

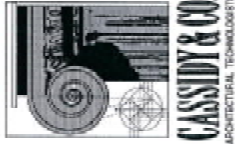


NORTHGLEN
40' PRODUCT - 9'-0" CEILING
TOWN OF CLARINGTON
PROJECT NO. 2008-65

Energy Efficiency Compliance Calculations:
As per CBC 98-12 2.11.1 (Based on highest ratio scenario)
Unit to be constructed following 98-12 (2.11) Compliance package D1.
Unless the measurements of performance compliance are met as outlined
in 98-12 (2.12)

Area: 31'
Gross area of peripheral walls: 2803.84 SF
Net area of openings: 231.61 SF
11.22% Ratio

Area: 31'
Gross area of peripheral walls for WOB: 3203.63 SF
Gross area of openings for WOB: 286.35 SF
12.35% Ratio



LIST OF DRAWINGS

DWG NAME	DWG NO.	DWG NAME	DWG NO.
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FRONT ELEVATION	7		
LEFT SIDE ELEVATION	8		
LEFT SIDE ELEVATION FOR WALK-OUT BASEMENT	8A		

REVISIONS

14	DROPPED WINDOW IN BEDROOM 2 AND REMOVED HARDY BOARD PANEL	OCT. 2, 2005	TS
15	REMOVED COVERAGE VALUES TO MATCH PLANS	MAY 24, 2005	TS
16	ADDED SHEETS 6A, 6A AND 6A FOR WALK-OUT BASEMENT CONSTRUCTION	JULY 29, 2004	TS
17	UPDATED FOR 2008 CBC.	FEB. 3, 2004	TS
18	REVISED LIVING ROOM WINDOWS FROM 48" TO 44" WIDE	NOV. 30, 2005	TS
19	ISSUED TO CLIENT FOR FINAL	NOV. 8, 2003	TS
20	ISSUED TO P. ENG. FOR STRUCTURAL REVIEW	NOV. 04, 2005	TS
21	REMOVED TO CLIENT AND WORKING WITH ENGINEER	OCT. 29, 2005	TS
22	REMOVED TO CLIENT AND WORKING WITH ENGINEER	APRIL 30, 2005	PS
23	REVISED TO COMPLIANCE PACKAGE D1 & ISSUED FOR PERMIT	JUNE 04, 2002	PS
24	ISSUED FOR PERMIT & CONSTRUCTION	MARCH 23, 2003	PS
25	REMOVED ROOF STRUCTURE BEEL FOR STRUCTURAL REVIEW	JAN. 25, 2002	PS
26	REPLACE UPDATE AS PER SPECS PROVIDED BY CLIENT	AUG. 08	PS
27	ISSUED FOR CLIENT REVIEW, REVISION & ROOF TRUSS DESIGN	MAY 08	PS
No.	(1) DESCRIPTION	DATE	BY

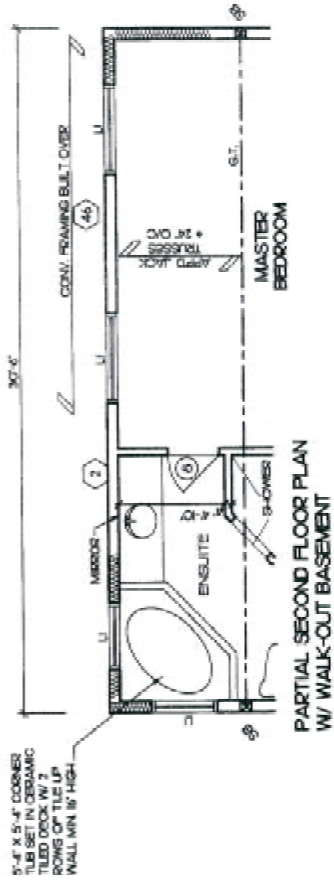
AREAS

FINISHED BASEMENT LANDING AREA	106.93	1151
GROUND FLOOR AREA	125.88	1355
SECOND FLOOR AREA	125.88	1355
OPTIONAL SECOND FLOOR AREA	232.81	2606
TOTAL FLOOR AREA	5.46	5
OPEN AREA (NOT INC. IN TOTAL AREA)		
COVERED (NOT INCLUDING PORCH)	144.00	1650
COVERED (INCLUDING PORCH)	153.46	1652

