



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4001

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

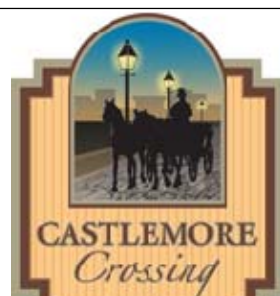
PERFORMANCE COMPLIANCE	SPACE HEATING FUEL	
	<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	PROPOSED
INSULATION RSI (R) VALUE	
CEILING W/ ATTIC SPACE	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)+1.5ci
BASEMENT WALLS	R20 Blanket or R12+R10ci
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
HEATED SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
CONC. SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
WINDOWS & DOORS	
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE or MIN. ER)	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8
APPLIANCE EFFICIENCY	
SPACE HEATING EQUIP. (AFUE%)	96% AFUE w/ECM
HRV EFFICIENCY (%)	75%
DOMESTIC HOT WATER HEATER (EF)	0.9
DWHR UNIT (%)	53.3% ON 1 SHOWERS MIN.

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AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD.	STD.	STD.
GROUND FLOOR AREA	1499 sq. ft.	1493 sq. ft.	1493 sq. ft.
SECOND FLOOR AREA	1855 sq. ft.	1846 sq. ft.	1846 sq. ft.
SUBTOTAL	3354 sq. ft.	3339 sq. ft.	3339 sq. ft.
DEDUCT ALL OPEN AREAS	18 sq. ft.	18 sq. ft.	18 sq. ft.
TOTAL NET AREA	3336 sq. ft.	3321 sq. ft.	3321 sq. ft.
	(309.92 sq. m.)	(308.53 sq. m.)	(308.53 sq. m.)
COVERAGE	1887 sq. ft.	1881 sq. ft.	1881 sq. ft.
W/OUT PORCH	(175.31 sq. m.)	(174.75 sq. m.)	(174.75 sq. m.)
COVERAGE	1938 sq. ft.	1953 sq. ft.	1953 sq. ft.
W/ PORCH	(180.05 sq. m.)	(181.44 sq. m.)	(181.44 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN	OPT. PLAN	OPT. PLAN	OPT. PLAN
GROSS WALL AREA	3822sq. ft.	3775 sq. ft.	3790 sq. ft.	3822 sq. ft.	3775 sq. ft.	3790 sq. ft.
	(355.08 sq. m.)	(350.71 sq. m.)	(352.10 sq. m.)	(355.08 sq. m.)	(350.71 sq. m.)	(352.10 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	456 sq. ft.	477 sq. ft.	477 sq. ft.	463 sq. ft.	479 sq. ft.	485 sq. ft.
	(42.36 sq. m.)	(44.31 sq. m.)	(44.31 sq. m.)	(43.01 sq. m.)	(44.50 sq. m.)	(45.06 sq. m.)
TOTAL WINDOW %	11.93 %	12.64 %	12.59 %	12.11 %	12.69 %	12.80 %



7. REVISED AS PER CLIENT'S COMMENTS	2023/06/23	MM
6. CONVERTED 9'-0" SECOND FLOOR CEILING HEIGHTS TO 8'-0"	2023/06/01	MM
5. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2022/08/11	MM
4. REVISED AS PER ENGINEER COMMENTS	2022/06/27	JLT
3. REVISED AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2022/06/27	JLT
2. REVISED AS PER CLIENT'S COMMENTS	2022/08/11	MM
1. ISSUED FOR CLIENT REVIEW & PRICING	2021/12/16	JLT
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE PAGE

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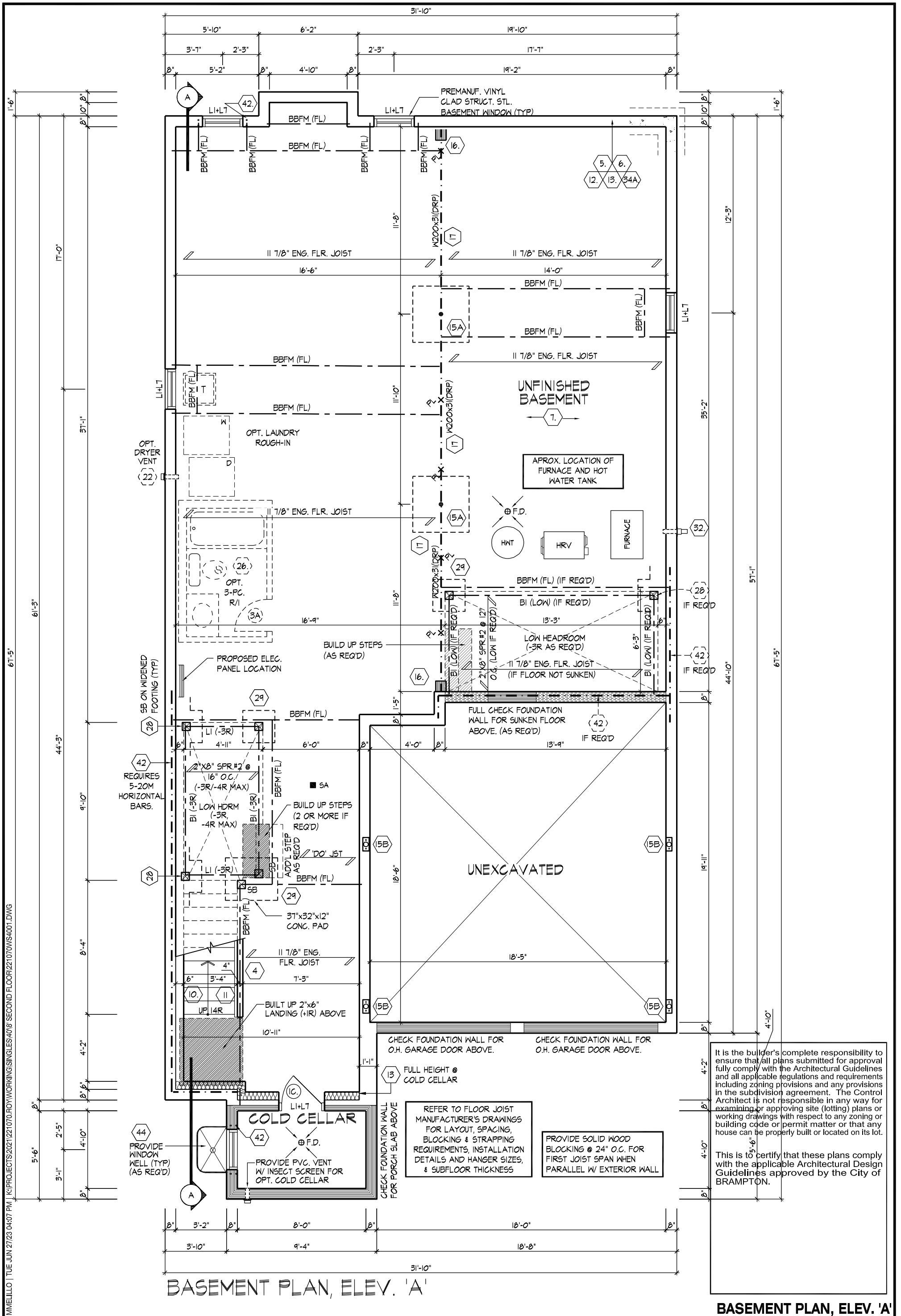
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ROYAL PINE HOMES - 221070
 FORESTSIDE ESTATES INC., BRAMPTON, ON

Drawn By JMc Checked By DS Scale 3/16"=1'-0" File Number 221070WS4001
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT-4001
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BASEMENT PLAN, ELEV. 'A'

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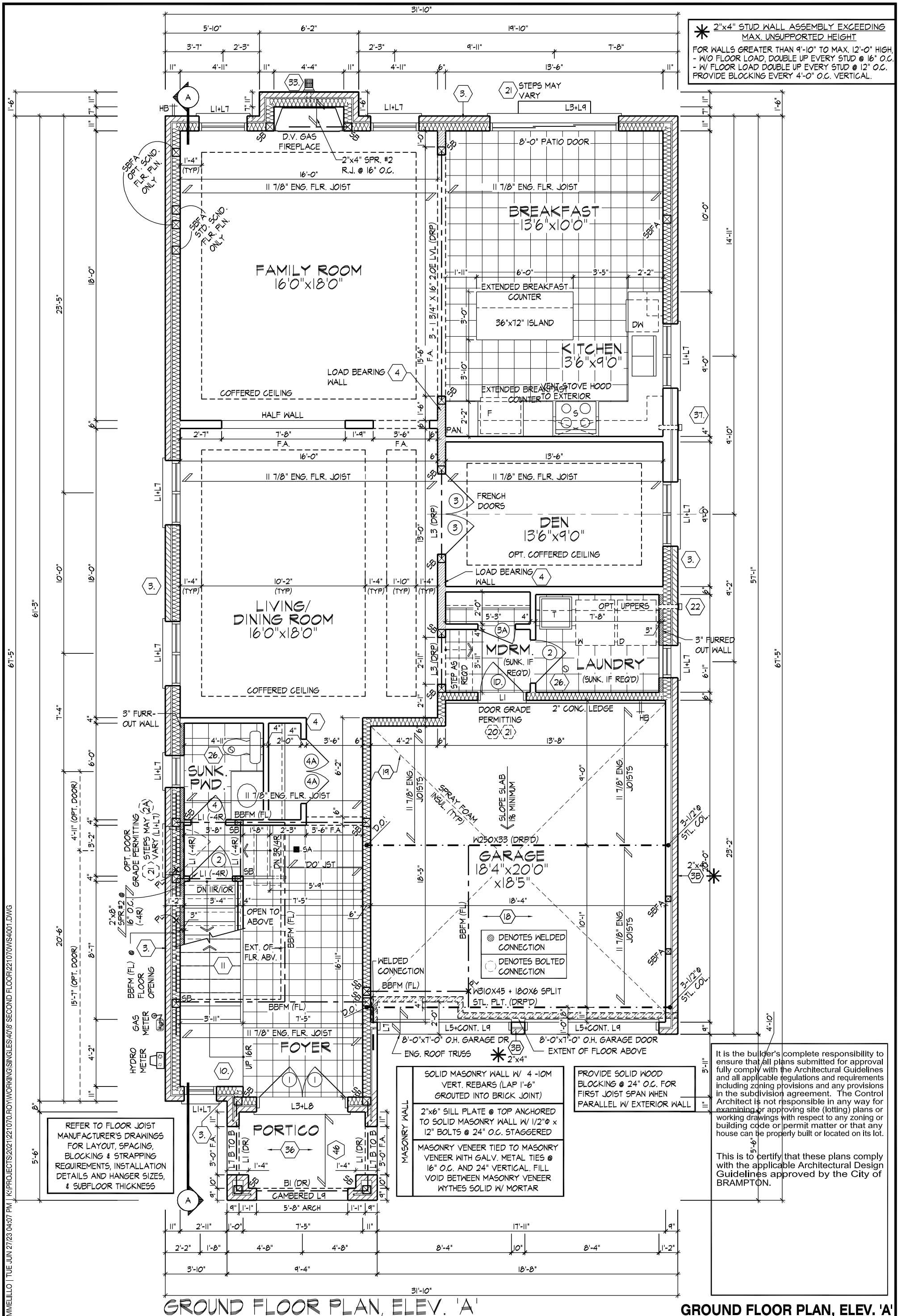
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*** 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT**
 FOR WALLS GREATER THAN 9'-10" TO MAX. 12'-0" HIGH,
 - W/O FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C.
 - W/ FLOOR LOAD DOUBLE UP EVERY STUD @ 12" O.C.
 PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

SOLID MASONRY WALL W/ 4 -10M VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT)
 2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2"Ø x 12" BOLTS @ 24" O.C. STAGGERED
 MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER W/ THES SOLID W/ MORTAR

