## SITE PLAN REVIEW .. REGISTERED PLAN . LOT NO ... THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR THE DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. REVIEWED BY DL NO COMMENT DATE Jun. 27,16 COMMENTS AS NOTED CANDEVCON LIMITED CONSULTING ENGINEERS AND PLANNERS



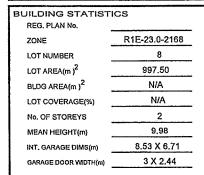
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREE' LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS CAME FYBENSE

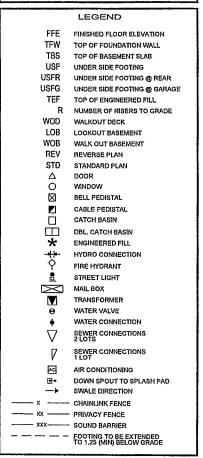
HIGHCASTLE HOMES

PROJECT/LOCATION RIVERWALK, PHASE 2 BRAMPTON, ON

DRAWING

SITE PLAN





ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	снк
1	ISSUED FOR REVIEW	MAY.25/16	NP	HLD
2	ISSUED FOR FINAL,	JUNE 16/16	NP	DJH
Ц.,				

I. NATALIE PANDOLFI, DECLARE THAT
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILIT
FOR THE DESIGN WORK ON BEHALF OF RN DESIGN
LIMITED, UNDER DIVISION C, PARTS, SUBSECTION
3.2.4. OF THE BUILDING CODE, LAM QUALIFIED, AND
THE FIRM IS REGISTERED, IN THE APPROPRIATE
CLASSES/CATEGORIES. DECLARE THAT

QUALIFIED DESIGNER BCIN

41549 26995

JUNE 23/16 DATE

FIRM BCIN

SIGNATURE

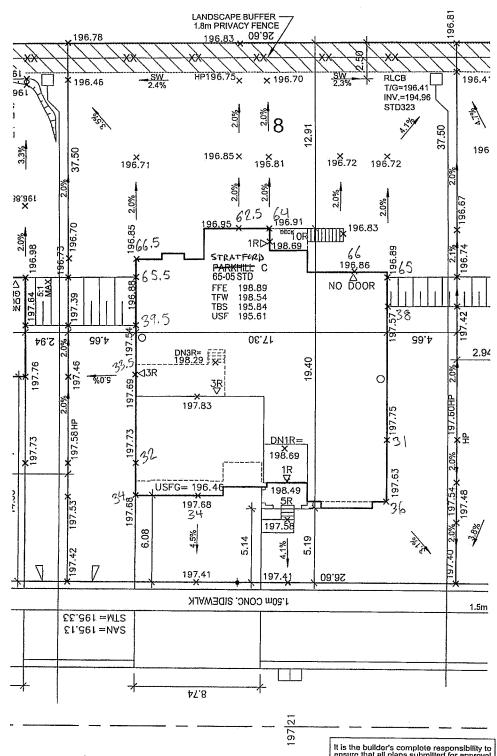
DRAWN BY NP

SCALE 1:250

PROJECT No. 14021 LOT NUMBER

8

RN design Imagine . Inspire . Create



## **DEGREY DRIVE**

THE ENGINEERING PLANS HAVE NOT BEEN FINALIZED BY THE CITY AND ARE SUBJECT TO CHANGE.

SANITARY AND STORM INVERTS ARE NOT AVAILABLE AT THE TIME OF SITING; BUILDER TO VERIFY ELEVATIONS OF SANITARY AND STORM LATERALS IN RELATION TO BASEMENT USF ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURIAL REVIEWS AFTROVAL 2010

J. M. G. Will me timbe i apoliteri