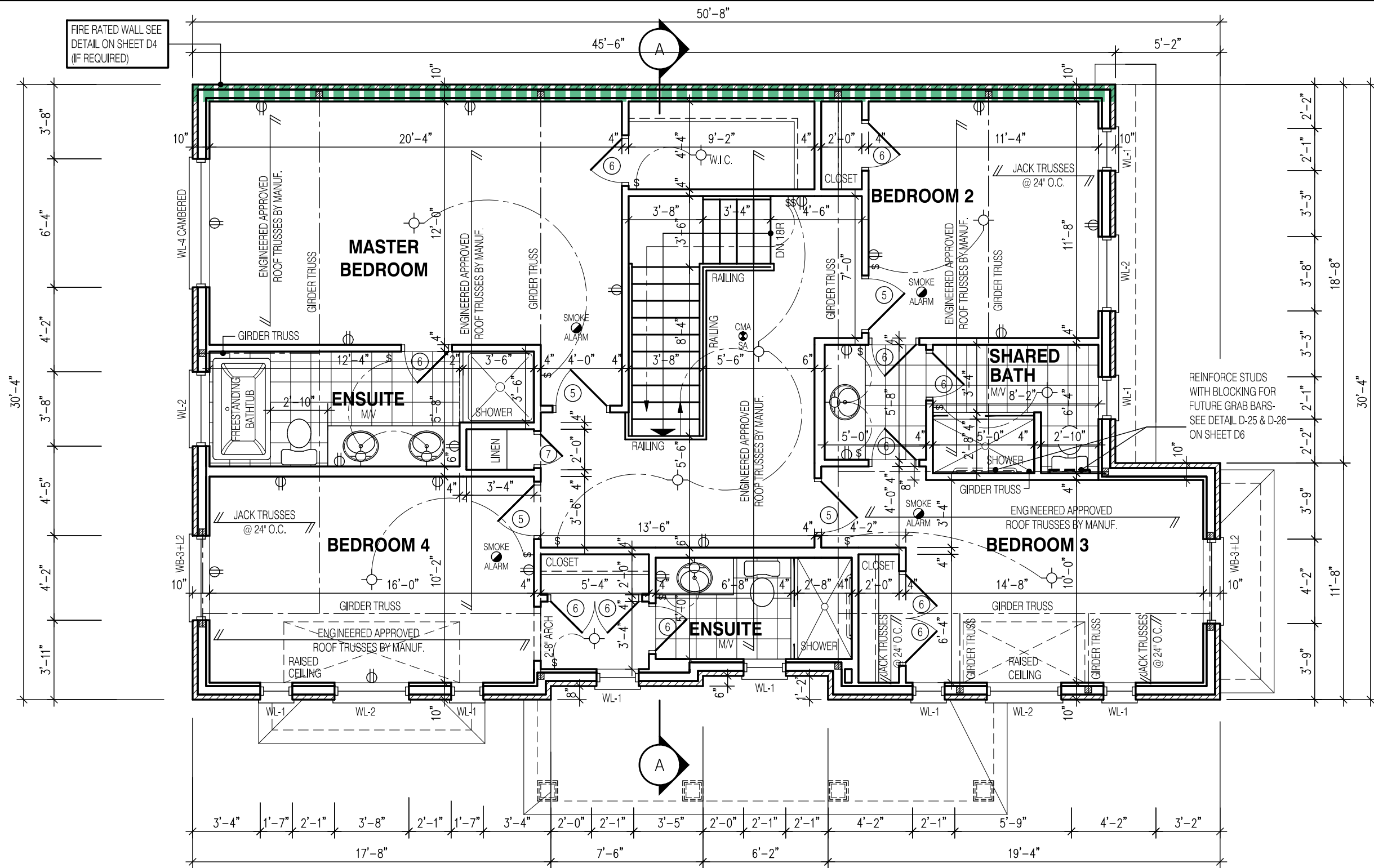
jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2

GRANELLI HOMES
BRAMPTON



MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 3A



NOTE:

FOR SIZES PERTAINING TO LAMINATED VENEER LUMBER (LVL) BEAMS, WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO SHEET 0











NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

LEGEND:

-  BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
-  INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
-  STL. PLATE FOR STEEL COL'N ABOVE
-  LVL LAMINATED VENEER LUMBER
-  S.J. SINGLE JOIST
-  D.J. DOUBLE JOIST
-  T.J. TRIPLE JOIST
-  REPEAT NOTE
-  SHOWER WEEPERS
-  ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.



