

ELEVATION A
(4 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	12	66	0	5.50	0.51
	2	23	55	0	17.57	1.63
PWDR.	1	24	48	0	8.00	0.74
	1	0	0	2.69	2.69	0.25
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	72	56	0	28.00	2.60
ENSUITE NO.2	1	24	56	0	9.33	0.87
	1	0	0	2.69	2.69	0.25
BEDROOM NO.3	1	36	52	0	13.00	1.21
	1	0	0	4.02	4.02	0.37
	1	24	56	0	9.33	0.87
SHARED BATH	1	24	56	0	9.33	0.87
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	32	-	-	-	398.97	37.07
WALL AREA	-	-	-	-	3943.25	366.34
RATIO	-	-	-	-	10.12	10.12

ELEVATION A (4 BEDROOM) WITH WOOD
DECK CONDITION FOR ELEVATION A

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	12	66	0	5.50	0.51
	2	23	55	0	17.57	1.63
PWDR.	1	24	48	0	8.00	0.74
	1	0	0	2.69	2.69	0.25
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	72	56	0	28.00	2.60
ENSUITE NO.2	1	24	56	0	9.33	0.87
	1	0	0	2.69	2.69	0.25
BEDROOM NO.3	1	36	52	0	13.00	1.21
	1	0	0	4.02	4.02	0.37
	1	24	56	0	9.33	0.87
SHARED BATH	1	24	56	0	9.33	0.87
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	32	-	-	-	400.64	37.22
WALL AREA	-	-	-	-	4085.18	379.53
RATIO	-	-	-	-	9.81	9.81

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
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MODEL 40-1 ARIA

[illegible]

ELEVATION A (4 BEDROOM) WITH
WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	12	66	0	5.50	0.51
	2	23	55	0	17.57	1.63
PWDR.	1	24	48	0	8.00	0.74
	1	0	0	2.69	2.69	0.25
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	72	56	0	28.00	2.60
ENSUITE NO.2	1	24	56	0	9.33	0.87
	1	0	0	2.69	2.69	0.25
BEDROOM NO.3	1	36	52	0	13.00	1.21
	1	0	0	4.02	4.02	0.37
	1	24	56	0	9.33	0.87
SHARED BATH	1	24	56	0	9.33	0.87
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	33	-	-	-	403.41	37.48
WALL AREA	-	-	-	-	4021.56	373.61
RATIO	-	-	-	-	10.03	10.03

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 JANUARY 21, 2022
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MODEL 40-1 ARIA

[illegible]

ELEVATION B
(4 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	12	66	0	5.50	0.51
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	96	74	0	49.33	4.58
ENSUITE NO.2	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	48	92	0	30.67	2.85
	1	24	74	0	12.33	1.15
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	29	-	-	-	433.31	40.26
WALL AREA	-	-	-	-	3937.34	365.79
RATIO	-	-	-	-	11.01	11.01

ELEVATION B (4 BEDROOM) WITH WOOD
DECK CONDITION FOR ELEVATION B

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	12	66	0	5.50	0.51
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	96	74	0	49.33	4.58
ENSUITE NO.2	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	48	92	0	30.67	2.85
	1	24	74	0	12.33	1.15
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	29	-	-	-	434.97	40.41
WALL AREA	-	-	-	-	4079.27	378.98
RATIO	-	-	-	-	10.66	10.66

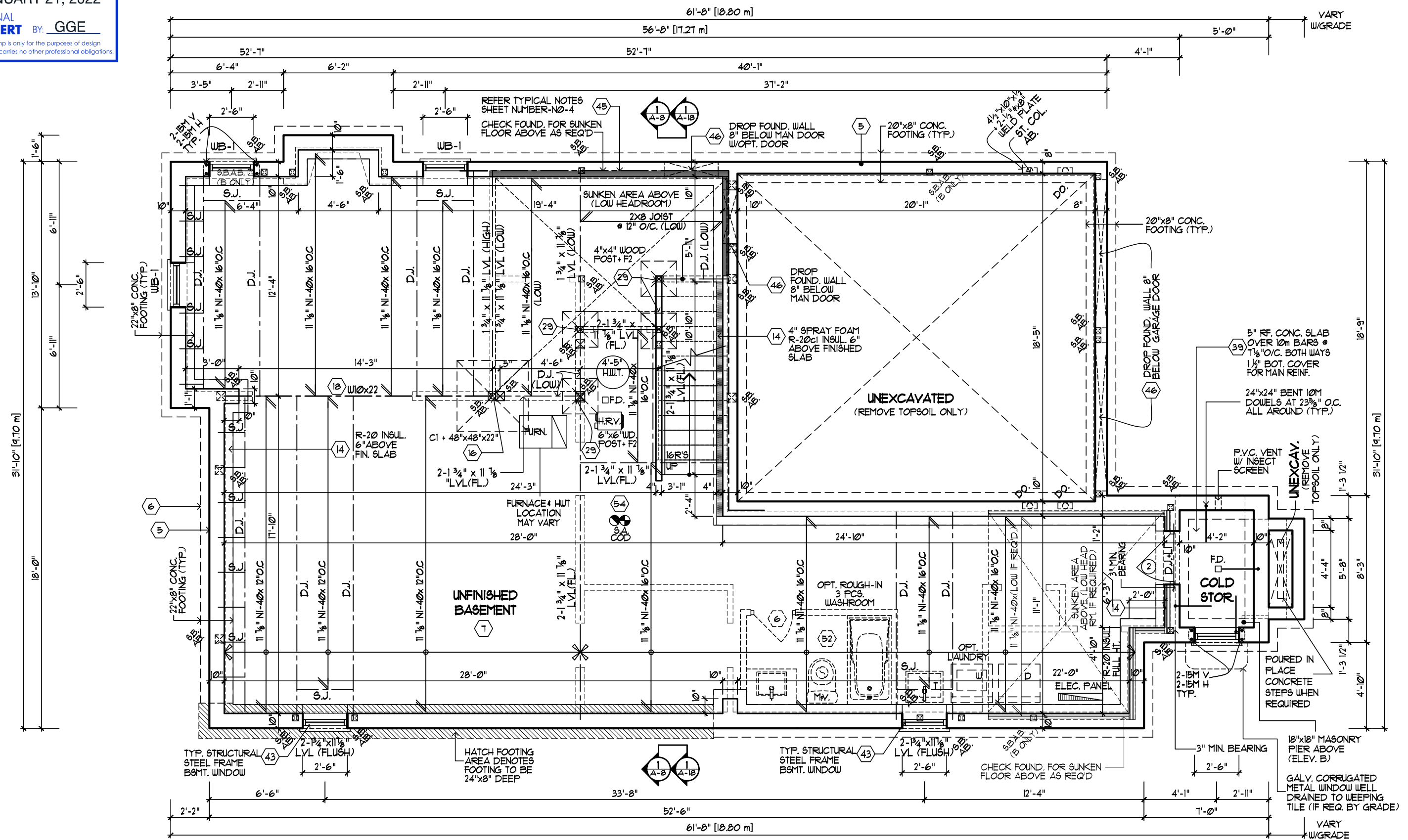
W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
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MODEL 40-1 ARIA

[illegible]

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	12	66	0	5.50	0.51
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
DINING ROOM	2	24	62	0	20.67	1.92
SERVERY	1	24	48	0	8.00	0.74
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	36	62	0	15.50	1.44
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	1	72	68	0	34.00	3.16
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	56	0	28.00	2.60
MASTER ENSUITE	1	48	56	0	18.67	1.73
	1	24	48	0	8.00	0.74
LAUNDRY	1	24	48	0	8.00	0.74
STAIRCASE	1	48	68	0	22.67	2.11
BEDROOM NO.2	1	96	74	0	49.33	4.58
ENSUITE NO.2	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	48	92	0	30.67	2.85
	1	24	74	0	12.33	1.15
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	56	0	18.67	1.73
TOTAL	30	-	-	-	437.75	40.67
WALL AREA	-	-	-	-	4015.65	373.07
RATIO	-	-	-	-	10.90	10.90

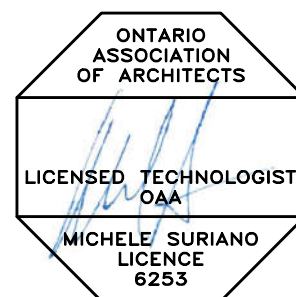
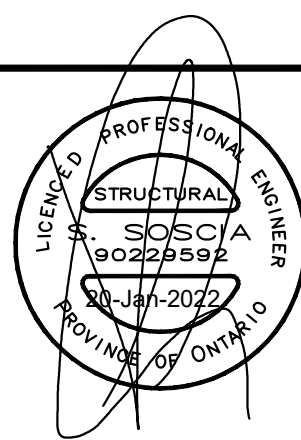
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BASEMENT FLOOR PLAN
ELEVATION A & B

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



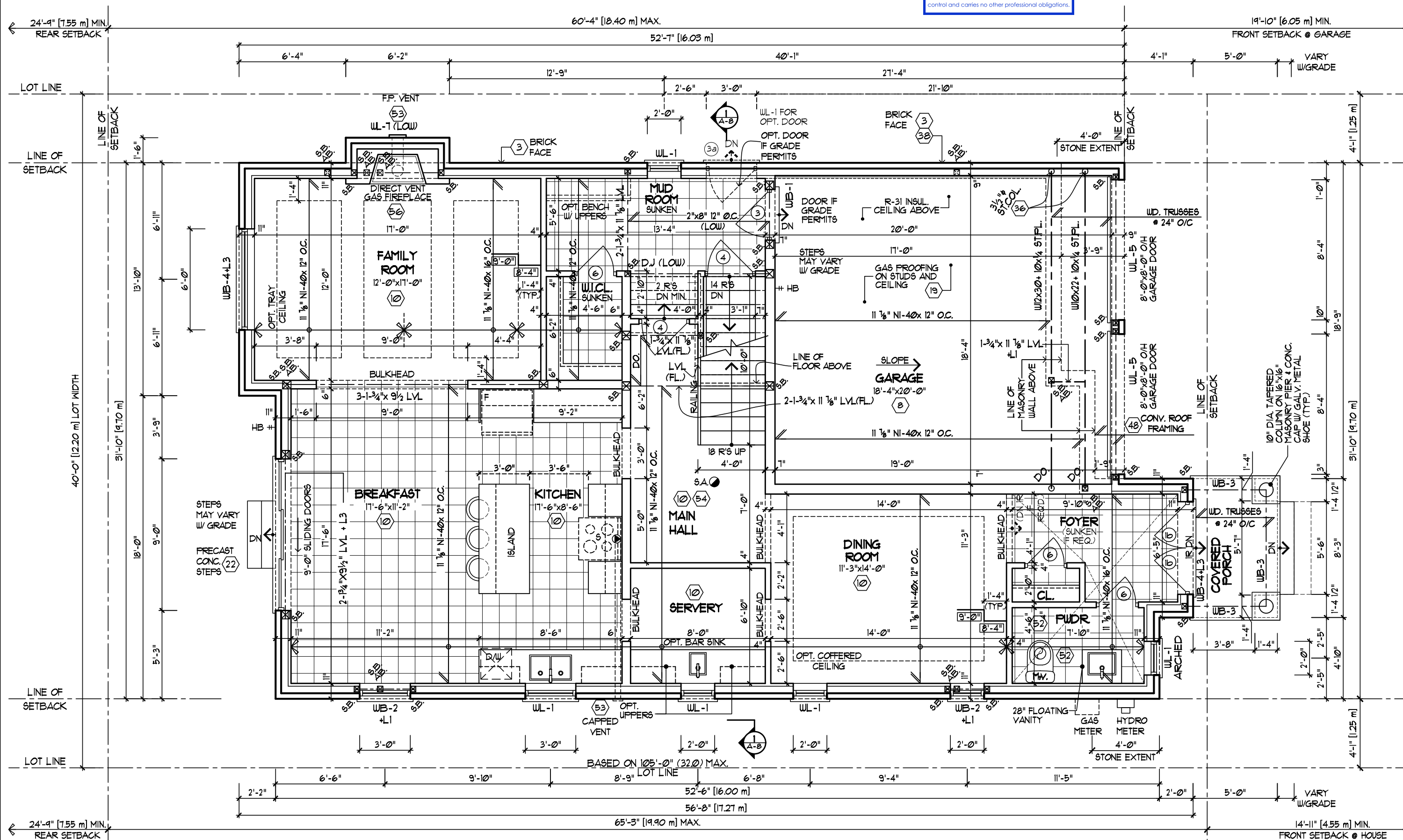
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BASEMENT FLOOR PLAN FOR ELEVATION A & B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-1
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

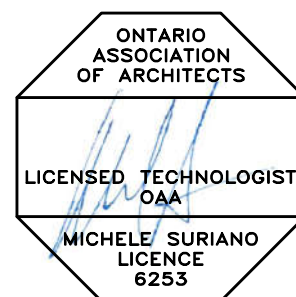
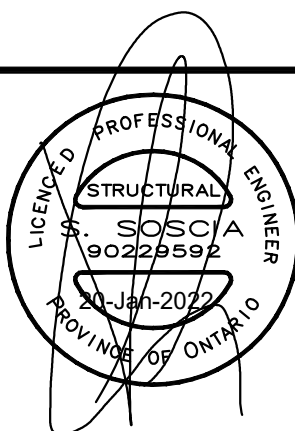
PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA



GROUND FLOOR PLAN
ELEVATION A

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 08/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 08/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:

GROUND FLOOR PLAN FOR ELEVATION A

DATE PLOTTED:
DEC. 08/21

DATE: _____

OCT. 23/20

SCALE:

DRAWN BY:
M.H.