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

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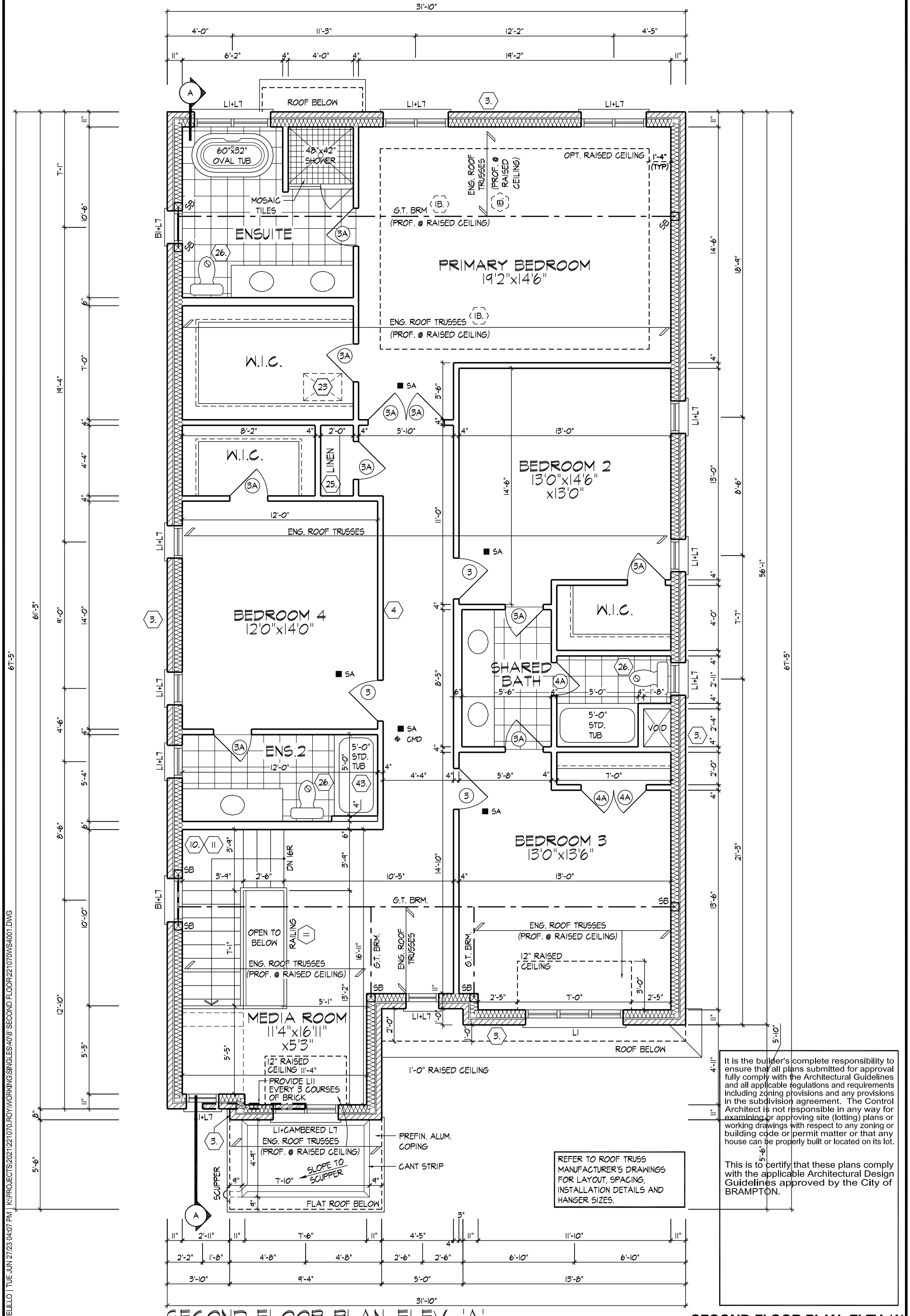
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REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

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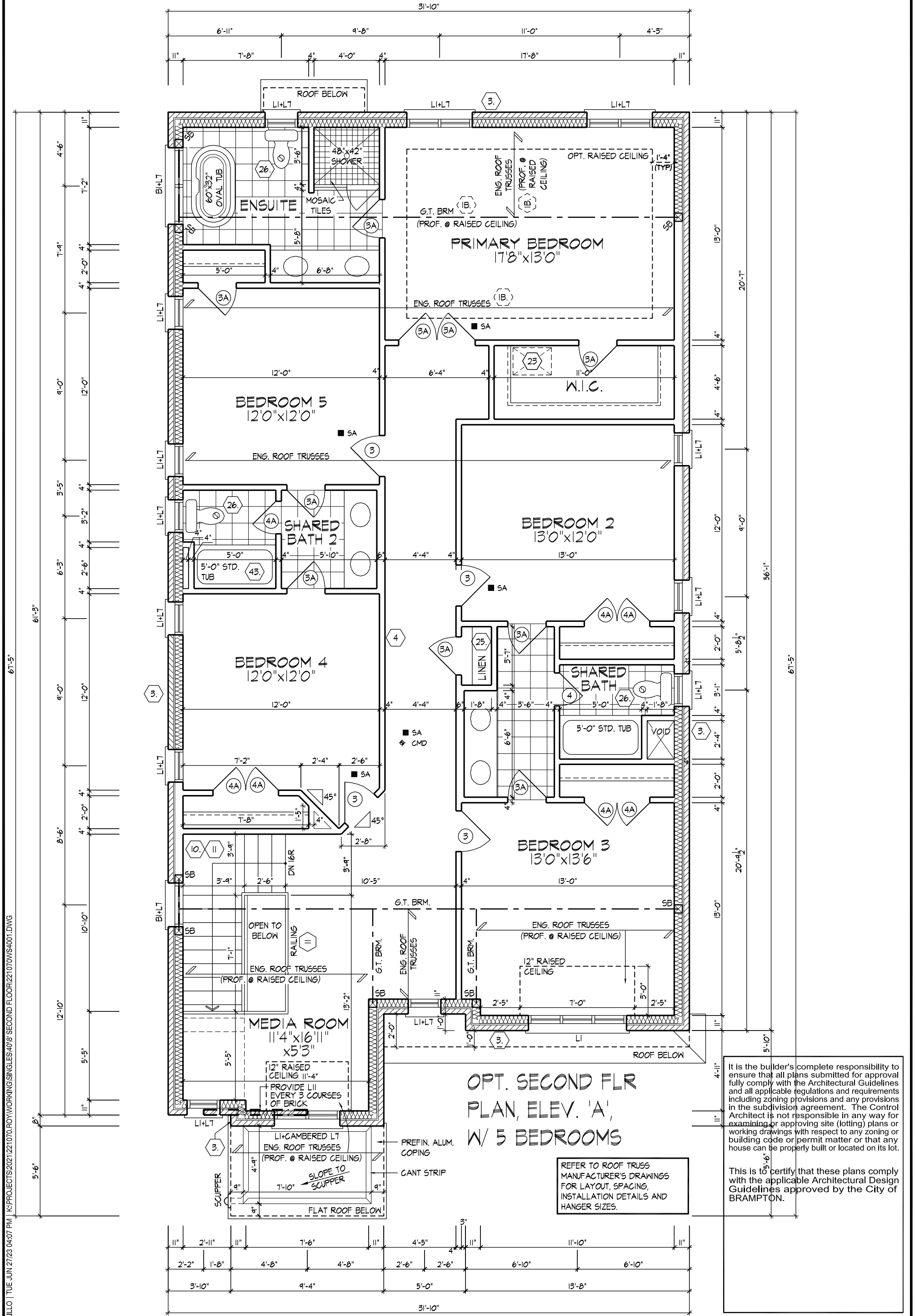
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OPT. SECOND FLR
PLAN, ELEV. 'A',
W/ 5 BEDROOMS

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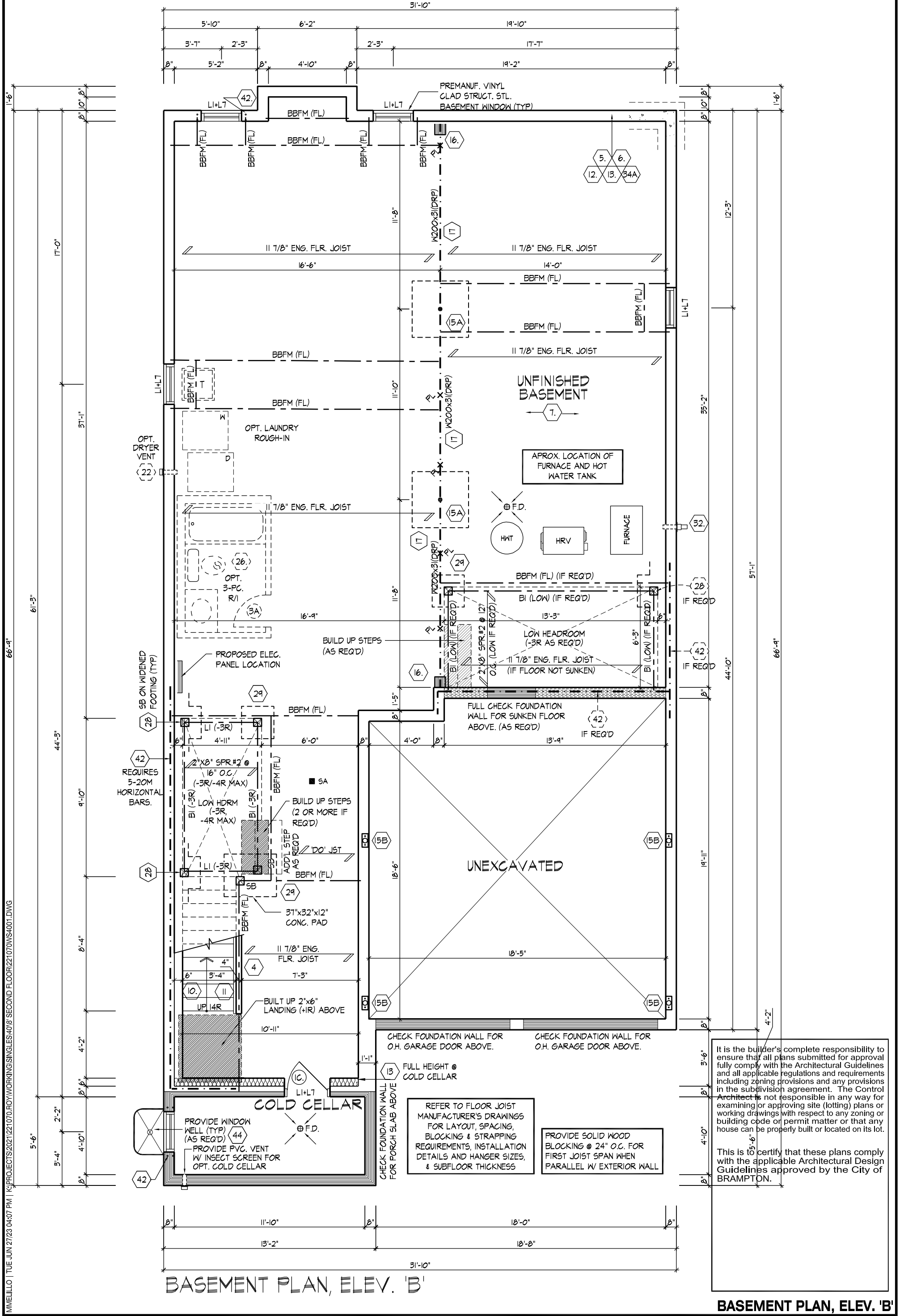
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BASEMENT PLAN, ELEV. 'B'

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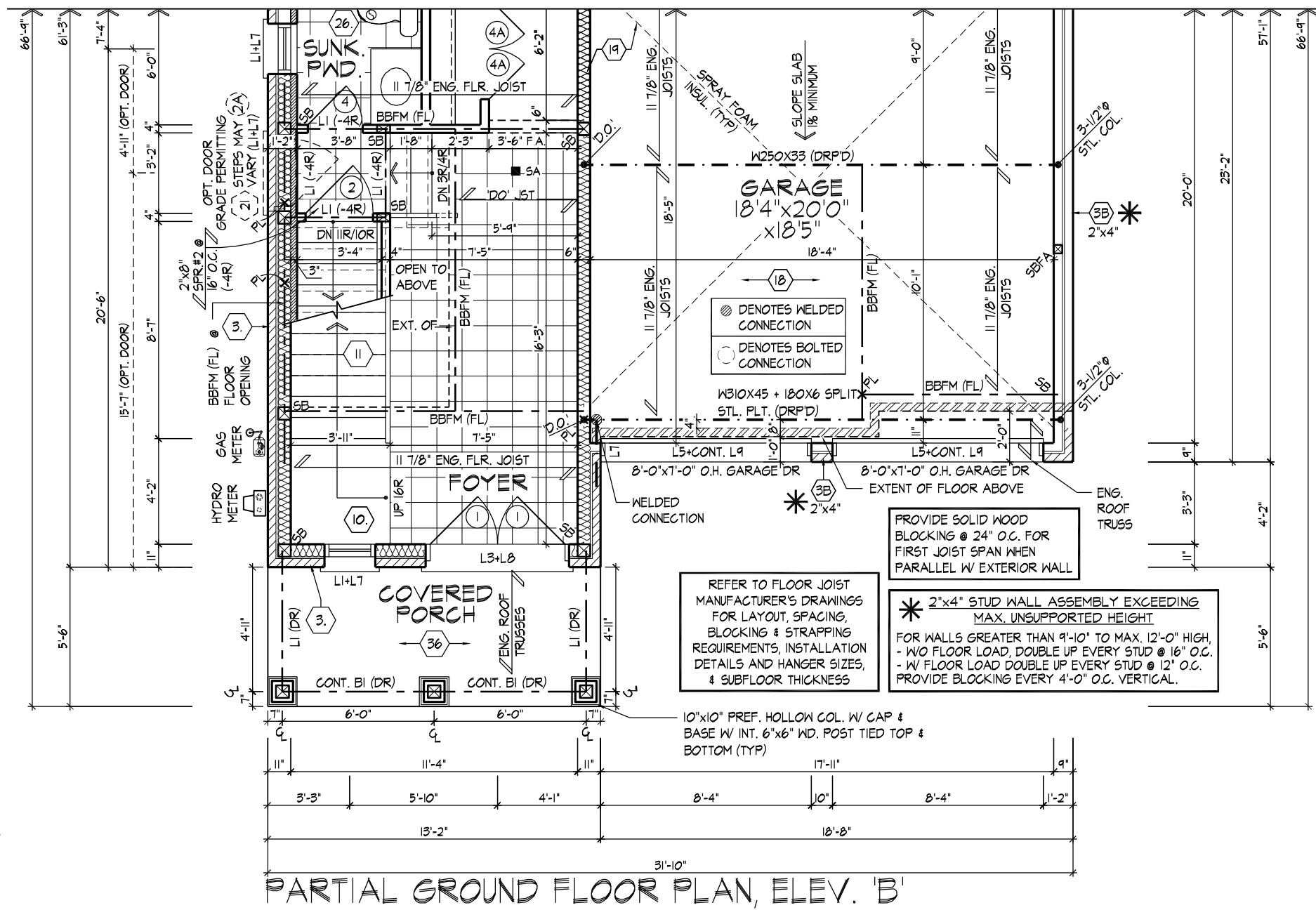
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PARTIAL GROUND FLOOR PLAN, ELEV. 'B'

