



Town of Innisfil
2101 Innisfil Beach Road
Innisfil | ON L9S 1A1
Phone: 705-436-3710
Toll Free: 1-888-436-3710

NOTICE OF COMPLETION (FINAL)

Permit number: 2021-0522

Permit type:

Municipal address: 755 GREEN ST

Legal address: PLAN 51M1169 LOT 72

Status of inspection: Completed

Issue date: 2021-07-13

Deficiencies

No deficiencies or marks noted.

Visits

| VISIT DATE | INSPECTOR | VISIT RESULT | COMMENTS |
|------------------------|---------------|---------------------------------|---|
| 2023-11-27, 11:49 a.m. | Tristan Munro | Passed (Substantially complete) | The exterior of the building appears complete at the time of inspection. "Notice of Completion" is granted. |

Acceptance and approval by a building inspector is required to continue with construction. If deficiencies are identified, you are required to book a re-inspection. Construction must not be concealed until inspections have been inspected by the Town of Innisfil and accepted by the building inspector. Failure to resolve outstanding concerns may result in the issuance of an Order.

Parties

| NAME AND COMPANY | CONTACT | ROLES |
|---------------------------------|--|----------------|
| Roberto - Lormel Homes | +1 416 291 1004 | Builder |
| BELLAIRE PROPERTIES INC | 331 CITYVIEW BOULEVARD SCARBOROUGH, ONTARIO M1V 1T7 | Property owner |
| Zach De Meneghi Lormel Homes | 331 Cityview Blvd (416) 291-1004 | Applicant |



CONSULTANT'S FINAL LOT GRADING CERTIFICATION LETTER

Date: October 19, 2023

Town of Innisfil
2101 Innisfil Beach Road
Innisfil, ON
L9S 1A1

Attention: Frank Ruffolo, Development Inspector

Dear Sir:

**RE: Municipal Address: 755 Green Street, Innisfil
Lot or Block No.: Lot 72
Registered Plan No.: 51M-1169
Certification of Building and Final Lot Grading**

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

1. The lot grading and building elevations on the above referenced lot are:
 - o In conformity with the approved grading and site plans
2. The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.
3. The driveway conforms with minimum clearances listed in our Engineering Design Standards, Appendix C: Minimum Offset Matrix.

Sincerely,

IBW Surveyors Ltd.



Kevin Ertl, B.Eng, O.L.S.

October 19, 2023

**GREEN
STREET**

IRW Surveyors
e. - Hunt Division

A.B
For Grading
Certificate

EW - EJ
Sept 7/2023

**TEMAGAMI
2600A**

'8" TYPE 'X' DRYWALL

**FOUNDATION WALL
0.15m MINIMUM
FINISHED GRADE**

**UNDERSIDE OF FOOTINGS
TO BE 1.22m MINIMUM
BELOW FINISHED GRADE**

TOP OF WALL
244.66

5-73
*

5-72
*

5-79
*

5-71
*

5-80



Consultants Final Lot Grading Certification Letter



September 15, 2023

File No. 231437

Town of Innisfil

2101 Innisfil Beach Road

Innisfil, ON L9S 1A1

Attention: Fabian Van Romberg, Development Inspector:

Re: Municipal Address: 755 Green Street
Lot or Block No.: Lot 72
Registered Plan No.: 2021-0522
Certification of building and final lot grading
Bellaire Properties Inc.

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

1. The lot grading and building elevations on the above referenced lot are:
 - ☒ In conformity with the approved grading and site plans
 - ☐ Not in conformity with the approved plan, but have been constructed in accordance to sound engineering principles and vary from the approved plan as shown on the attached "as-built" plan, signed and stamped by the undersigned, subject to approval by the Town of Innisfil.
2. The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.

HUSSON Limited

Name of Engineering Firm

Carmen Sframeli, P. Eng.

