

LOT 3186B-8 Model: 20-1790 A The Dunmore

PURCHASERS: Amirali Shaukat Maredia/SHAHIN BARKAT UMATIA

VENDOR: Heathwood Homes (Huron) Limited

REVISED

\* RELOCATE STANDARD ELECTRIC FIREPLACE FROM GREAT ROOM TO LOWER LEVEL REC ROOM

- ☒ FINISHED BASEMENT  
☐ COLD CELLAR

UPGRADED / MODIFIED ELEVATION

- ☐ CORNER UPGRADE  
☐ REAR UPGRADE

CEILING UPGRADE - SMOOTH

- ☐ MAIN FLOOR  
☐ SECOND FLOOR  
☐ BASEMENT

ADDITIONAL ROUGH-INS

- ☐ 200 AMP SERVICE  
☐ WET BAR ROUGH-IN  
☐ HUMIDIFIER  
☒ AIR CONDITIONING

GAS ROUGH-IN

- ☒ STOVE  
☐ DRYER  
☐ BBQ  
☐ ADDITIONAL FIREPLACE

KITCHEN: HOODFAN VENTING SIZE

- ☒ 6 IN ROUND DUCT  
☐ 7 IN ROUND DUCT

FULL BASEMENT STAIRS:

N/A

UPPER BASEMENT STAIRS:

All Oak

LOWER BASEMENT STAIRS:

Carpet Grade

MAIN STAIRS:

All Oak

MEDIA STAIRS (if applicable):

N/A

LOFT STAIRS (if applicable):

N/A

JUNE 27/22  
Date Purchaser: *file by email*

JUNE 27/22  
Date Decor Consultant: TINA LEFUR

Date Purchaser:

-06- 27 2022  
Date Approved: *m Rosen*  
Heathwood Homes (Huron) Limited

Locked Date:



# Sales Selection Sheet

Wallaceton

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PURCHASERS: Amirali Shaukat Maredia and SHAHIN BARKAT UMATIA

TEL:

LOT / UNIT	PHASE	MODEL	
3186B-8	3	20-1790 A The Dunmore	

It is herein understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale in accordance with the agreement and except for such changes noted below, all other terms and conditions in the Agreement of Purchase and Sale shall remain as stated herein: It is further understood that and agreed that all changes and additions shall be installed as per builder's specifications, location and available selections. The Purchaser hereby agrees to purchase the following extras:

## ADMIN FEE

1	- LESS CREDIT ON CLOSING SOA FOR 2 CAPPED HOT WATER LINES BESIDE MASTER AND MAIN TOILETS THAT COULD NOT BE ACCOMODATED.	Qty: 1
93,509	Note:	

## CABINETRY

*2	MAIN BATHROOM - 11D-Vanity bank of drawers (max. width 55cm) Viking	Qty: 1
313,780		
93,492	Note: SKETCH # 7	

## ELECTRICAL

3	GREAT ROOM - ELECTRICAL PLUG AS PER PAGE 14 OF 45 TO BE 70" +/- FROM FLOOR IN GREAT ROOM. ( RELOCATED FROM BREAKFAST ROOM ABOVE FIREPLACE )	Qty: 1
93,507	Note: SKETCH # 6	

## MODIFICATIONS

4	FINISHED BASEMENT FAMILY (REC) ROOM - RELOCATE STANDARD ELECTRIC FIREPLACE TO FINISHED BASEMENT RECREATION ROOM FROM ORIGINAL BREAKFAST ROOM LOCATION. RELOCATION TO BREAKFAST ROOM FEE PAID FOR AS PER PAGE 14 OF 45	Qty: 1
93,508	Note: SKETCH # 5	

Sub Total
HST
Total

1. This Sales Selection Sheet when properly executed forms part of our Agreement of Purchase and Sale.
2. All extras and upgrades listed above are subject to Construction Progress and Architectural and Municipal requirements.
3. In the event the Vendor is unable to incorporate the work approved above in the construction of the house for any reason whatsoever, the Vendor will not be liable to the Purchaser in any way. The monies paid for any changes or optional extras not proceeded with shall be returned to the Purchaser, without interest. The cost of options or extras is non-refundable in all other circumstances. If for any reason whatsoever the Agreement of Purchase and Sale is not completed, the total cost of work approved above will be retained by the Vendor.
4. The Vendor reserves the right to substitute above materials and equipment with that of equal or better quality.
5. Purchaser acknowledges that items may not be exactly as shown. Variations from the Vendor's samples may occur in finished materials due to normal production processes. Vendor is not responsible for shade difference which may occur from different dye lots or wood grains. Variations from the Vendor's samples will occur with natural materials such as wood, marble, granite, hardwood and brick.
6. The Vendor reserves the right to select Grout & Thresholds that best suits the Tile selected.
7. Selections will not be processed unless signed by Heathwood Homes Head Office.
8. The selections made on this schedule are final and cannot be changed once submitted.
9. The Purchaser has checked and acknowledges the accuracy of this schedule.

