



40' LOT PRODUCT - 9'-0" CEILINGS

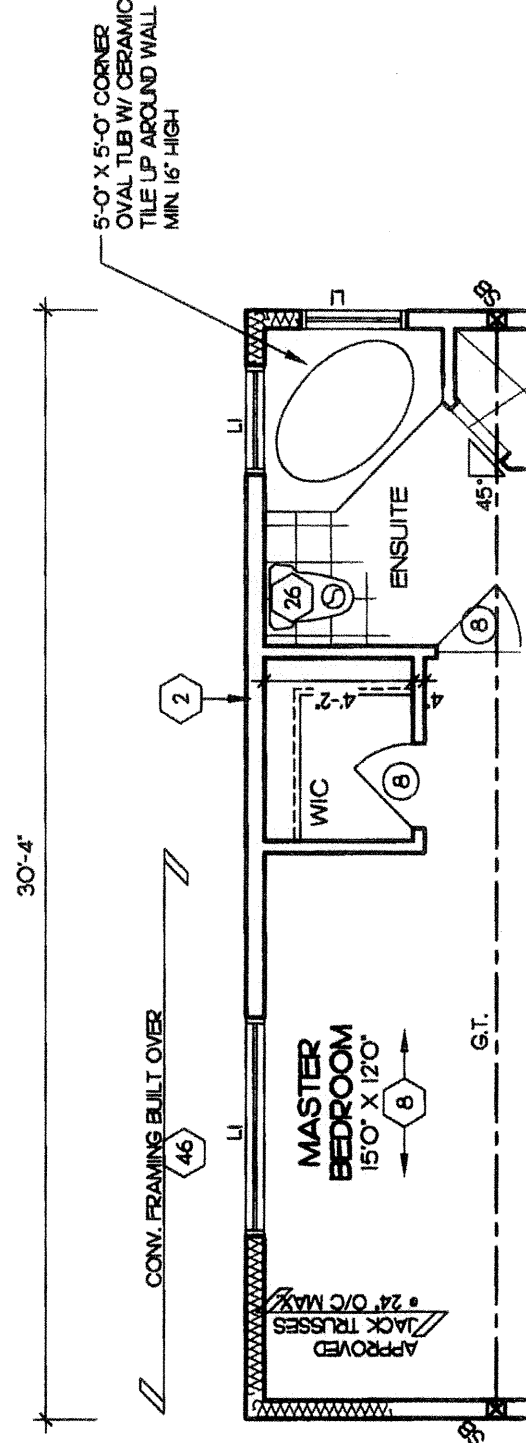
Energy Efficiency Compliance Calculations:
As per OBC SB-12 2.1.1.1 (Based on highest ratio scenario)
Unit to be constructed following SB-12 (2.1.1) Compliance package 'D',
Unless the requirements of performance compliance are met as outlined
in SB-12 (2.1.2)

Gross area of peripheral walls:	3139.74 SF	Elev. 'A'
Gross area of openings:	325.42 SF	
	10.36% Ratio	
<u>Elev. 'B'</u>		
Gross area of peripheral walls for WOB:	3462.60 SF	
Gross area of openings for WOB:	374.21 SF	
	10.80% Ratio	