TYPE:

	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564
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PROJECT No	2014-01
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AREA:	2911
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PAGE 1

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A-2

ROYAL PINE HOMES

PROJECT NAME:	
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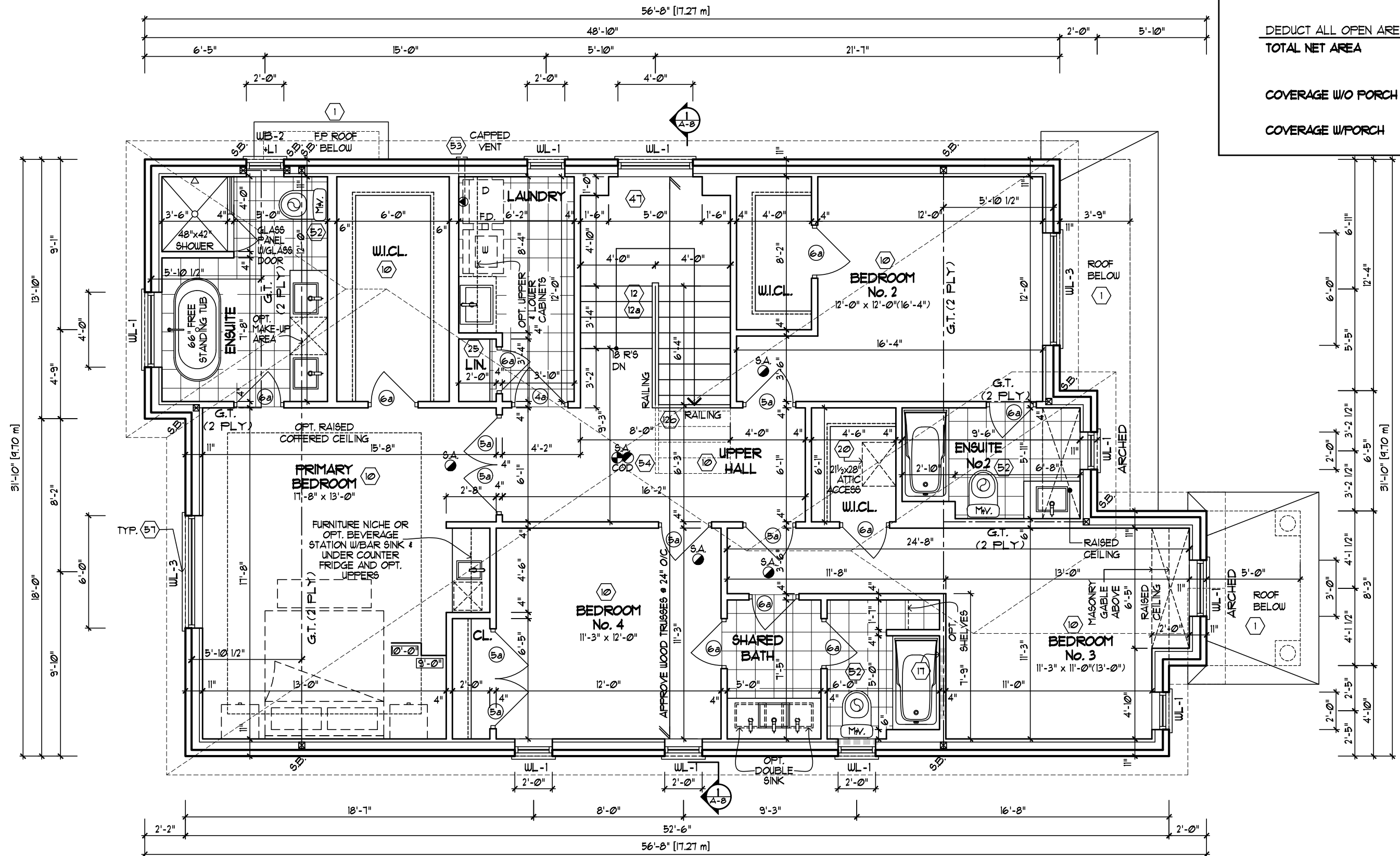
SALES OF HUMBER

	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

MODEL NAME: MODEL 40-1 ARIA

AREA CALCULATION ELEVATION A

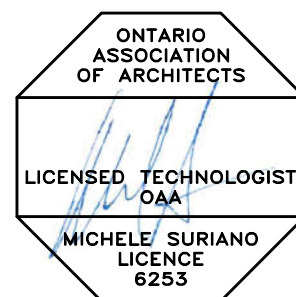
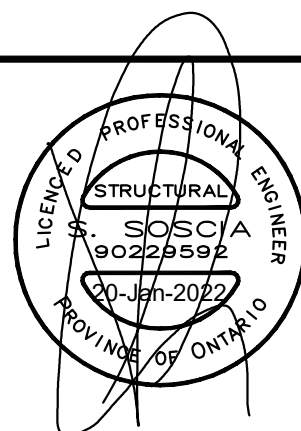
FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1292	SQ. FT.
SECOND FLOOR AREA	1621	SQ. FT.
SUBTOTAL	2913	SQ. FT.
	27063	M2
DEDUCT ALL OPEN AREAS	0	SQ. FT.
TOTAL NET AREA	2913	SQ. FT.
	27063	M2
COVERAGE W/O PORCH	1688	SQ. FT.
	15682	M2
COVERAGE W/PORCH	1729	SQ. FT.
	16063	M2



SECOND FLOOR PLAN
ELEVATION A

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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T. 905-264-0924

SHEET NAME: SECOND FLOOR PLAN FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

FOR TYPICAL NOTES
REFER TO SHEET A-19

PERFORMANCE PACKAGE

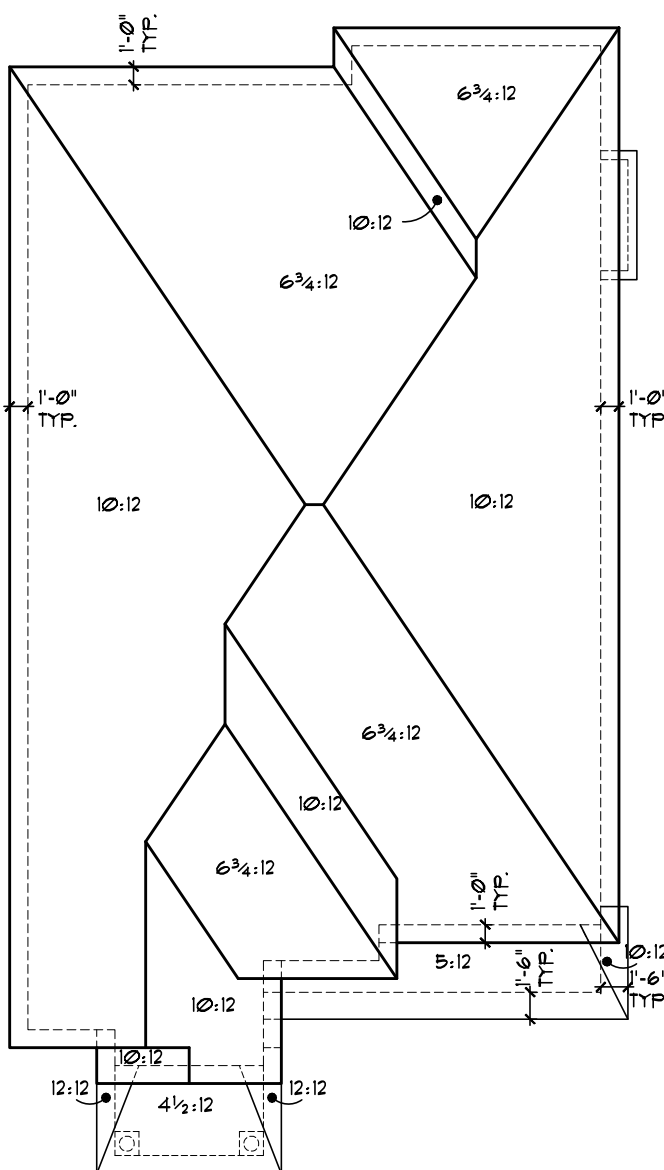
NOTE: ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

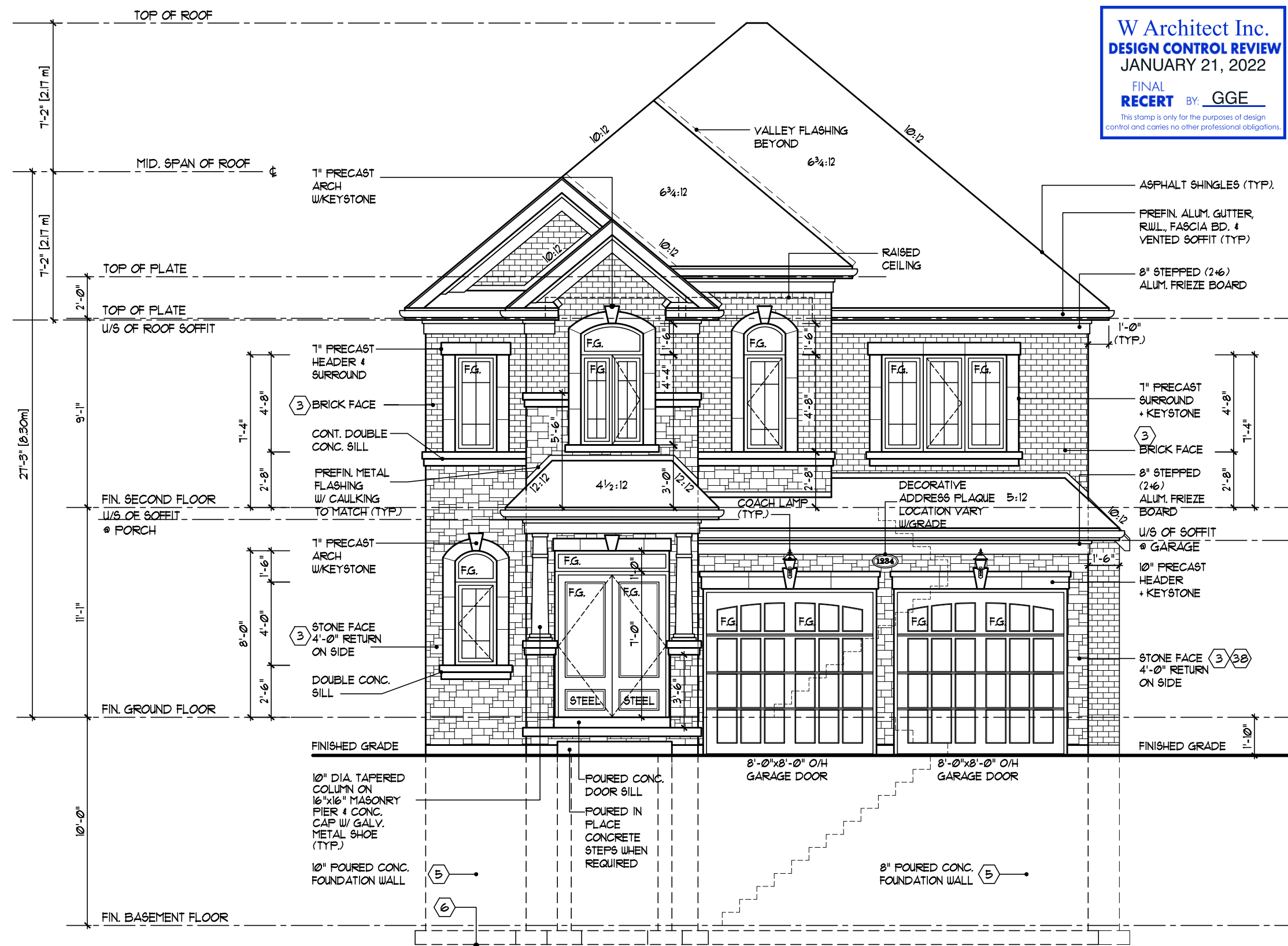
ACTUAL FINISH GRADES MAY VARY
DEPENDING ON LOT CONDITIONS.
(REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR
COMPLETE TRUSS LAYOUT AND
SPECIFICATIONS

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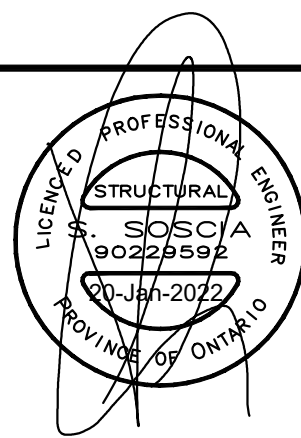
ROOF PLAN FOR
ELEVATION A
N.T.S.



FRONT ELEVATION A

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SHEET NAME:
FRONT ELEVATION A

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-4
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER

MODEL NAME:
MODEL 40-1 ARIA

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION A

WALL AREA	= 1142.53	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 19.98	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 41.12	SQ. FT.

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION A WITH OPT. DOOR

WALL AREA	= 1142.53	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 19.98	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 62.11	SQ. FT.