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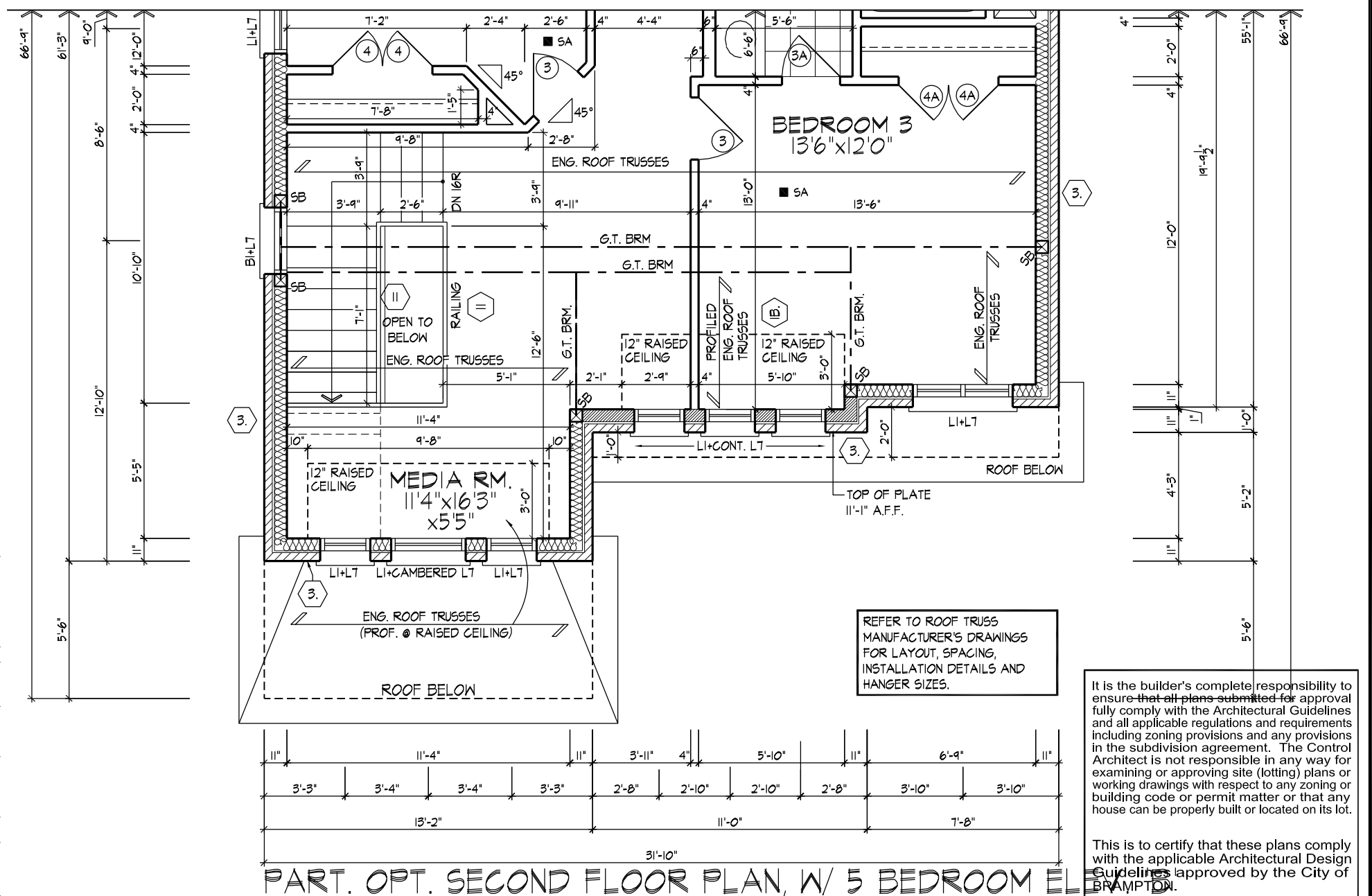
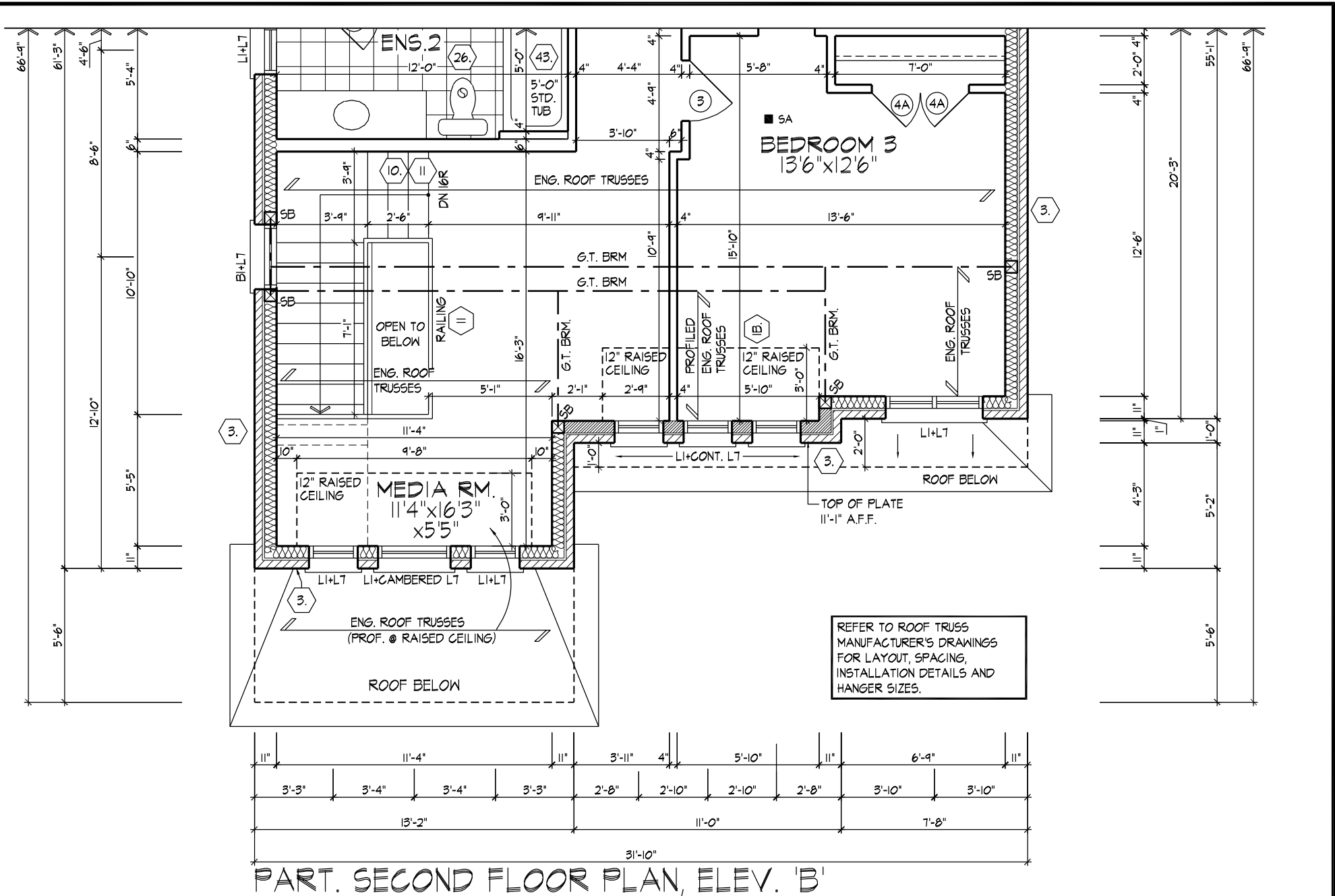
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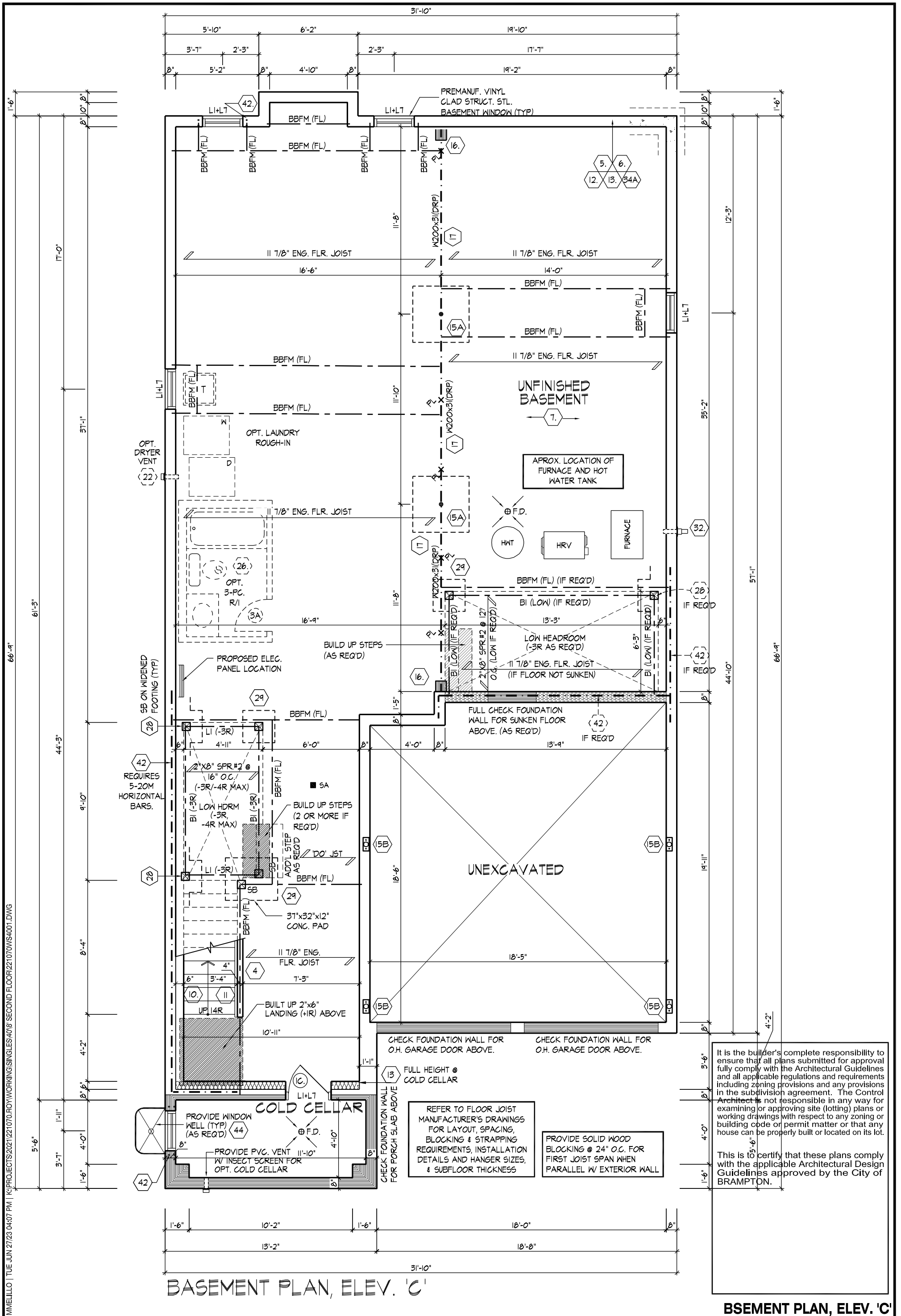
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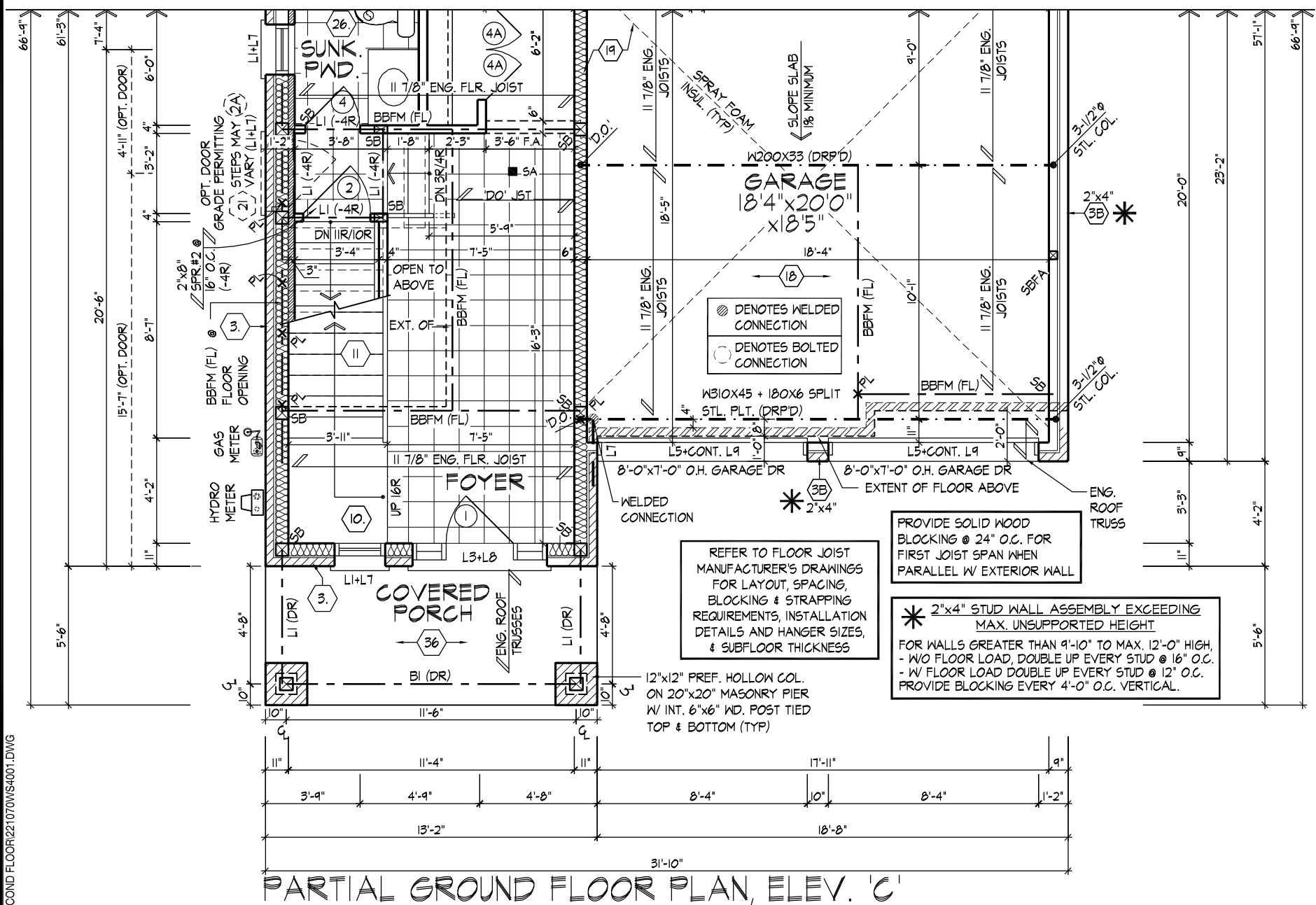
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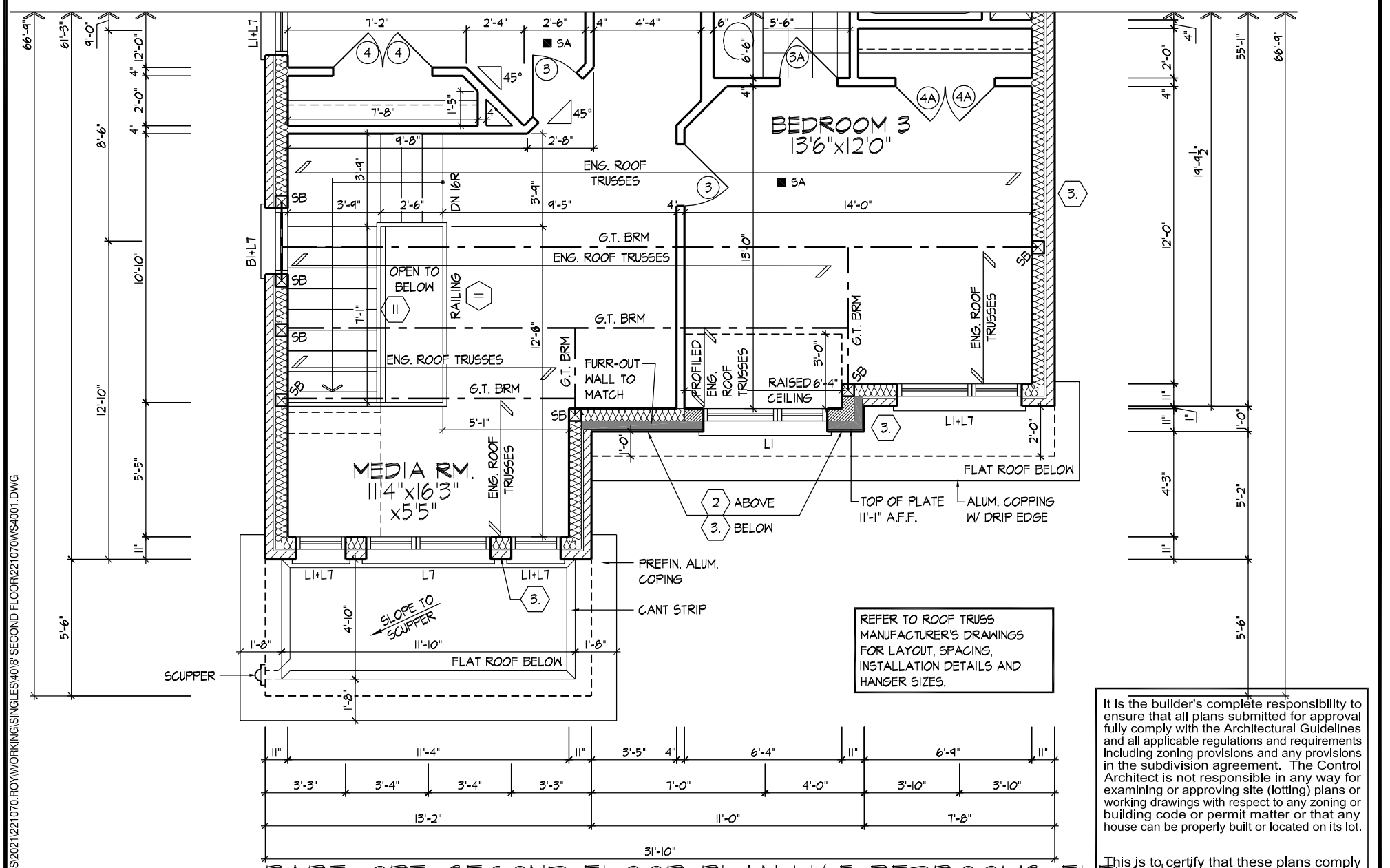
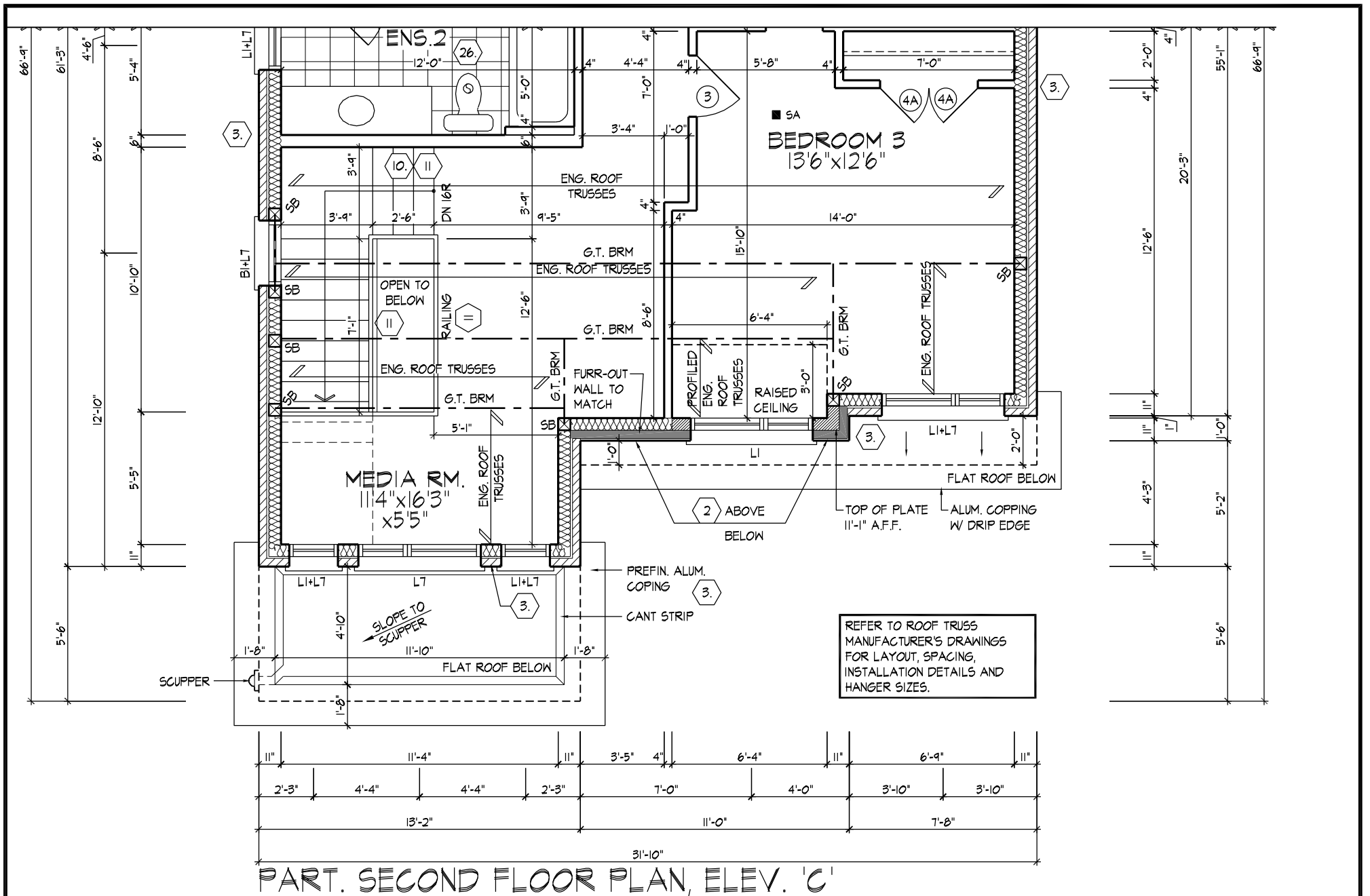
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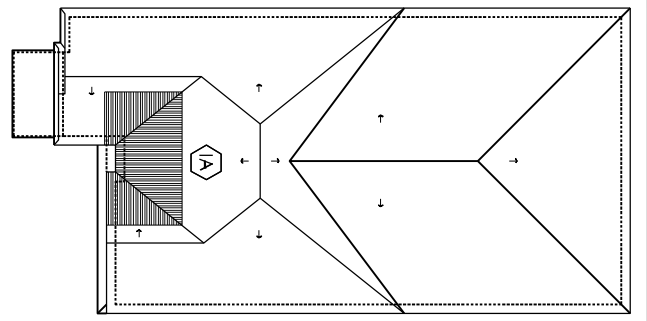


