



**Town of Innisfil**  
2101 Innisfil Beach Road  
Innisfil | ON L9S 1A1  
Phone: 705-436-3710  
Toll Free: 1-888-436-3710

## NOTICE OF COMPLETION (FINAL)

Permit number: 2021-1355

Permit type:

Municipal address: 1534 STOVELL CRES LOT 91

Legal address: PLAN 51M1169 LOT 91

Status of inspection: Completed

Issue date: 2021-12-23

### Deficiencies

DISCOVERY DATE	COMPLIANCE DATE	REFERENCE	DESCRIPTION
2023-11-23	2023-11-29		- Caulking shall be applied around basement window on east elevation.

### Visits

VISIT DATE	INSPECTOR	VISIT RESULT	COMMENTS
2023-11-23, 11:50 a.m.	Jesse Campbell	Failed (Not substantially complete) Reason for failure: Deficiencies	- Except as noted under deficiencies, the exterior of the building appears complete at the time of inspection.
2023-11-24, 7:38 a.m.	Jesse Campbell	Passed (Substantially complete)	- The exterior of the building appears complete at the time of inspection. "Notice of Completion" is granted.

Acceptance and approval by a building inspector is required to continue with construction. If deficiencies are identified, you are required to book a re-inspection. Construction must not be concealed until infractions have been inspected by the Town of Innisfil and accepted by the building inspector. Failure to resolve outstanding concerns may result in the issuance of an Order.

### Parties

NAME AND COMPANY	CONTACT DETAILS	ROLES
Roberto - Lormel Homes	+1 14166889324	Builder
BELLAIRE PROPERTIES INC	331 CITYVIEW BOULEVARD, VAUGHAN	Property owner
Zach De Meneghi Lormel Homes	331 Cityview Blvd, Unit 300, Vaughan (416) 576-7587	Applicant



## CONSULTANT'S FINAL LOT GRADING CERTIFICATION LETTER

Date: October 19, 2023

Town of Innisfil  
2101 Innisfil Beach Road  
Innisfil, ON  
L9S 1A1

Attention: Frank Ruffolo, Development Inspector

Dear Sir:

**RE: Municipal Address: 1534 Stovell Crescent, Innisfil**  
**Lot or Block No.: Lot 91**  
**Registered Plan No.: 51M-1169**  
**Certification of Building and Final Lot Grading**

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

1. The lot grading and building elevations on the above referenced lot are:
  - o In conformity with the approved grading and site plans
2. The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.
3. The driveway conforms with minimum clearances listed in our Engineering Design Standards, Appendix C: Minimum Offset Matrix.

Sincerely,

**IBW Surveyors Ltd.**

  
\_\_\_\_\_  
Kevin Ertl, B.Eng, O.L.S.

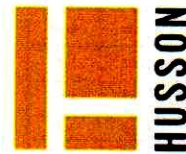
October 19, 2023  
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# Consultants Final Lot Grading Certification Letter



September 15, 2023

File No. 231437

**Town of Innisfil**

2101 Innisfil Beach Road

Innisfil, ON L9S 1A1

Attention: Fabian Van Romberg, Development Inspector:

**Re:      Municipal Address:**      1534 Stovell Crescent  
**Lot or Block No.:**      Lot 91  
**Registered Plan No.:**      2021-1355  
**Certification of building and final lot grading**  
**Bellaire Properties Inc.**

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

1. The lot grading and building elevations on the above referenced lot are:
  - ☒ In conformity with the approved grading and site plans
  - ☐ Not in conformity with the approved plan, but have been constructed in accordance to sound engineering principles and vary from the approved plan as shown on the attached "as-built" plan, signed and stamped by the undersigned, subject to approval by the Town of Innisfil.
2. The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.

<p><b>HUSSON Limited</b></p> <hr/> <p>Name of Engineering Firm</p>  <p>Carmen Sframeli, P. Eng.</p> <hr/> <p>Professional Engineer's Name</p>	
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ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	513.66
LOT FRONTAGE (m)	11.500	19.711
FRONT YARD SETBACK TO DWELLING (m)	4.50	4.52
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.50
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	1.37
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	3.07
REAR YARD SETBACK (m)	6.00	7.31
LOT COVERAGE (%)	40.00	33.16
BUILDING HEIGHT (m)	11.00	9.54
LANDSCAPED OPEN SPACE (%)	30.00	58.97
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	73.19

WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 246.33	2.955	245.145	2.88	245.22

LEO ARIEMMA	7561
NAME	SIGNATURE LICENCE NUMBER

An aerial map of the Belle Aire Beach Road area. The map shows a grid of streets with a proposed road layout highlighted in a darker shade. A circular feature, possibly a well or a small pond, is visible in the center of the map. The map is labeled "BELLE AIRE BEACH ROAD" at the top and "COUNTY ROAD NO. 38" on the left side.