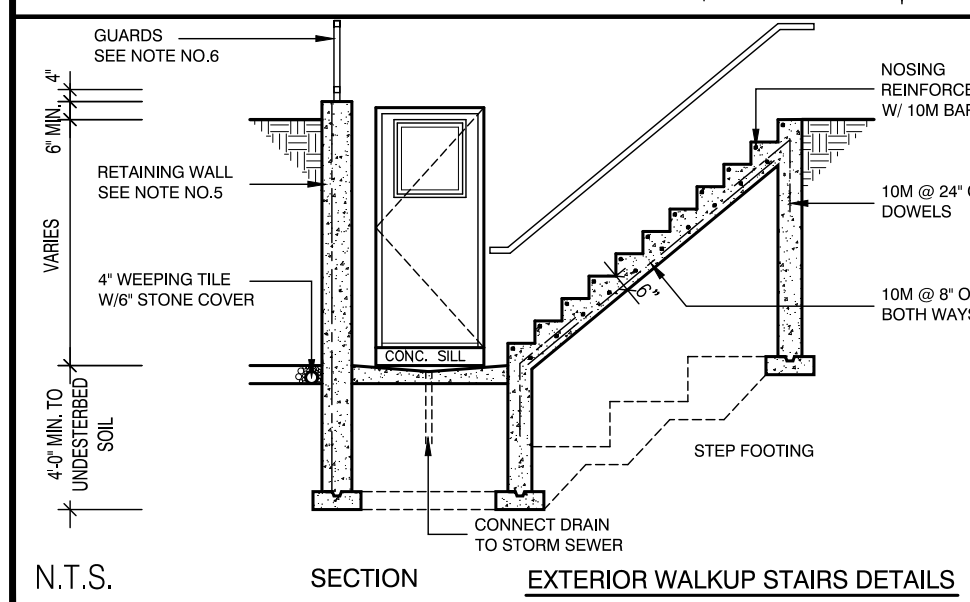