Initials:           

TAX#:1

PREPARED BY: Marilyn Rosen

PE 1,109-1

SInvoice.rpt 28may19



Sales Selection Sheet

Wallaceton

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PURCHASERS: Amirali Shaukat Maredia and SHAHIN BARKAT UMATIA

TEL:

LOT / UNIT 3186B-8	PHASE 3	MODEL 20-1790 A The Dunmore	
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Payment Summary

<u>Paid By</u>	<u>Amount</u>
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<u>Total Payment:</u>	
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PURCHASER:

*Signatures on file*  
Amirali Shaukat Maredia  
*by e-mail*

28-Jun-22  
DATE

TINA LEFOR  
Decor Consultant

28-Jun-22  
DATE

PURCHASER:

SHAHIN BARKAT UMATIA

28-Jun-22  
DATE

*[Stamp]*  
-06- 28 2022  
*M. Rosen*  
Date Approved Heathwood Homes (Huron) Limited

TAX#:1

PREPARED BY: Marilyn Rosen

PE 1,109-2

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Sketch # 5

Includes 452 sq. ft. of Finished Lower Level

WALLACETON  
EST. 1870



S v. [Signature]  
Legal Plan Dec. 3, 2020

UK 3 WALLACETON  
LOT 3186B-8  
20-1790 ELEV A  
THE DUNMORE

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# THE DUNMORE

ELEVATION A | 2,242 SQ. FT.

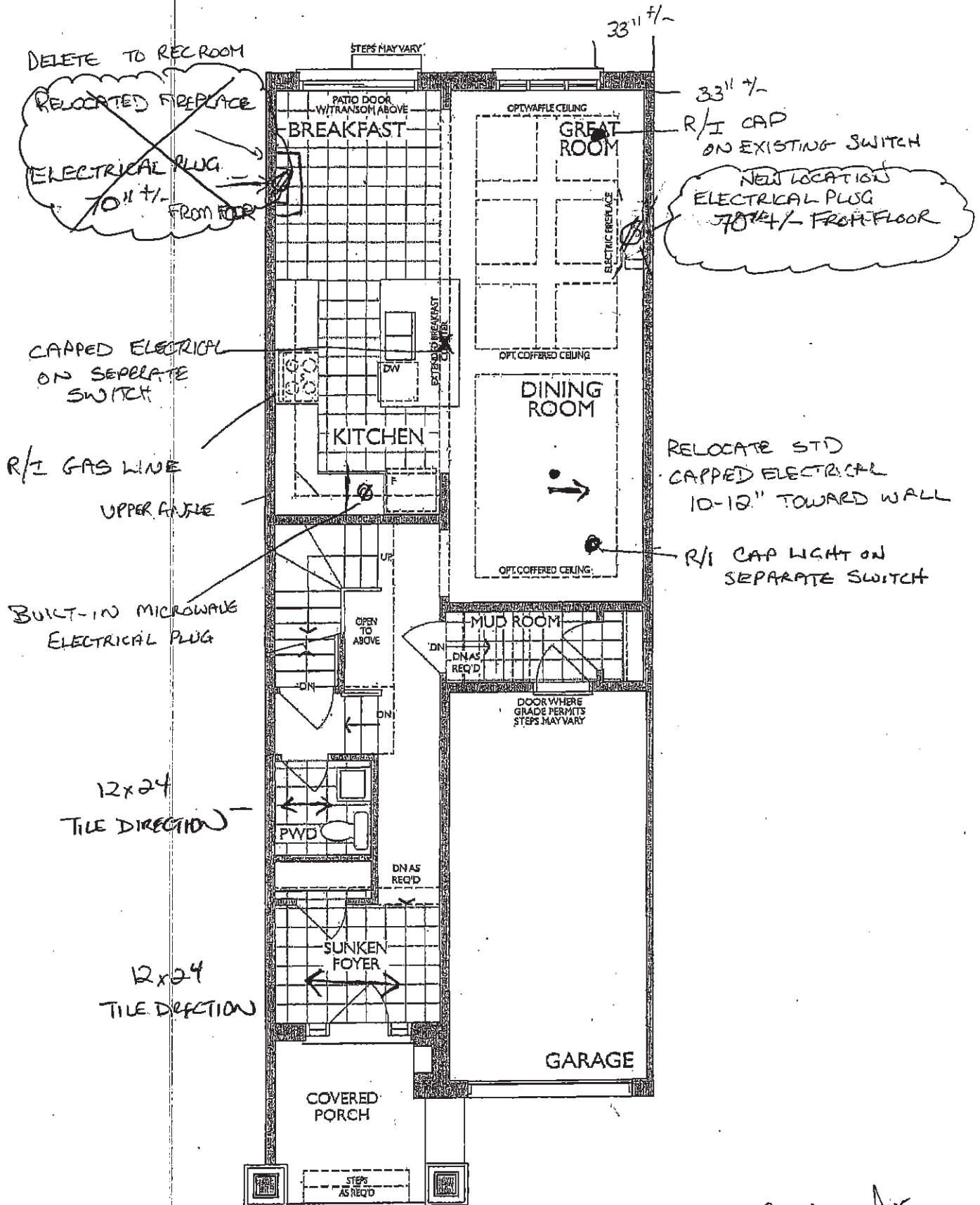
Includes 452 sq. ft. of Finished Lower Level