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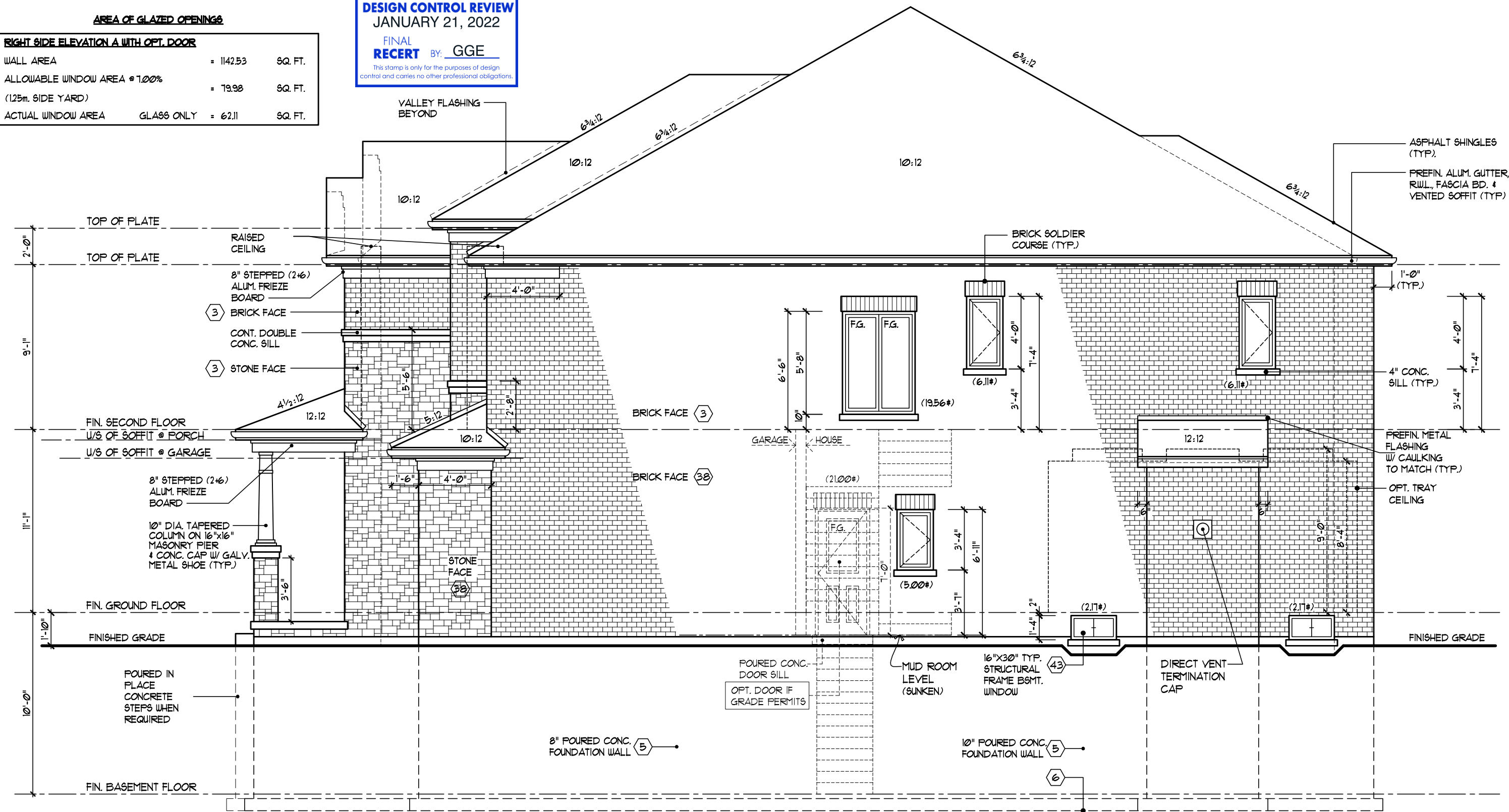
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

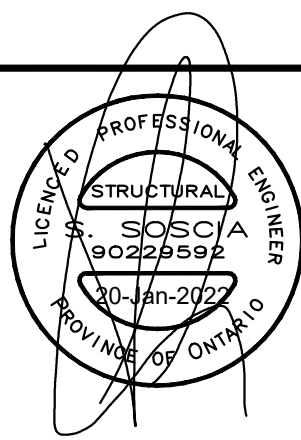
REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



RIGHT SIDE ELEVATION A

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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No:	DATE:	REVISION/ISSUED:	BY:



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SHEET NAME: RIGHT SIDE ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-5
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
 HOMES

PROJECT NAME:
 VALES OF HUMBER

MODEL NAME:
 MODEL 40-1 ARIA

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION A

WALL AREA	= 1204.12	SQ. FT.
ALLOWABLE WINDOW AREA @ 100% (125m. SIDE YARD)	= 8429	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 1030	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-19

PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

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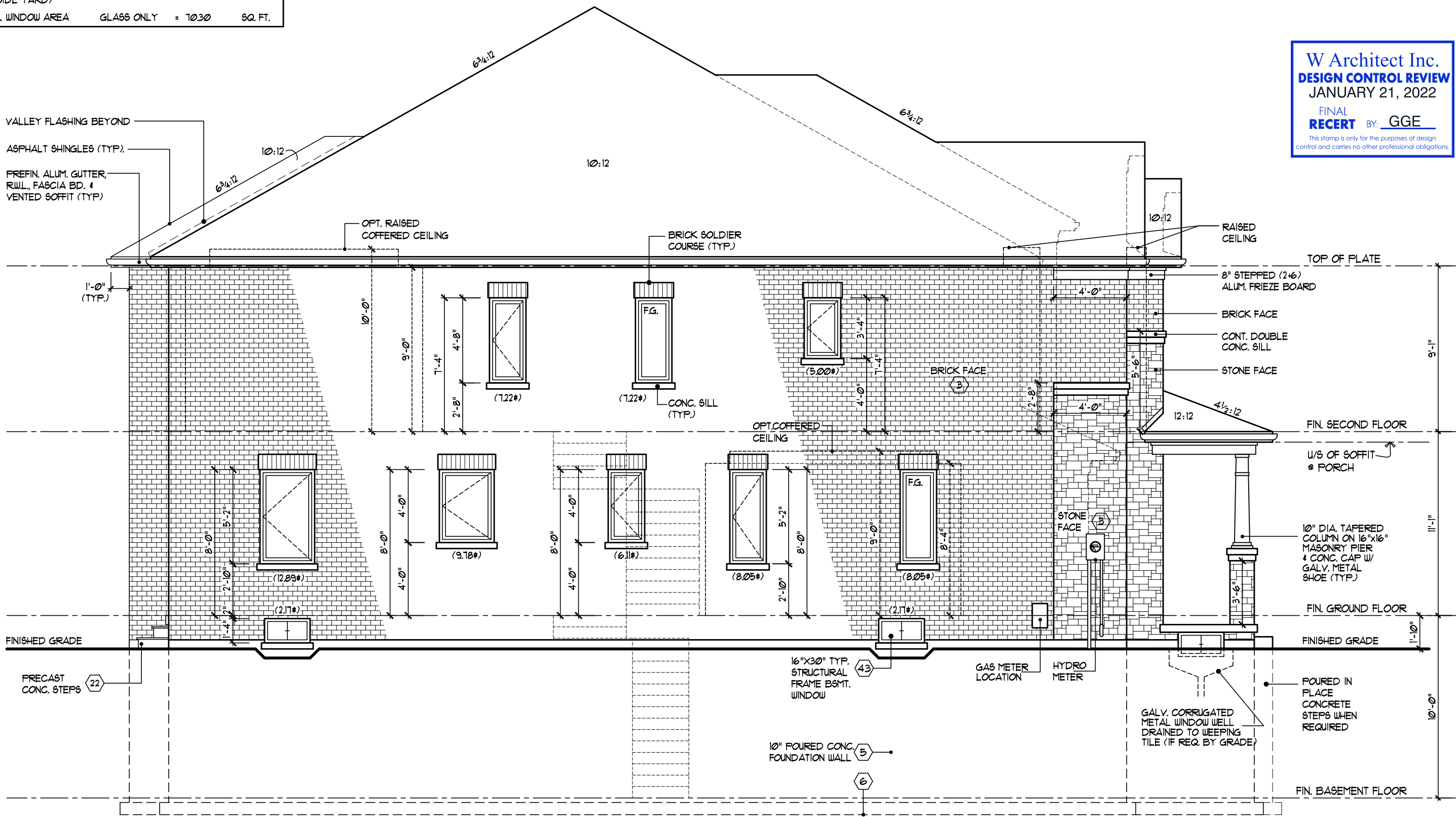
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REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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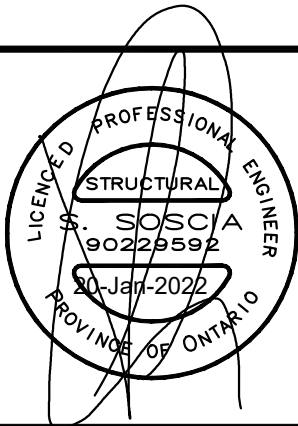
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LEFT SIDE ELEVATION A

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
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3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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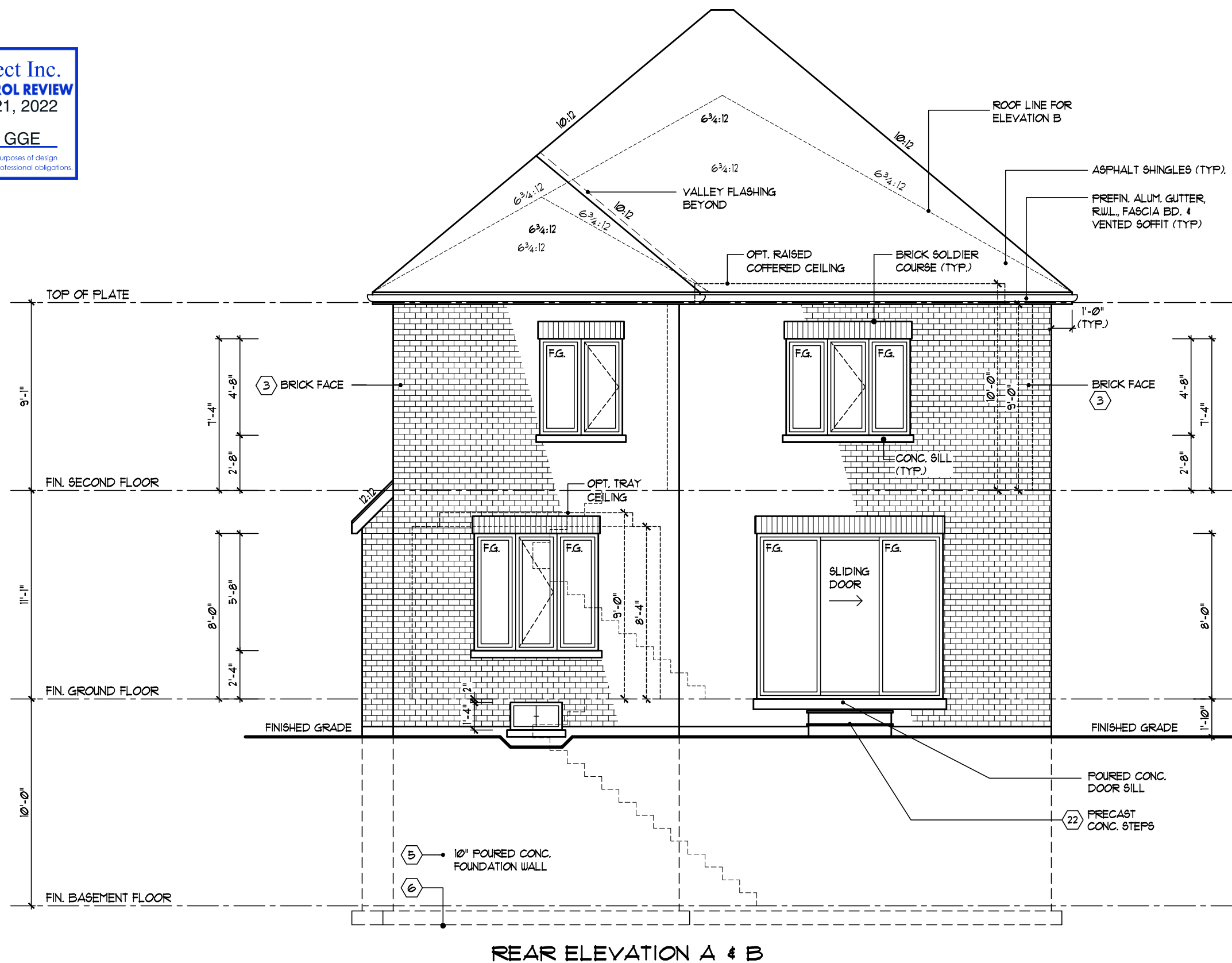
SHEET NAME: LEFT SIDE ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-6
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER

MODEL NAME:
MODEL 40-1 ARIA

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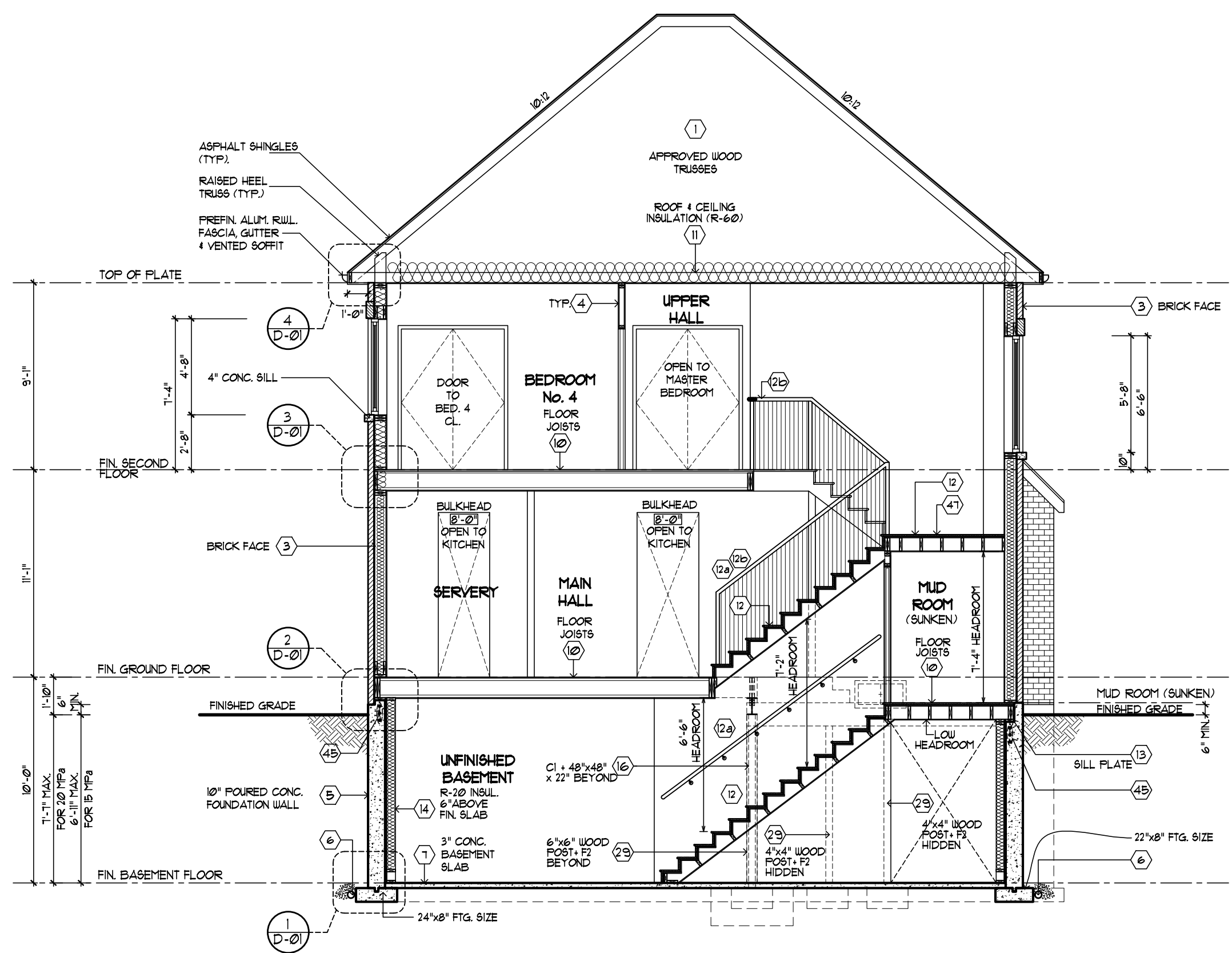