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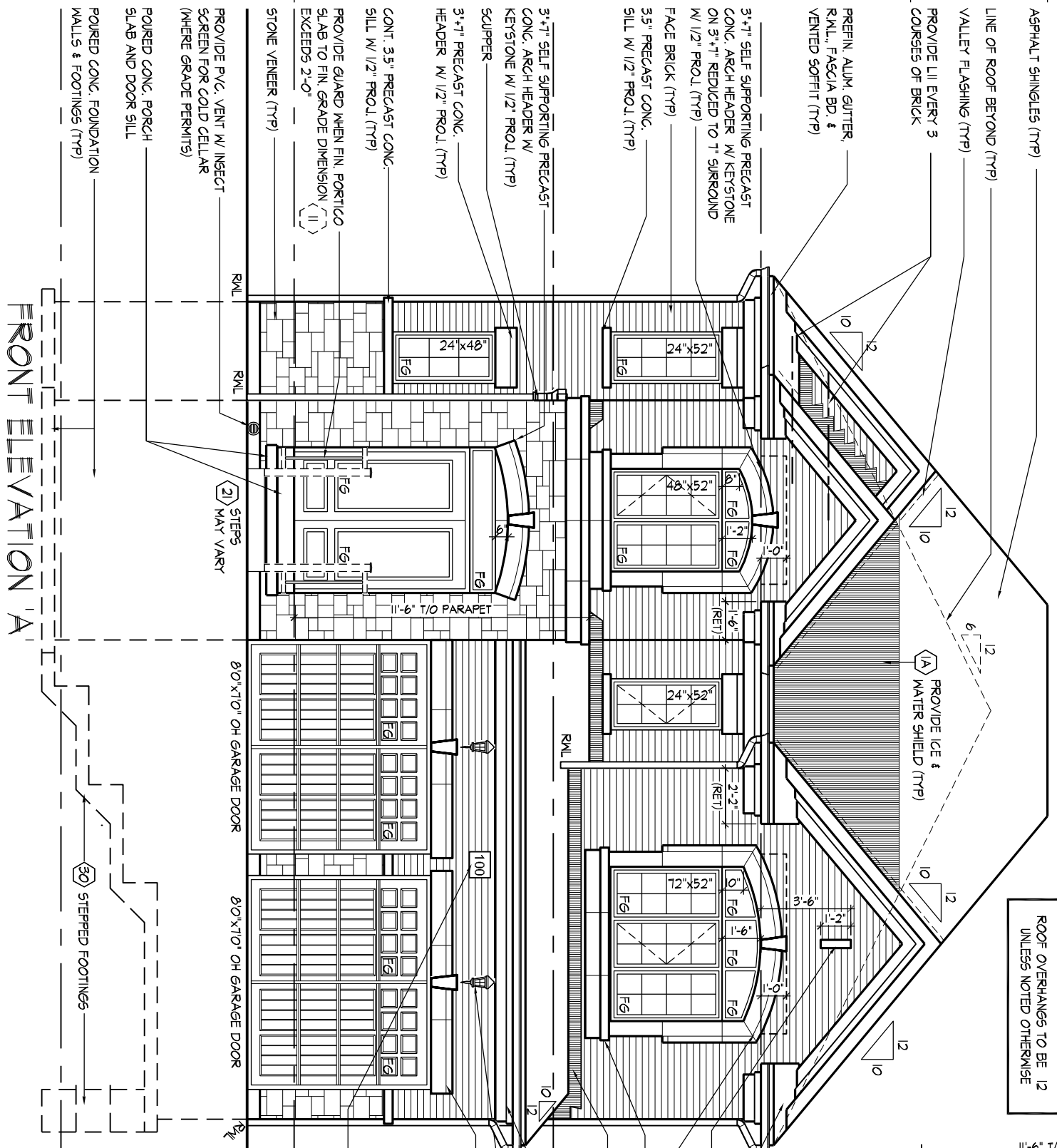
ROOF PLAN

EL. 'A'

N.T.S.