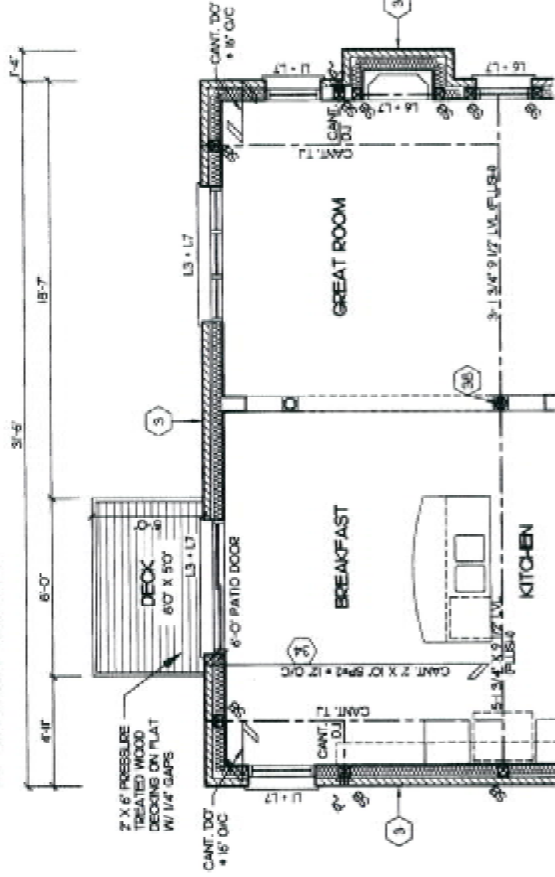
Client: DELPARK/ HIGHCASTLE HOMES
Project: NORTHGLEN MUNICIPALITY OF CLARINGTON 40-6 9'-0" CEILINGS
ELEVATION 3'

AREAS & REVISIONS
Scale: 3/16" = 1'-0"
Drawn by: KG/AA
Date: NOV. 2013
Checked by: TS
THE DALTON

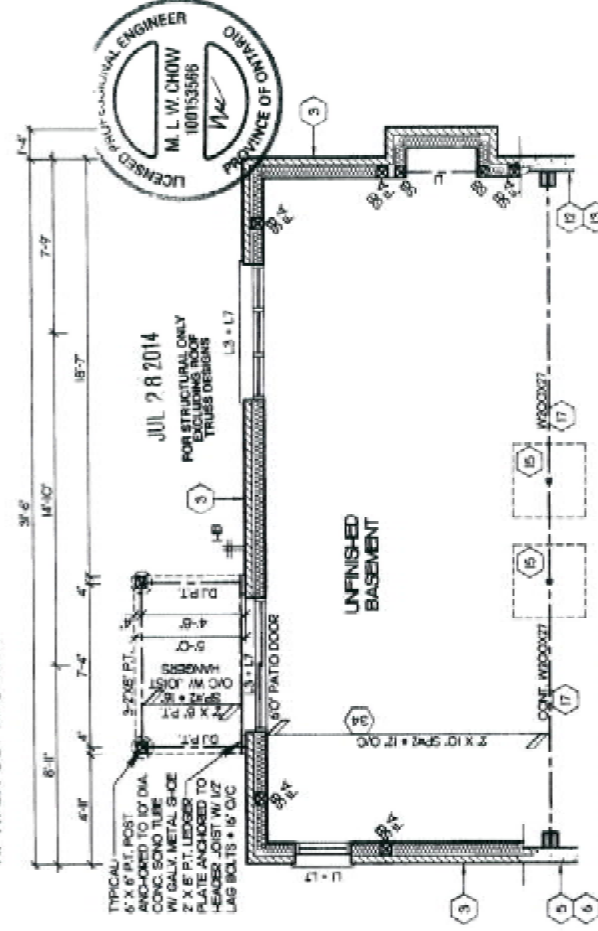
REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM NO. 25461
I, Stephen P. Kennedy have reviewed and approved this design.
Signature: [Signature]
Date: OCT. 7, 2015
BOB: 23411
Project No.: 2008-65
Drawing No.: 1 OF 14
CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 8L3
PH (905) 619-1270 FAX (905) 619-1269