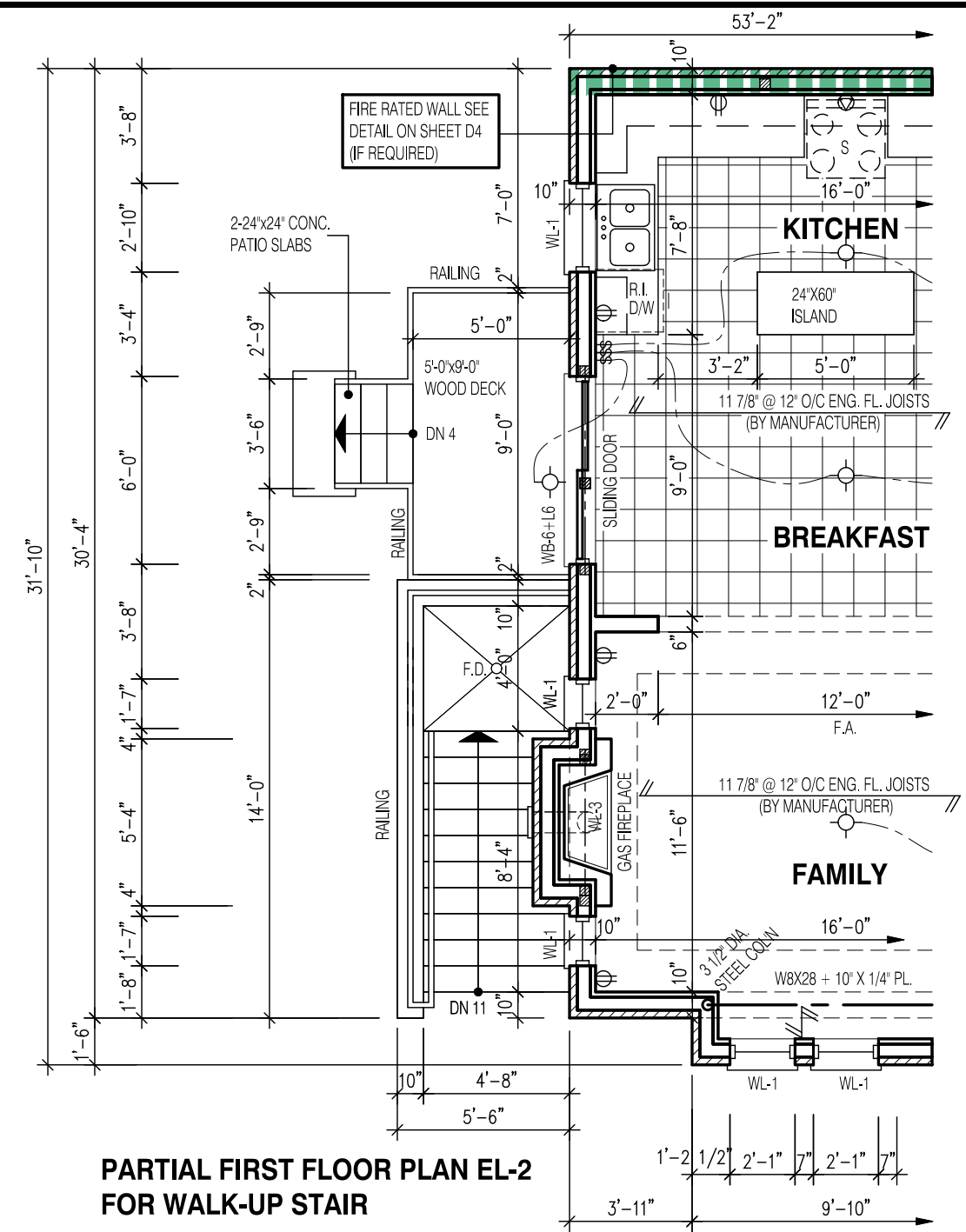