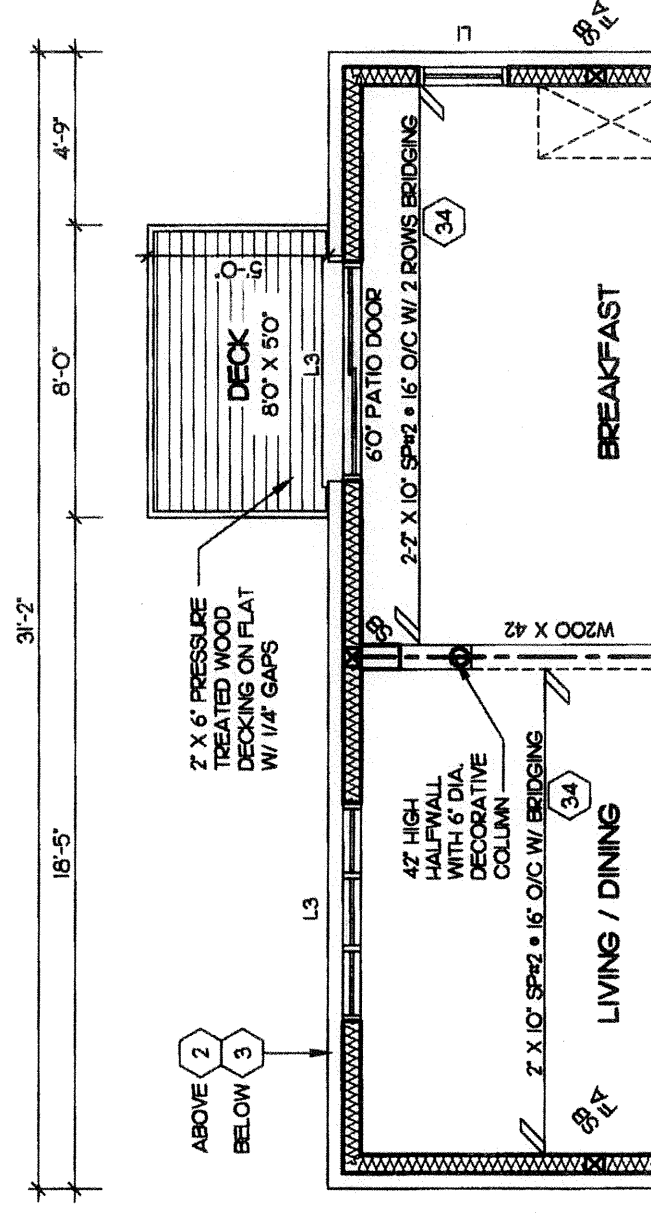
LIST OF DRAWINGS				
DWG NAME	DWG No.	DWG NAME	DWG No.	DWG No.
AREAS AND REVISIONS	1	RIGHT SIDE ELEVATION	9	
CONSTRUCTION NOTES	2	REAR ELEVATION	10	
BASEMENT PLAN	3	REAR ELEVATION FOR UPGRADED WALK-OUT BASEMENT	10A	
GROUND FLOOR PLAN	4	SECTION 'A'- 'A' & ROOF PLANS	11	
SECOND FLOOR PLAN	5	ELECTRICAL PLANS	12	
OPTIONAL SECOND FLOOR PLAN	6			
PARTIAL PLANS FOR WALK-OUT BASEMENT	6A			
FRONT ELEVATION	7			
LEFT SIDE ELEVATION	8			
LEFT SIDE ELEVATION FOR WALK-OUT BASEMENT	8A			

13	ISSUED TO CLIENT	NOV. 4, 2015	TB	AREAS	ELEVATION 'A'
12	REPLACED BLACK GLASS WITH DECOR. LOUVRE ON FRONT ELEVATION	OCT. 21, 2015	TB		
11	REVISED DECK SIZE; REVISED AREAS TO INCLUDE DECK IN COVERAGE. AND ISSUED TO CLIENT	FEB. 17, 2015	TB		
10	ADDED SHEETS 6A, 8A AND 10A FOR WALK-OUT BASEMENT CONDITION	JULY 29, 2014	TB		
9	UPDATED FOR 2012 OBC - ISSUED TO P. ENG. FOR STAMPING	JULY 8, 2014	TB		
8	ADDED OPT. DOOR TO LEFT SIDE ELEVATION AS PER TOWN COMMENTS AND REDUCED PR WINDOW ON LEFT SIDE ELEVATION	OCT. 17, 2013	TB		
7	REVISED TO COMPLIANCE PACKAGE D & ISSUED FOR PERMIT	APRIL 30, 2013	PS		
6	RAILING MATERIAL REVISED - RE-ISSUED TO CLIENT FOR REVIEW	DEC. 17, 2012	PS		
5	ISSUED FOR PERMIT & CONSTRUCTION		PS		
4	ISSUED TO P. ENG. FOR FINAL STRUCTURAL CHECK	MARCH 23, 2012	PS		
3	REVISED ROOF STRUCTURE/ ISSUED FOR STRUCTURAL REVIEW	JAN. 16, 2012	PS		
2	ADDED MASONRY PLINTH AROUND GROUND FLOOR PERIMETER - RE-ISSUED TO CLIENT FOR COORDINATION	AUG. 4/11	PS	OPEN AREA (NOT INCL. IN TOTAL AREA)	130
1	ISSUED FOR CLIENT REVIEW, PRICING & ROOF TRUSS DESIGN	MAY 03/11	PS	COVERAGE WITH DECK (INCLUDING PORCH)	156.07
No.	DESCRIPTION	DATE	BY	COVERAGE WITH DECK (NOT INCLUDING PORCH)	143.97
					1550

