



FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

# 38-13 CHADWICK



## Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV 'A', 'B' & 'C'
- A2 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' FOR OPT GROUND FLOOR
- A3 GROUND FLOOR PLAN ELEV 'A'
- A4 OPT GROUND FLOOR PLAN ELEV 'A'
- A5 SECOND FLOOR PLAN ELEV 'A'
- A6 PARTIAL GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ LAUNDRY  
PARTIAL OPT GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ LAUNDRY  
PARTIAL SECOND FLOOR PLAN ELEV. 'A', 'B' & 'C' W/ DEN
- A7 GROUND FLOOR PLAN ELEV 'B'
- A8 OPT GROUND FLOOR PLAN ELEV 'B'
- A9 SECOND FLOOR PLAN ELEV 'B'
- A10 GROUND FLOOR PLAN ELEV 'C'
- A11 OPT GROUND FLOOR PLAN ELEV 'C'
- A12 SECOND FLOOR PLAN ELEV 'C'
- A13 FRONT ELEVATION 'A'  
ROOF PLAN ELEV 'A'
- A14 RIGHT SIDE ELEVATION 'A'
- A15 REAR ELEVATION 'A', 'B' & 'C'
- A16 REAR ELEVATION 'A', 'B' & 'C' FOR OPT GROUND FLOOR
- A17 LEFT SIDE ELEVATION 'A'
- A18 PARTIAL LEFT SIDE ELEVATION 'A', 'B' & 'C' FOR OPT GROUND FLOOR  
PARTIAL RIGHT SIDE ELEVATION 'A', 'B' & 'C' FOR OPT GROUND FLOOR
- A19 FRONT ELEVATION 'B'  
ROOF PLAN ELEV 'B'
- A20 RIGHT SIDE ELEVATION 'B'
- A21 LEFT SIDE ELEVATION 'B'
- A22 FRONT ELEVATION 'C'  
ROOF PLAN ELEV 'C'
- A23 RIGHT SIDE ELEVATION 'C'
- A24 LEFT SIDE ELEVATION 'C'
- A25 PARTIAL BASEMENT FLOOR PLAN ELEV 'A', 'B' & 'C'  
W/ WALK UP BASEMENT CONDITION  
PARTIAL GROUND FLOOR PLAN ELEV 'A', 'B' & 'C'  
W/ WALK UP BASEMENT CONDITION
- A26 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' FOR OPT GROUND FLOOR  
W/ WALK-UP BASEMENT CONDITION  
PARTIAL OPT. GROUND FLOOR ELEV 'A', 'B' & 'C'  
W/ WALK UP BASEMENT CONDITION
- A27 REAR ELEVATION 'A', 'B' & 'C' W/ WALK UP BASEMENT CONDITION
- A28 REAR ELEVATION 'A', 'B' & 'C' FOR OPT GROUND FLOOR  
W/ WALK UP BASEMENT CONDITION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

## Areas:

|                        | ELEVATION 'A' |              | ELEVATION 'B' |              | ELEVATION 'C' |              |
|------------------------|---------------|--------------|---------------|--------------|---------------|--------------|
|                        | SF            | SM           | SF            | SM           | SF            | SM           |
| GROUND FLOOR PLAN      | 1077.1        | 100.1        | 1077.1        | 100.1        | 1077.1        | 100.1        |
| OPT GROUND FLOOR PLAN  | 1077.1        | 100.1        | 1077.1        | 100.1        | 1077.1        | 100.1        |
| SECOND FLOOR PLAN      | 1524.5        | 141.6        | 1523.3        | 141.5        | 1520.2        | 141.2        |
| SECOND FLOOR PLAN OTB  | (16.7)        | (1.6)        | (16.7)        | (1.6)        | (16.7)        | (1.6)        |
| <b>TOTAL AREA</b>      | <b>3662.0</b> | <b>340.2</b> | <b>3660.8</b> | <b>340.1</b> | <b>3657.7</b> | <b>339.8</b> |
| COVERAGE INC PORCH     | 1589.5        | 147.6        | 1588.4        | 147.5        | 1585.3        | 147.3        |
| COVERAGE NOT INC PORCH | 1533.7        | 142.5        | 1532.6        | 142.3        | 1529.5        | 142.1        |

# Royal Pine Homes Ltd.

## Centrefield, Ph. 2



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

File: C:\\_RN\_Standards\Temp\AcPublish\_15708\20005-38-13\FINAL.dwg Plotted: Feb 14, 2022 By: Marthas