Professional Engineer's Name



ENGINEERING + MANAGEMENT

P 905.709.5825

200 CACHET WOODS COURT, SUITE 204
MARKHAM, ON L6C 0Z8

HUSSON.CA

| ZONE DESIGNATION R2-15 | PERMITTED | PROVIDED |
|---|------------------|-----------------|
| LOT AREA (sq m) | 335.00 | 438.77 |
| LOT FRONTAGE (m) | 11.500 | 11.800 |
| FRONT YARD SETBACK TO DWELLING (m) | 4.50 | 6.56 |
| FRONT YARD SETBACK TO GARAGE (m) | 6.00 | 6.00 |
| ONE INTERIOR SIDE YARD SETBACK (m) | 0.60 | 0.82 |
| OTHER INTERIOR SIDE YARD SETBACK (m) | 1.20 | 1.44 |
| REAR YARD SETBACK (m) | 6.00 | 14.21 |
| LOT COVERAGE (%) | 40.00 | 31.64 |
| BUILDING HEIGHT (m) | 10.00 | 8.18 |
| LANDSCAPED OPEN SPACE (%) | 30.00 | 58.08 |
| FRONT YARD LANDSCAPED OPEN SPACE (%) | 40.00 | 55.22 |

| | | |
|--|-------|---------------------|
| MODEL NO. | | MANITOU 2480A |
| HOUSE STYLE (i.e. walkout, bungalow etc.) | | 2 STOREY WALK-UP |
| ADJACENT MODEL | EAST | NIPISSING 3210B |
| | WEST | N/A |
| | NORTH | TEMAGAMI 3350A |
| | SOUTH | MANITOU 2480B |
| FIRESBREAK LOT | | NO |

[] SINGLE CATCHBASIN
 [X] DOUBLE CATCHBASIN
 ● SANITARY MH
 ○ STORM MH
 _____ SANITARY SERVICE CONNECTION
 ----- STORM SERVICE CONNECTION
 _____ WATER SERVICE CONNECTION
 → FLOW DIRECTION
 ●→ ROOF DRAIN
 * ENGINEERED FILL
 000.00 EXISTING ELEVATION
 000.00 PROPOSED ELEVATION
 FFF FINISHED 1ST FLOOR
 TW TOP OF FOUNDATION WALL
 FS FINISHED SLAB
 USF U/S FOOTING
 RUSF REAR U/S FOOTING
 TWG TOP OF GARAGE FOUNDATION WALL
 USFG U/S FOOTING GARAGE
 [SP] SUMP PUMP
 [V] VALVE AND BOX
 ○ HYDRANT AND VALVE
 [X] BELL PEDESTAL
 △ CABLE PEDESTAL
 * UNDERGROUND PEDESTAL
 [M] HYDRO TRANSFORMER
 ☆ STREETLIGHT
 [P] STREETLIGHT PEDESTAL
 → H HYDRO SERVICE CONNECTION
 [MB] SUPER MAILBOX
 [1234] MUNICIPAL ADDRESS
 SLOPE 3:1 MAXIMUM
 ----- FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

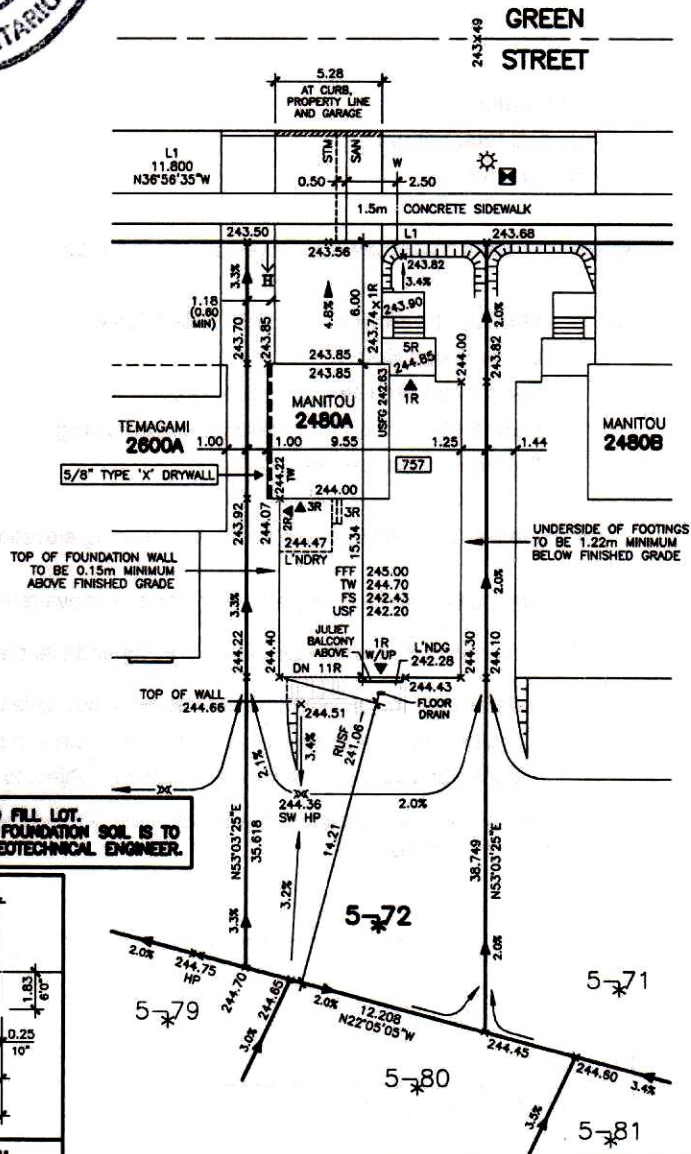
ALL SLOPES TO BE 3:1 MAX
THE BUILDER SHALL BE RESPONSIBLE
FOR THE VERIFICATION OF HOUSE
TYPE AND ELEVATION, PRIOR TO
COMMENCEMENT OF CONSTRUCTION

