



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT
HIGHCASTLE HOMES

PROJECT/LOCATION
RIVERWALK, PHASE 2
BRAMPTON, ON

DRAWING
SITE PLAN

BUILDING STATISTICS	
REG. PLAN No.	
ZONE	R1E-19.0-2155
LOT NUMBER	16
LOT AREA(m) ²	633.60
BLDG AREA(m) ²	247.0
LOT COVERAGE(%)	39.0%
No. OF STOREYS	2
MEAN HEIGHT(m)	9.27
INT. GARAGE DIMS(m)	8.84 X 6.10
GARAGE DOOR WIDTH(m)	3 X 2.44

LEGEND

FFE

FINISHED FLOOR ELEVATION

TFW

TOP OF FOUNDATION WALL

TBS

TOP OF BASEMENT SLAB

USF

UNDER SIDE FOOTING

USFR

UNDER SIDE FOOTING @ REAR

USFG

UNDER SIDE FOOTING @ GARAGE

TEF

TOP OF ENGINEERED FILL

R

NUMBER OF RISERS TO GRADE

WOD

WALKOUT DECK

LOB

LOOKOUT BASEMENT

WOB

WALK OUT BASEMENT

REV

REVERSE PLAN

STD

STANDARD PLAN

△

DOOR

○

WINDOW

⊗

BELL PEDISTAL

⊠

CABLE PEDISTAL

□

CATCH BASIN

⊞

DBL. CATCH BASIN

✱

ENGINEERED FILL

⊕

HYDRO CONNECTION

⊙

FIRE HYDRANT

⊞

STREET LIGHT

⊞

MAIL BOX

⊞

TRANSFORMER

⊞

WATER VALVE

⊞

WATER CONNECTION

▽

SEWER CONNECTIONS 2 LOTS

▽

SEWER CONNECTIONS 1 LOT

⊞

AIR CONDITIONING

⊞

DOWN SPOUT TO SPLASH PAD

→

SWALE DIRECTION

x

CHAINLINK FENCE

xx

PRIVACY FENCE

xxx

SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	SEP.28/15	SDU	NP
2	ISSUED FOR FINAL	OCT.20/15	SDU	MB

I, NATALIE PANDOLFI, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 41549

FIRM BCIN 26995

OCT.21/15

SIGNATURE

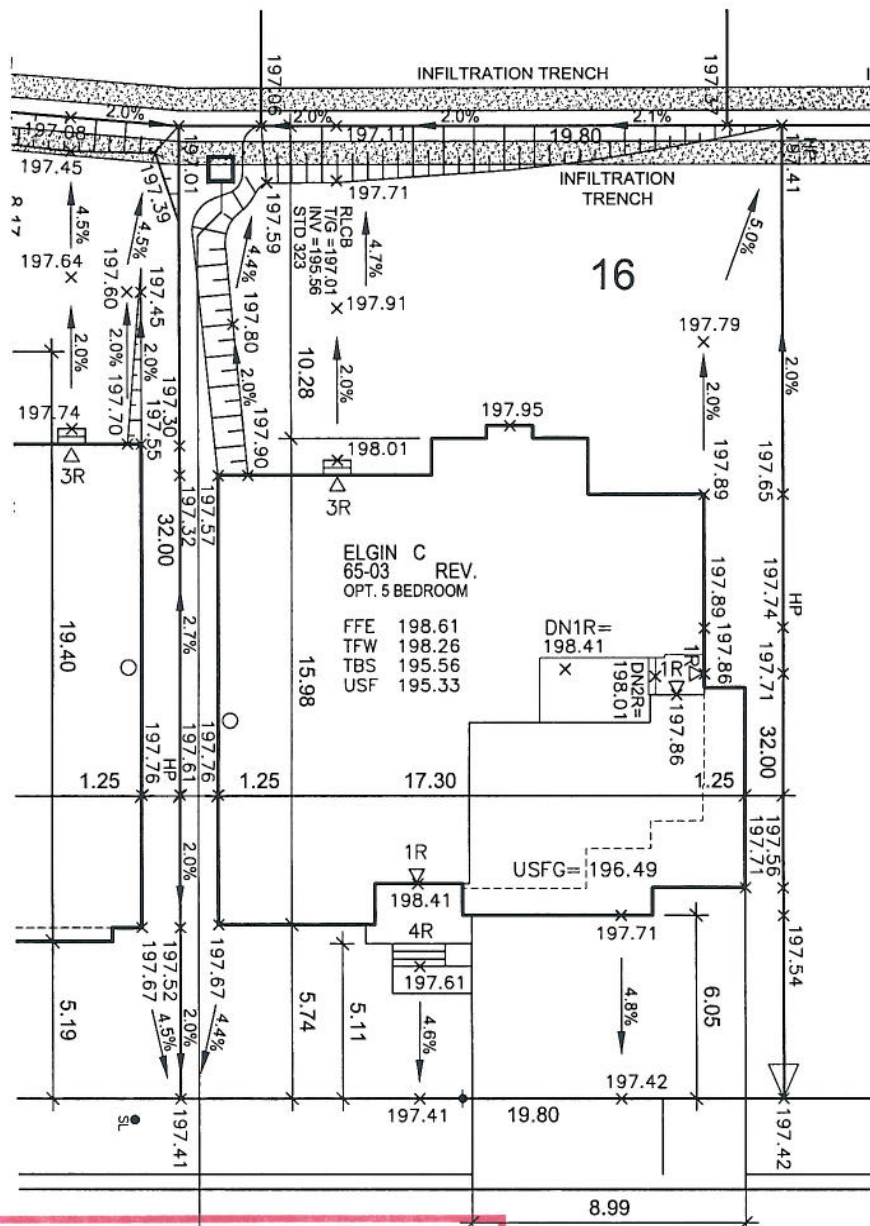
DRAWN BY

SCALE
1:250

PROJECT No.
14021

LOT NUMBER
16

RN design
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SITE PLAN REVIEW

LOT NO. 16 REGISTERED PLAN

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT ☒ REVIEWED BY PL

COMMENTS AS NOTED ☐ DATE Nov. 2, 15

CONSULTING ENGINEERS AND PLANNERS

NOTE:
RLCB LEAD PRESENT, CAUTION WHEN EXCAVATING.
BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS
ADJACENT TO RLCB LEADS.

NOTES:
THE ENGINEERING PLANS HAVE NOT BEEN FINALIZED
BY THE CITY AND ARE SUBJECT TO CHANGE.

SANITARY AND STORM INVERTS ARE NOT AVAILABLE
AT THE TIME OF SITING; BUILDER TO VERIFY
ELEVATIONS OF SANITARY AND STORM LATERALS IN
RELATION TO BASEMENT USF ELEVATIONS FOR
COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO
EXCAVATION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL
NOV 03 2015
John G. Williams Limited, Architect