WALLACETON

EST. 1870

Sketch # 6

20-1790 ELEV. A



MAIN FLOOR  
ELEVATION A

S. V. - *pr*  
Legal Plan Dec. 3, 2020

UK 3 WALLACETON  
LOT 3186B-8  
20-1790 ELEV A  
THE DUNMORE

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# THE DUNMORE

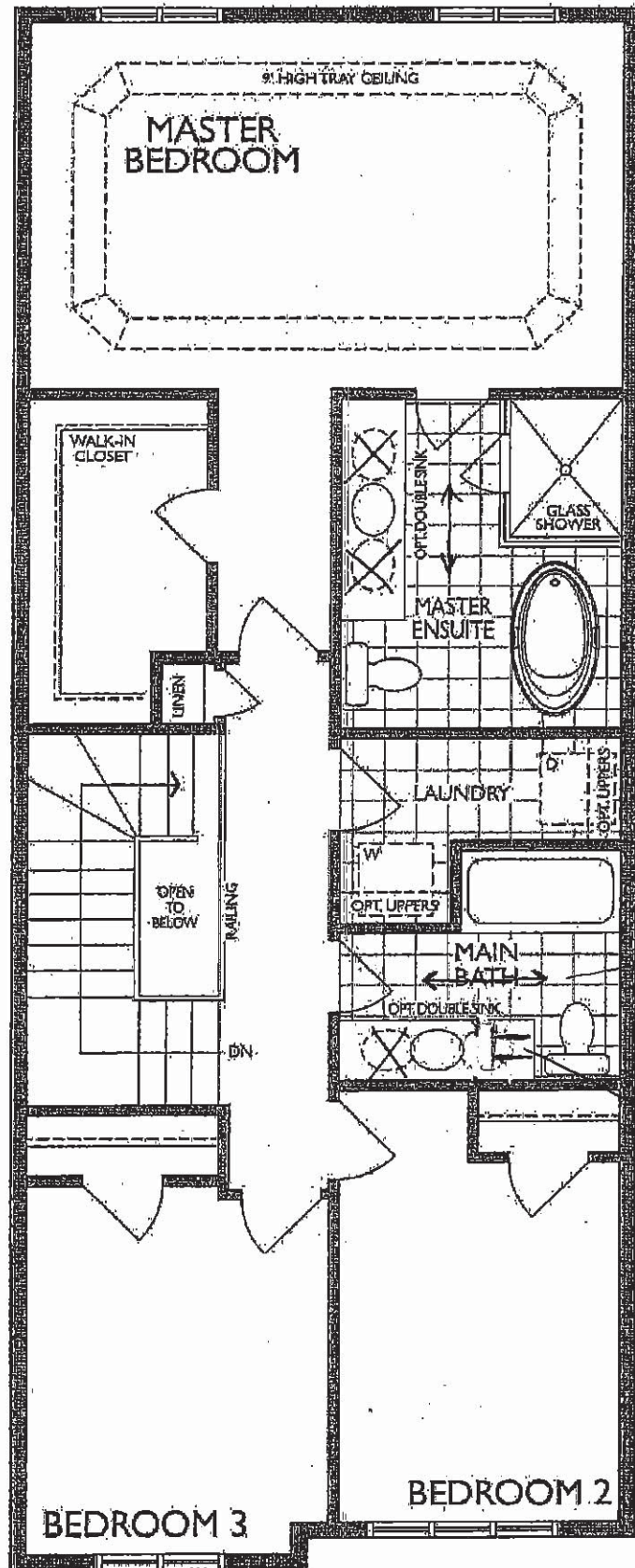
ELEVATION A | 2,242 SQ. FT.

Includes 452 sq. ft. of Finished Lower Level

WALLACETON  
EST. 1870

Sketch # 7

20-1790 ELEV. A



SECOND FLOOR  
ELEVATION A

S. V. [Signature]  
Legal Plan Dec. 3, 2020