PARTIAL SECOND FLOOR PLAN
W/ WALK-OUT BASEMENT



PARTIAL GROUND FLOOR PLAN
W/ WALK-OUT BASEMENT



PARTIAL BASEMENT PLAN
W/ WALK-OUT BASEMENT

It is the builder's complete responsibility to verify all dimensions and conditions of the site and existing structures before construction. The Architect is not responsible for any errors or omissions in the field data or for any conditions not shown on the drawings. The Architect is not responsible for any conditions not shown on the drawings. The Architect is not responsible for any conditions not shown on the drawings.

RECEIVED JUL 2 2014

DATE: JUL 2 2014

TIME: 10:00 AM

PROJECT: DELPARK/ HIGH-CASTLE HOMES

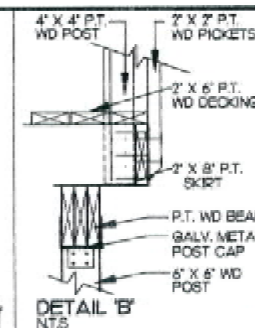
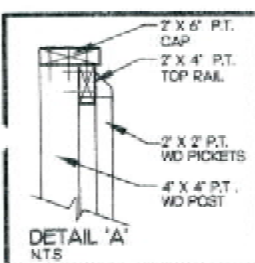
PROJECT: NORTHGLEN MUNICIPALITY OF CLARINGTON 40-6 9-0' CEILINGS

ELEVATION 'B'

REGISTERED PROFESSIONAL ENGINEER
M. L. W. CHOW
100153568
PROVINCE OF ONTARIO

NOTE:
REFERS TO SHEETS 3, 4, 5 & 6
FOR INFORMATION NOT SHOWN

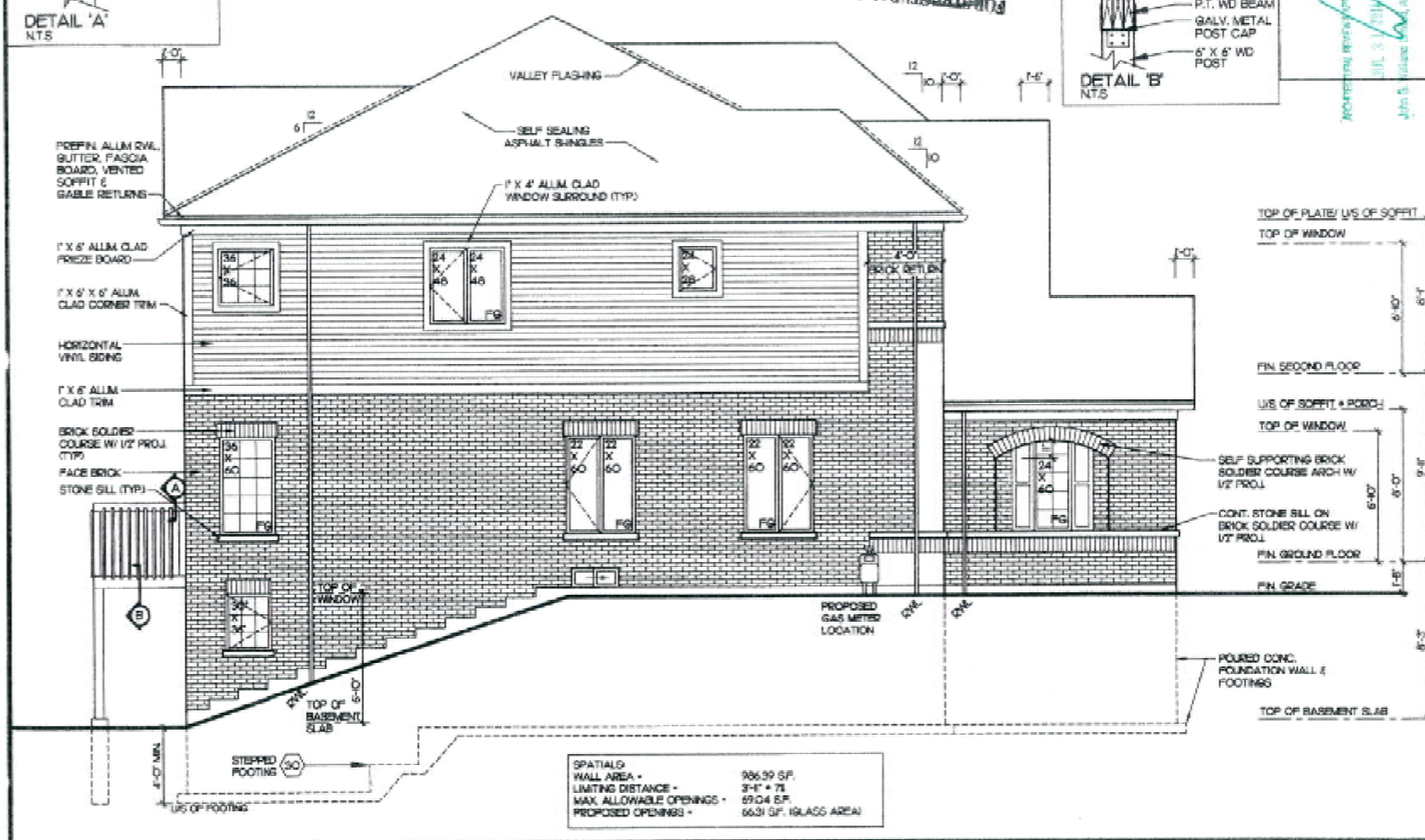
CLIENT DELPARK/ HIGH-CASTLE HOMES PROJECT NORTHGLEN MUNICIPALITY OF CLARINGTON 40-6 9-0' CEILINGS ELEVATION 'B'	SHEET PARTIAL FLOOR PLANS W/ WALK-OUT BASEMENT Scale 3/16" = 1'-0" Date JULY 2014	REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FROM BCN 28401 Stephen P. Kennedy reviewed and take responsibility for this design. Signature BCN 23481 Date JUL 2 9 2014	PROJECT CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 819-1270 FAX (905) 819-1269	DRAWING No. 2008-65 6A OF 14



