

N.T.S. KEY MAP Subject LOT

REVIEWED ONLY AS TO GENERAL COMPLIANCE WITH THE INTENT OF THE GRADING AND SERVICING DRAWINGS. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION CONTAINED ON THIS PLAN IS EITHER ACCURATE OR CORRECT. SOLE RESPONSIBILITY FOR CORRECT DESIGN, DETAILS AND DIMENSIONS WILL REMAIN WITH THE PARTY SUBMITTING THE DRAWING.

- REVIEWED
- REVIEWED AS NOTED
- REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

Date: June 1 2021 By: [Signature]

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
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ISSUED FOR FINAL APPROVAL	DS	2021.05.31
ISSUED FOR PRELIMINARY APPROVAL	DS	2021.04.21

ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SANITARY LINE	DOWNSPOUTS	SUMP PUMP AND SURFACE DISCHARGE LOCATION	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PADMOUNTED MOTOR	STORM WATER LINE	WINDOWS PERMITTED	UPGRADE ELEVATION	TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATERLINE	45 MINUTE FIRE RATED WALL	CHAIN LINK FENCE	BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	2.0% SWALE DIRECTION	HYDRO LINE	SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)	FENCE AND GATE	UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	STREET LIGHT	TRAFFIC SIGNAL POWER PEDESTAL	EMBANKMENT / BERM MAX 3:1 SLOPE	GAS LINE	EXTERIOR DOOR LOCATION	ACQUACOR FENCE	WOD WALKOUT DECK
					CABLE LINE	EXTERIOR DOOR LOCATION IF GRADE PERMITS		MOD MODIFIED
					BELL			REV REVERSED
					HYDRO GAS BELL, CABLE LINE			ND NO DOOR
								XXXXXX HIGHLIGHTED GRADE

W Architect Inc.
DESIGN CONTROL REVIEW
 JUN. 10, 2021
RECERT FINAL BY: MMI
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SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