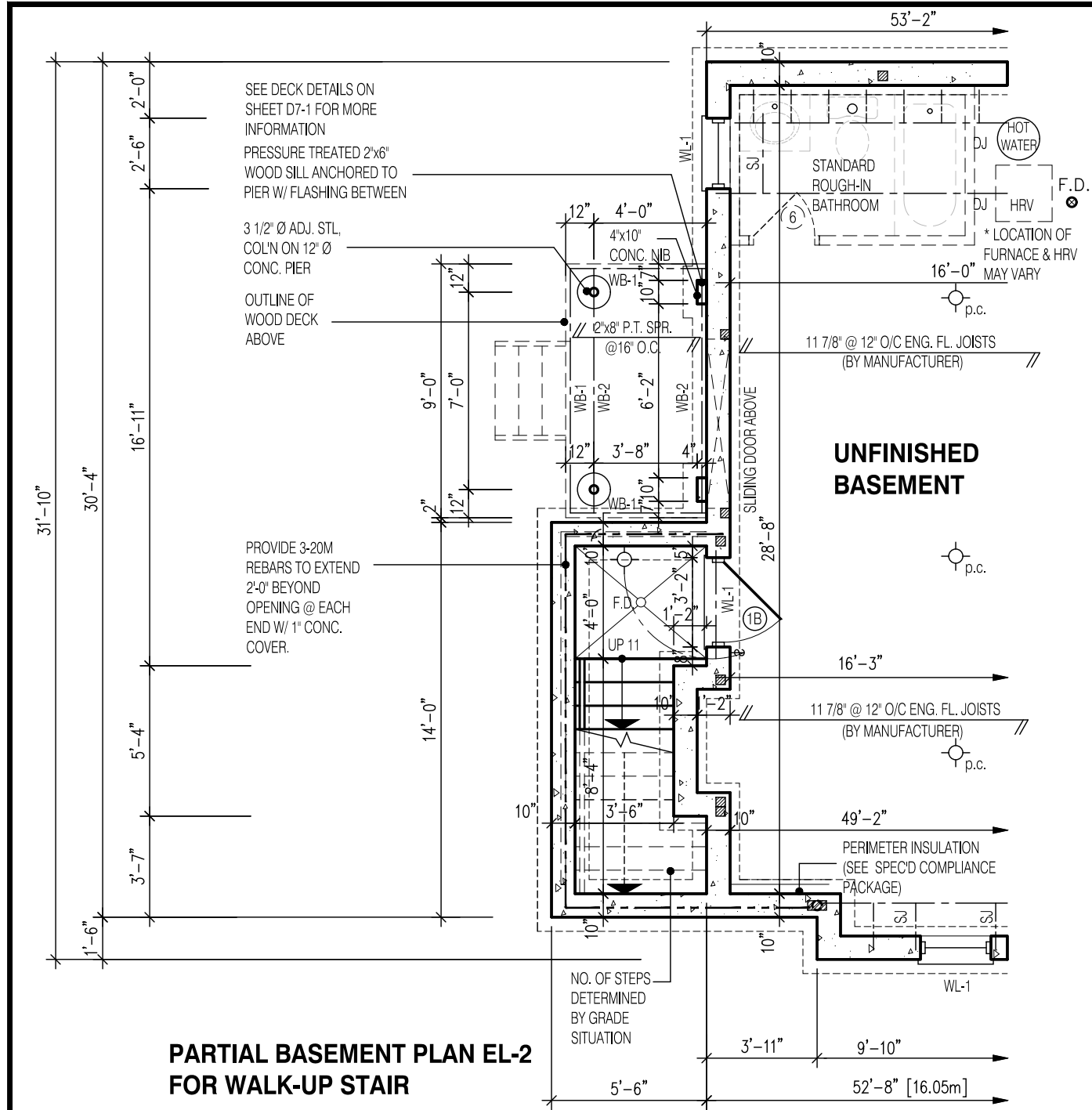
FOR STRUCTURE ONLY