FOR TYPICAL NOTES REFER TO SHEET A-19	PERFORMANCE PACKAGE
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

MODEL 40-1 ARIA

						MODEL 40-1 ARIA		
						ROYAL PINE HOMES		
						PROJECT NAME: VALES OF HUMBER		
						MODEL NAME: MODEL 40-1 ARIA		
						A-7		
						SHEET NAME: REAR ELEVATION A & B		
						DATE PLOTTED: DEC. 08/21		
						DRAWN BY: M.H.		
						AREA: 2913 sq.ft.		
						DATE: OCT. 23/20		
						TYPE:		
						PAGE No:		
						SCALE: 3/16" = 1'-0"		
						PROJECT No: 20-101		
						SURIANO. ARCHITECTURAL DESIGN		
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						ONTARIO ASSOCIATION OF ARCHITECTS LICENSED TECHNOLOGIST OAA MICHELE SURIANO LICENCE 6253		
						LICENSED PROFESSIONAL ENGINEER STRUCTURAL S. SOSCIA 90229592 20-Jan-2022 PROVINCE OF ONTARIO		
						6. DEC. 08/21 RE-ISSUED FOR BUILDING PERMIT MS		
						5. NOV. 05/21 ISSUED FOR BUILDING PERMIT MS		
						4. SEPT. 21/21 ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS MS		
						3. MAY 21/21 REVISED AS PER CLIENT COMMENTS MS		
						2. APRIL 05/21 ISSUED TO CLIENT FOR PRICING /BROCHURE MS		
						1. JAN. 29/21 ISSUED TO CLIENT FOR LAST REVIEW / MARKETING MS		
						No: DATE: REVISION/ISSUED: BY:		

FOR TYPICAL NOTES REFER TO SHEET A-19	PERFORMANCE PACKAGE
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ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

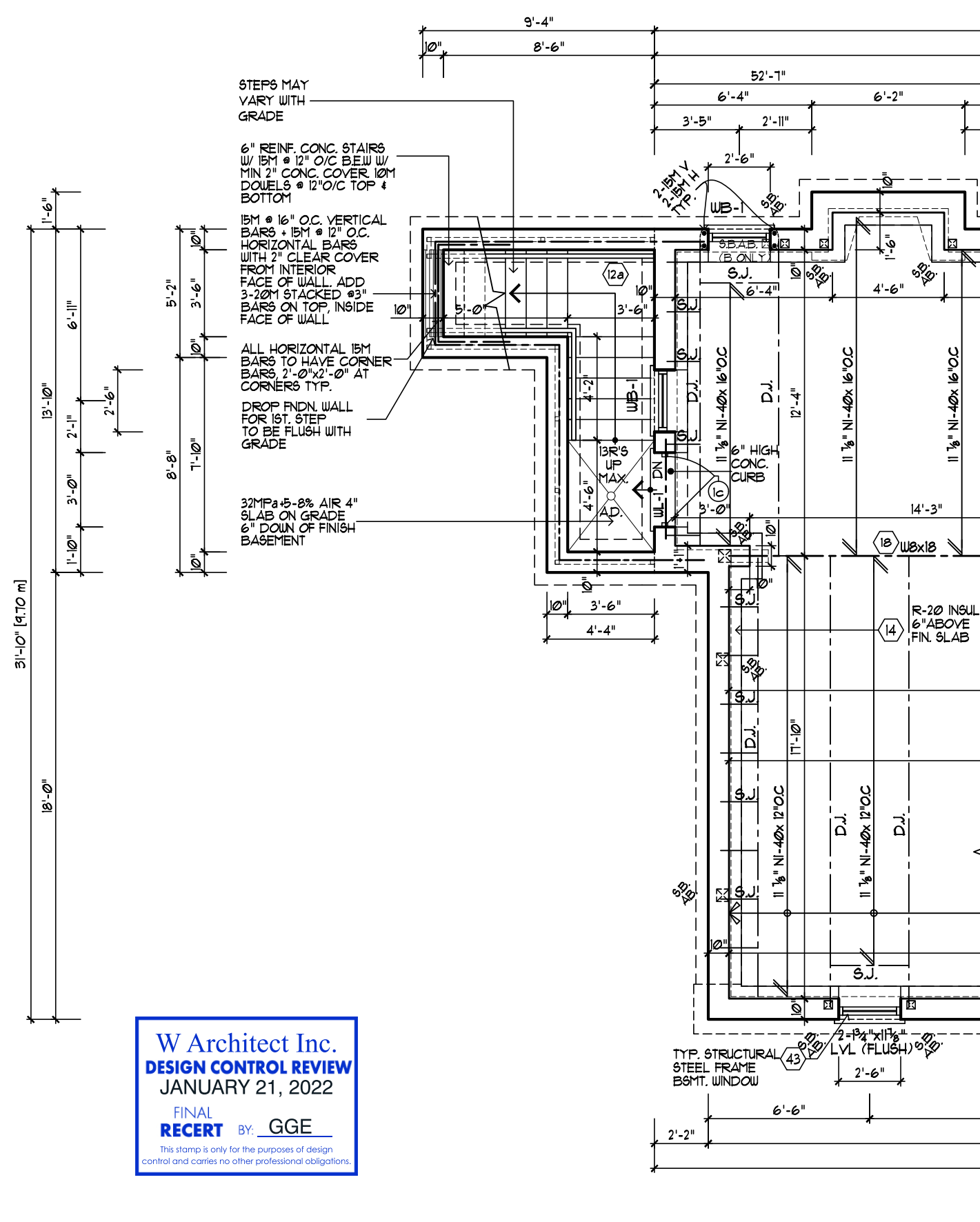


BUILDING SECTION 1
FOR ELEVATION A

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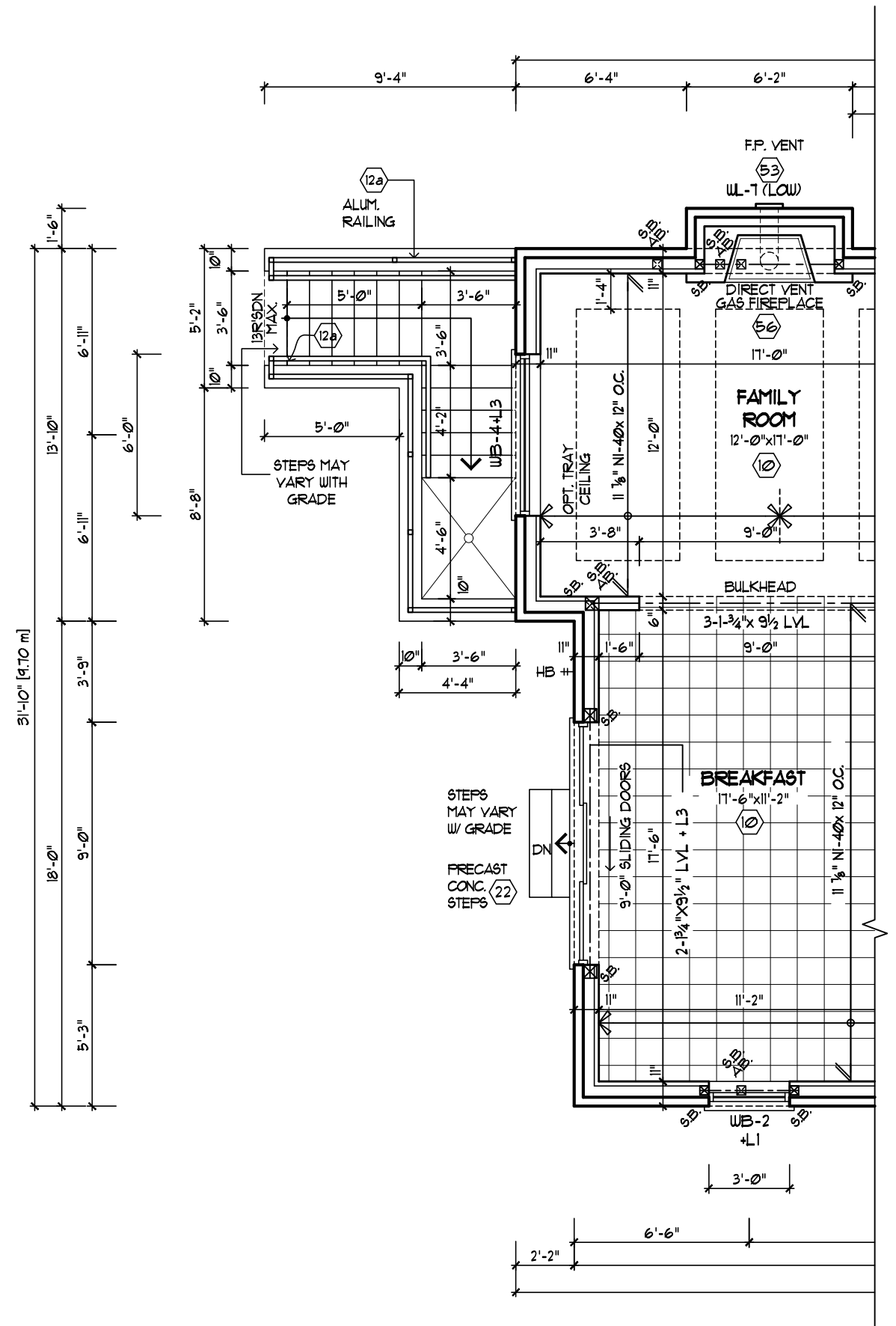
MODEL 40-1 ARIA

<div> <div> <div> <div> <div>6.</div> <div>DEC. 08/21</div> <div>RE-ISSUED FOR BUILDING PERMIT</div> <div>MS</div> </div> <div> <div>5.</div> <div>NOV. 05/21</div> <div>ISSUED FOR BUILDING PERMIT</div> <div>MS</div> </div> <div> <div>4.</div> <div>SEPT. 21/21</div> <div>ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS</div> <div>MS</div> </div> <div> <div>3.</div> <div>MAY 21/21</div> <div>REVISED AS PER CLIENT COMMENTS</div> <div>MS</div> </div> <div> <div>2.</div> <div>APRIL 05/21</div> <div>ISSUED TO CLIENT FOR PRICING /BROCHURE</div> <div>MS</div> </div> <div> <div>1.</div> <div>JAN. 29/21</div> <div>ISSUED TO CLIENT FOR LAST REVIEW / MARKETING</div> <div>MS</div> </div> <div> <div>No.</div> <div>DATE:</div> <div>REVISION/ISSUED:</div> <div>BY:</div> </div> </div> <div> <div> <div> <div>PROFESSIONAL ENGINEER</div> <div>STRUCTURAL</div> <div>SOSCIA</div> <div>90229592</div> <div>20-Jan-2022</div> <div>PROVINCE OF ONTARIO</div> </div> <div> <div>ONTARIO ASSOCIATION OF ARCHITECTS</div> <div>LICENSED TECHNOLOGIST OAA</div> <div>MICHELE SURIANO</div> <div>LICENCE 6253</div> </div> <div> <div>SURIANO.</div> <div>ARCHITECTURAL DESIGN</div> <div>SURIANO DESIGN CONSULTANTS INC.</div> <div>51 Reysun Road, Unit 1</div> <div>Vaughan, Ontario L4L 8P9</div> <div>T. 905-264-0924</div> </div> </div> <div> <div> <div>SHEET NAME:</div> <div>BUILDING SECTION 1 FOR ELEVATION A</div> </div> <div> <div>DATE PLOTTED:</div> <div>DEC. 08/21</div> </div> <div> <div>DRAWN BY:</div> <div>FK-S</div> </div> <div> <div>AREA:</div> <div>2913 sq.ft.</div> </div> <div> <div>DATE:</div> <div>OCT. 23/20</div> </div> <div> <div>TYPE:</div> <div></div> </div> <div> <div>PAGE No:</div> <div>A-8</div> </div> <div> <div>SCALE:</div> <div>3/16" = 1'-0"</div> </div> <div> <div>PROJECT No:</div> <div>20-101</div> </div> </div> <div> <div>PROJECT NAME:</div> <div>ROYAL PINE HOMES</div> </div> <div> <div>MODEL NAME:</div> <div>MODEL 40-1 ARIA</div> </div> </div> </div></div>
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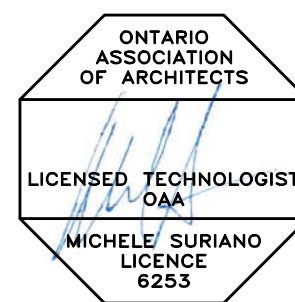
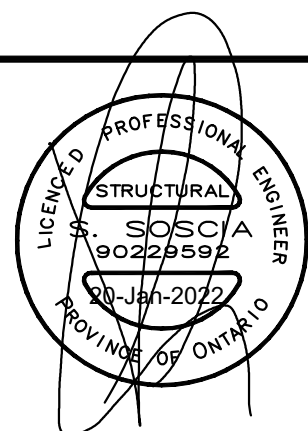
PARTIAL BASEMENT FLOOR PLAN
WITH WALK-UP BASEMENT CONDITION
FOR ELEVATION A & B



PARTIAL GROUND FLOOR PLAN
WITH WALK-UP BASEMENT CONDITION
FOR ELEVATION A & B

MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS		
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS		
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS		
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No:	DATE:	REVISION/ISSUED:	BY:		