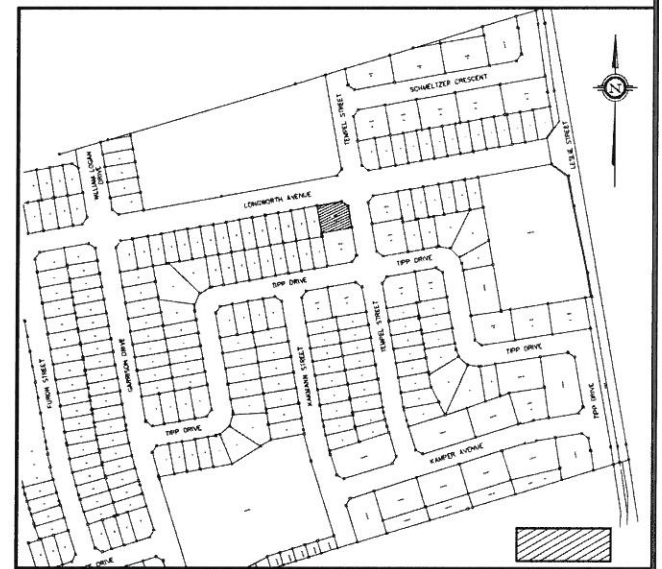
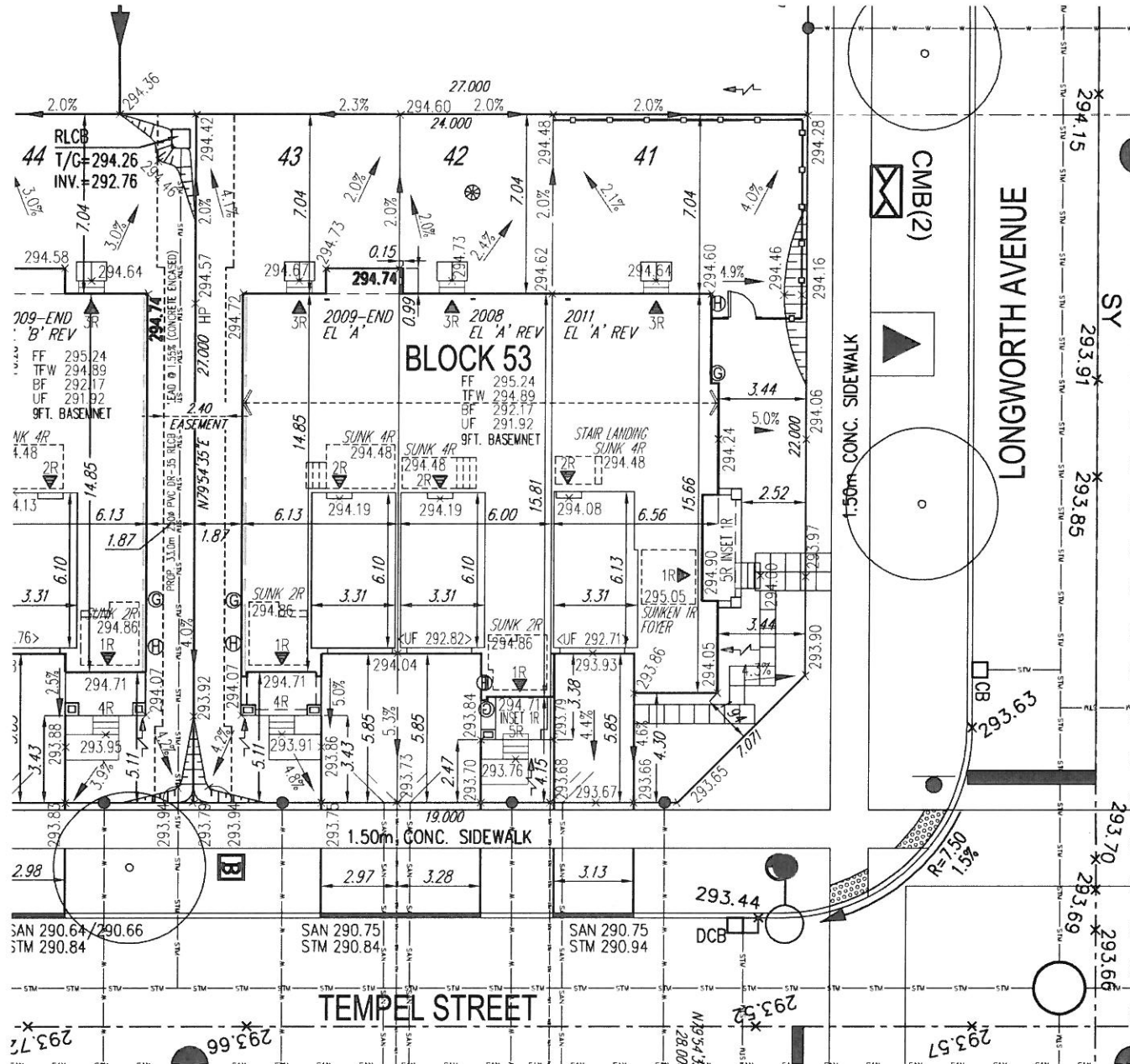
QUALIFICATION INFORMATION
 DEREK R. SANTOS 37308
 NAME BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

Royal Pine Homes / Centerfield Properties Inc - 216102
 "OAKRIDGE MEADOWS", RICHMOND HILL, ON

Drawn By DS Checked By DS Scale 1:250 File Number 216102-SP01.DWG

Lot / Page Number
BLOCK 52



N.T.S. **KEY MAP** Subject LOT

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The **MUNICIPAL INFRASTRUCTURE Group Ltd.**

Date: June 1, 2021 By: [Signature]

GENERAL NOTES:

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ISSUED FOR PRELIMINARY APPROVAL	DS	2021.04.21

ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SANITARY LINE	DOWNSPOUTS	SUMP PUMP AND SURFACE DISCHARGE LOCATION	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PAD MOUNTED MOTOR	STORM WATER LINE	WINDOWS PERMITTED	UPGRADE ELEVATION	TFW TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATERLINE	45 MINUTE FIRE RATED WALL	CHAIN LINK FENCE	BF BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	PROPOSED GRADES	HYDRO LINE	SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE.	FENCE AND GATE	UF UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	TRAFFIC SIGNAL POWER PEDESTAL	STREET LIGHT	SWALE DIRECTION	GAS LINE	(NO WINDOWS PERMITTED)	ACoustic FENCE	WOB WALKOUT DECK
			COMMUNITY MAILBOX	EMBANKMENT / BERM MAX 3:1 SLOPE	CABLE LINE	EXTERIOR DOOR LOCATION		MOD MODIFIED
					BELL	EXTERIOR DOOR LOCATION IF GRADE PERMITS		REV REVERSED
					HYDRO, GAS, BELL, CABLE LINE			ND NO DOOR
								XXXXXX HIGHLIGHTED GRADE