W Architect Inc.
DESIGN CONTROL REVIEW

FEB. 11, 2019

FINAL BY: MMI

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- GENERAL NOTES:**
- FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
 - CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
 - INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
 - GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.



NOTE:
RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

NOTE:
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED

NOTE:
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

2538

11.0m LOTS

AMELIA 12-15

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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jardin

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64 JARDIN DR, SUITE 3A

VAUGHAN ONT. L4K 3P3

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21031

SIGNATURE

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jardin design group inc.

FIRM NAME

27763

BCIN

WALK-UP & DECK CONDITION EL-2

GRANELLI HOMES

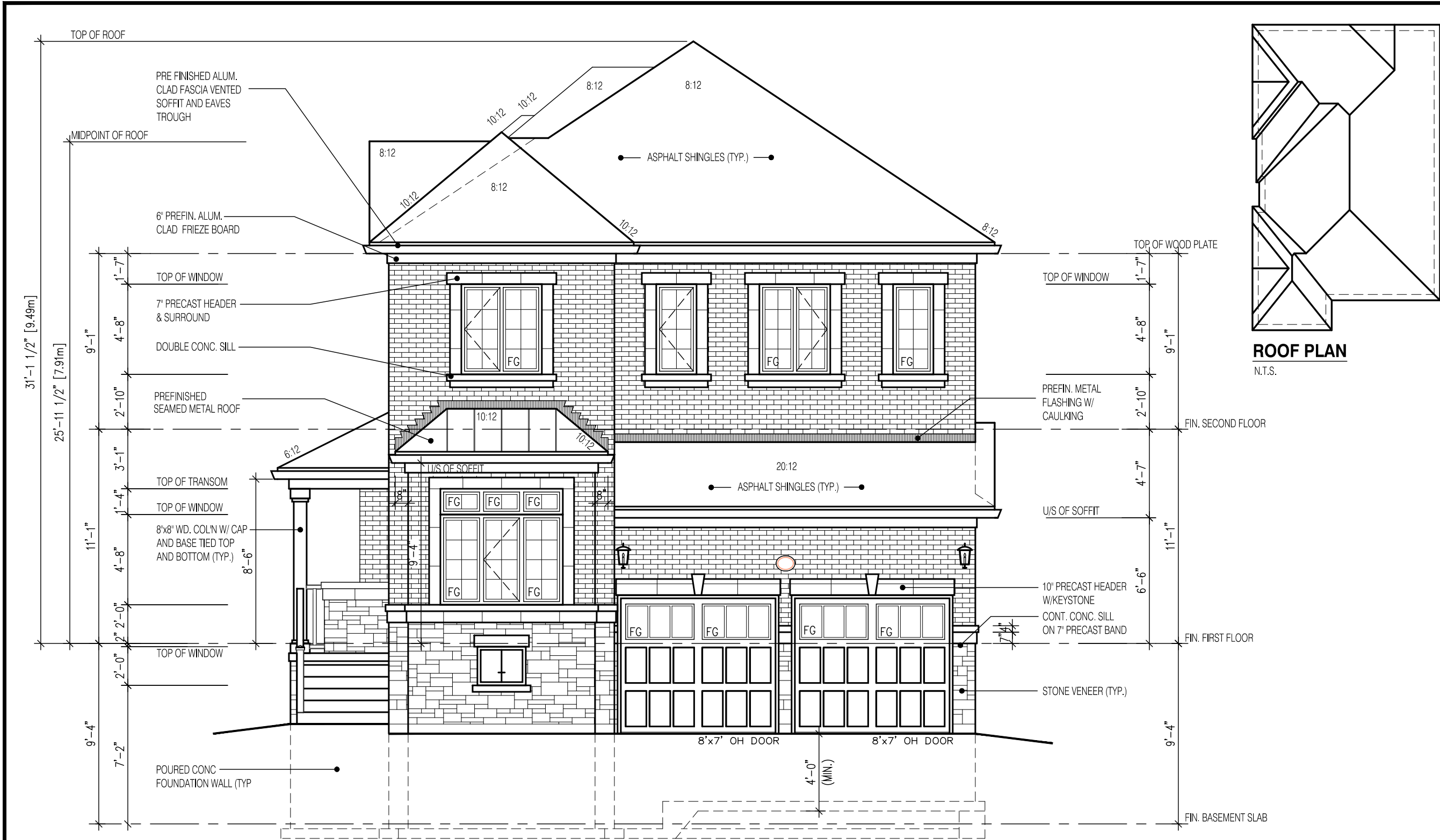
BRAMPTON

MODEL: ---

SCALE: 3/16" = 1'-0"

PROJ. No. 17-55

DWG. No. 3A-1



ROOF PLAN
N.T.S.

FRONT ELEVATION 2 (2520 sq.ft)
FOR LOT 15

2538-ELEV.-2		ENERGY EFFICIENCY-SB12	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	767.00	120.00	15.65 %
LEFT SIDE	1248.00	190.00	15.22 %
RIGHT SIDE	1247.00	0.00	0.00 %
REAR	777.00	169.00	21.75 %
TOTAL	4039.00	479.00	11.86 %

DRAWN BY: DRAWING NAME: —

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 11, 2019
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2538