29'-4" [8.94m] TOP OF ROOF

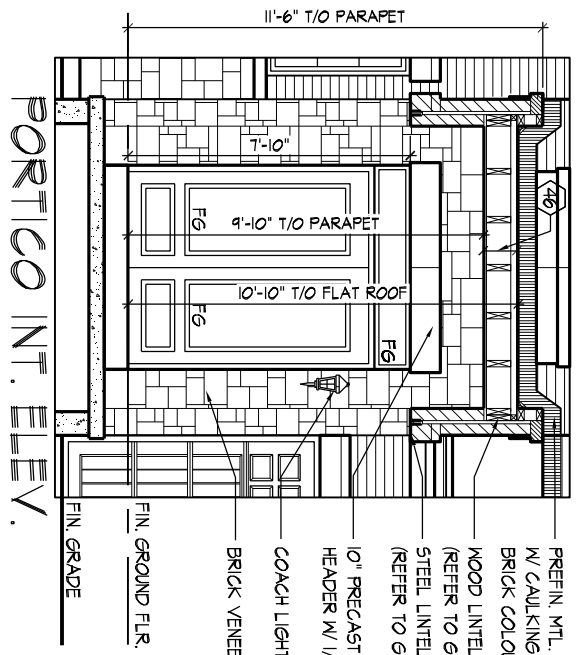
24'-0" [7.32m] MEAN OF ROOF



FRONT ELEVATION 'A'

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ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE



PORTICO INT. ELEV.

FRONT ELEVATION 'A'

MMELILLO | TUE JUN 27 23 04:07 PM | K:\PROJECTS\2021\221070-ROYWORKING\SINGLES\4018" SECOND FLOOR\221070WS4001.DWG

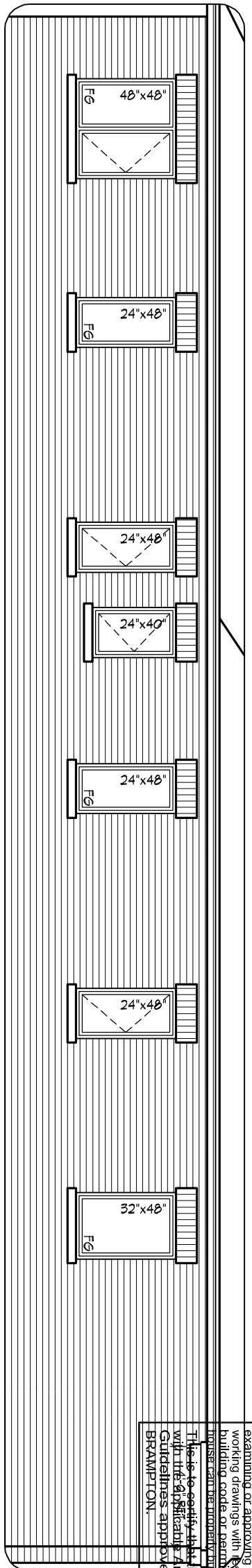
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 Derek R. Santos 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES - 221070
FORESTSIDE ESTATES INC., BRAMPTON, ON
 Drawn By Checked By Scale File Number
 JMB DS 3/16"=1'-0" 221070WS4001
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT-4001
REV.2023.06.23
 Page Number
 12 of 24

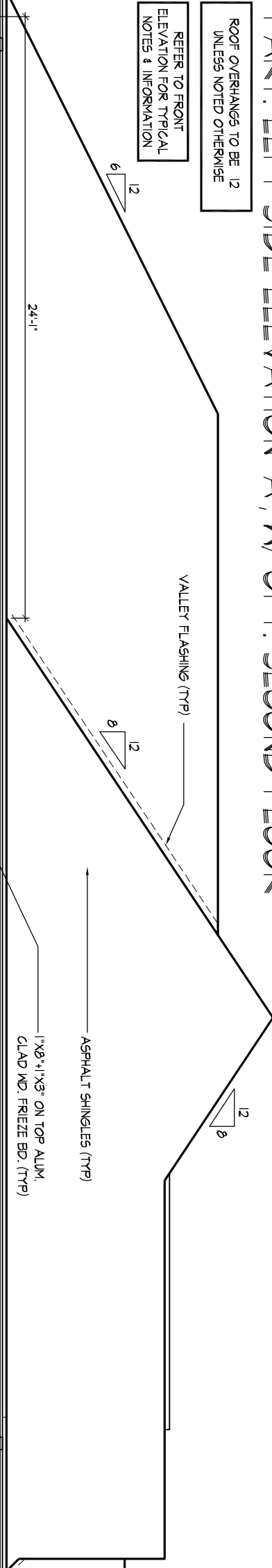
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ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE

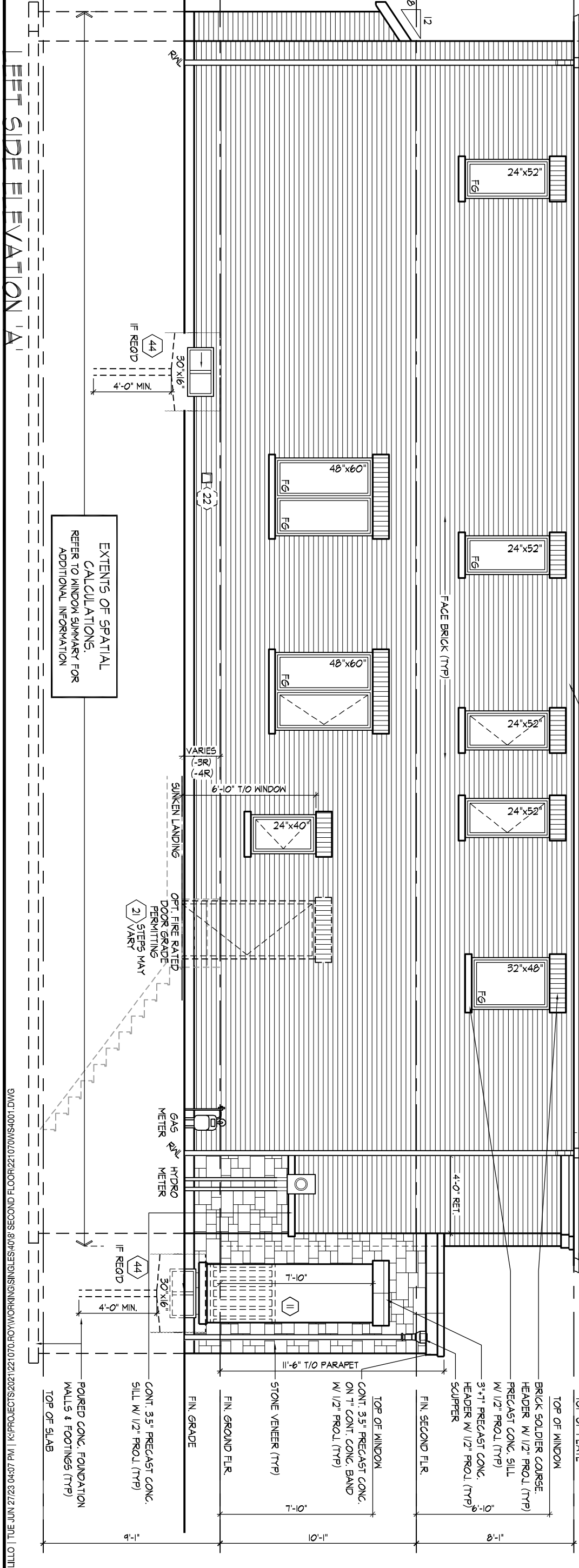
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

PART. LEFT SIDE ELEVATION 'A', W/ OPT. SECOND FLOOR



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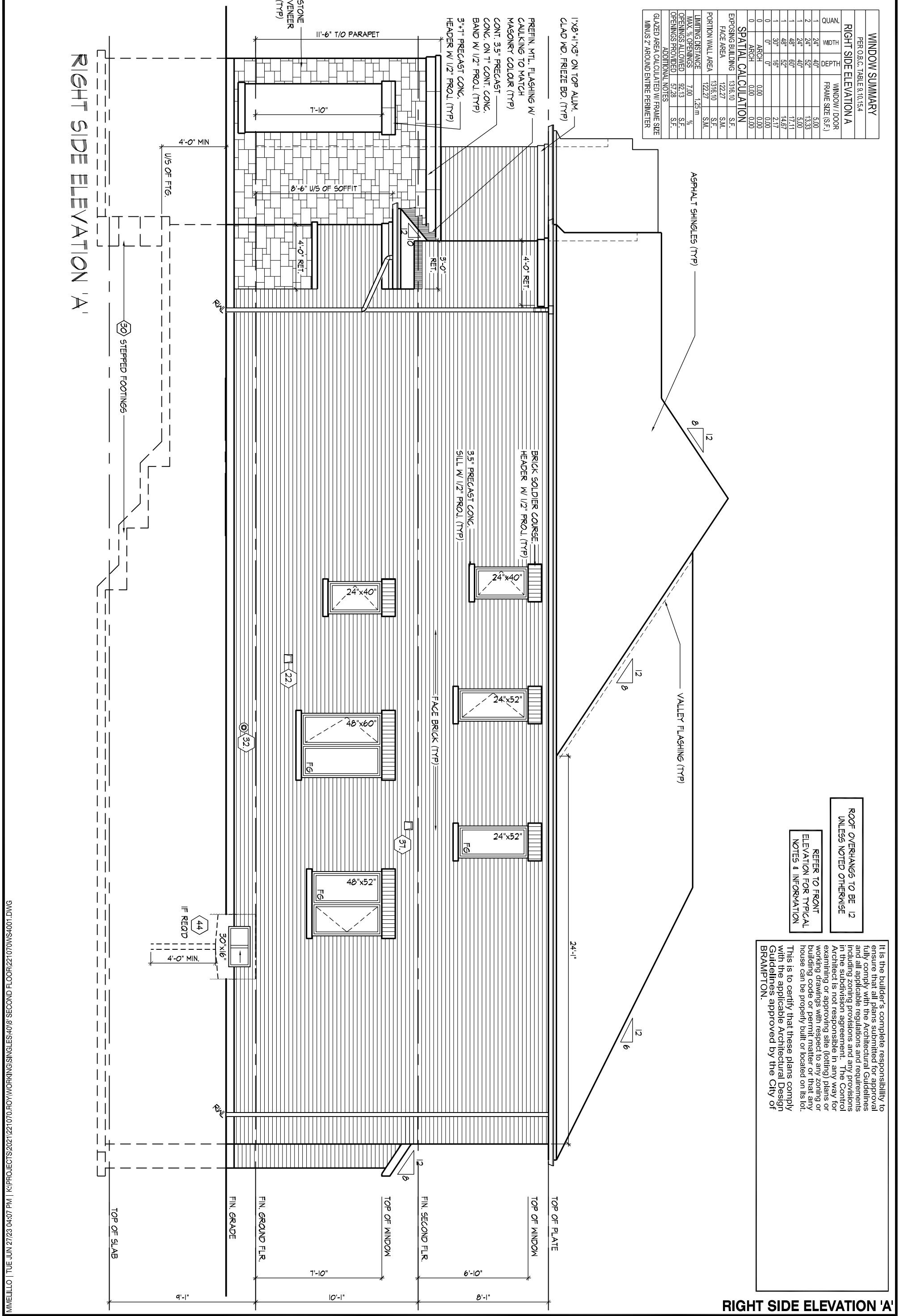
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	24"	52"	26.67	1	48"	48"	13.44
1	32"	48"	8.56	4	24"	48"	24.48
2	48"	60"	34.22	2	24"	40"	10.00
1	24"	40"	5.00	1	32"	48"	8.56
2	30"	16"	4.33	2	48"	60"	34.22
0	OPT. DOOR	0.00	0.00	0	OPT. DOOR	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING		1316.10		EXPOSING BUILDING		1316.10	
FACE AREA		122.27		FACE AREA		122.27	
PORTION WALL AREA		1316.10		PORTION WALL AREA		1316.10	
LIMITING DISTANCE		7.00		LIMITING DISTANCE		7.00	
MAX. % OPENINGS		92.13		MAX. % OPENINGS		92.13	
OPENINGS ALLOWED		73.18		OPENINGS ALLOWED		80.97	
OPENINGS PROVIDED		73.18		OPENINGS PROVIDED		80.97	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE ELEVATIONS 'A'

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WINDOW SUMMARY	
PER O.B.C. TABLE 9.10.15.4	
QTY	WINDOW / DOOR FRAME SIZE (S.F.)
1	24' x 40'
2	24' x 52'
1	48' x 60'
1	48' x 52'
1	30' x 16'
0	0'
0	ARCH
0	ARCH
0	ARCH
SPATIAL CALCULATION	
EXPOSING BUILDING	1316.10 S.F.
FACE AREA	122.27 S.F.
PORTION WALL AREA	122.27 S.M.
LIMITING DISTANCE	7.00 1.28 m %
MAX. % OPENINGS	92.13 %
OPENINGS ALLOWED	57.28 S.F.
OPENINGS PROVIDED	57.28 S.F.
ADDITIONAL NOTES	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	