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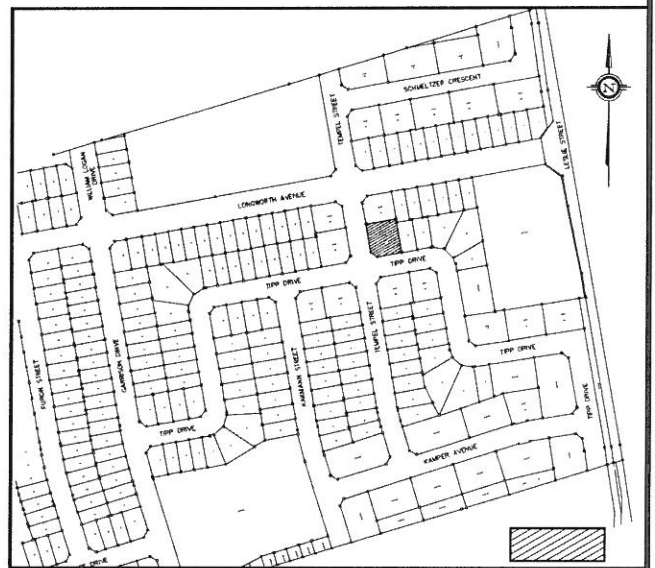
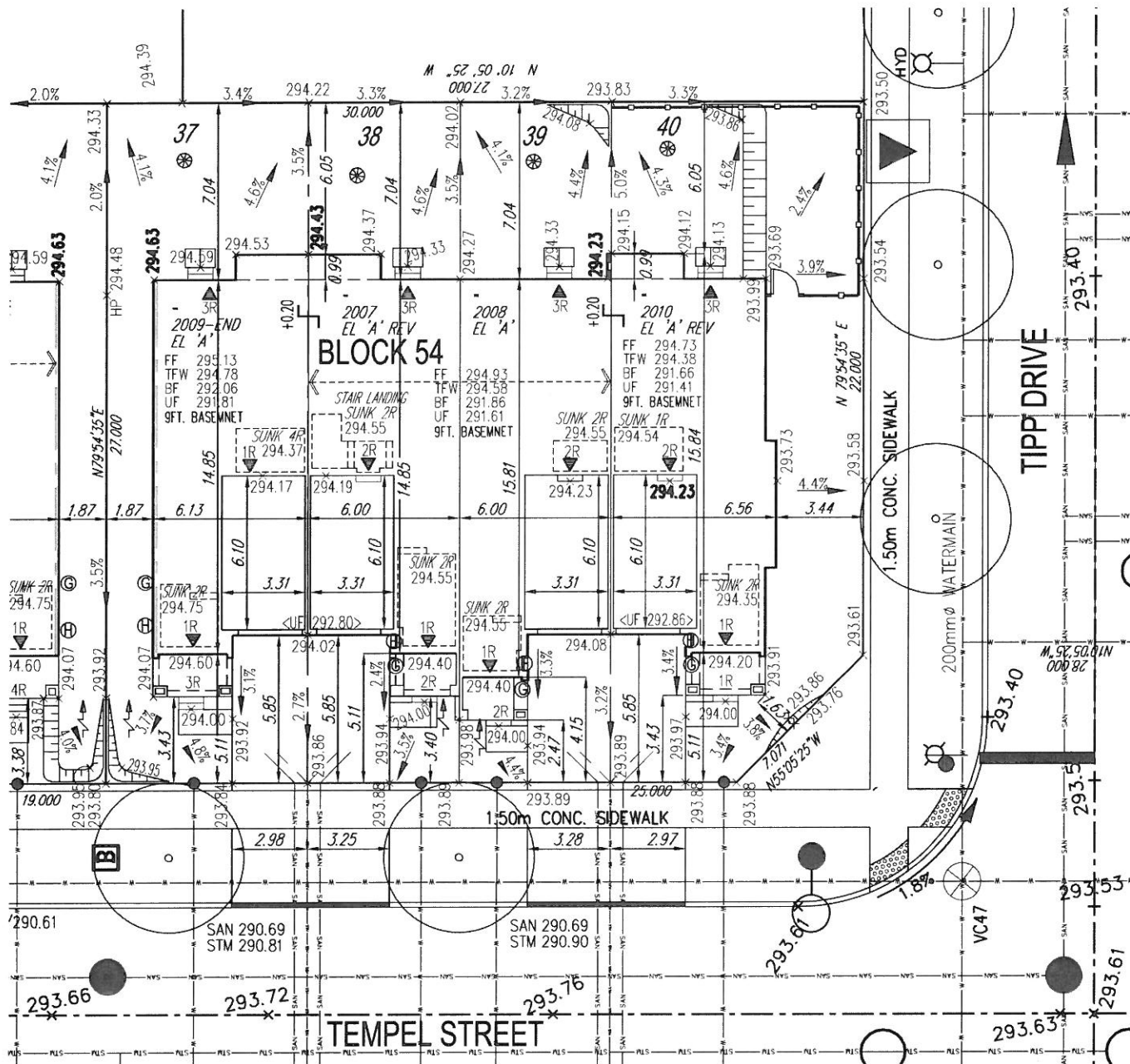