11.0m LOTS

AMELIA 12-15
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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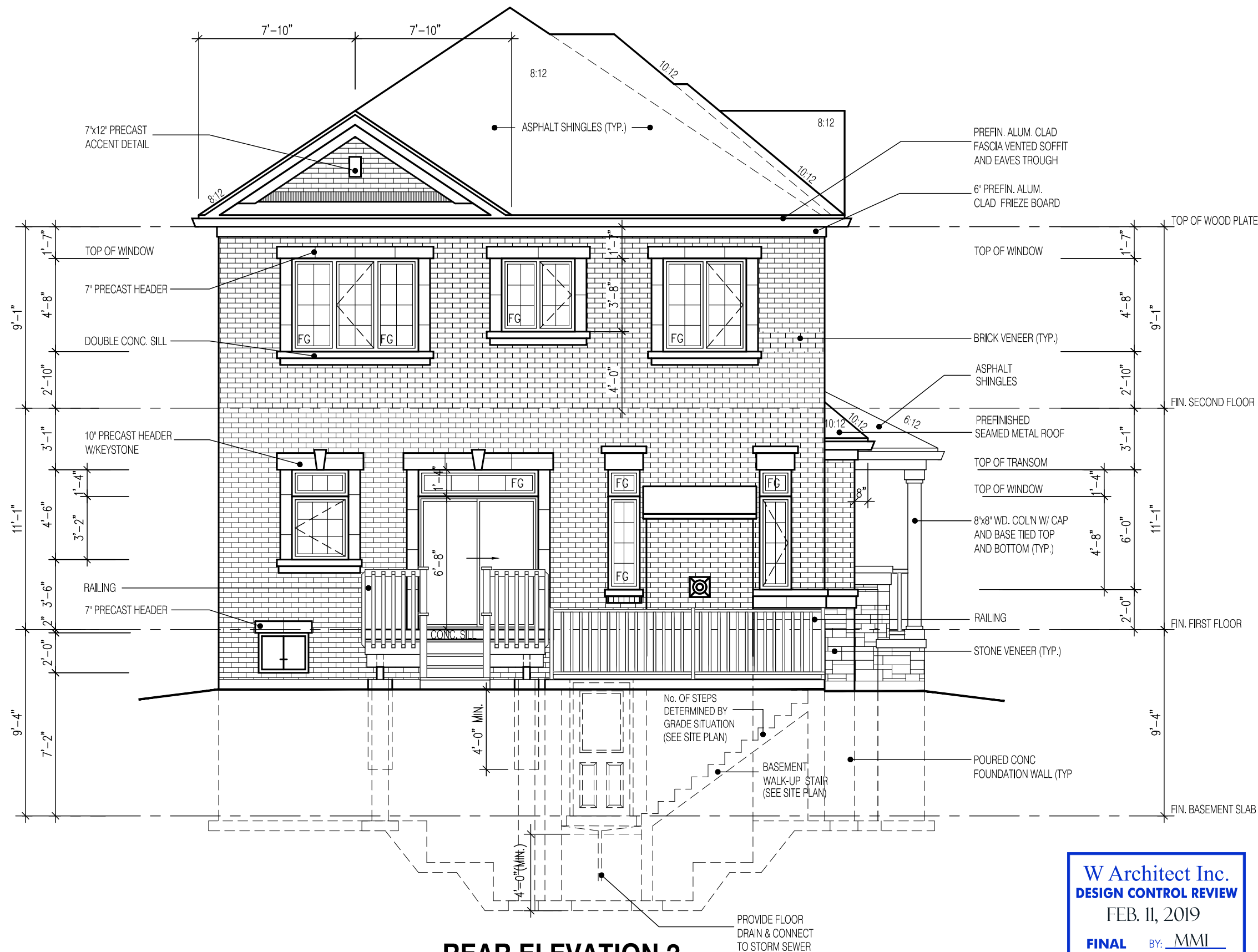
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jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2

GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55
DWG. No. 4A



REAR ELEVATION 2
FOR LOT 15
WALK-UP & DECK
CONDITION

NOTE:
RAILING REQUIRED WHEN
GRADE IS MORE THAN 2'-0"

NOTE:
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED CONCRETE
FOUNDATION WALL IS REQUIRED

NOTE:
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2538

11.0m LOTS

AMELIA 12-15
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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27763