It is the submitter's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council/Committee is not responsible in any way for reviewing or approving the (existing) plans or existing conditions with regard to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

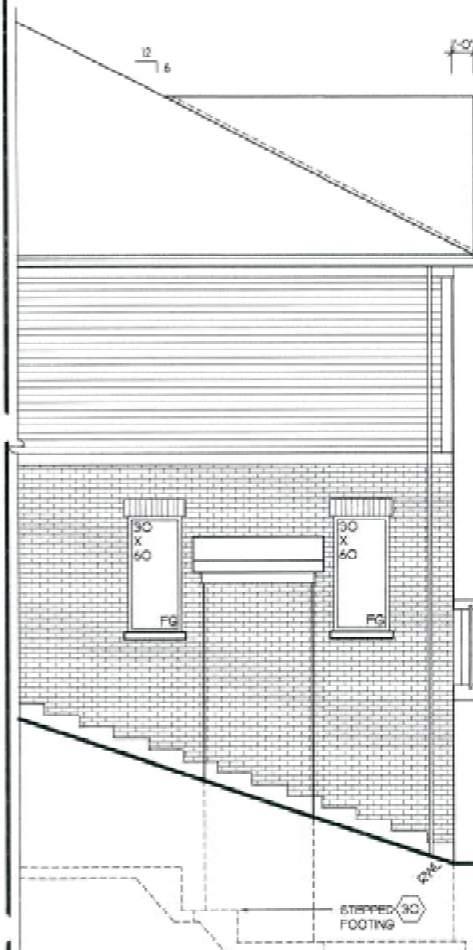
Architectural Review Approved
JUL 13 2014
John S. Wallace, Architect