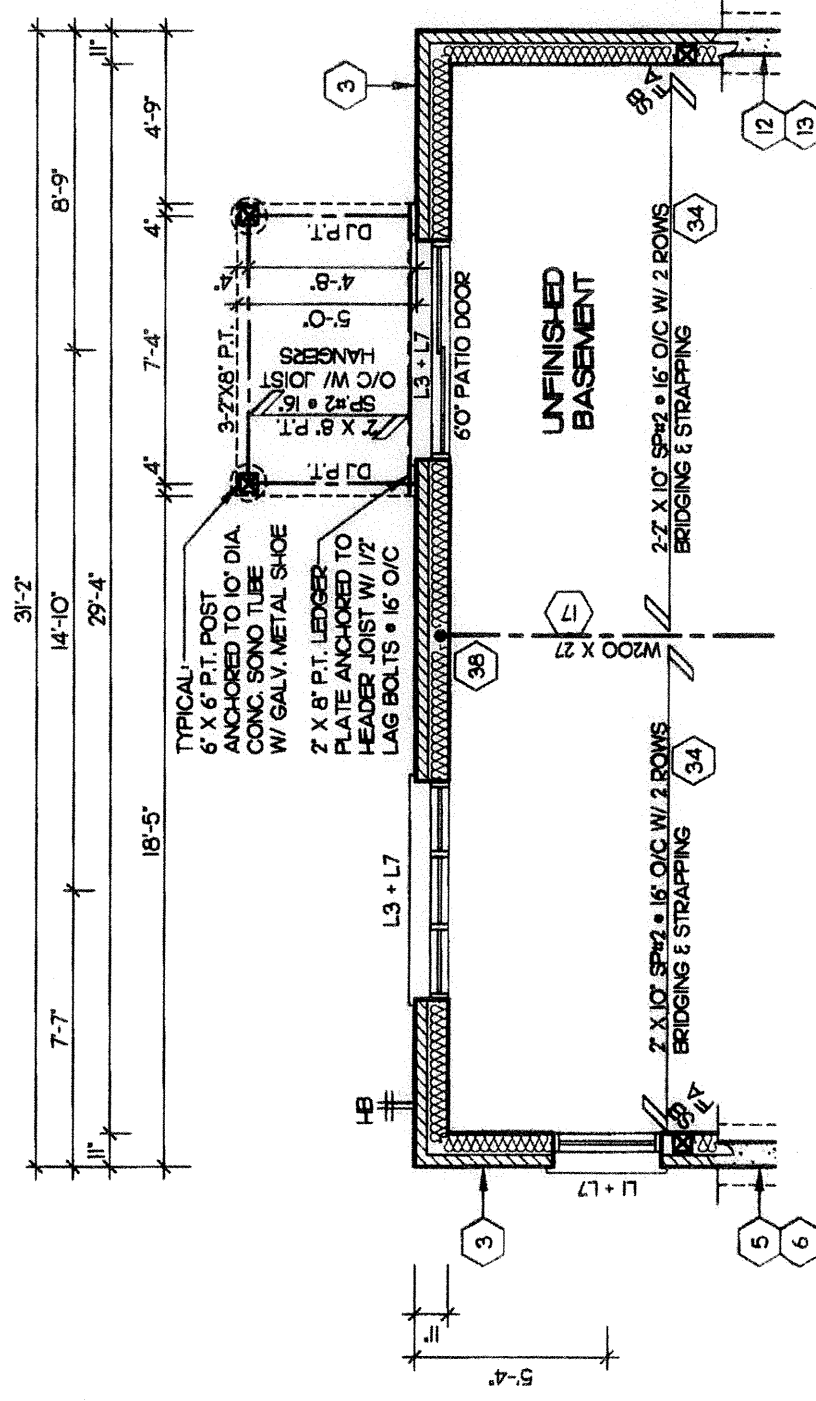
Client	Delpark/ Highcastle Homes		Sheet Title	AREAS & REVISIONS		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	Project No. 2008-65
Project	NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-7 9'-0" CEILINGS		Scale 3/16" = 1'-0"	Drawn by BM/AA	I, <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design. Signature <u></u> BCIN <u>23411</u> Date: <u>NOV 04 2015</u>		
	ELEVATION 'A'		Date JUNE 2012	Checked by PS			
			THE CARLISLE		CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269 1 OF 12		



PARTIAL SECOND FLOOR PLAN
W/ WALK-OUT BASEMENT



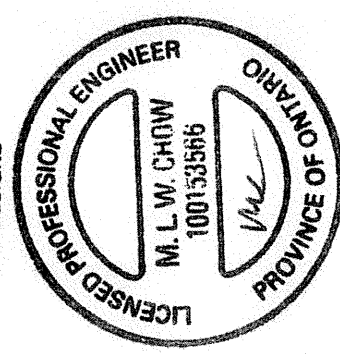
PARTIAL GROUND FLOOR PLAN
W/ WALK-OUT BASEMENT