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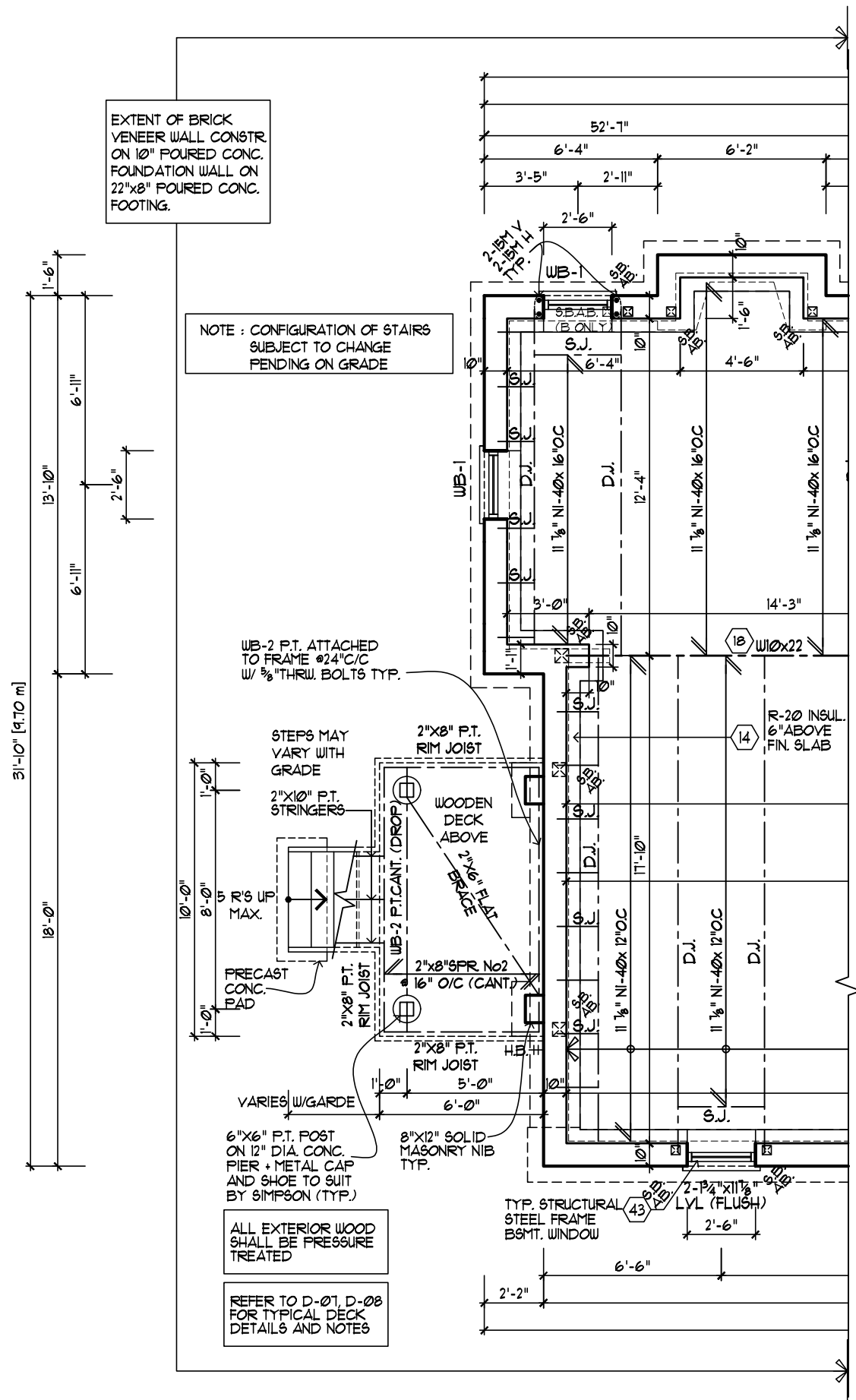
SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
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SHEET NAME: PARTIAL FLOOR PLANS W/ WALK-UP BASEMENT CONDITION FOR ELEV. A & B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-9
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

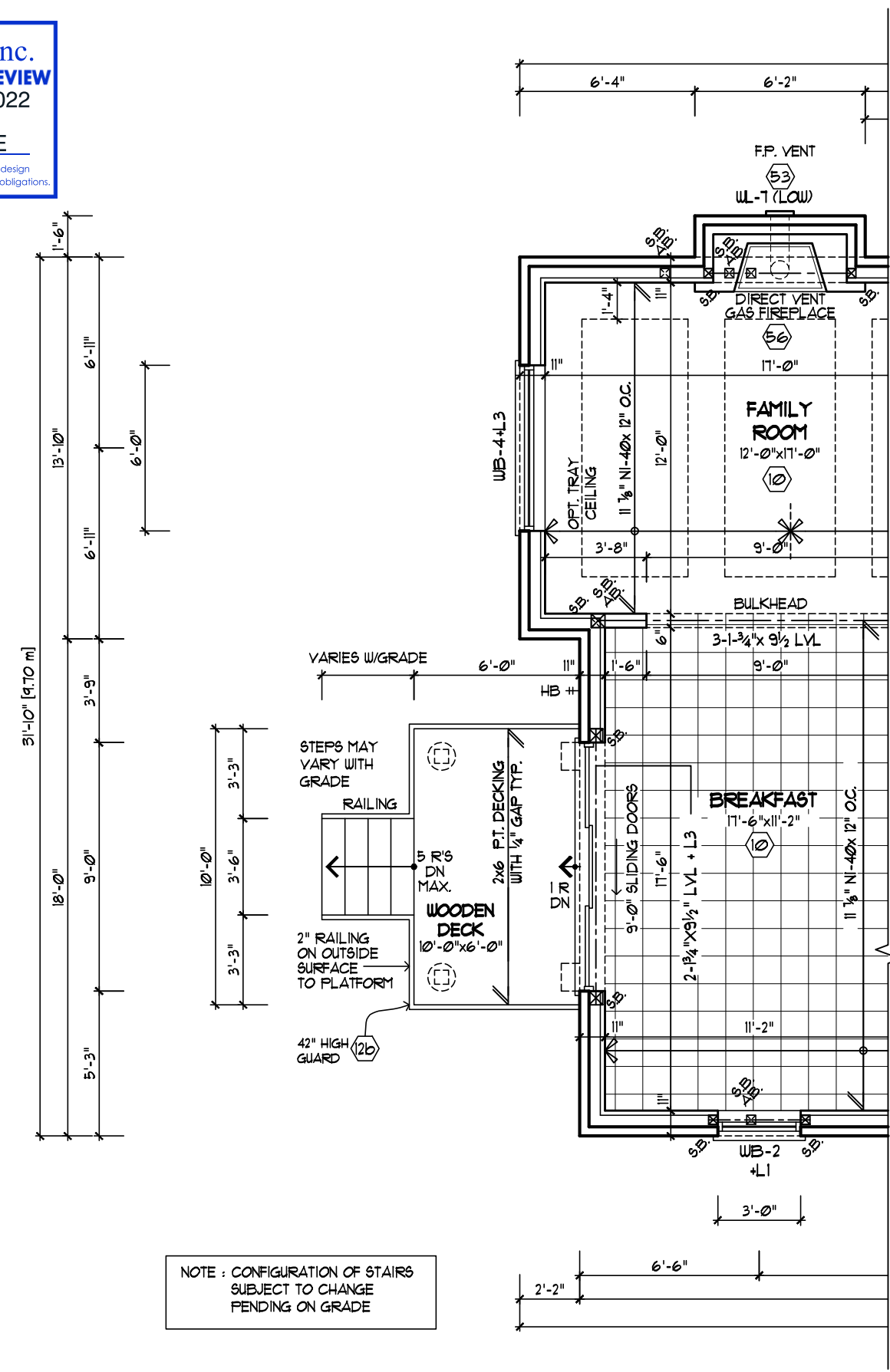
ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

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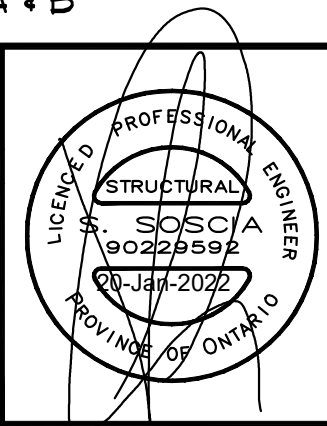
PARTIAL BASEMENT FLOOR PLAN
WITH WOOD DECK CONDITION
FOR ELEVATION A & B



PARTIAL GROUND FLOOR PLAN
WITH WOOD DECK CONDITION
FOR ELEVATION A & B

MODEL 40-1 ARIA

No.	DATE:	REVISION/ISSUED:	BY:
6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
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SHEET NAME: PARTIAL FLOOR PLANS W/ WOOD DECK CONDITION FOR ELEV. A & B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-11
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE HOMES	
PROJECT NAME: VALES OF HUMBER	
MODEL NAME: MODEL 40-1 ARIA	

FOR TYPICAL NOTES
REFER TO SHEET A-19

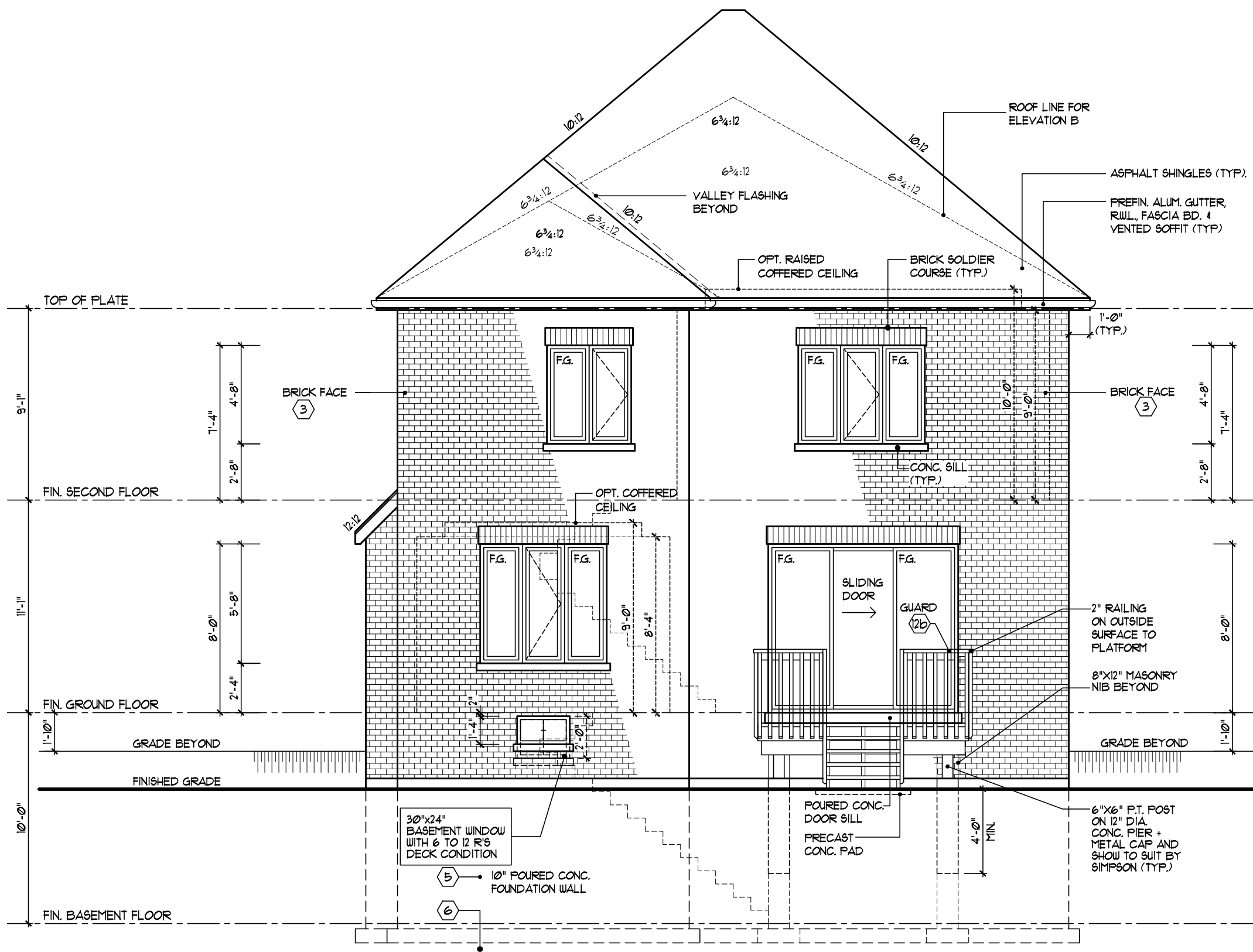
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY
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(REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR
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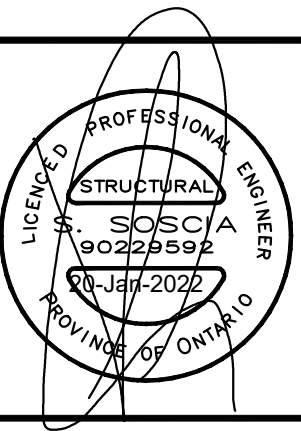


REAR ELEVATION A & B
WITH WOOD DECK CONDITION

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MODEL 40-1 ARIA

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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