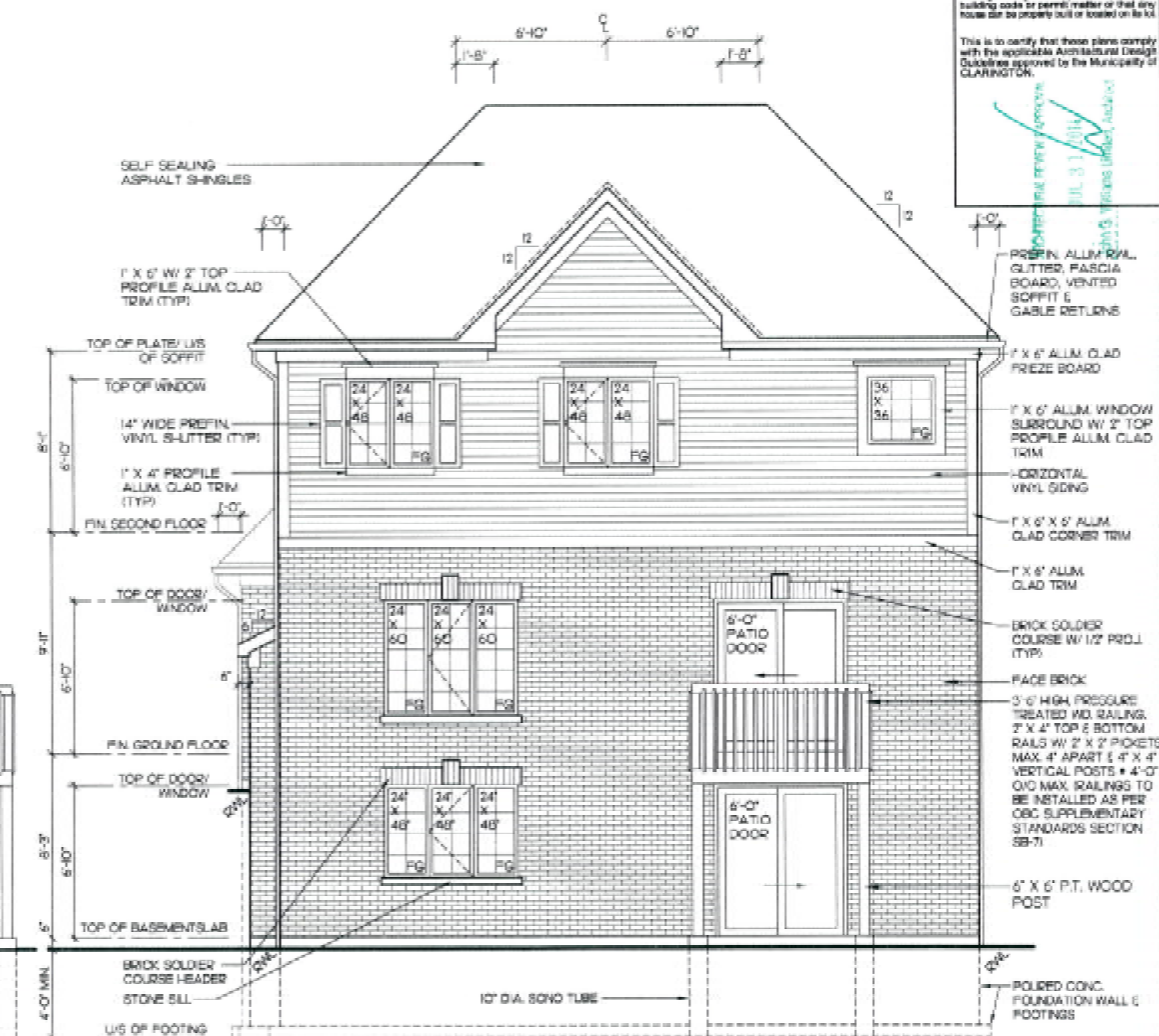
SPATIAL D.
WALL AREA = 186.99 SF
LIMITING DISTANCE = 3'-0" = 71
MAX. ALLOWABLE OPENINGS = 59.04 SF
PROPOSED OPENINGS = 66.31 SF (GLASS AREA)