PARTIAL BASEMENT PLAN
W/ WALK-OUT BASEMENT

JUL 28 2014

FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS



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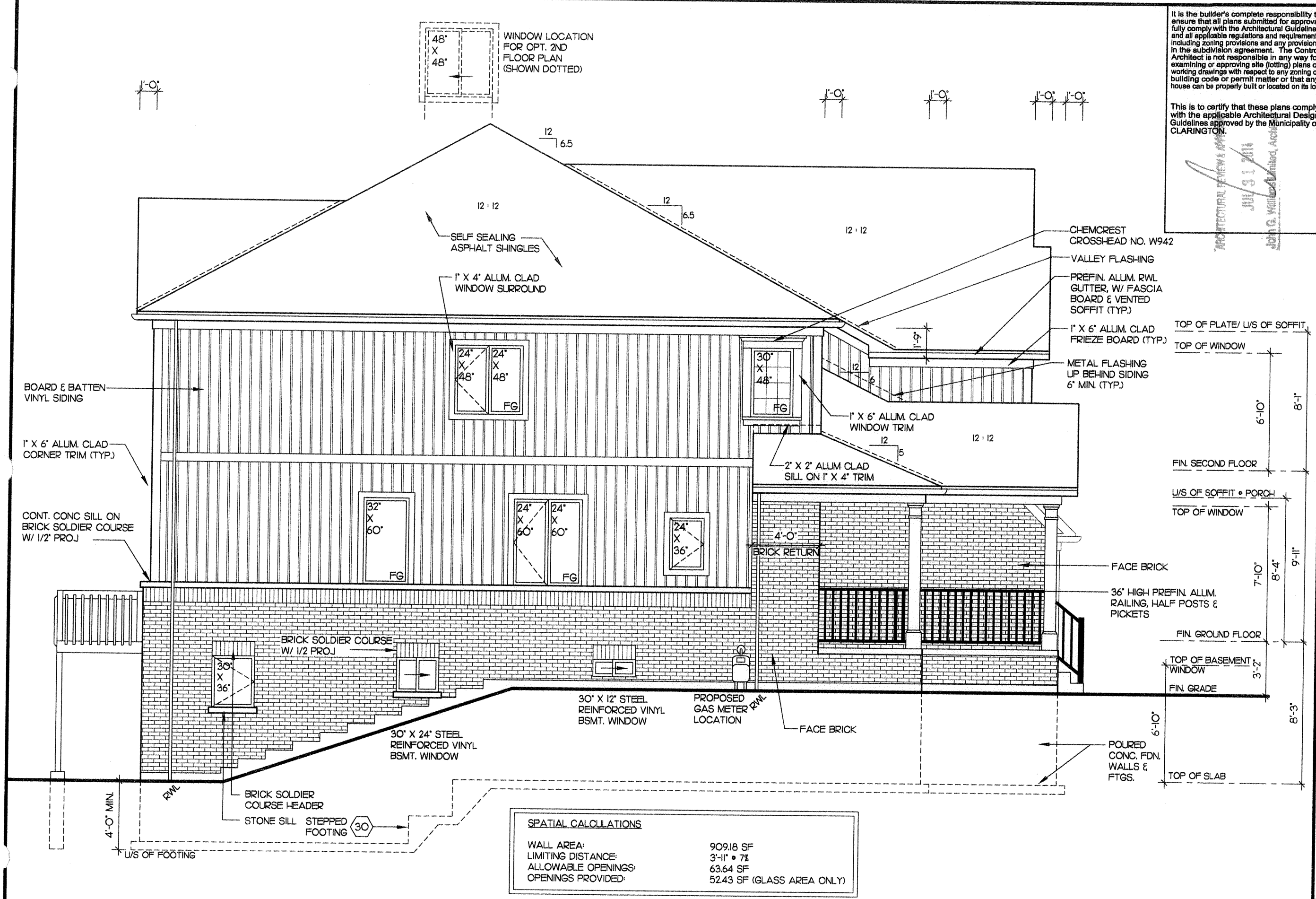
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

JUL 31 2014
John G. Williams Limited, Architect

NOTE:
REFER TO SHEETS 3, 4, 5 & 6
FOR INFORMATION NOT SHOWN

Client DELPARK/ HIGHCASTLE HOMES	Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-7 9'-0" CEILINGS	Sheet Title PARTIAL FLOOR PLANS W/ WALK-OUT BASEMENT	Scale 3/16" = 1'-0"		Drawn by KH	Project No. 2008-65
			Date JULY 2014	Checked by TB		
			THE CARLSIE			
			ELEVATION 'A'			
REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461			I, STEPHEN P. KENNEDY have reviewed and take responsibility for this design.			Architectural Technologists CASSIDY & CO. 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 69-1269
Signature 			BCIN 23411 Date: JUL 29 2014			
Drawing No.			6A OF 12			



