

# P2-57

## LOT COVERAGE

- DWELLING (MAX) 40.0%
- ALL BUILDINGS & STRUCTURES (MAX) 45.0%

## FRONT YARD

- TO DWELLING 4.0M
- TO GARAGE 6.0M
- TO PORCH 2.0M
- (ALLOWED 2.0M FRONT YARD ENCROACHMENT)

## REAR YARD

- TO DWELLING 7.5M

## INTERIOR SIDE YARD

- TO DWELLING 0.6M & 1.2M

## EXTERIOR SIDE YARD

- TO DWELLING 4.0M

## LOT FRONTAGE

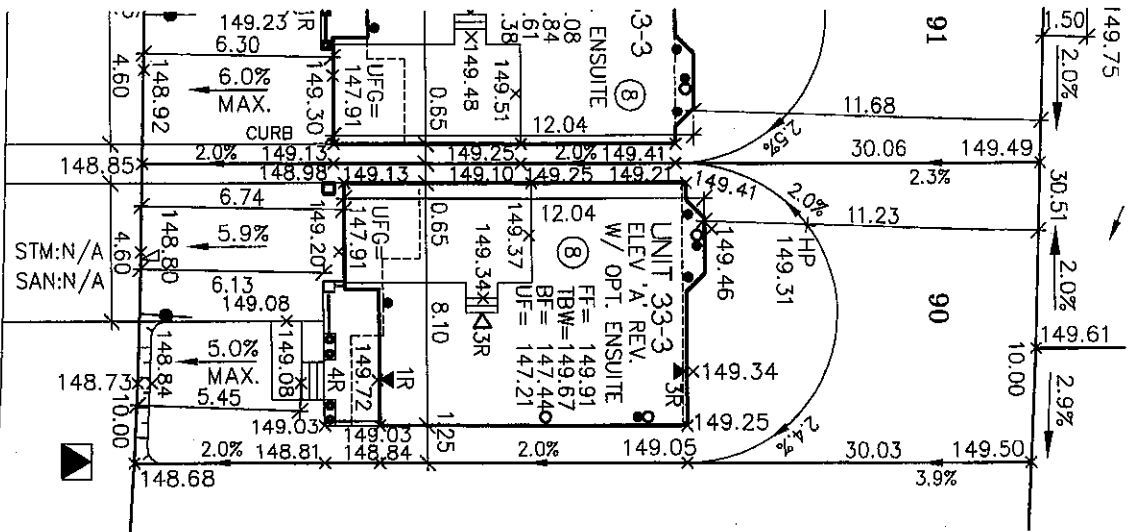
- INTERIOR MINIMUM 10.0M
- EXTERIOR MINIMUM 13.0M

## BUILDING HEIGHT

- ONE STOREY MAXIMUM 8.5M
- ALL OTHER UNITS 10.5M

## LANDSCAPED OPEN SPACE

- MINIMUM 30%



JOHN MATTHEW CRESCENT

148.74

### NOTES:

1. BUILDER TO VERIFY SERVICE CONNECTION INVERTS RIOR TO CONSTRUCTION
2. BUILDER TO ENSURE 1.22M OF COVER ON ALL FOOTINGS; 200mm MAX. EXPOSED FOUNDATION WALL.
3. THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

LOT AREA = 300.295 SM  
 HOUSE AREA W/O PORCH = 91.79 SM  
 HOUSE AREA W/ PORCH = 97.54 SM  
 COVERAGE W/O PORCH = 30.57 %  
 MAX LOT COVERAGE (DWELLING) @ 40% = 120.118 SM  
 LANDSCAPED OPEN SPACE = 56.20 %

**GHD INC.**  
 65 Sunray Street  
 Unit 8Y3  
 Phone: (905) 882-7878  
 FAX: (905) 882-7878  
**FEB 20 2015**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible for reviewing or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

**ARCHITECTURAL REVIEW / APPROVAL**  
 John G. Williams Limited, Architect

John G. Williams Limited, Architect

Client **HIGHCASTLE HOMES**

Project **NORTHLEEN**  
 Name **TOWN OF CLARINGTON**

Municipal Address

**JOHN MATTHEW CRESCENT**

Sheet **SITE PLAN**

Lot **LOT 90**

Title

**REGISTERED PERSON**  
**D.W. CASSIDY & CO.**  
**ARCHITECTURAL TECHNOLOGISTS**  
 FIRM BCIN 28461

I, **STEPHEN P. KENNEDY** have reviewed and take responsibility for this design.

Signature *[Signature]* Date **FEB. 19, 2015**

BCIN 23471

No.	Description	Date	By
1	ISSUED FOR FINAL APPROVAL	FEB 19/15	AN
2	ISSUED FOR PRELIM APPROVAL	JAN 19/15	AN

Scale **1:250**

Date **FEB. 2015**

Drawn by **EO/ES**

Checked by **AN**

**CASSIDY & CO.**  
 ARCHITECTURAL TECHNOLOGISTS  
 60 RANDALL DRIVE  
 SUITE 11  
 AJAX, ONTARIO  
 L1S 6L3  
 PH. (905) 619-1270  
 FAX (905) 619-1269

Project No. **2008-65** Sheet No. **90**

File Name c:\acad\dwgs\2008-65\STEPHAN\STINGS\LOT-90.DWG  
 (XREF - G:\ACAD\DWGS\2008-65\STEPHAN\2008-65-SS2.DWG)

- STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- CATCH BASIN
- STM & SAN CONNECT
- SINGLE STM & SAN
- SWALE DIRECTION
- CABLE TV PEDISTAL
- BELL PEDISTAL
- SUPER MAIL BOX
- SIDE WINDOW LOCATION
- EMBANKMENT 3:1 MAX SLOPE (000.00)

FINISHED FLOOR ELEVATION

TOP OF BASEMENT WALL

TOP OF FOUNDATION WALL

AT GARAGE

BASEMENT FLOOR ELEVATION

UNDERSIDE OF FOOTING

UNDERSIDE OF FTG.-GAR

UNDERSIDE OF FTG.-REAR

WALK OUT DECK

WALK OUT DECK

LOOK OUT DECK

REVERSE PLANS

NUMBER OF RISERS

PROPOSED ELEVATION

EXISTING ELEVATION