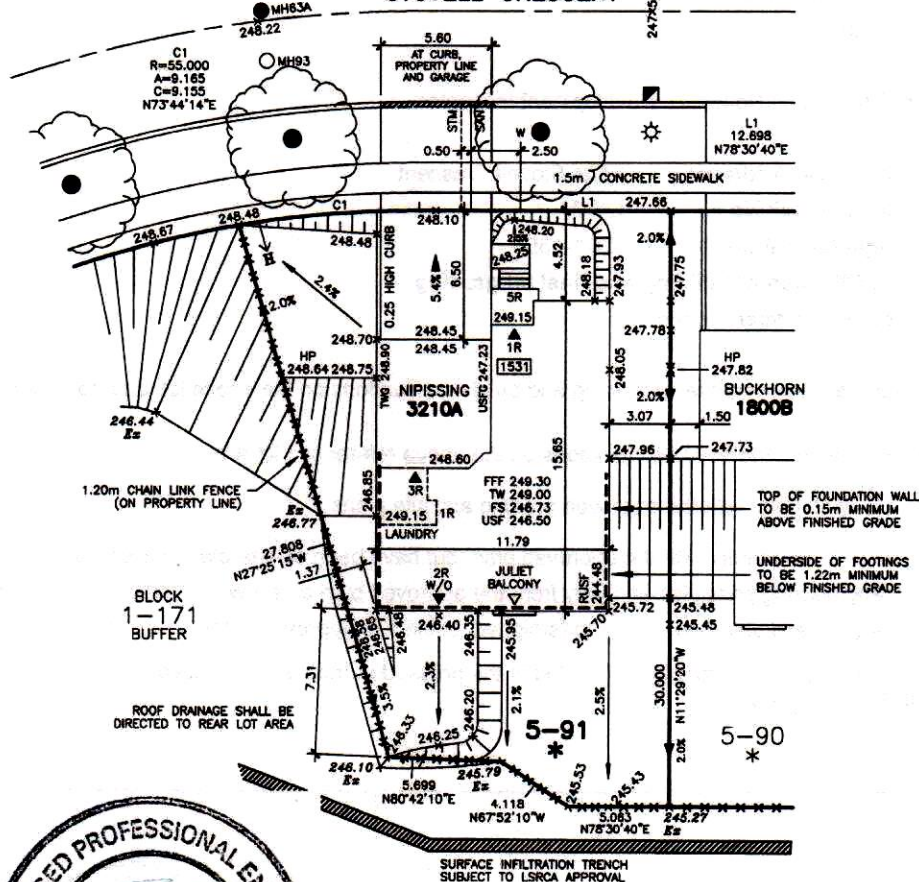
**11.6 m**  
**38 foot**  
**LOT**

MODEL NO.		NIPISSING 3210A
HOUSE STYLE (i.e. walkout, bungalow etc.)		2 STOREY WALKOUT
ADJACENT MODEL	EAST	BUCKHORN 1800B
	WEST	N/A
	NORTH	FRASER 2250B
	SOUTH	N/A
FIREBREAK LOT		NO

[ ] SINGLE CATCHBASIN  
 [ ] DOUBLE CATCHBASIN  
 ● SANITARY MH  
 ○ STORM MH  
 ——— SANITARY SERVICE CONNECTION  
 - - - - - STORM SERVICE CONNECTION  
 ——— WATER SERVICE CONNECTION  
 → FLOW DIRECTION  
 ● ROOF DRAIN  
 \* ENGINEERED FILL  
 000.00 EXISTING ELEVATION  
 000.00 PROPOSED ELEVATION  
 FFF FINISHED 1ST FLOOR  
 TW TOP OF FOUNDATION WALL  
 FS FINISHED SLAB  
 USF U/S FOOTING  
 RUSF REAR U/S FOOTING  
 TWG TOP OF GARAGE FOUNDATION WALL  
 USFG U/S FOOTING GARAGE  
 [ ] SUMP PUMP  
 [ ] VALVE AND BOX  
 [ ] HYDRANT AND VALVE  
 [ ] BELL PEDESTAL  
 [ ] CABLE PEDESTAL  
 [ ] UNDERGROUND PEDESTAL  
 [ ] HYDRO TRANSFORMER  
 [ ] STREETLIGHT  
 [ ] STREETLIGHT PEDESTAL  
 → [ ] HYDRO SERVICE CONNECTION  
 [ ] MB SUPER MAILBOX  
 [ ] 12x6 MUNICIPAL ADDRESS  
 [ ] SLOPE 3:1 MAXIMUM  
 - - - - - FOOTINGS LOWERED TO MAINTAIN  
 1.22m FROST PROTECTION

ALL SLOPES TO BE 3:1 MAX  
THE BUILDER SHALL BE RESPONSIBLE  
FOR THE VERIFICATION OF HOUSE  
TYPE AND ELEVATION, PRIOR TO  
COMMENCEMENT OF CONSTRUCTION

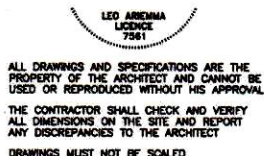
ELEVATION IS BASED ON BENCHMARK  
No. 0011931U463S HAVING AN  
ELEVATION OF 286.399 METRES.  
LOCATION: TOWNSHIP OF CHURCHILL  
UNITED CHURCH, TABLET IN NORTH  
STONE FOUNDATION WALL OF TOWER,  
23cm FROM NORTHWEST CORNER  
AND 1.62m BELOW BRICKWORK.




**56 PENNSYLVANIA AVE.  
UNIT 1  
CONCORD, ONTARIO  
L4K 3V9**

**TEL 905 660-9393  
FAX 905 660-9419**

**adci@bellnet.ca**



COMPANY NAME: HUSSON ENGINEERING  
APPROVED BY: C. SFRAMELI  
SIGNATURE:   
DATE: SEPTEMBER 15, 2023

SCALE: 1:250  
DATE: DEC 2021  
DRAWN: T.P.  
DESIGNED: T.P.

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