ELEVATION: 286.399
ELEVATION IS BASED ON BENCHMARK
No. 0011931U463S HAVING AN
ELEVATION OF 286.399 METRES.
LOCATION: TOWNSHIP OF CHURCHILL
UNITED CHURCH, TABLET IN NORTH
STONE FOUNDATION WALL OF TOWER,
23cm FROM NORTHWEST CORNER
AND 1.62m BELOW BRICKWORK.

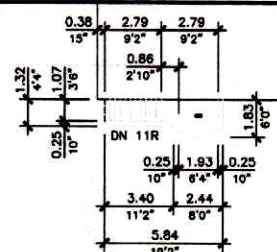
| WATER SERVICE AT P/L | | SANITARY SERVICE AT P/L | | STORM SERVICE AT P/L | |
|----------------------|------------|-------------------------|---------|----------------------|--------|
| DEPTH | INVERT | DEPTH | INVERT | DEPTH | INVERT |
| Min 1.70 | Min 241.88 | 2.665 | 240.895 | 2.60 | 240.96 |



11.6 m
38 foot
LOT



*** THIS IS AN ENGINEERED FILL LOT.
THE SUITABILITY OF THE FOUNDATION SOIL IS TO
BE CONFIRMED BY A GEOTECHNICAL ENGINEER**



| | | | |
|-----|---------------------------------|----------|---------|
| 4 | AS BUILT | SE 15 23 | BWJ |
| 3 | ADDED WALK-UP DETAIL | JA 09 21 | TP |
| 2 | CORRECTED HOUSE DEPTH DIMENSION | JA 19 21 | TP |
| 1 | REVISED PER IBI GROUP REVIEW | MY 31 21 | TP |
| - | ISSUED | MY 24 21 | TP |
| NO. | REVISIONS | DATE | INITIAL |

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

| | |
|-------------|----------------|
| LEO ARIEMMA | 7561 |
| NAME | SIGNATURE |
| | LICENCE NUMBER |

**56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONTARIO
L4K 3Y9**

**TEL 905 660-9393
FAX 905 660-9419**

adci@bellnet.ca



ALL DRAWINGS AND SPECIFICATIONS ARE THE
PROPERTY OF THE ARCHITECT AND CANNOT BE
USED OR REPRODUCED WITHOUT HIS APPROVAL

THE CONTRACTOR SHALL CHECK AND VERIFY
ALL DIMENSIONS ON THE SITE AND REPORT
ANY DISCREPANCIES TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME: HUSSON ENGINEERING

APPROVED BY: C. SFRAMELI

SIGNATURE

DATE: SEPTEMBER 15, 2023

**755 GREEN STREET
LOT 72, PLAN 51M-1169
PHASE 5, STAGE
BELLAIRE PROPERTIES INC.
PARCEL P1 - LEFROY
TOWN OF INNISFIL**

SCALE: 1:250

DATE: MAY 2021

DRAWN: T.P.

DESIGNED: T.P.

DRAWING No:

STRENGTHS AND LIMITATIONS

A-

A

A-1