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Royal Pine Homes / Centerfield Properties Inc - 216102
"OAKRIDGE MEADOWS", RICHMOND HILL, ON

Drawn By DS Checked By DS Scale 1:250 File Number 216102-SP01.DWG

Lot / Page Number **BLOCK 53**



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CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	190.10 PROPOSED GRADES	HYDRO LINE	SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE (NO WINDOWS PERMITTED)	CHAIN LINK FENCE	UF UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	STREET LIGHT	STREET SIGN	2.0% SWALE DIRECTION	GAS LINE	EXTERIOR DOOR LOCATION	PRIVACY FENCE	WOD WALKOUT DECK
		TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX	EMBANKMENT / BERM MAX 3:1 SLOPE	CABLE LINE	EXTERIOR DOOR LOCATION IF GRADE PERMITS	ACOUSTIC FENCE	MOD MODIFIED BASEMENT
					BELL			REV REVERSED
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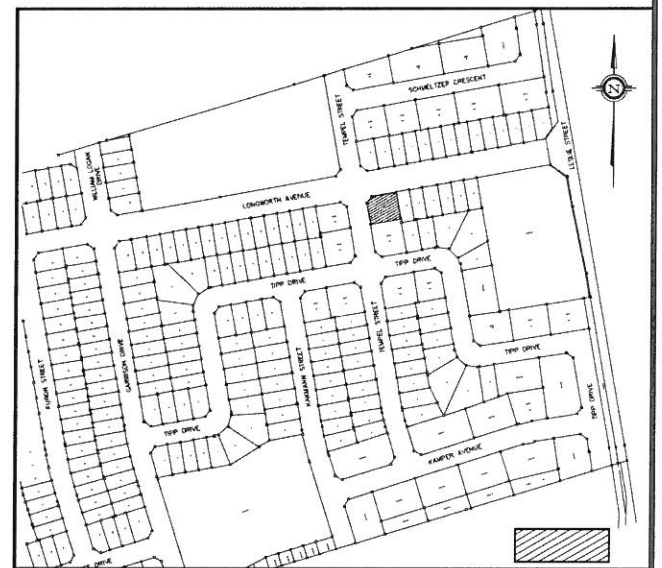
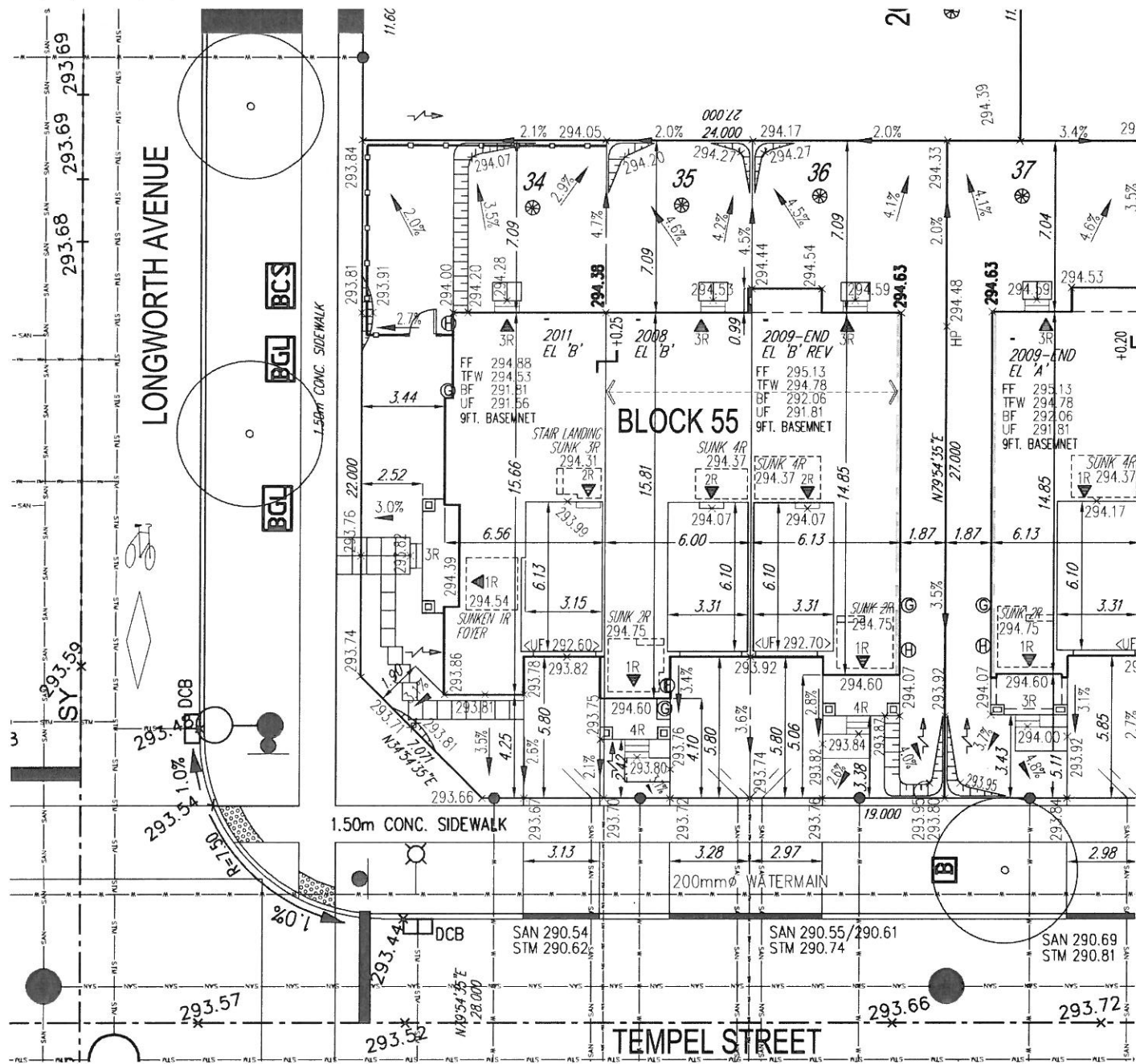
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Royal Pine Homes / Centerfield Properties Inc - 216102
 "OAKRIDGE MEADOWS", RICHMOND HILL, ON

Drawn By: DS Checked By: DS Scale: 1:250 File Number: 216102-SP01.DWG
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Lot / Page Number
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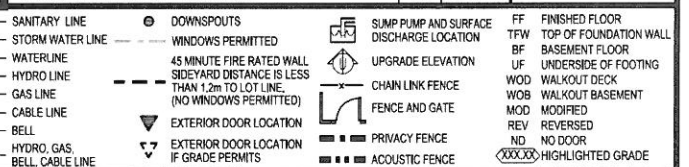
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