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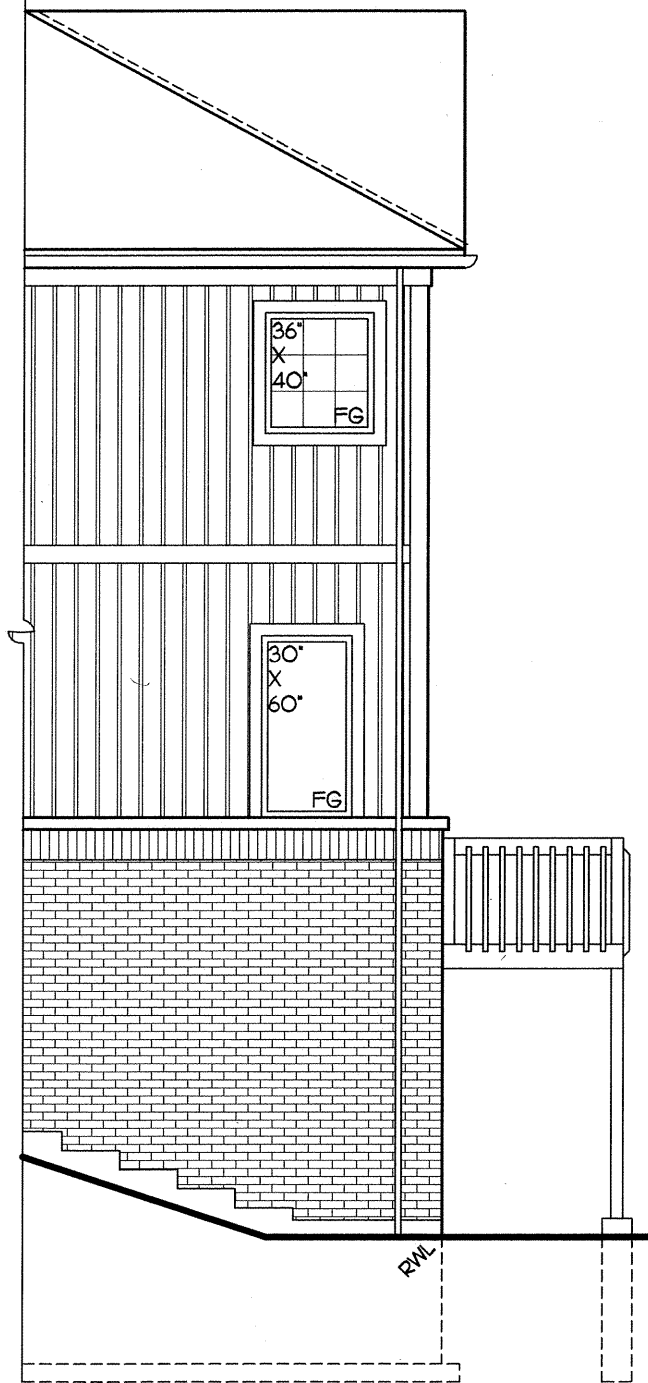
ARCHITECTURAL REVIEW & APPROVAL
JUL 31 2014
John G. Wilford, Architect

Project No. 2008-65
Drawing No. 8A OF 12
CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO
L1S 6L3
PH (905) 619-1270
FAX (905) 619-1269

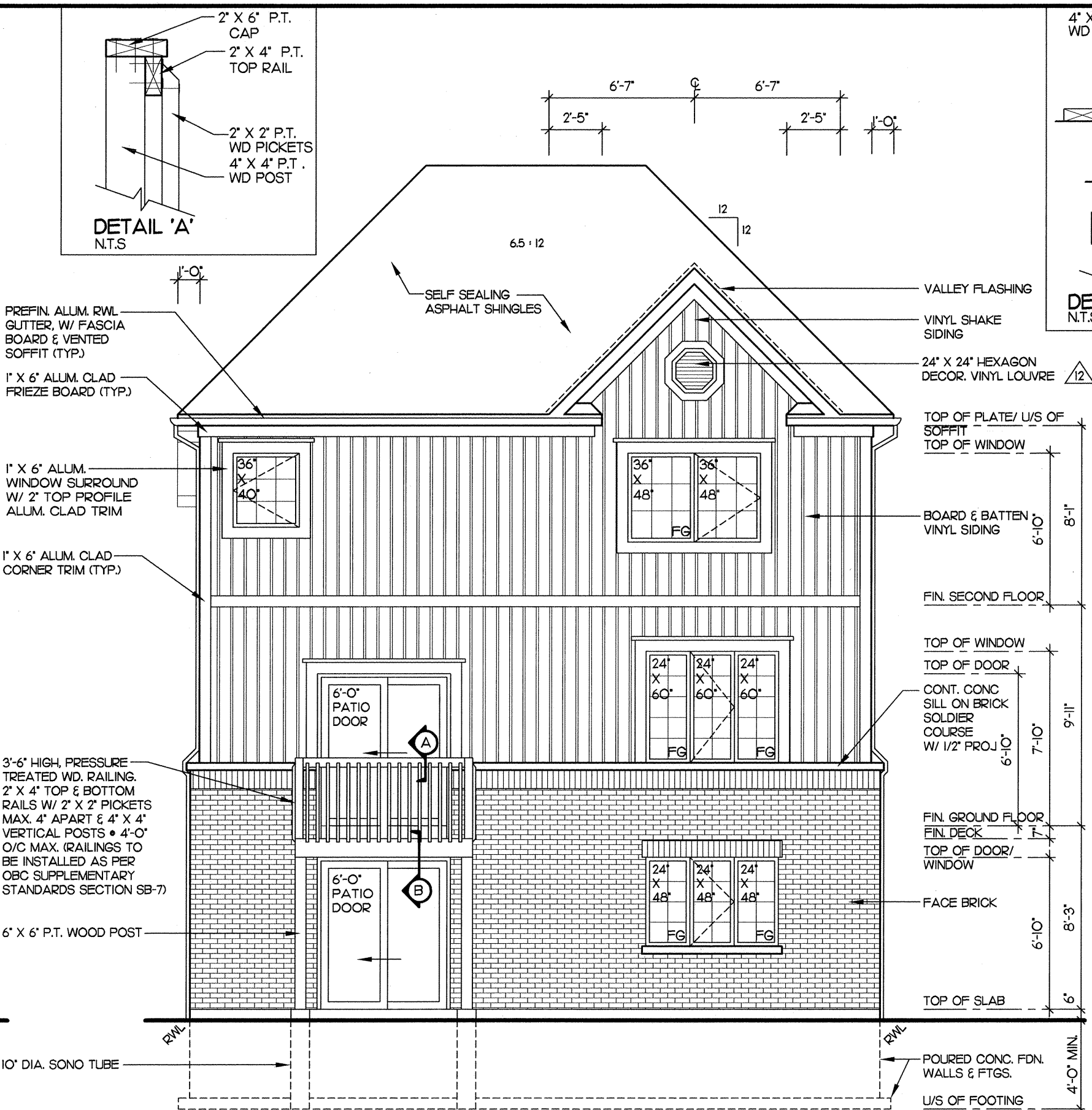
REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461
STEPHEN P. KENNEDY
have reviewed and taken responsibility for this design.
Signature: [Signature]
BCIN 23411 Date: JUL 29 2014