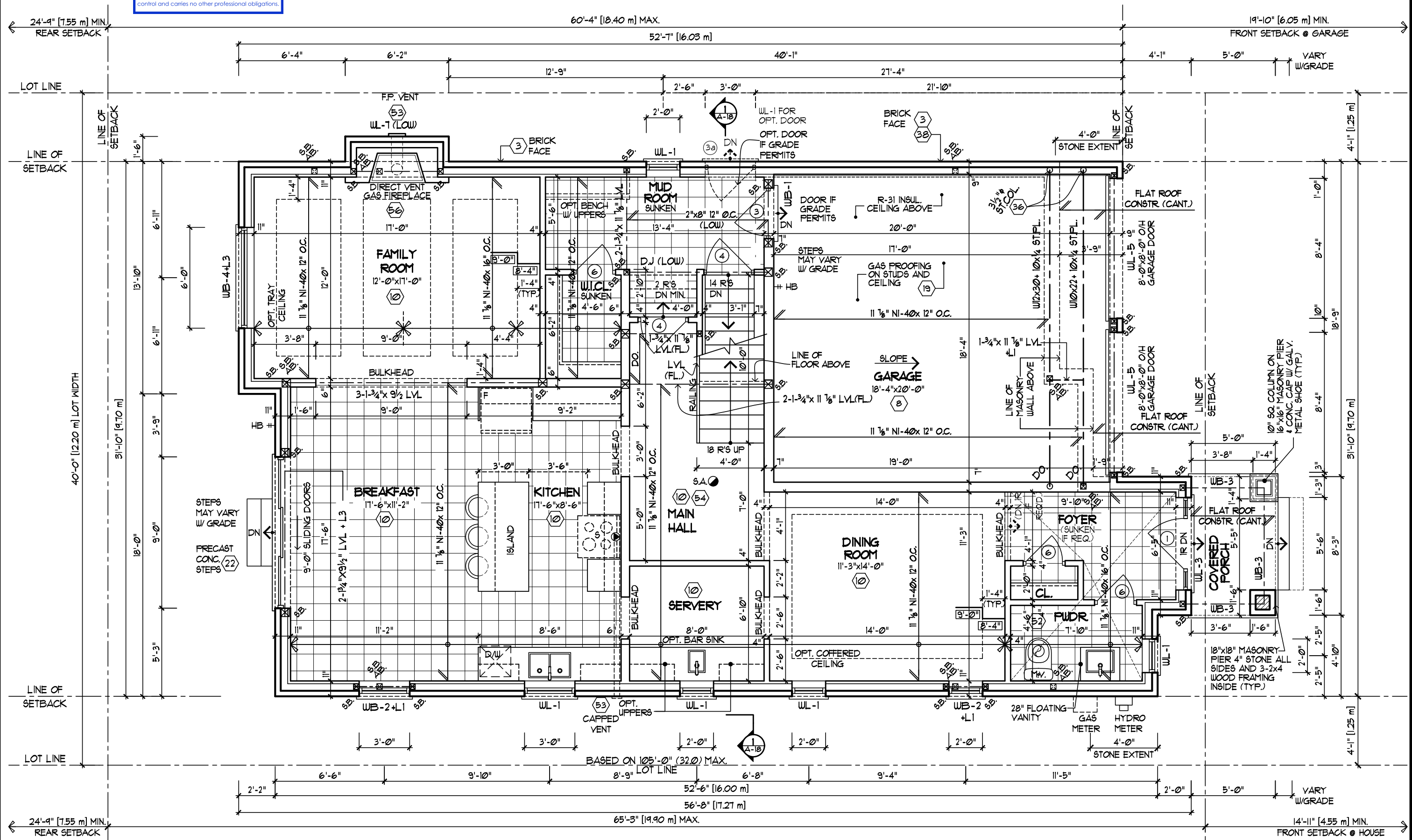
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: REAR ELEVATION A & B W/ WOOD DECK CONDITION		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-12
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

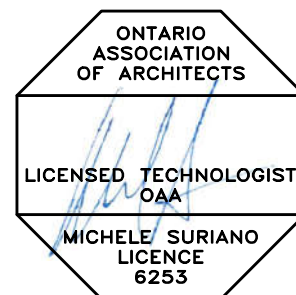
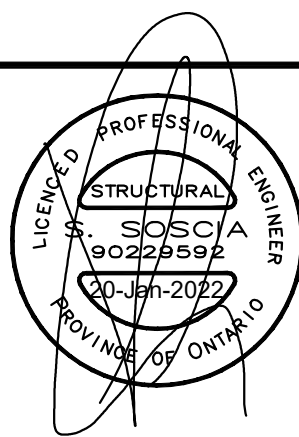
PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA



GROUND FLOOR PLAN
ELEVATION B

MODEL 40-1 ARIA

No.	DATE:	REVISION/ISSUED:	BY:
6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



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Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: GROUND FLOOR PLAN FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-13
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

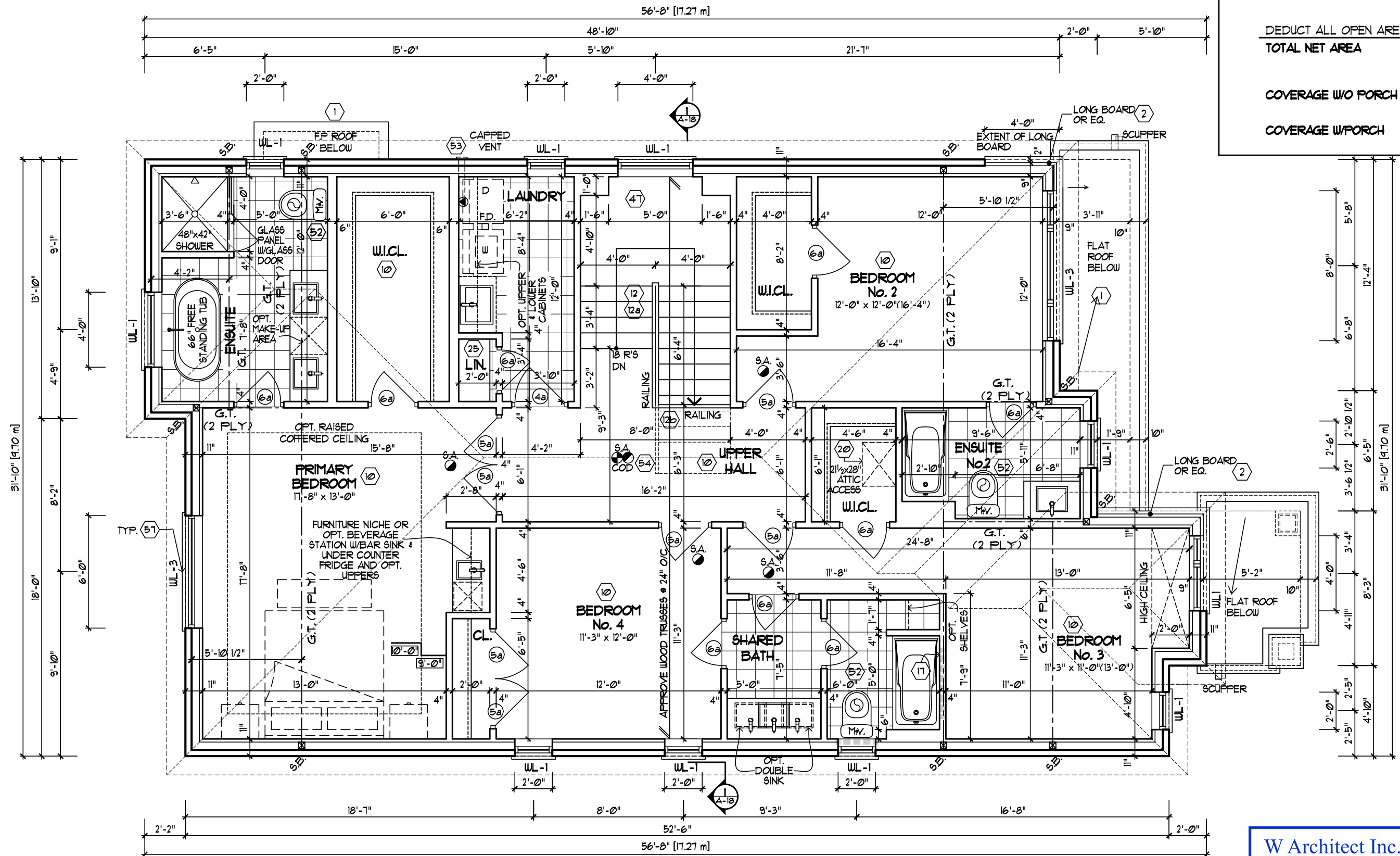
PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

AREA CALCULATION ELEVATION B

FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1292	SQ. FT.
SECOND FLOOR AREA	1621	SQ. FT.
SUBTOTAL	2913	SQ. FT.
	27063	M2

DEDUCT ALL OPEN AREAS	0	SQ. FT.
TOTAL NET AREA	2913	SQ. FT.
	27063	M2

COVERAGE W/O PORCH	1688	SQ. FT.
	15682	M2
COVERAGE W/PORCH	1729	SQ. FT.
	16063	M2

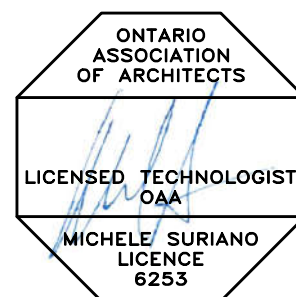
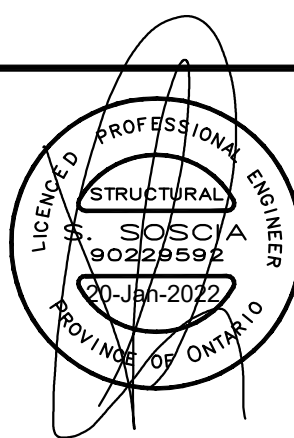


SECOND FLOOR PLAN
ELEVATION B

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECEIVED BY: GGE
This stamp is only for the purposes of design
control and carries no other professional obligations.

MODEL 40-1 ARIA

No.	DATE:	REVISION/ISSUED:	BY:
6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: SECOND FLOOR PLAN FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-14
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES

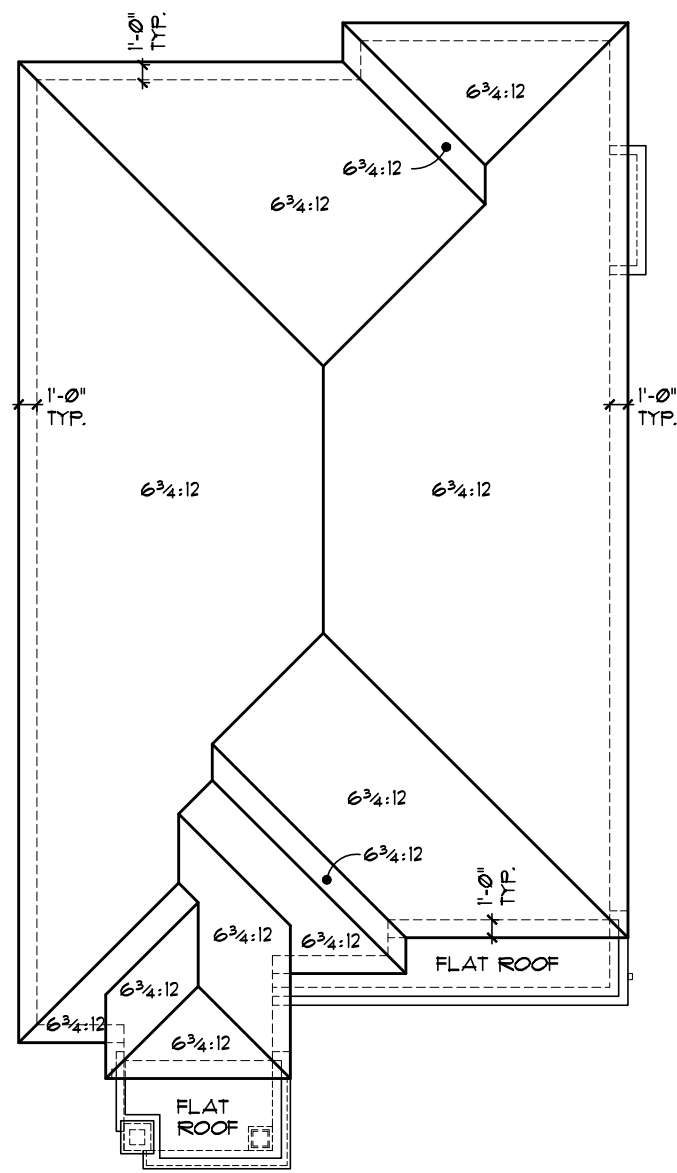
PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

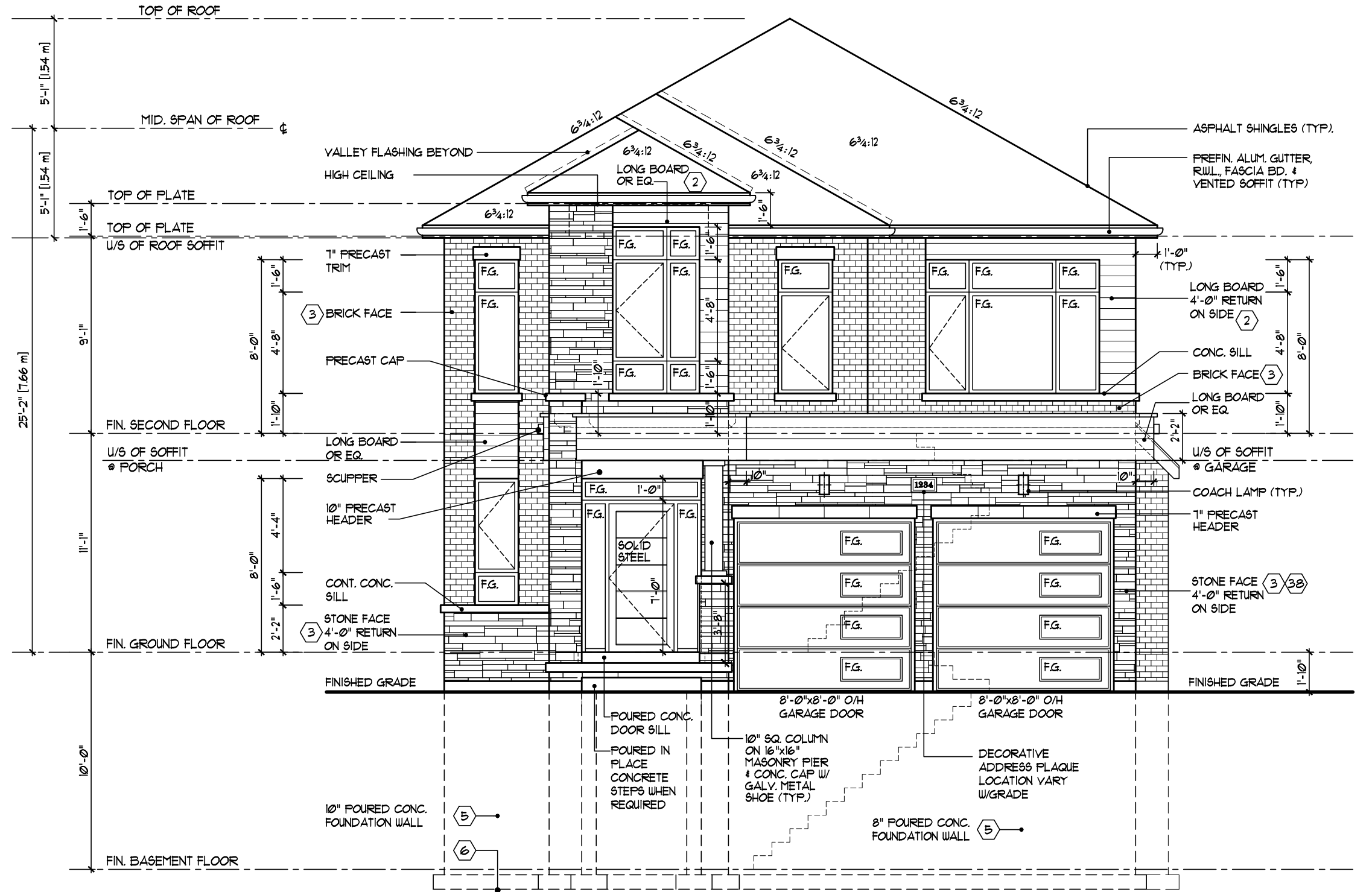
RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



ROOF PLAN FOR
ELEVATION B
N.T.S.

