

# Consultants Final Lot Grading Certification Letter



April 30, 2024

File No. 231437

**Town of Innisfil**


2101 Innisfil Beach Road  
Innisfil, ON L9S 1A1

Attention: Fabian Van Romberg, Development Inspector:

**Re:      Municipal Address:**      1603 Stovell Crescent  
         **Lot or Block No.:**          Lot 133  
         **Registered Plan No.:**      2021-1197  
         **Certification of building and final lot grading**  
         **Bellaire Properties Inc.**

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

1. The lot grading and building elevations on the above referenced lot are:
  - In conformity with the approved grading and site plans
  - Not in conformity with the approved plan, but have been constructed in accordance to sound engineering principles and vary from the approved plan as shown on the attached "as-built" plan, signed and stamped by the undersigned, subject to approval by the Town of Innisfil.
2. The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.

<p>HUSSON Limited _____ Name of Engineering Firm</p> <p>Carmen Sframeli, P. Eng. _____ Professional Engineer's Name</p>	
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**ZONING INFORMATION**

ZONE DESIGNATION	PERMITTED	PROVIDED
R1-26		
LOT AREA (sq m)	429.00	522.43
LOT FRONTAGE (m)	14.300	18.006
FRONT YARD SETBACK TO DWELLING (m)	4.50	5.93
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
INTERIOR SIDE YARD SETBACK (m)	1.20	1.25
EXTERIOR SIDE YARD SETBACK (m)	4.20	4.60
REAR YARD SETBACK (m)	6.00	6.17
LOT COVERAGE (%)	40.00	35.65
BUILDING HEIGHT (m)	10.00	8.15
LANDSCAPED OPEN SPACE (%)	30.00	55.16
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	67.07

**STRUCTURE**

MODEL NO.	MADAWASKA 3190A
HOUSE STYLE (i.e. walkout, bungalow etc.)	2-STORY WALK-UP
ADJACENT MODEL	EAST N/A
	WEST N/A
	NORTH MADAWASKA 3190A
	SOUTH MADAWASKA 3190A
FIREBREAK LOT	NO

**LEGEND**

- SINGLE CATCHBASIN
- DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY SERVICE CONNECTION
- STORM SERVICE CONNECTION
- WATER SERVICE CONNECTION
- FLOW DIRECTION
- ROOF DRAIN
- ENGINEERED FILL
- 000.00 EXISTING ELEVATION
- 000.00 PROPOSED ELEVATION
- FFF FINISHED 1ST FLOOR
- TW TOP OF FOUNDATION WALL
- FS FINISHED STAIR
- USF U/S FOOTING
- RUSF REAR U/S FOOTING
- TWG TOP OF GARAGE FOUNDATION WALL
- USFG U/S FOOTING GARAGE
- SUMP PUMP
- VALVE AND BOX
- HYDRANT AND VALVE
- BELL PEDESTAL
- CABLE PEDESTAL
- UNDERGROUND PEDESTAL
- HYDRO TRANSFORMER
- STREETLIGHT
- STREETLIGHT PEDESTAL
- HYDRO SERVICE CONNECTION
- SUPER MAILBOX
- MUNICIPAL ADDRESS
- SLOPE 3:1 MAXIMUM
- FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

**GENERAL NOTES**

ALL SLOPES TO BE 3:1 MAX.  
 THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**BENCHMARK**

ELEVATION: 286.399  
 ELEVATION IS BASED ON BENCHMARK No. 0011931U4635 HAVING AN ELEVATION OF 286.399 METRES, LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.

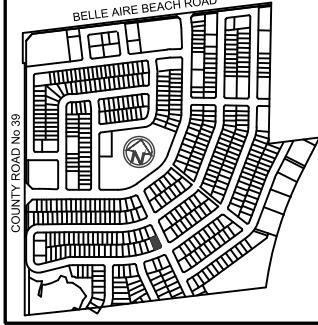
**SERVICING CHECK BOX**

WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
243.170	241.10	243.55	231.865	243.1	243.51