FIRM NAME

BCIN

REAR ELEVATION ELEV.-2

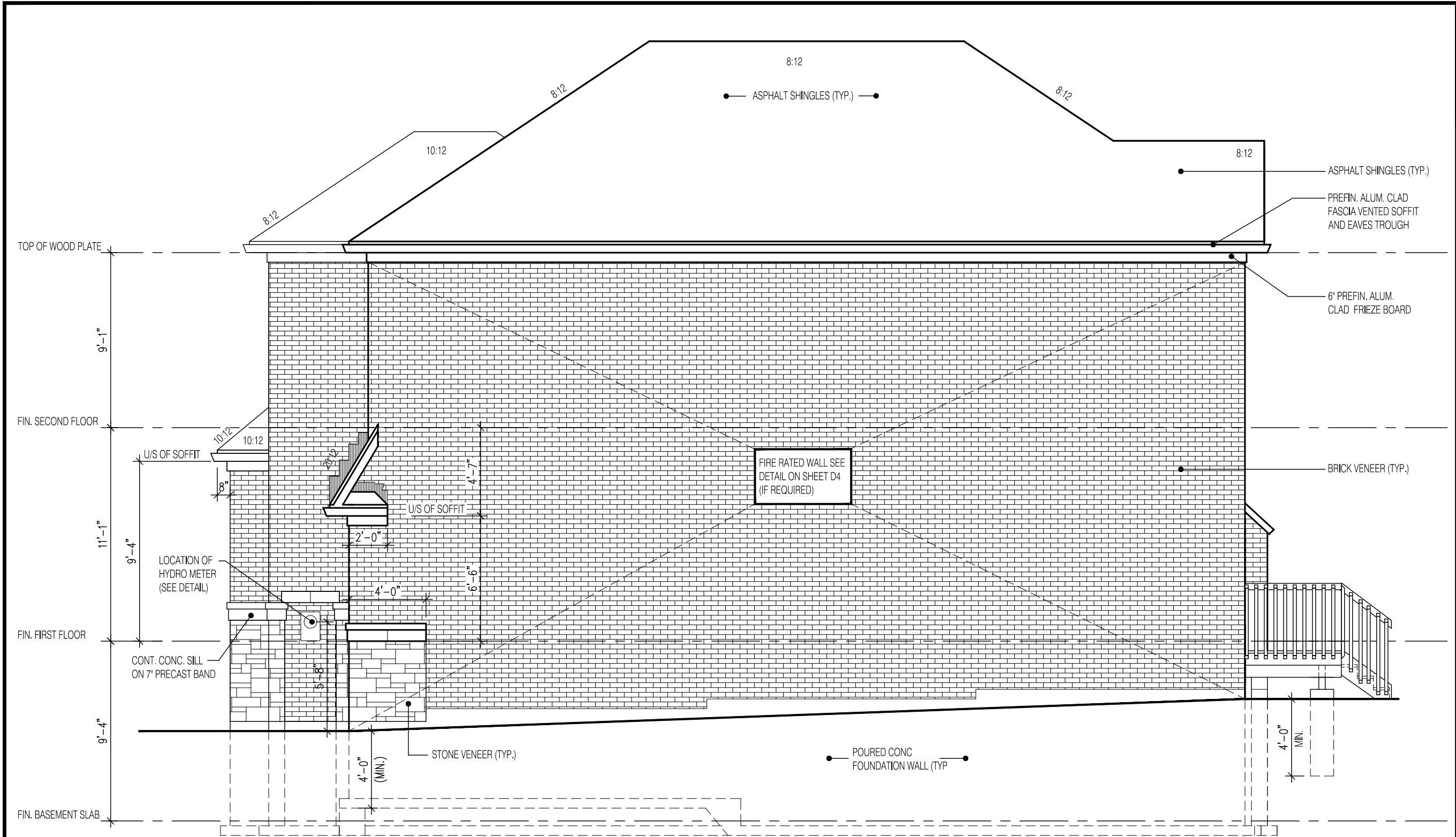
GRANELLI HOMES
BRAMPTON

MODEL: ---

SCALE: 3/16" = 1'-0"

PROJ. No. 17-55

DWG. No. 6A



RIGHT SIDE ELEVATION 2
FOR LOT 15

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O.REG. 332/12

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7		
6		
5	DEC. 21, 2018	ISSUED FOR BUILDING PERMIT
4	AUG. 15, 2018	COORDINATED AS PER ENGINEER'S COMMENTS
3	JULY 26, 2018	ISSUED FOR STRUCTURAL REVIEW
2	MAY 22, 2018	ISSUED FOR FLOOR & ROOF TRUSSES
1	APR. 25, 2018	ISSUED TO CONTROL ARCHITECT FOR PRELIMINARY APPROVAL