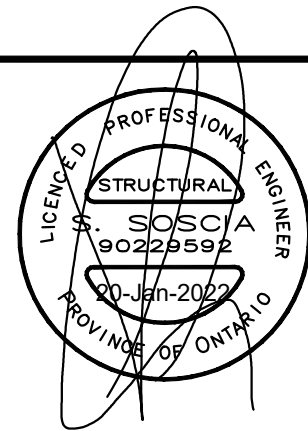


FRONT ELEVATION B

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: FRONT ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-15
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE HOMES	
PROJECT NAME: VALES OF HUMBER	
MODEL NAME: MODEL 40-1 ARIA	

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B

WALL AREA	= 1135.32	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 79.47	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 41.12	SQ. FT.

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B WITH OPT. DOOR

WALL AREA	= 1135.32	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 79.47	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 62.11	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-19

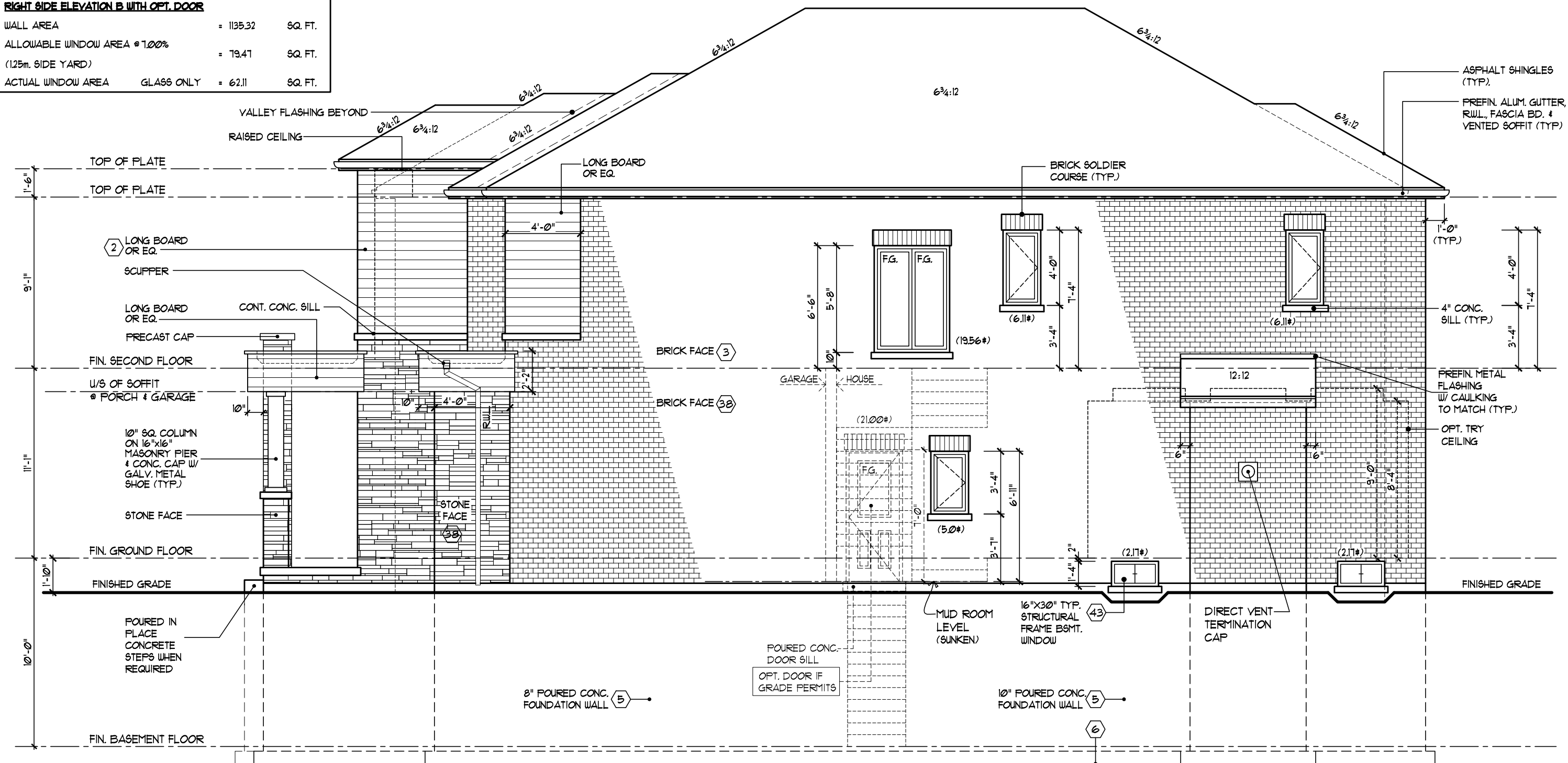
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

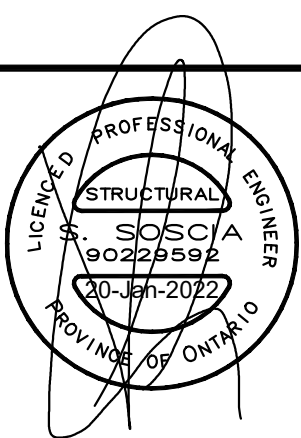


RIGHT SIDE ELEVATION B

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN
SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: RIGHT SIDE ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-16
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE
HOMES
PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION B

WALL AREA	= 1207.12	SQ. FT.
ALLOWABLE WINDOW AREA @ 100% (125m. SIDE YARD)	= 8450	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 1030	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-19

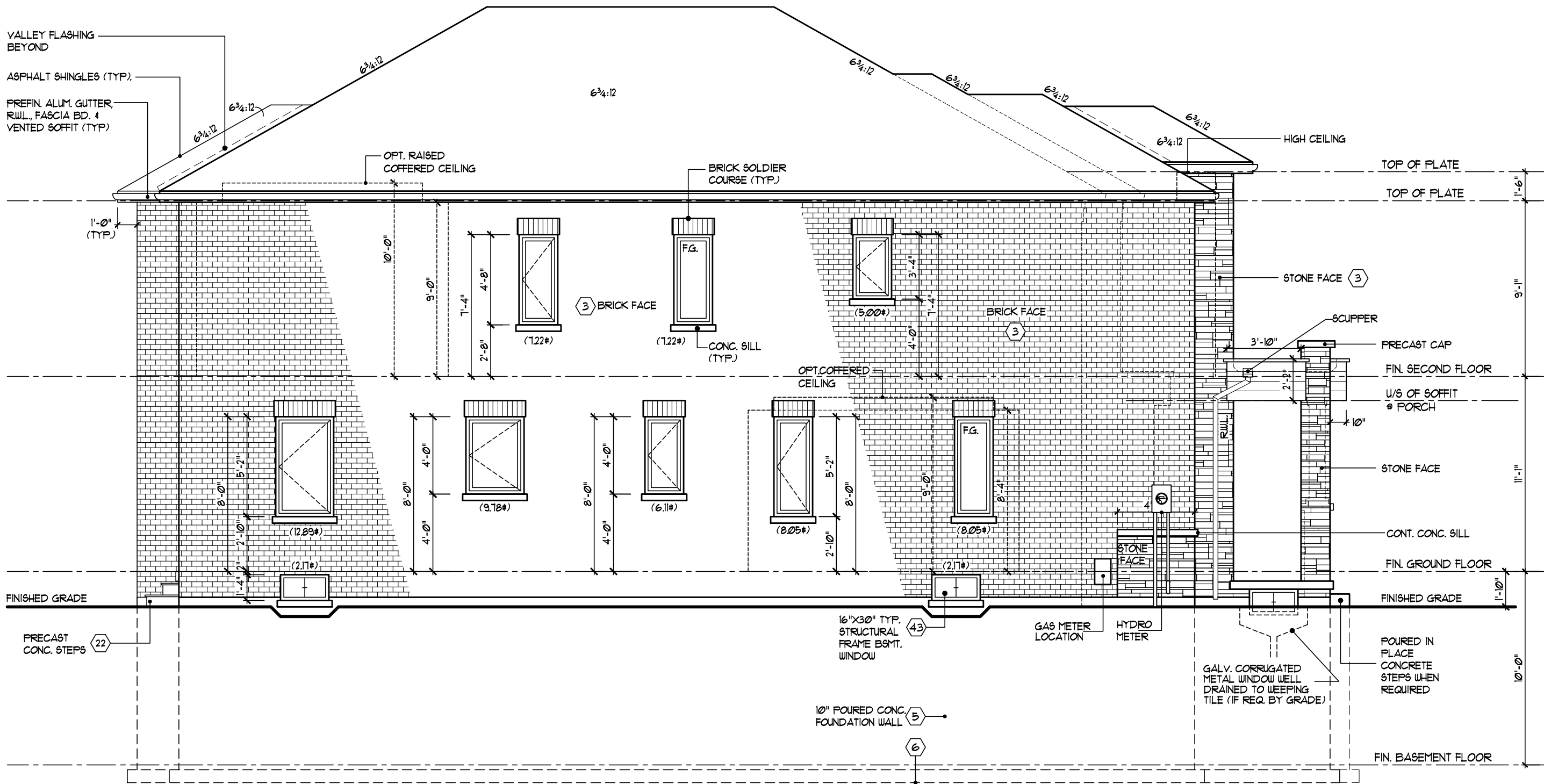
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

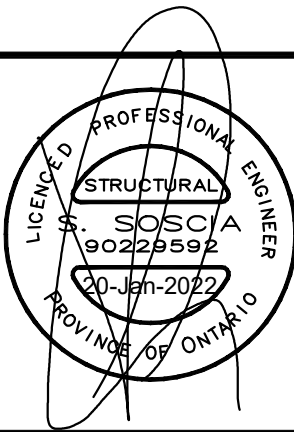


LEFT SIDE ELEVATION B

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-1 ARIA

6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

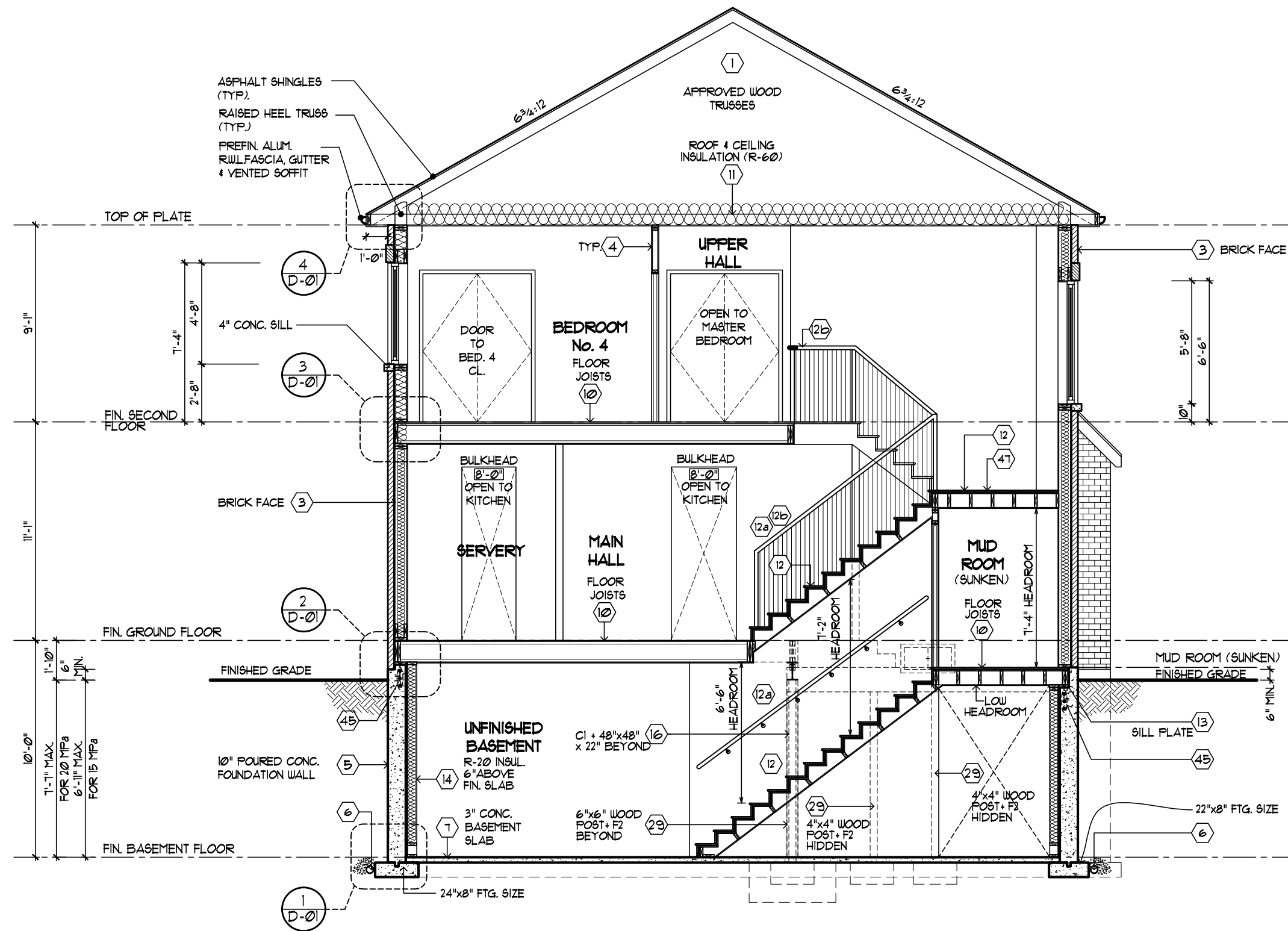
SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: LEFT SIDE ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-17
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

**ROYAL PINE
HOMES**

PROJECT NAME:
VALES OF HUMBER
MODEL NAME:
MODEL 40-1 ARIA

FOR TYPICAL NOTES REFER TO SHEET A-19	PERFORMANCE PACKAGE
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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BUILDING SECTION 1
FOR ELEVATION B

MODEL 40-1 ARIA

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TYPICAL BASEMENT FLOOR PLAN NOTES:

FOR TYPICAL NOTES
REFER TO SHEET A-19

PERFORMANCE PACKAGE

TYPICAL NOTES:

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR FOOTINGS SHALL BE A MIN. OF **25 MPa**, OR **3500 PSI**, AS PER OBC TABLE 9.15.4.2.A.

CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE PORCHES AND STEPS SHALL BE A MIN. **32 MPa**, WITH 5 - 8% ENTRAINMENT, UNLESS NOTED OTHERWISE.

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF **8"x22"** UNREINFORCED FOR UP TO 16'-0" JOIST SPAN.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB FLOOR TO BE GLUED & NAILED (TYP.)

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRAWINGS.

ALL LVL'S SHALL BE 1.8E/2.0E GRADE MICROLLAM LVL OR BETTER U. S. O.

BRICK VENEER LINTELS

WL1	= 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+ 2- 2" x 8"	SFF
WL2	= 4" x 3 1/2" x 5/16"	(100x90x8)	+ 2- 2" x 8"	SFF
WL3	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 10"	SFF
WL4	= 6" x 3 1/2" x 3/8"	(150x90x10)	+ 2- 2" x 12"	SFF
WL5	= 6" x 4" x 3/8"	(150x100x10)	+ 2- 2" x 12"	SFF
WL6	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 12"	SFF
WL7	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 10"	SFF
WL8	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 12"	SFF
WL9	= 6" x 4" x 5/16"	(150x100x10)	+ 3- 2" x 12"	SFF

C1= 3 1/2"x1 1/4" STEEL COL. ON CONC. FTG.
+ 6"x6"x1/2" BASE & CAP PLATE. WELD TO BM. ANCHOR TO FTG. W/ 2- #1/2"x6" AB

F1= 36"x36"x16"

F2= 24"x24"x12"

F3= 18"x18"x8"

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

SOLID BEARING:

SB MINIMUM 3-2"x4" OR 3-2"x6" BUILT UP COLUMNS

BUILT UP COLUMNS:

- NAILED W/ 1 ROW FOR 2"x4" COLUMN
- NAILED W/ 2 ROW FOR 2"x6" COLUMN
- NAIL LENGTH TO MATCH TOTAL BUILT UP WIDTH
- NAILS SPACED @ 8" O/C
- PROVIDE SQUASH BLOCKS TO TRANSFER POINT LOADS BETWEEN FLOORS

STEEL LINTELS

L1	= 3 1/2" x 3 1/2" x 1/4"	(89x89x6.4)
L2	= 4" x 3 1/2" x 5/16"	(102x89x7.9)
L3	= 5" x 3 1/2" x 5/16"	(121x89x7.9)
L4	= 6" x 3 1/2" x 3/8"	(152x89x9.5)
L5	= 6" x 4" x 3/8"	(152x102x9.5)
L6	= 7" x 4" x 3/8"	(178x102x9.5)
L7	= 7" x 4" x 1/2"	(178x102x13)

WOOD LINTELS AND BEAMS

WB1	= 2- 2" x 8"	SFF
WB2	= 3- 2" x 8"	SFF
WB3	= 2- 2" x 10"	SFF
WB4	= 3- 2" x 10"	SFF
WB5	= 2- 2" x 12"	SFF
WB6	= 3- 2" x 12"	SFF
WB7	= 5- 2" x 12"	SFF
WB11	= 4- 2" x 10"	SFF
WB12	= 4- 2" x 12"	SFF

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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TYPICAL ELEVATION NOTES:

REFER TO TRUSS SHOP DWGS.
FOR COMPLETE TRUSS LAYOUT
AND SPECIFICATIONS

NOTE: ELEVATIONS DO NOT REPRESENT
ACTUAL FINISHED GRADES (REFER TO
GRADING PLANS)

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

REFER JOIST MANUFACTURER'S
SPECIFICATIONS FOR ALL
TECHNICAL DETAILS & INFO.

TYPICAL GROUND FLOOR PLAN NOTES:

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

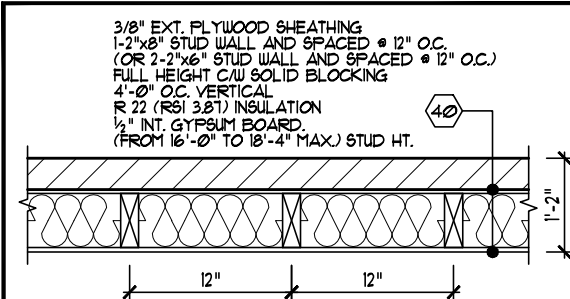
9'-0"
8'-4" DENOTES CEILING HEIGHT

TYPICAL GROUND FLOOR NOTES

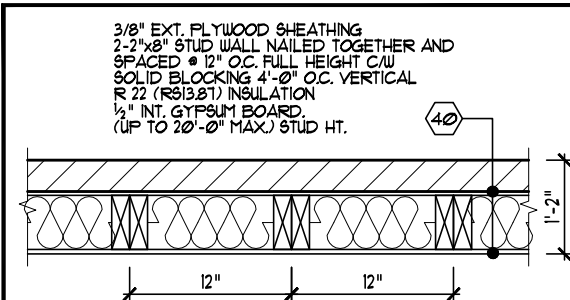
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
- 5/8" SUB-FLOOR TO BE GLUED & NAILED (TYP.)
- ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS.
- ALL LVL'S SHALL BE 1.9E GRADE MICROLLAM LVL OR BETTER U. S. O.

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

ALL GARAGE DOORS INTO THE HOUSE SHALL BE GAS PROOFED AND HAVE SELF-CLOSING DEVICES. EACH DOOR SHALL HAVE STAIRS CONFORMING TO O.B.C. SECTION 9.8



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(FROM 16'-0" TO 18'-4" MAX.) STUD HT.



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(UP TO 20'-0" MAX.) STUD HT.

TYPICAL SECOND FLOOR PLAN NOTES:

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

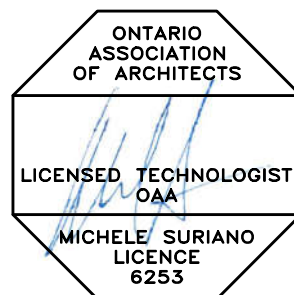
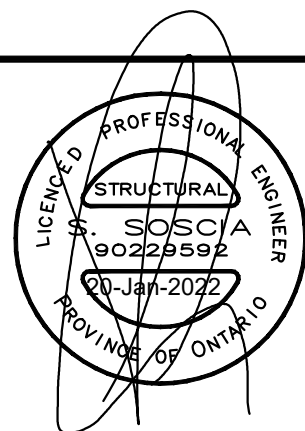
ALL RETURN AIR PARTITIONS TO BE 6". REFER TO HVAC DRAWINGS

9'-0"
8'-0" DENOTES CEILING HEIGHT

17 DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 3/D-10

MODEL 40-1 ARIA

No:	DATE:	REVISION/ISSUED:	BY:
6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysin Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

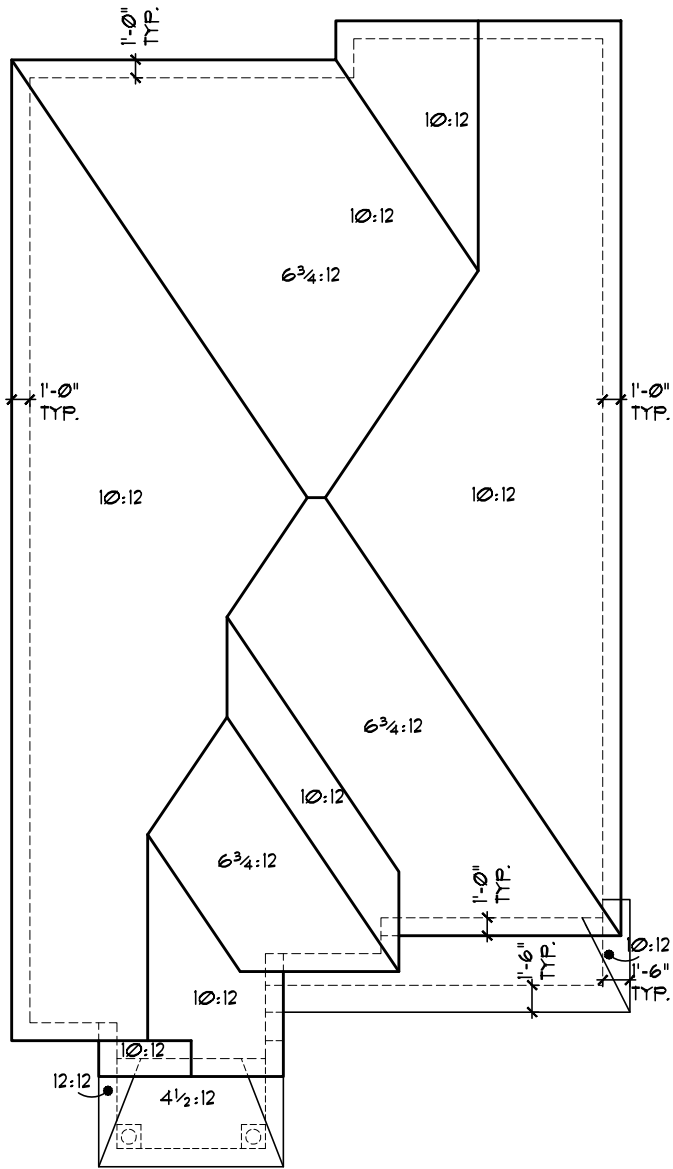
SHEET NAME:
TYPICAL NOTES

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.N.D.	AREA:
DATE: OCT. 23/20	TYPE:	PAGE No: A-19
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

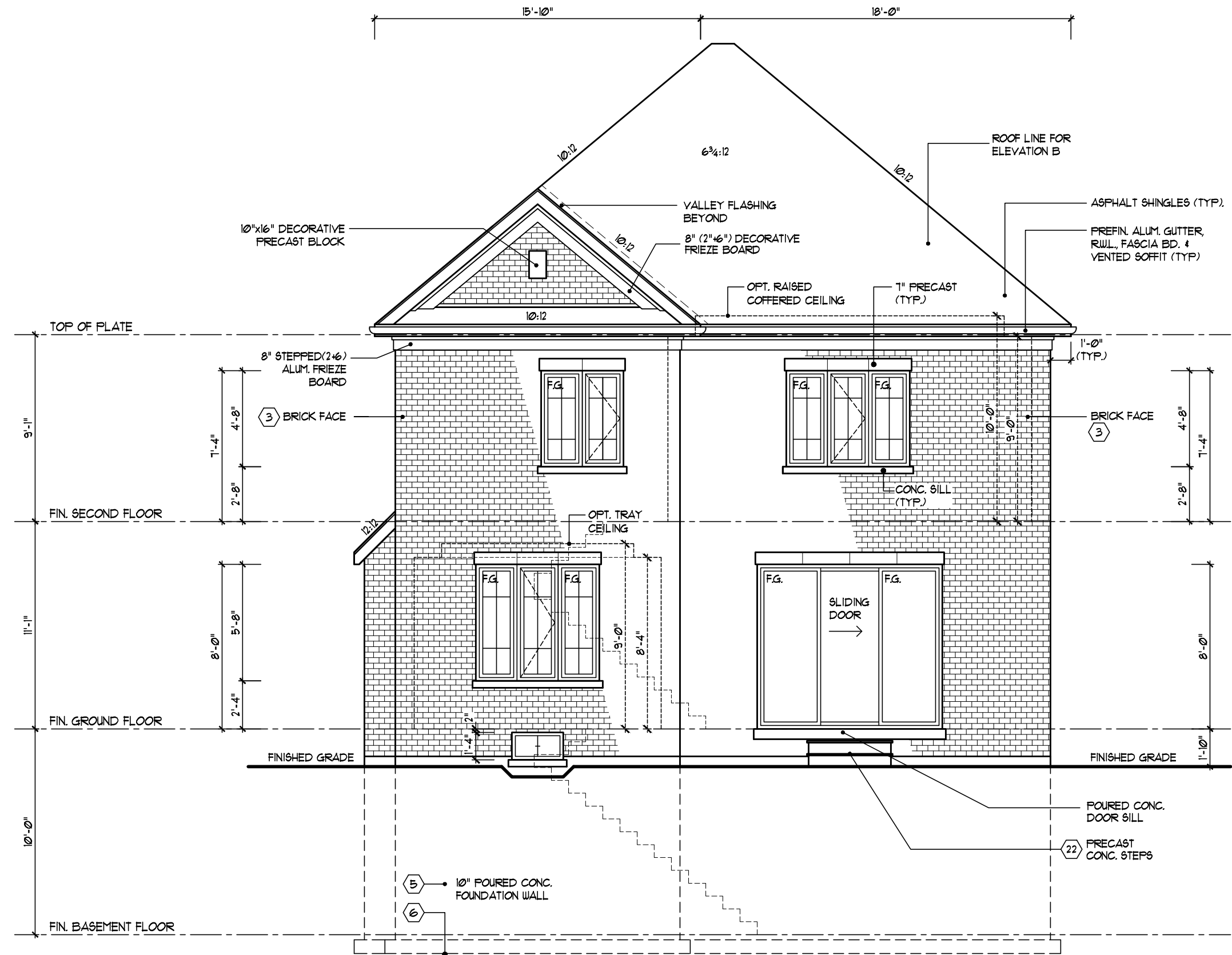
ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER

MODEL NAME:
MODEL 40-1 ARIA



UPGRADED ROOF
PLAN FOR
ELEVATION A
N.T.S.



UPGRADED REAR
ELEVATION A

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LOT 45 UPGRADE
MODEL 40-1 ARIA

8.	FEB. 19/22	ISSUED FOR BUILDING PERMIT	MS
7.	FEB. 09/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
6.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
5.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
4.	SEPT. 21/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Rogers Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION A		
DATE PLOTTED: FEB. 15/22	DRAWN BY: J.LAM	AREA: 2913 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-21
SCALE: 3/16" = 1'-0"	PROJECT No: 20-101	

ROYAL PINE HOMES	
PROJECT NAME: VALES OF HUMBER	
MODEL NAME: MODEL 40-1 ARIA	