Sheet Title: UPGRADED LEFT SIDE ELEVATION W/ WALK-OUT BASEMENT
Scale: 3/16" = 1'-0"
Drawn by: KH
Checked by: TB
Date: JULY 2014

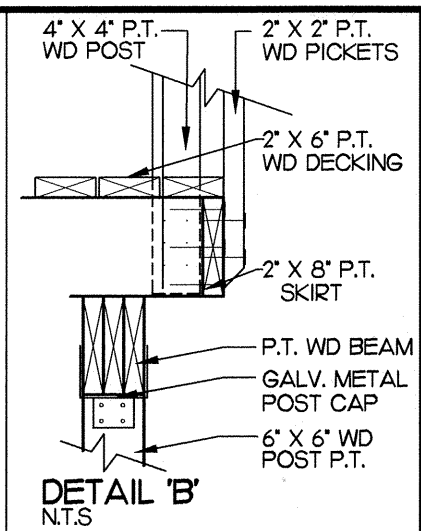
Client: DELPARK/ HIGHCASTLE HOMES
Project: NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-7 9'-0" CEILINGS
ELEVATION 'A'



PARTIAL RIGHT SIDE ELEVATION
FOR WALK-OUT BASEMENT CONDITION



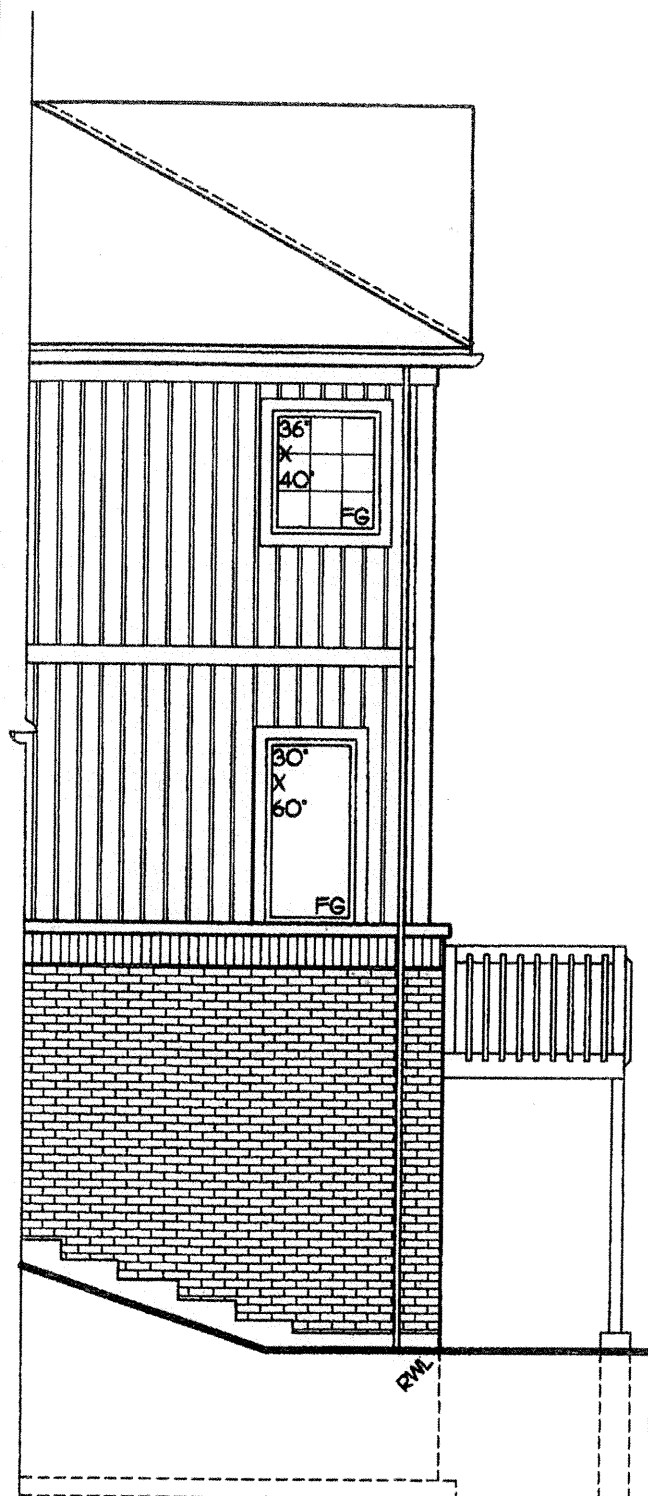
UPGRADED REAR ELEVATION
WALK-OUT BASEMENT