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

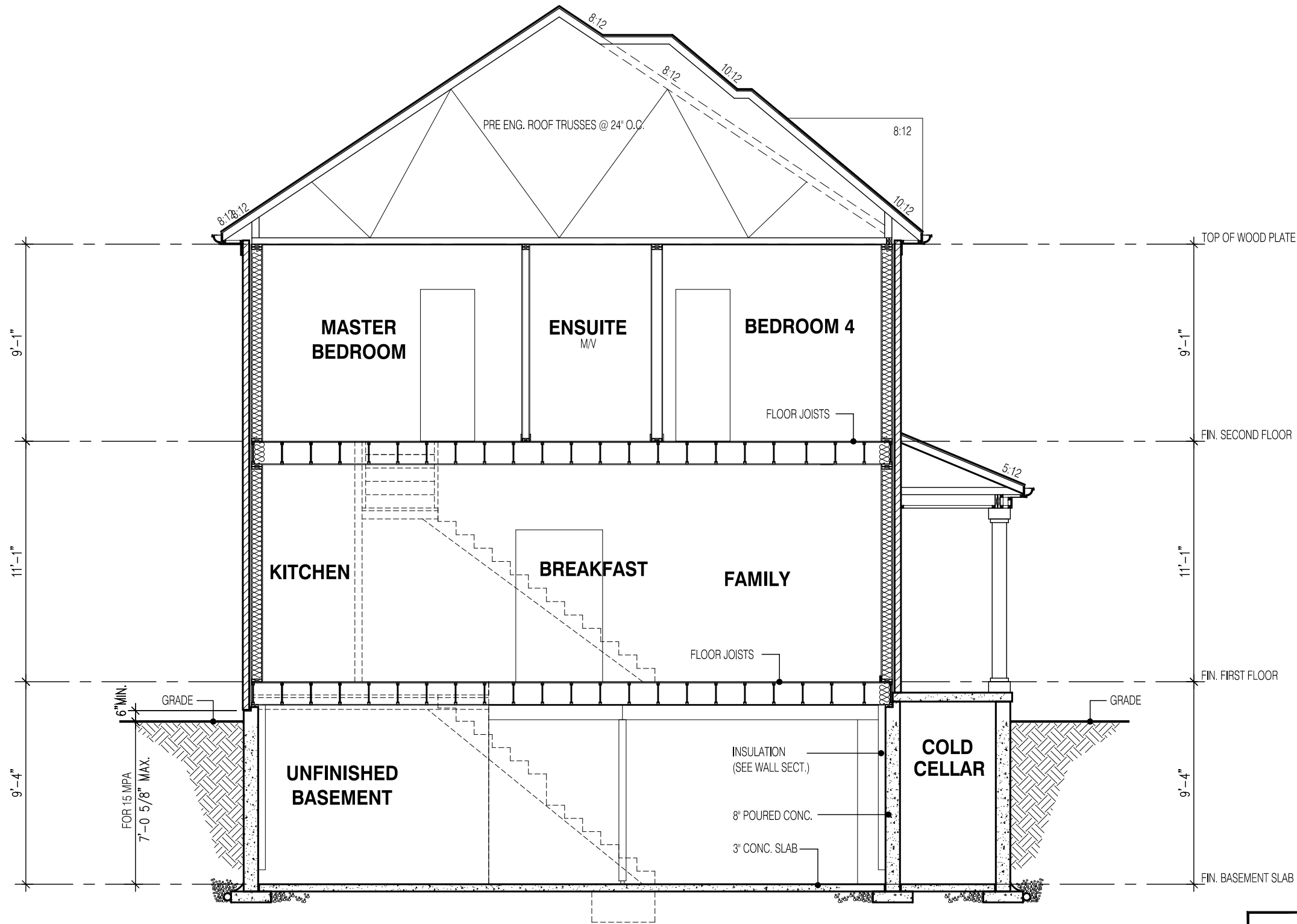
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55
DWG. No. 7A



SECTION A-A
ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 11, 2019
FINAL BY: MMI
This stamp is only for the purposes of design control and carries no other professional obligations.

STRUDET INC.



FOR STRUCTURE ONLY

2538
11.0m LOTS
AMELIA 12-15
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SECTION EL-2
GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 8A