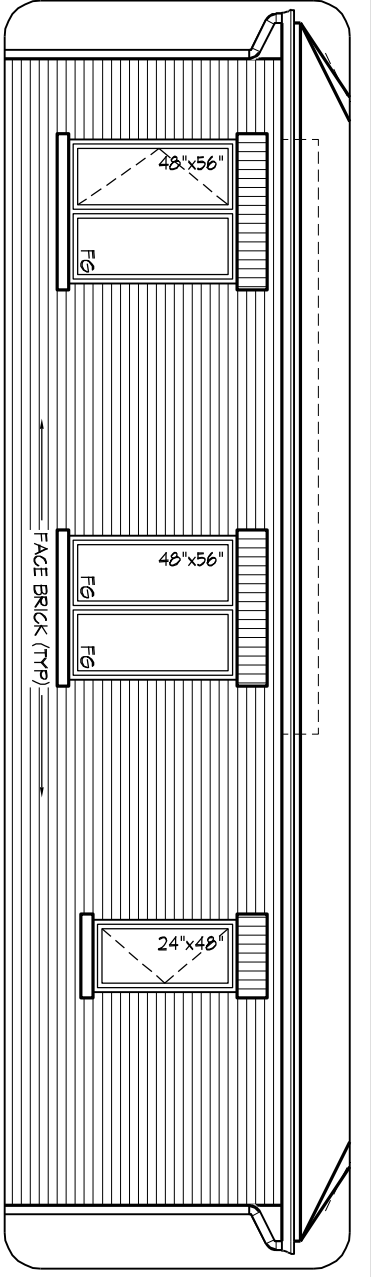
ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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RIGHT SIDE ELEVATION 'A'

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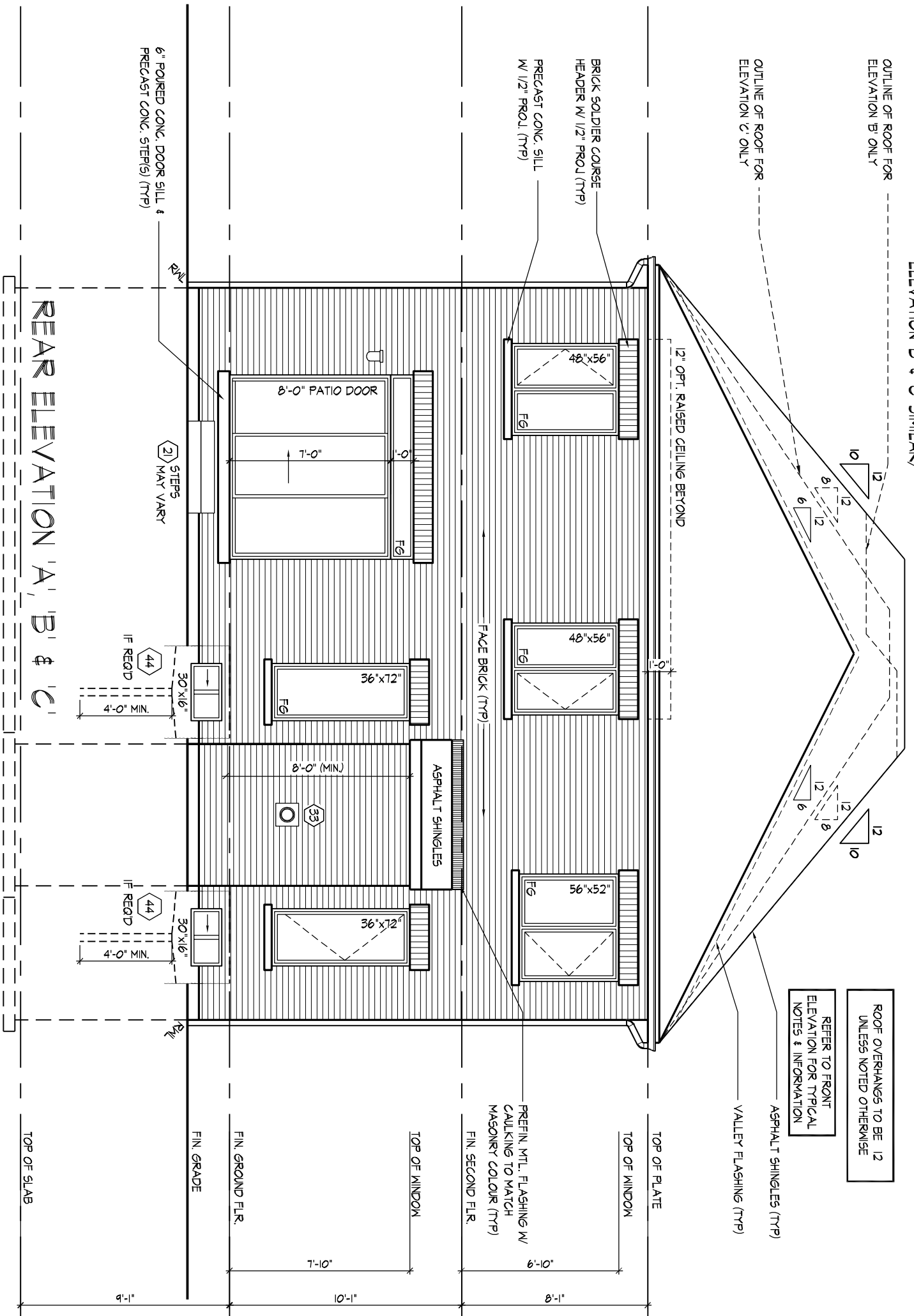
PART. REAR ELEVATION 'A', W/ OPT. SECOND FLOOR
ELEVATION 'B' & 'C' (SIMILAR)

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ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ASPHALT SHINGLES (TYP)
 VALLEY FLASHING (TYP)



REAR ELEVATIONS 'A', 'B' & 'C'

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QUALIFICATION INFORMATION
 Derek R. Santos 37308
 NAME SIGNATURE BCIN

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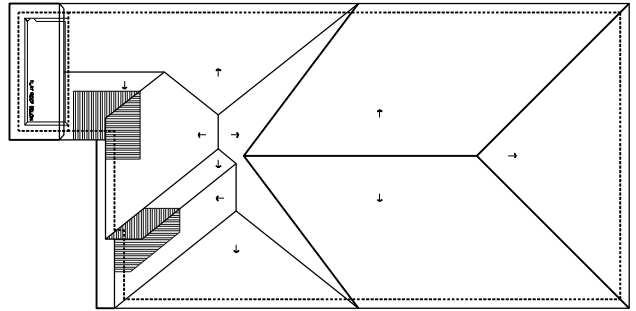
ROYAL PINE HOMES - 221070
FORESTSIDE ESTATES INC., BRAMPTON, ON
 Drawn By JMc Checked By DS Scale 3/16"=1'-0" File Number 221070WS4001
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT-4001
REV.2023.06.23
 Page Number 15 of 24

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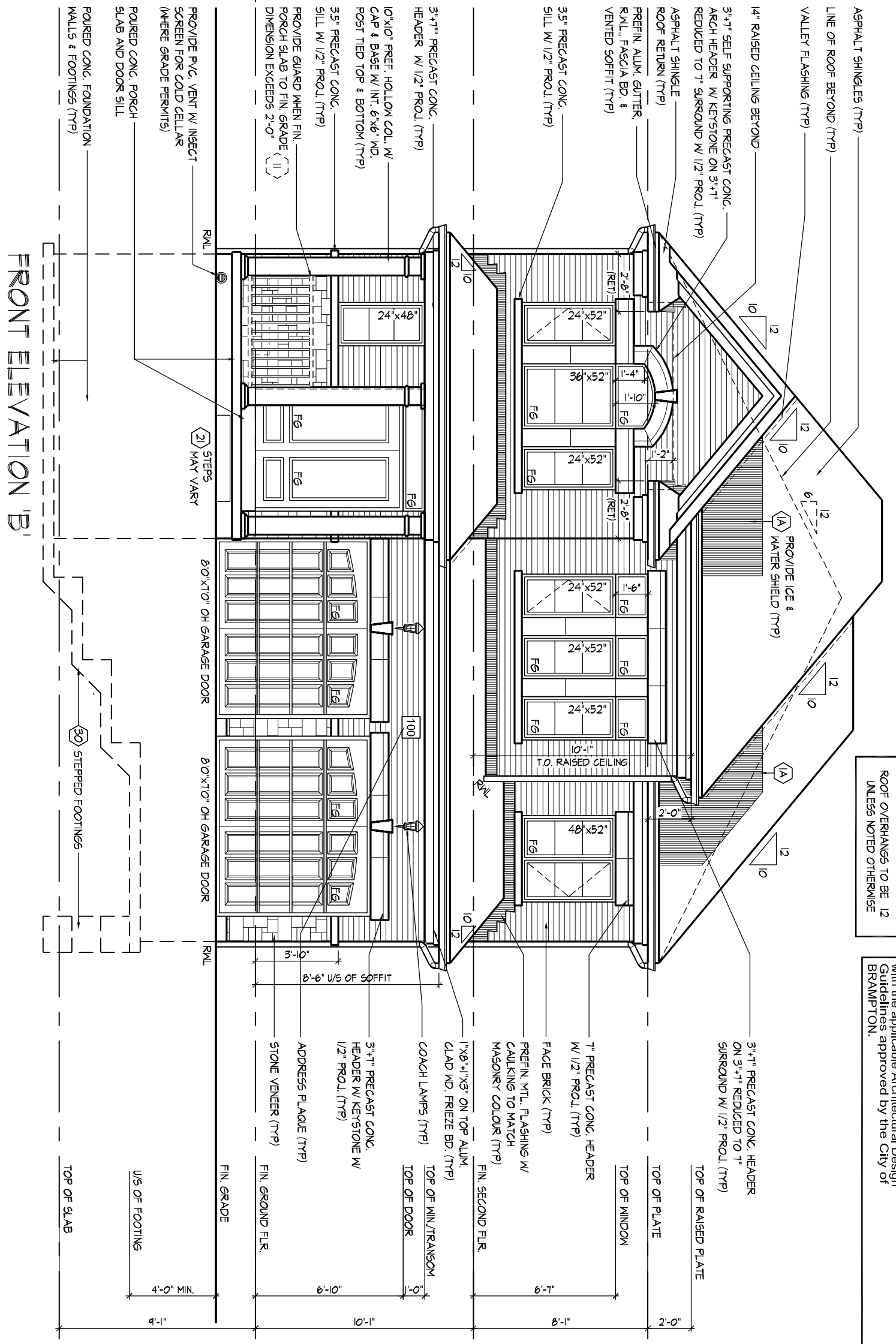
ROOF PLAN

EL. 'B'
N.T.S.



24'-0" [8.84m] TOP OF ROOF

23'-10" [7.26m] MEAN OF ROOF



FRONT ELEVATION 'B'

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FRONT ELEVATION 'B'

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ROYAL PINE HOMES - 221070
FORESTSIDE ESTATES INC., BRAMPTON, ON

Drawn By DS 3/16"=1'-0"
Checked By DS
Scale
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT-4001
REV.2023.06.23

Page Number
221070WS4001 16 of 24

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ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE

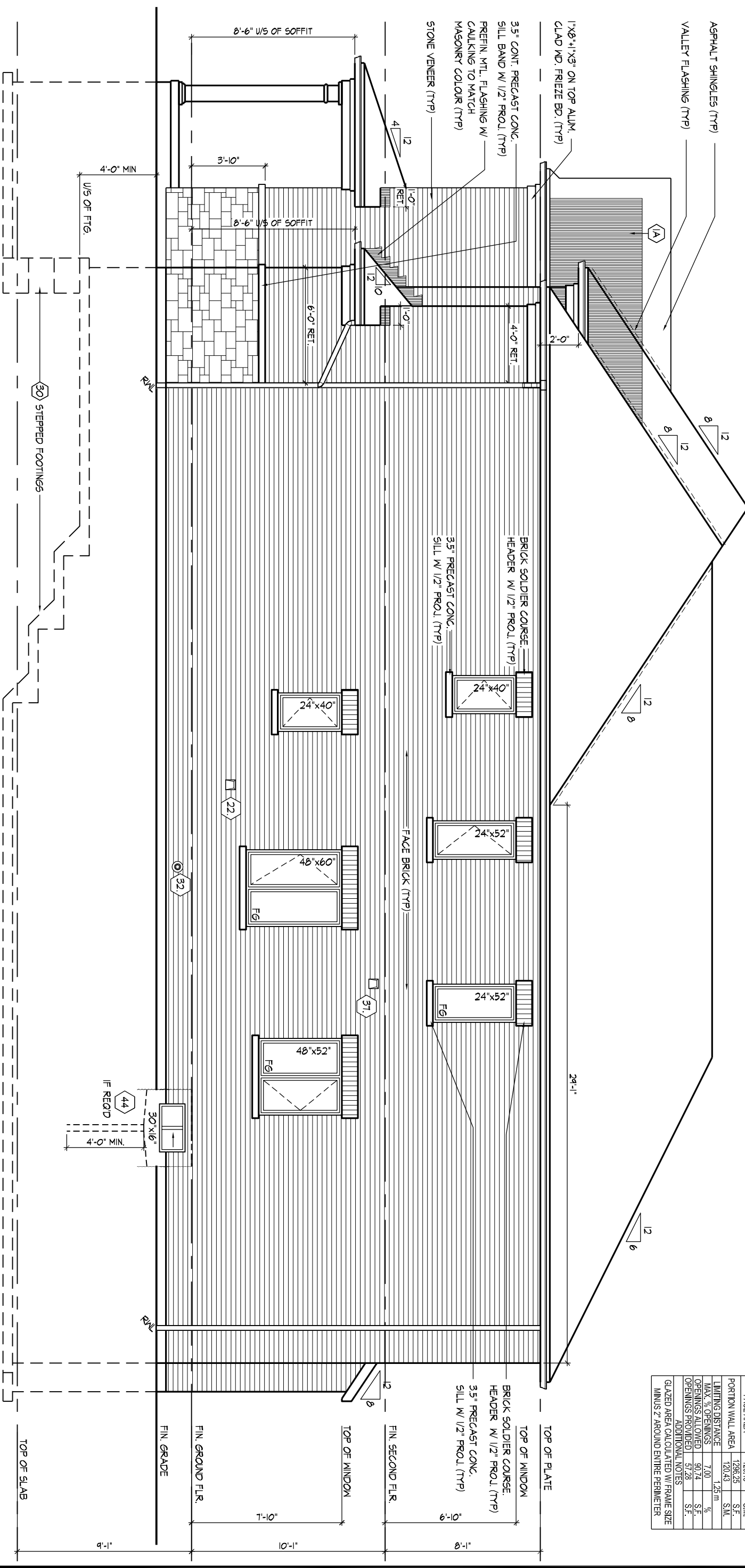
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
QUAN.	HT. (M)	WD. (M)	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	40"	5.00
2	24"	52"	13.33
1	24"	40"	5.00
1	48"	60"	17.11
1	48"	52"	14.67
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

