

R2-54 LOT COVERAGE

- DWELLING (MAX) 40.0%
- ALL BUILDINGS & STRUCTURES

(MAX) 45.0%

FRONT YARD

- TO DWELLING 4.0M
- TO GARAGE 6.0M
- TO PORCH 2.0M
- (ALLOWED 2.0M FRONT YARD ENCROACHMENT)

REAR YARD

- TO DWELLING 7.5M

INTERIOR SIDE YARD

- TO DWELLING 0.6M & 1.2M

EXTERIOR SIDE YARD

- TO DWELLING 4.0M

LOT FRONTAGE

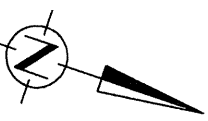
- INTERIOR MINIMUM 11.3M
- EXTERIOR MINIMUM 14.3M

BUILDING HEIGHT

- ONE STOREY MAXIMUM 8.5M
- ALL OTHER UNITS 10.5M

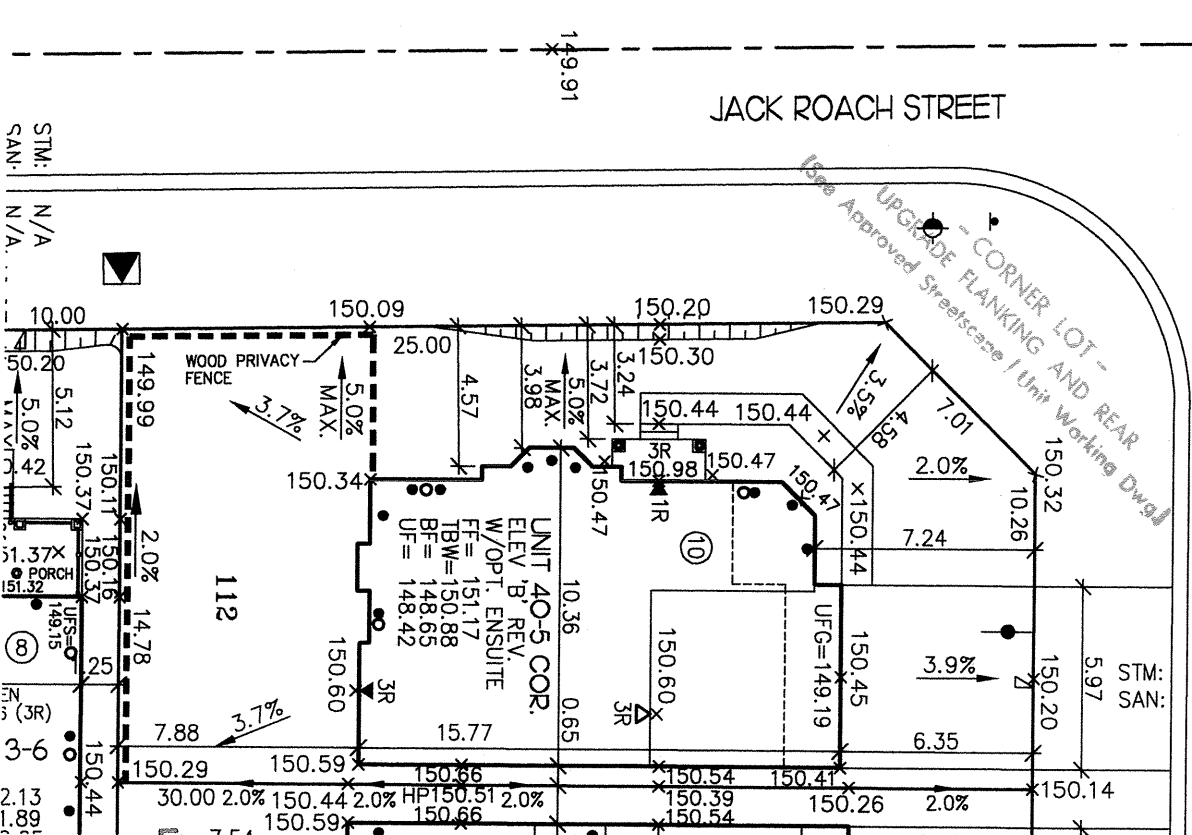
LANDSCAPED OPEN SPACE

- MINIMUM 30%



JOHN MATTHEW CRESCENT

N/A
N/A



- NOTES:
1. BUILDER TO VERIFY SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION
 2. BUILDER TO ENSURE 1.22M OF COVER ON ALL FOOTINGS; 200mm MAX. EXPOSED FOUNDATION WALL.
 3. THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

LOT AREA = 438.16 SM
HOUSE AREA W/O PORCH = 145.49 SM
HOUSE AREA W/ PORCH = 149.57 SM
COVERAGE W/O PORCH = 33.20 %
COVERAGE W/ PORCH = 34.14 %
MAX LOT COVERAGE (DWELLING) @ 40% = 175.26 SM
LANDSCAPED OPEN SPACE = 57.21 %

City of Surrey
Municipal Engineer
Phone: (604) 273-5000
Fax: (604) 273-5000
OCT 22 2015
LOT GRADING REVIEWED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and the Subdivision Master Plan. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

OCT 26 2015

John G. Williams Limited, Architect

Client: **HIGHCASTLE HOMES**

Project: **NORTHGLEN
TOWN OF CLARINGTON**

Municipal Address: **JOHN MATTHEW CRESCENT**

Sheet: **SITE PLAN** Lot: **LOT 112**

Title: **LOT 112**

REGISTERED PERSON
**D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS**
FIRM BCIN 28461

I, **STEPHEN P. KENNEDY**, have reviewed and take responsibility for this design.
Signature: *[Signature]*
BCIN 23411 Date: OCT. 19, 2015

BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MINIMUM DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT THEIR OWN EXPENSE.

Scale: **1/250**
Date: **APR. 2015**
Drawn by: **GS**
Checked by: **PK**
Project No.: **2008-65**
Sheet: **112**

- STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- WATER SERVICE
- CATCH BASIN
- STM & SAN CONNECT
- SINGLE STM & SAN
- CABLE TV PEDESTAL
- BELL PEDESTAL
- SUPER MAIL BOX
- EXTERIOR DOOR LOCATION
- SIDE WINDOW LOCATION
- EMBANKMENT 3:1 MAX SLOPE (000.00)

- FINISHED FLOOR ELEVATION
- TOP OF BASEMENT WALL
- TOP OF FOUNDATION WALL
- AT GARAGE
- BASEMENT FLOOR ELEVATION
- UNDERSIDE OF FOOTING
- UNDERSIDE OF FTG.-GAR
- UNDERSIDE OF FTG.-REAR
- WALK OUT DECK
- LOOK OUT BASEMENT
- REVERSE PLANS
- NUMBER OF RISERS
- PROPOSED ELEVATION
- EXISTING ELEVATION

File Name: G:\ACAD\DWGS\2008-65\STEPPLAN\112.DWG
(XREF - G:\ACAD\DWGS\2008-65\STEPPLAN\2008-65-552.DWG)