Project No. 2008-65 Drawing No. 5A OF 14	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BOX 28461 Stephen P. Kennedy reviewed and takes responsibility for this design. Signature: [Signature] Date: JUL 29 2014	SHEET TITLE: DELPARK/ HIGH-CASTLE HOMES UPGRADED LEFT SIDE ELEVATION W/ WALK-OUT BASEMENT Drawn by: K-H Scale: 3/16" = 1'-0" Date: JULY 2014 Created by: TB	Client: NORTHGLENN MUNICIPALITY OF CLARINGTON 40-6 9'-0" CEILINGS ELEVATION 'B' THE DALTON
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SPATIALS
WALL AREA = 1025.0 S.F.
LIMITING DISTANCE = 3'-4" ± 75
MAX. ALLOWABLE OPENINGS = 7196 S.F.
PROPOSED OPENINGS = 38.60 S.F. (GLASS AREA)



PARTIAL RIGHT SIDE ELEVATION
FOR WALK-OUT BASEMENT CONDITION



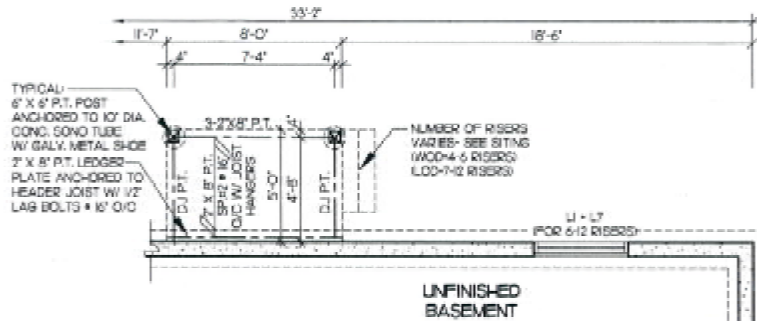
UPGRADED REAR ELEVATION
WALK-OUT BASEMENT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for obtaining or approving the zoning permits or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

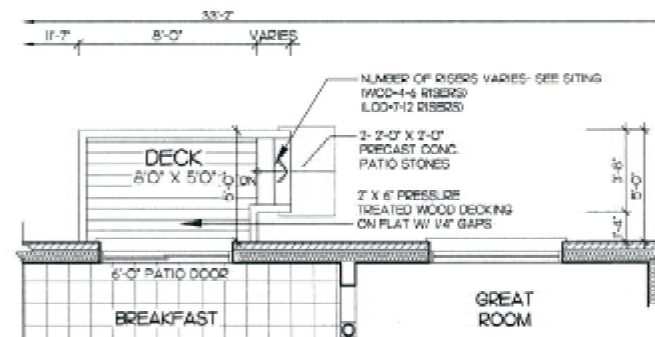
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

Architectural Review Approved
JUL 31 2014
2013 (House Under Review)

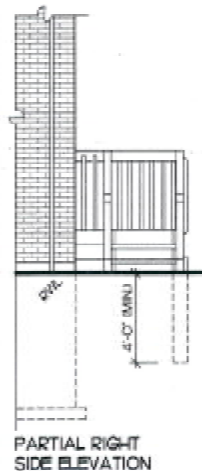
Project DEL PARK / HIGHCASTLE HOMES Project HORTON/LEN MUNICIPALITY OF CLARINGTON 40-6 9-0' CEILINGS ELEVATION B	Registered Person D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM NO. 23451 Stephen P. Kennedy Drawn by Scale 3/16" = 1'-0" Date JULY 2014	Project 2008-65 Drawing No. 10A OF 14	This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.
Project DEL PARK / HIGHCASTLE HOMES Project HORTON/LEN MUNICIPALITY OF CLARINGTON 40-6 9-0' CEILINGS ELEVATION B	Registered Person D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM NO. 23451 Stephen P. Kennedy Drawn by Scale 3/16" = 1'-0" Date JULY 2014	Project 2008-65 Drawing No. 10A OF 14	This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.



PARTIAL BASEMENT PLAN FOR W.O.D./L.O.D. CONDITION



PARTIAL GROUND FLOOR PLAN FOR W.O.D./L.O.D. CONDITION



3'-0" HIGH PRESSURE TREATED WD. RAILING, 2" X 4" TOP & BOTTOM RAILS W/ 2" X 2" PICKETS MAX. 4" APART & 4" X 4" VERTICAL POSTS & 4'-0" O/C MAX. PROVIDE 3'-6" HIGH RAILING IF DECK IS GREATER THAN 5'-0" ABOVE FIN. GRADE. RAILINGS TO BE INSTALLED AS PER CBC SUPPLEMENTARY STANDARDS SECTION 58-7.