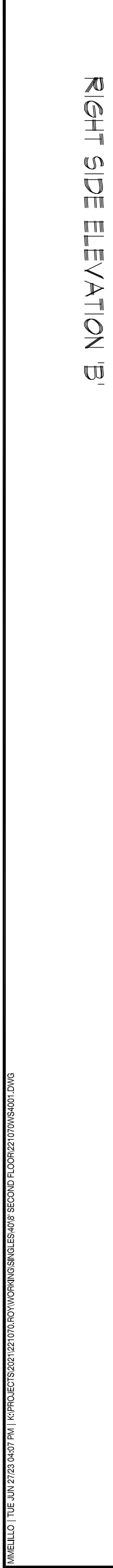
SPATIAL CALCULATION			
EXPOSING BUILDING	1206.25	S.F.	
FACE AREA	120.43	S.M.	
PORTION WALL AREA	1296.29	S.F.	
PORTION WALL AREA	120.43	S.M.	
LIMITING DISTANCE	1.25	m	
MAX. % OPENINGS	7.00	%	
OPENINGS ALLOWED	90.74	S.F.	
OPENINGS PROVIDED	57.28	S.F.	

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

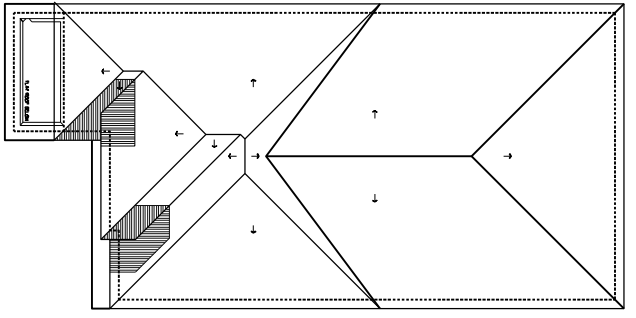
RIGHT SIDE ELEVATION 'B'



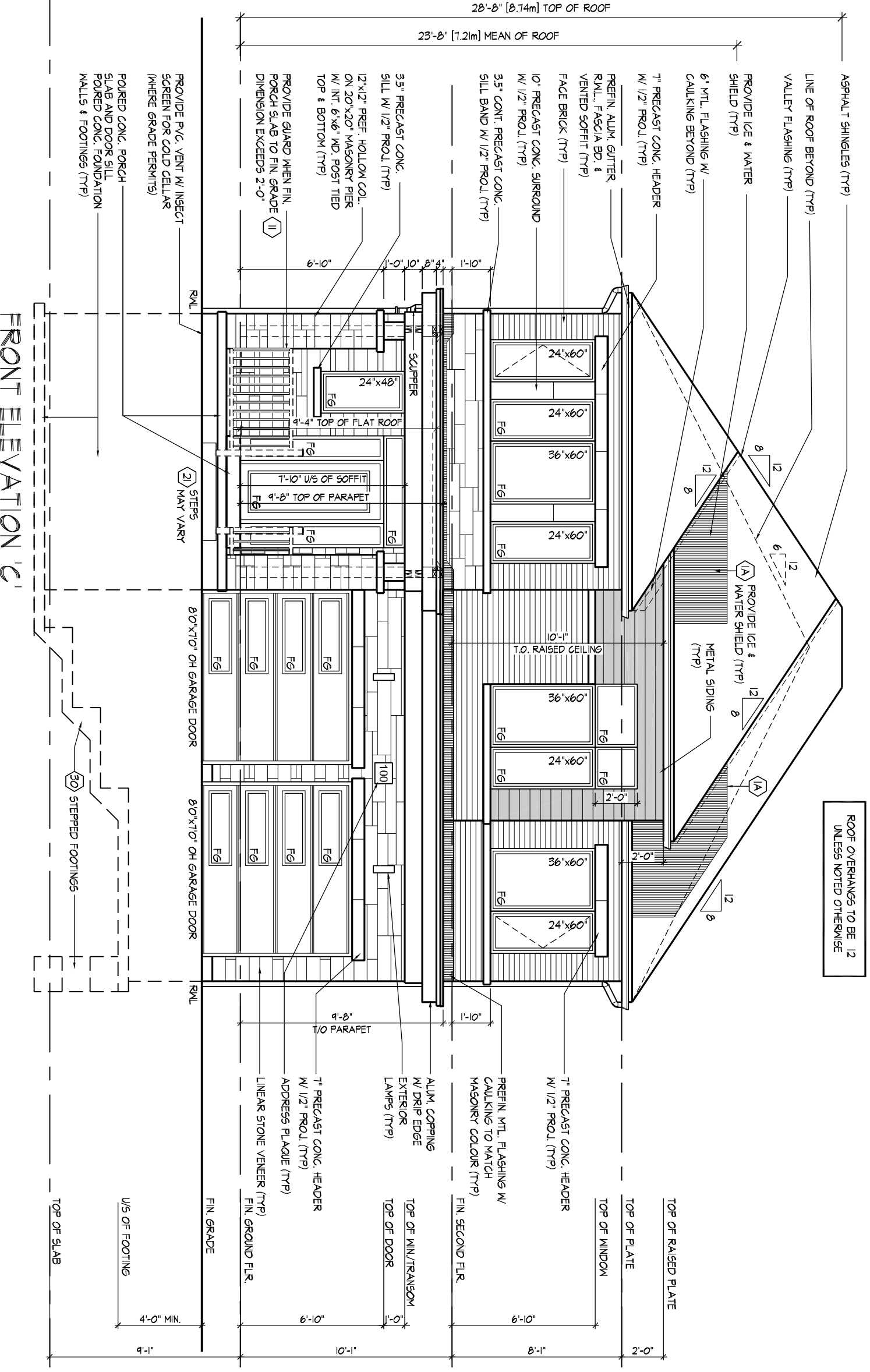
RIGHT SIDE ELEVATION 'B'



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ROOF PLAN
EL. 'C'
N.T.S.



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FRONT ELEVATION 'C'

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QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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www.huntdesign.ca

ROYAL PINE HOMES - 221070
FORESTSIDE ESTATES INC., BRAMPTON, ON
Drawn By JMc Checked By DS Scale 3/16"=1'-0" File Number 221070WS4001
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

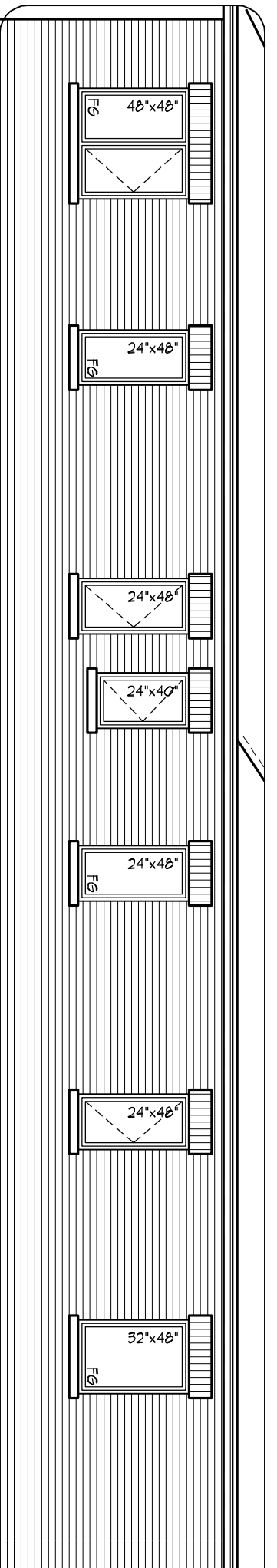
UNIT-4001
REV.2023.06.23
Page Number 19 of 24

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PART. LEFT SIDE ELEVATION 'C', W/ OPT. SECOND FLOOR

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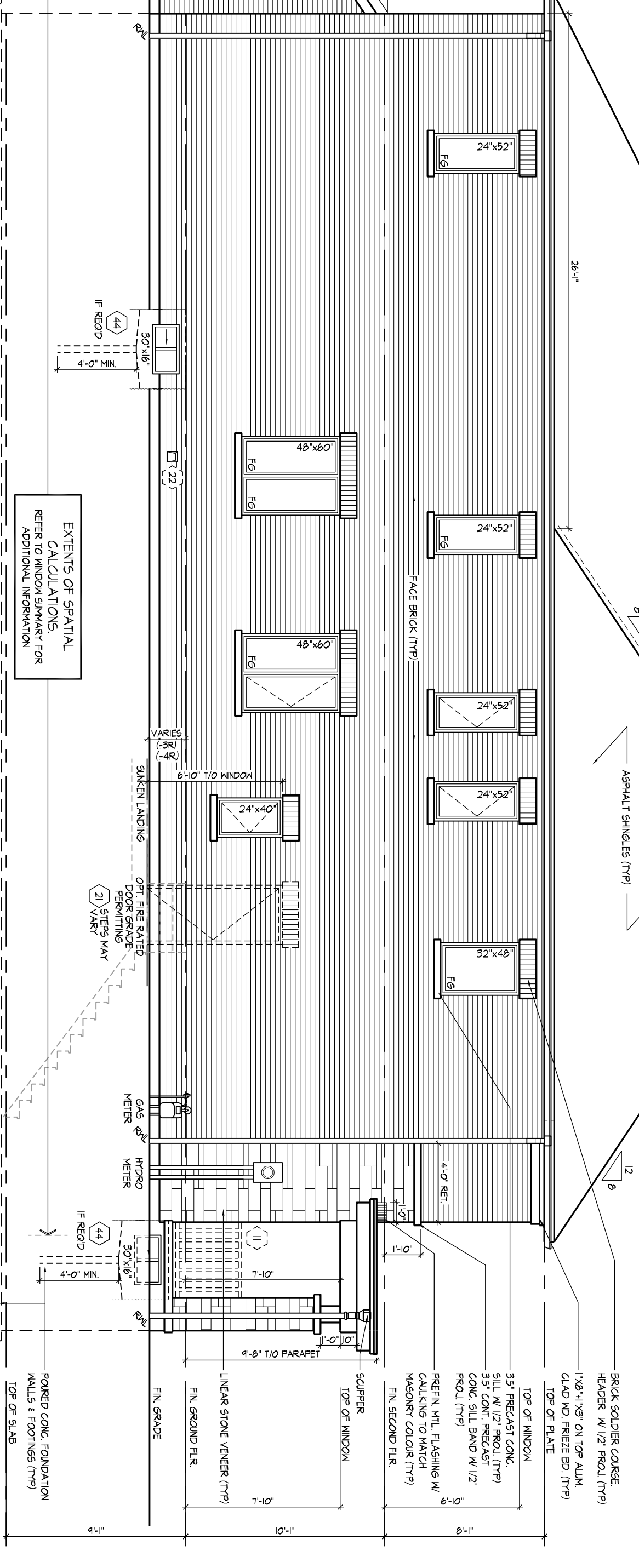
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



WINDOW SUMMARY		WINDOW SUMMARY	
QTY	SIZE (S.F.)	QTY	SIZE (S.F.)
1	48' x 48'	1	48' x 48'
1	24' x 48'	1	24' x 48'
1	24' x 40'	1	24' x 40'
1	24' x 48'	1	24' x 48'
1	32' x 48'	1	32' x 48'

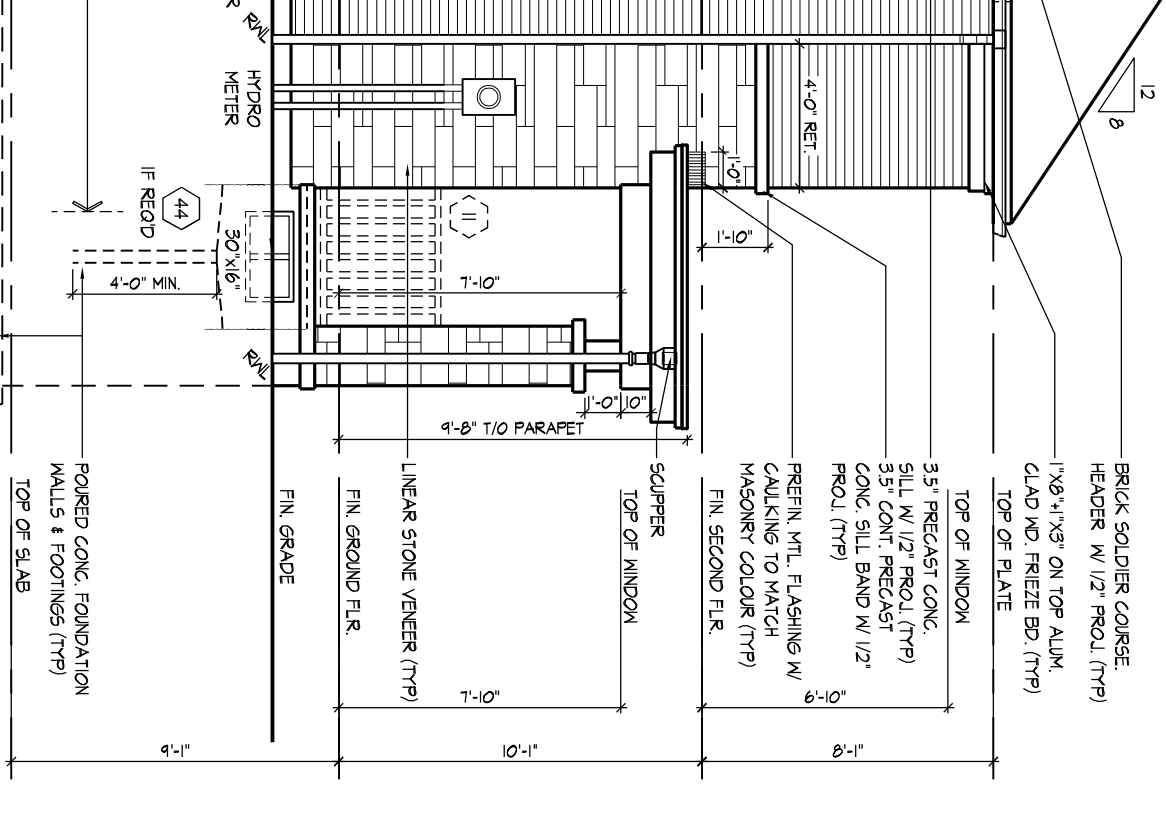
SPATIAL CALCULATION		SPATIAL CALCULATION	
EXPOSING BUILDING	FACE AREA	EXPOSING BUILDING	FACE AREA
1296.25	S.F.	1296.25	S.F.
120.43	S.M.	120.43	S.M.
120.43	S.M.	120.43	S.M.