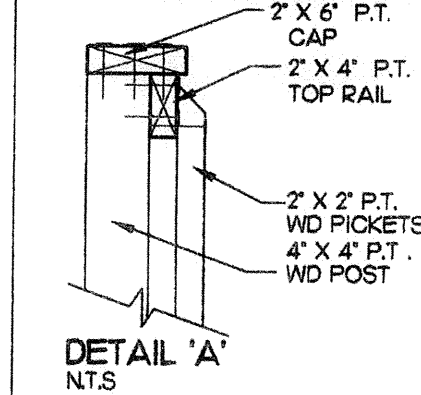
Client DELPARK/ HIGHCASTLE HOMES		Sheet Title UPGRADED REAR ELEVATION & PARTIAL RIGHT SIDE W/ WALK-OUT BASEMENT		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		Project No. 2008-65	
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-7 9'-0" CEILINGS		Scale 3/16" = 1'-0"		I, STEPHEN P. KENNEDY have reviewed and take responsibility for this design.		Drawing No. IOA OF 12	
ELEVATION 'A'		Date JULY 2014		Signature 		60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	
		THE CARLISLE		BCIN 23411 Date: NOV. 9, 2015			

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PARTIAL RIGHT SIDE ELEVATION
FOR WALK-OUT BASEMENT CONDITION



PREFIN. ALUM. RWL
GUTTER, W/ FASCIA
BOARD & VENTED
SOFFIT (TYP.)
1' X 6' ALUM. CLAD
FRIEZE BOARD (TYP.)

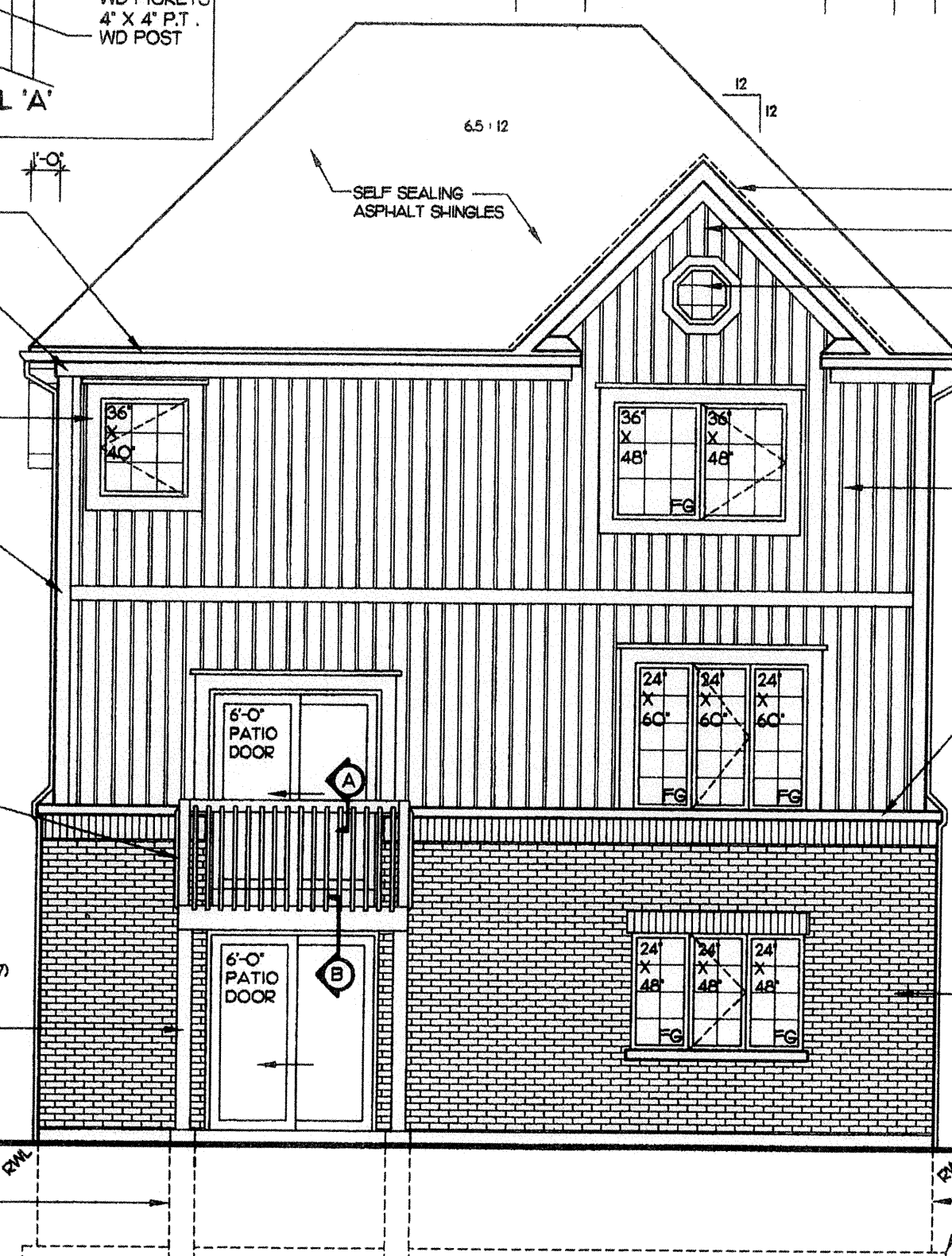
1' X 6' ALUM.
WINDOW SURROUND
W/ 2" TOP PROFILE
ALUM. CLAD TRIM