BRICK SOLDIER COURSE HEADER W/ 1/2" PRO.L

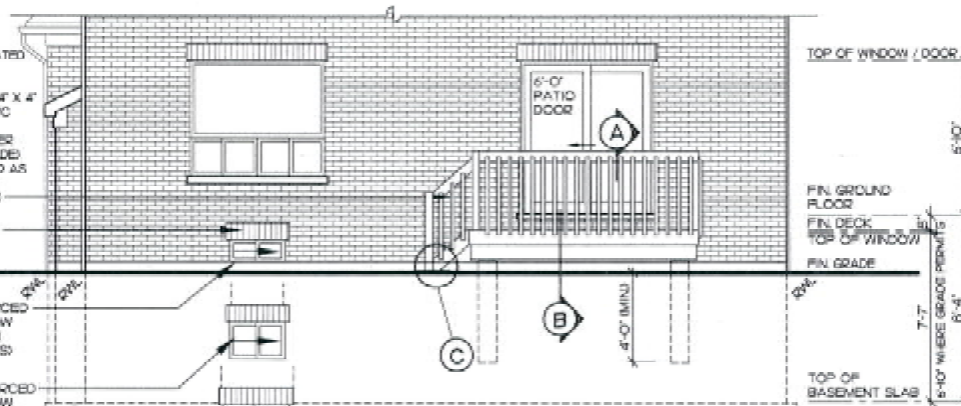
30" X 12" STEEL REINFORCED VINYL BASEMENT WINDOW FOR 4 RISER CONDITION (DROPPED BELOW JOISTS)

30" X 20" STEEL REINFORCED VINYL BASEMENT WINDOW FOR 5 RISER CONDITION

FOR 4-7 RISER CONDITION

FOR 8-10 RISER CONDITION

FOR 11-12 RISER CONDITION



PARTIAL REAR ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any pressures in the subdivision agreement. The Certified Architect is not responsible in any way for expediency or expediency of the (filling) plans or working drawings with respect to any zoning or building code or permit matter or their any future use to properly build or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEWER'S APPROVAL

FEB 10 2014

John G. Williams Limited, Architect

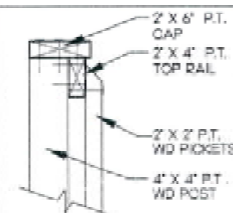
FEB 07 2014

FOR STRUCTURAL ONLY EXCLUDING FLOOR TRUSS DESIGN

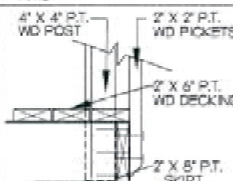


NOTE: 30" DEEP WINDOW MAY NOT BE POSSIBLE DUE TO SITE SPECIFIC GRADING. BUILDER TO CONFIRM ON-SITE.

NOTE: REFER TO SHEETS 3, 4, 9 & 10 FOR INFORMATION NOT SHOWN.



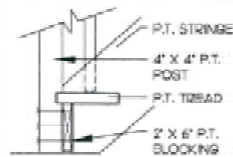
DETAIL 'A' NTS



DETAIL 'B' NTS



DETAIL 'C' NTS



DETAIL 'D' NTS

Project No. 2008-65	Drawing No. 14 OF 14
CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS	60 RANDALL DRIVE SUITE 110 ALBANY, ONTARIO L1G 4L3 PH (905) 619-1270 FAX (905) 619-1269
REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FEB 03/04 20451	Name STEPHEN P. KENNEDY revised and take responsibility for this design. Signature 23411 Date FEB. 3, 2014
WALK OUT DECK/ LOOK OUT DECK DETAILS & PARTIAL PLANS	Drawn by KONK Scale 3/16" = 1'-0"
Client Delpark/ Highcastle Homes	Checked by PS Date JUNE 2012 THE DALTON
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-6 9'-0" CEILINGS	ELEVATION 'B'