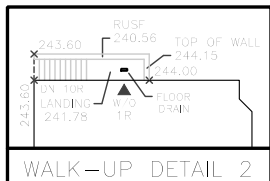
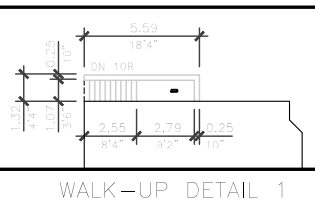
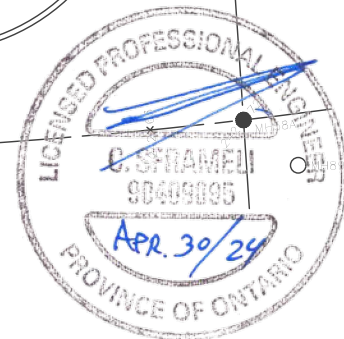
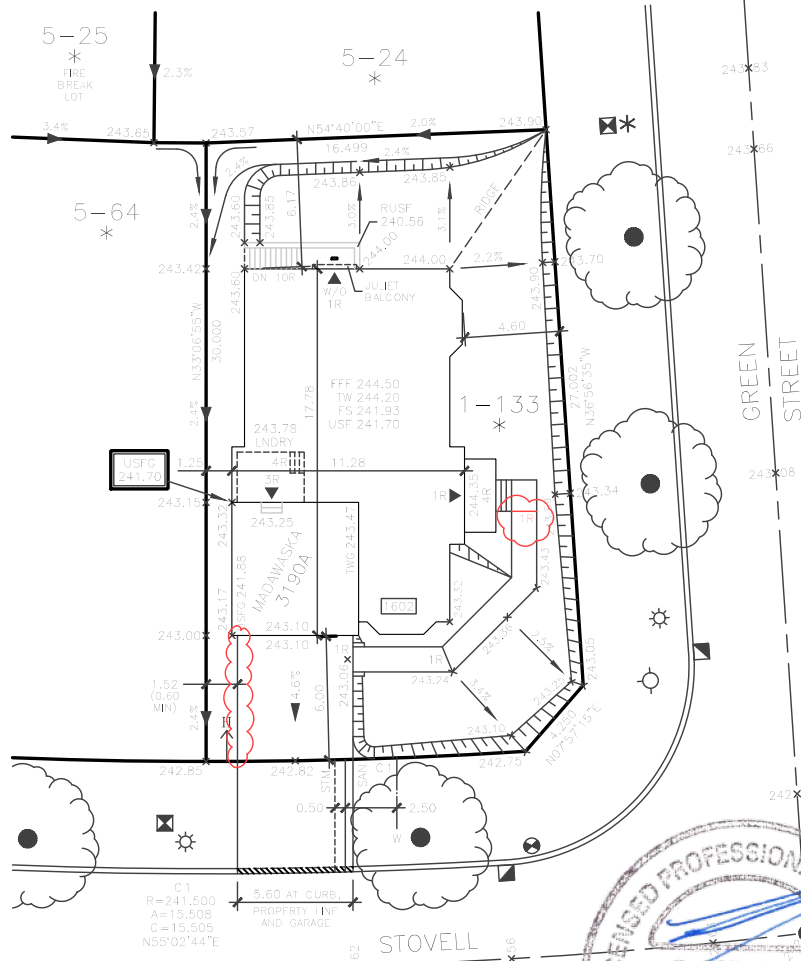
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 QUALIFICATION INFORMATION  
 LEO ARIEMMA 7561  
 NAME SIGNATURE LICENCE NUMBER

\* THIS IS AN ENGINEERED FILL LOT. THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

**KEY PLAN**



14.3 m  
47 foot  
LOT



NO.	REVISIONS	DATE	INITIAL
1	AS-BUILT	AP 30 24	BUL
-	ISSUED	NO 13 21	TR

**ARCHITECTURAL DESIGN INC.**

56 PENNSYLVANIA AVE.  
 UNIT 1  
 CONCORD, ONTARIO  
 L4K 3V9  
 TEL 905 660-9393  
 FAX 905 660-9419  
 adci@bellnet.ca



LEO ARIEMMA  
 LICENCE  
 7561

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL.  
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.  
 DRAWINGS MUST NOT BE SCALED

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME: HUSSON ENGINEERING  
 APPROVED BY: C. SFRAMELLI  
 SIGNATURE: [Signature]  
 DATE: APRIL 30, 2024

1603 STOVELL CRESCENT  
 LOT 133, PLAN 51M-1014  
 PHASE 1A, STAGE  
 BELLAIRE PROPERTIES INC.  
 PARCEL P1 - LEFROY  
 TOWN OF INNISFIL

SCALE: 1:250  
 DATE: APR 30 2024  
 DRAWN: T.P.  
 DESIGNED: T.P.  
**A-1**