1' X 6' ALUM. CLAD
CORNER TRIM (TYP.)

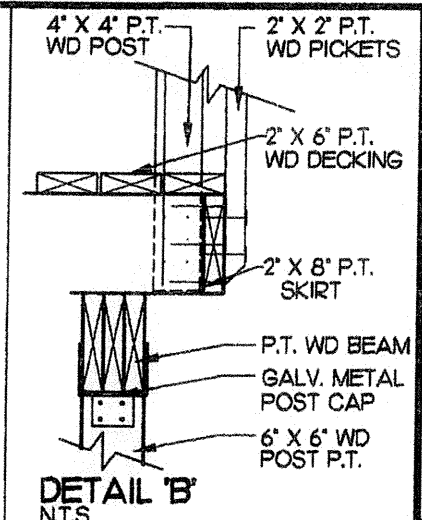
3'-6" HIGH, PRESSURE
TREATED WD. RAILING,
2' X 4" TOP & BOTTOM
RAILS W/ 2' X 2" PICKETS
MAX. 4" APART & 4' X 4'
VERTICAL POSTS @ 4'-0"
O/C MAX. (RAILINGS TO
BE INSTALLED AS PER
OBC SUPPLEMENTARY
STANDARDS SECTION SB-7)

6' X 6' P.T. WOOD POST

10' DIA. SONO TUBE



UPGRADED REAR ELEVATION
WALK-OUT BASEMENT



VALLEY FLASHING

VINYL SHAKE
SIDING

OCTAGONAL 24" DECOR
WINDOW WITH 4" TRIM

TOP OF PLATE/ U/S OF
SOFFIT
TOP OF WINDOW

BOARD & BATTEN
VINYL SIDING

FIN. SECOND FLOOR

TOP OF WINDOW
TOP OF DOOR

CONT. CONC
SILL ON BRICK
SOLDIER
COURSE
W/ 1/2" PROJ.

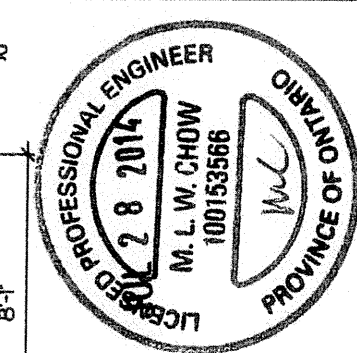
FIN. GROUND FLOOR
FIN. DECK
TOP OF DOOR/
WINDOW

FACE BRICK

TOP OF SLAB

POURED CONC. FON.
WALLS & FTGS.

U/S OF FOOTING



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Project No. 2008-65 Drawing No. 10A OF 12 CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461 STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature: [Signature] BCIN 23411 Date: JUL 29 2014	UPGRADED REAR ELEVATION & PARTIAL RIGHT SIDE W/ WALK-OUT BASEMENT Scale 3/16" = 1'-0" Date JULY 2014 Drawn by KH Checked by TB THE CARLISLE	Client DELPARK/ HIGHCASTLE HOMES Project NORTHGLENN MUNICIPALITY OF CLARINGTON UNIT 40-7 9'-0" CEILINGS ELEVATION 'A'
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SUPERSEDED NOV. 4/15