GLAZED AREA CALCULATED W/ FRAME SIZE		GLAZED AREA CALCULATED W/ FRAME SIZE	
MINUS 2' AROUND ENTIRE PERIMETER	MINUS 2' AROUND ENTIRE PERIMETER	MINUS 2' AROUND ENTIRE PERIMETER	MINUS 2' AROUND ENTIRE PERIMETER
7.00	%	7.00	%
90.74	S.F.	90.74	S.F.
78.78	S.F.	90.67	S.F.



EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

LEFT SIDE ELEVATION 'C'



LEFT SIDE ELEVATIONS 'C'

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ROYAL PINE HOMES - 221070
 FORESTSIDE ESTATES INC., BRAMPTON, ON

Drawn By JMc Checked By DS Scale 3/16"=1'-0" File Number 221070WS4001 Page Number 20 of 24
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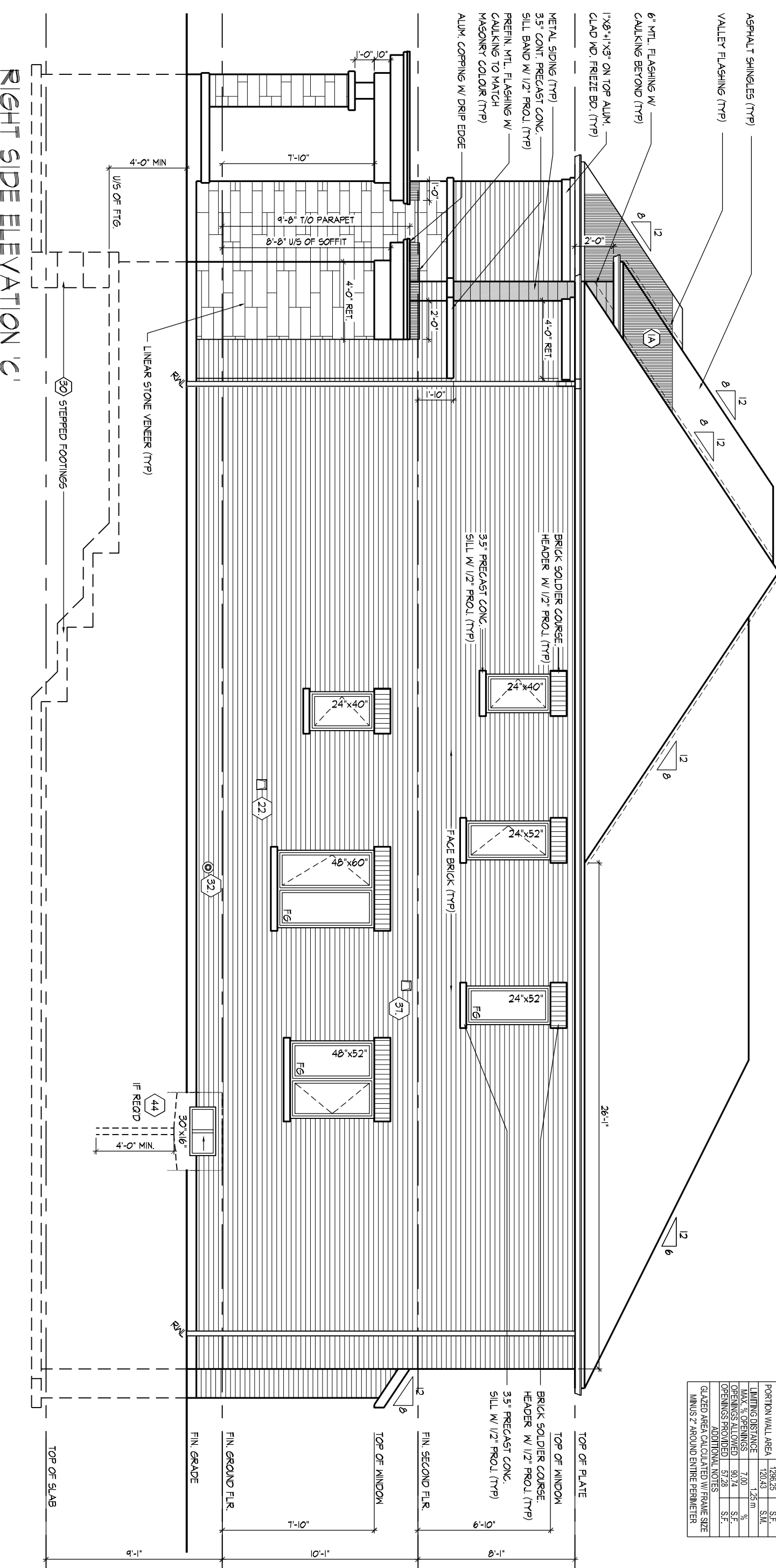
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

WINDOW SUMMARY		PER O.B.C. TABLE 9.10.15.4	
RIGHT SIDE ELEVATION C	QUAN.	HT. (M)	WD. (M)
	1	2.4	4.0
	2	2.4	5.2
	1	2.4	4.0
	1	4.8	6.0
	1	4.8	5.2
	1	3.0	1.6
	0	0	0
	0	0	0
	0	0.0	0.0
	0	0.0	0.0
	0	0.0	0.0

SPATIAL CALCULATION	
EXPOSING BUILDING	120.43 S.M.
FACE AREA	120.43 S.F.
PORTION WALL AREA	120.43 S.M.
LIMITING DISTANCE	1.25 m
MAX. % OPENINGS	7.00 %
OPENINGS ALLOWED	90.74 S.F.
OPENINGS PROVIDED	57.28 S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

RIGHT SIDE ELEVATION 'C'



RIGHT SIDE ELEVATION 'C'

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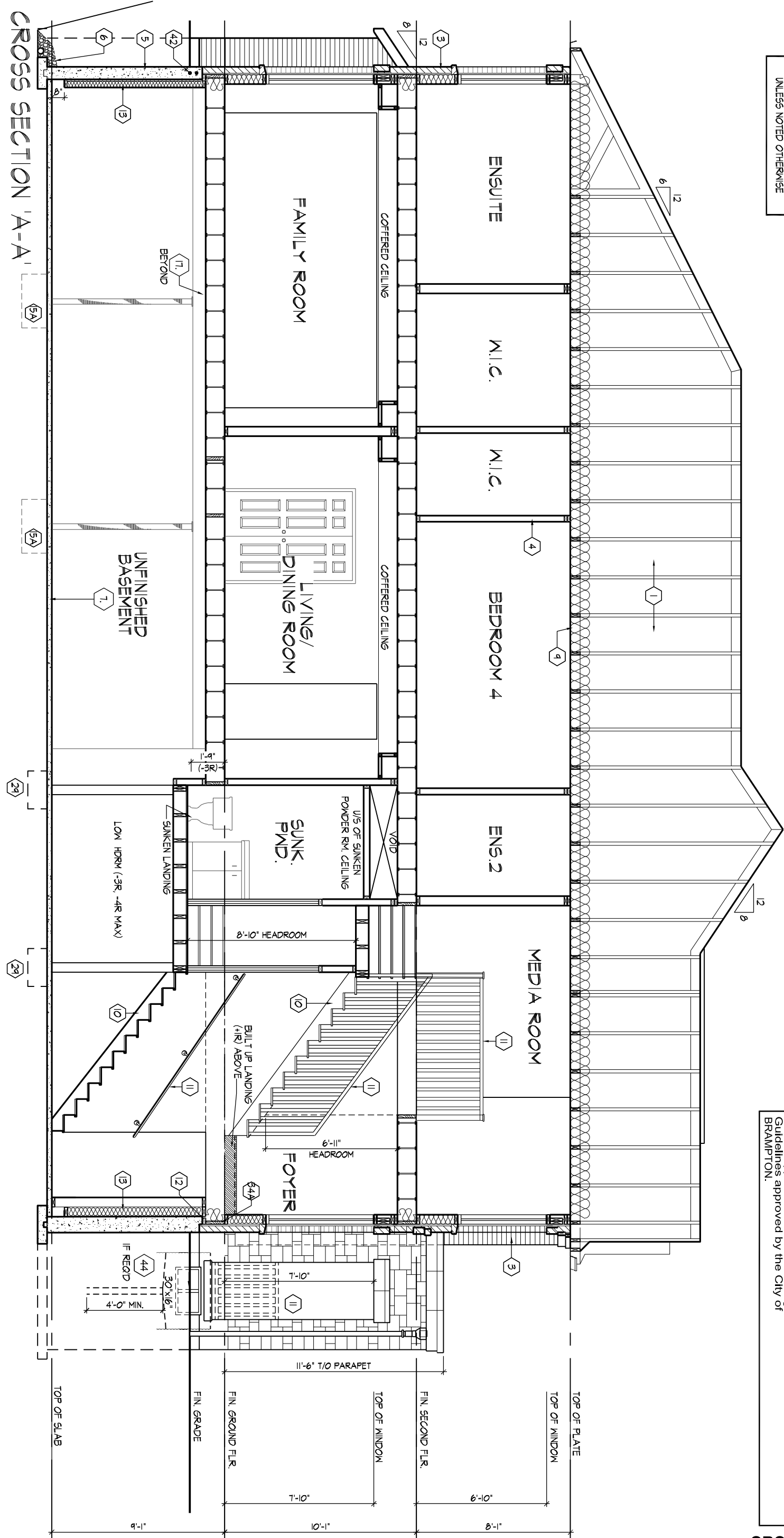
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UNIT-4001
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CROSS SECTION 'A-A'

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cont. SECTION 1.0. CONSTRUCTION NOTES

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

39 TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

Table with columns: WALL ASSEMBLY, STUDDING, WIND LOADS (<= 0.5 kPa (q50), > 0.5 kPa (q50)).

STUDDING ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING...

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x6" (2-38x140) TOP PLATE...

40 1 HR. PARTY WALL (CONC. BLOCK) ((SB-3) WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING...

40 DEL. STU. 1 HR. PARTY WALL (DOUBLE STUD) ((SB-3) WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES...

40A 2 HR. FIREWALL ((SB-3) WALL TYPE 'B6e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL...

41 STUCCO WALL CONSTRUCTION (2"x6")

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD...

41A STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3...

41B STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH...

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL

43 STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44 WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45 SLOPED CEILING CONSTRUCTION ((SB-12) 3.1.1.8., 9.23.4.2.)

2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46 FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED), BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD, INTERIOR FIN. (REFER TO DETAILS)

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

Table: SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

Table: ROOM OR SPACE vs MINIMUM HEIGHTS

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS

1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING

1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)

Table: Wood Lintel and Built-Up Wood specifications

ENGINEERED LUMBER SCHEDULE

Table: Engineered Lumber Schedule specifications

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

Table: Steel Lintel and Masonry Veneer specifications

3.3. DOOR SCHEDULE

Table: Door Schedule conforming to sections 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10

3.4. ACRONYMS

Table: Acronyms and their definitions

3.5. SYMBOLS

Table: Symbols for electrical and other systems

SA SMOKE ALARM (9.10.19.)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

CMR CARBON MONOXIDE ALARM (9.33.4.)

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -O.B.C. 9.10.14, OR 9.10.15. REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.

2 HR. FIREWALL REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.06 kPa
WIND PRESSURE (q50) (SB-1.2.): 0.48 kPa

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: JUNE 09, 2022

CONSTRUCTION NOTES 2

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Derek R. Santos 37308

NAME REGISTRATION INFORMATION
Derek R. Santos 37308

HUNT DESIGN ASSOCIATES INC. 19695



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ROYAL PINE HOMES - 221070 FORESTSIDE ESTATES INC., BRAMPTON, ON

Drawn By JMc Checked By DS Scale 3/16"=1'-0" File Number 221070WS4001 Page Number 24 of 24

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UNIT-4001 REV.2023.06.23