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**

location  
**Richmond Hill**

project  
**Centrefield, Ph. 2**

marketing name

| # | revisions                      | date       | dwn | chk | # | revisions   | date      | dwn | chk |
|---|--------------------------------|------------|-----|-----|---|---|-----------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-May-21  | SL  |     | 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-Jul-21 | AB  | CM  |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-May-21  | CM  | CM  | 6 | UPDATE TO 2022 OBC                                | 9-Feb-22  | MSA |     |
| 3 | ISSUED FOR CLIENT REVIEW       | 15-JUNE-21 | EO  | CM  |   |   |           |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD  | 13-Jul-21  | CM  | CM  |   |   |           |     |     |

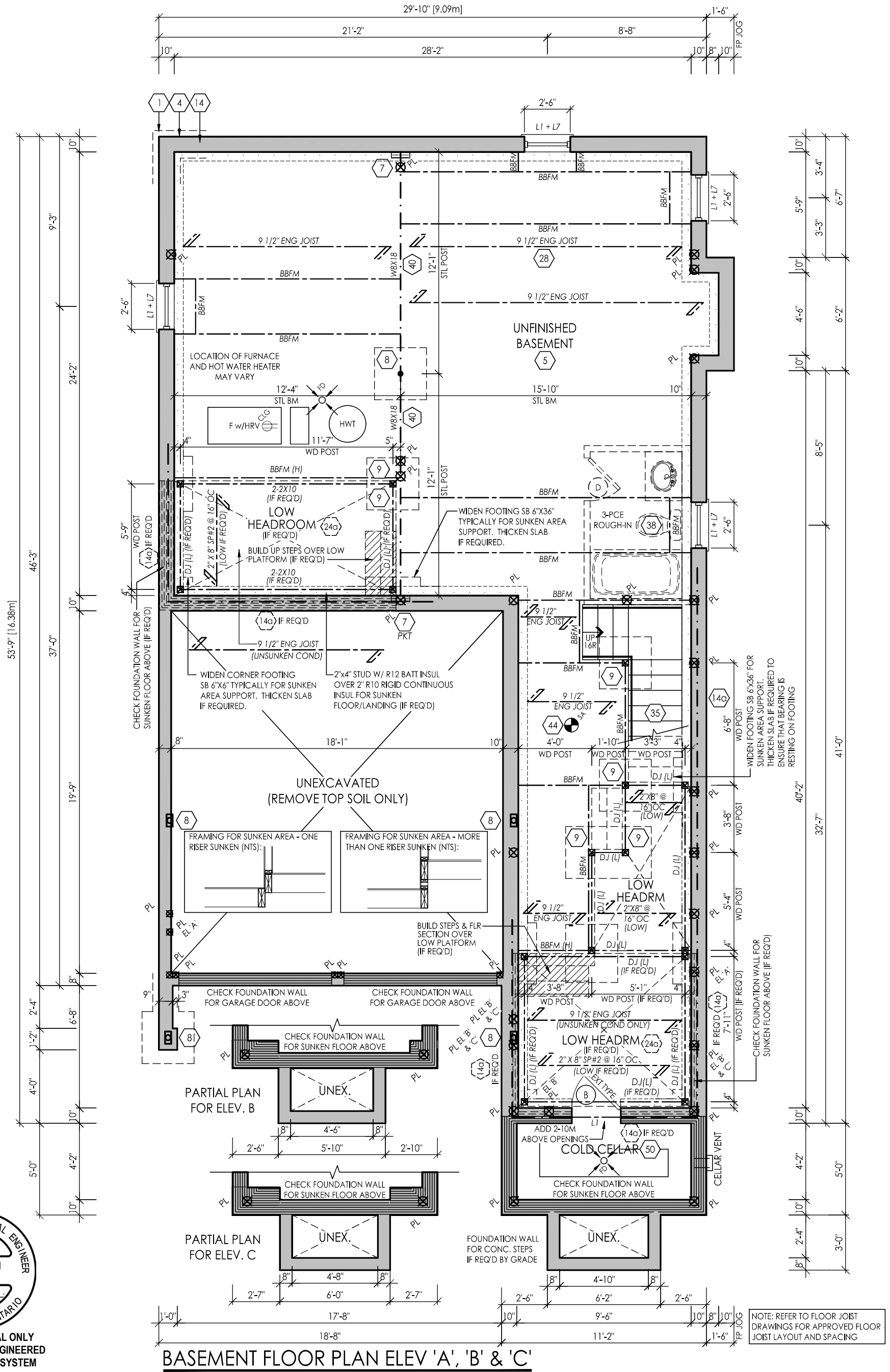


WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13** **CHADWICK**  
scale  
3/16" = 1'0" project #  
20005

page

# A0



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**  
project  
**Centrefield, Ph. 2**

location  
**Richmond Hill**  
marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS                    | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUL-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21 | AB  | CM  |   |           |      |     |     |



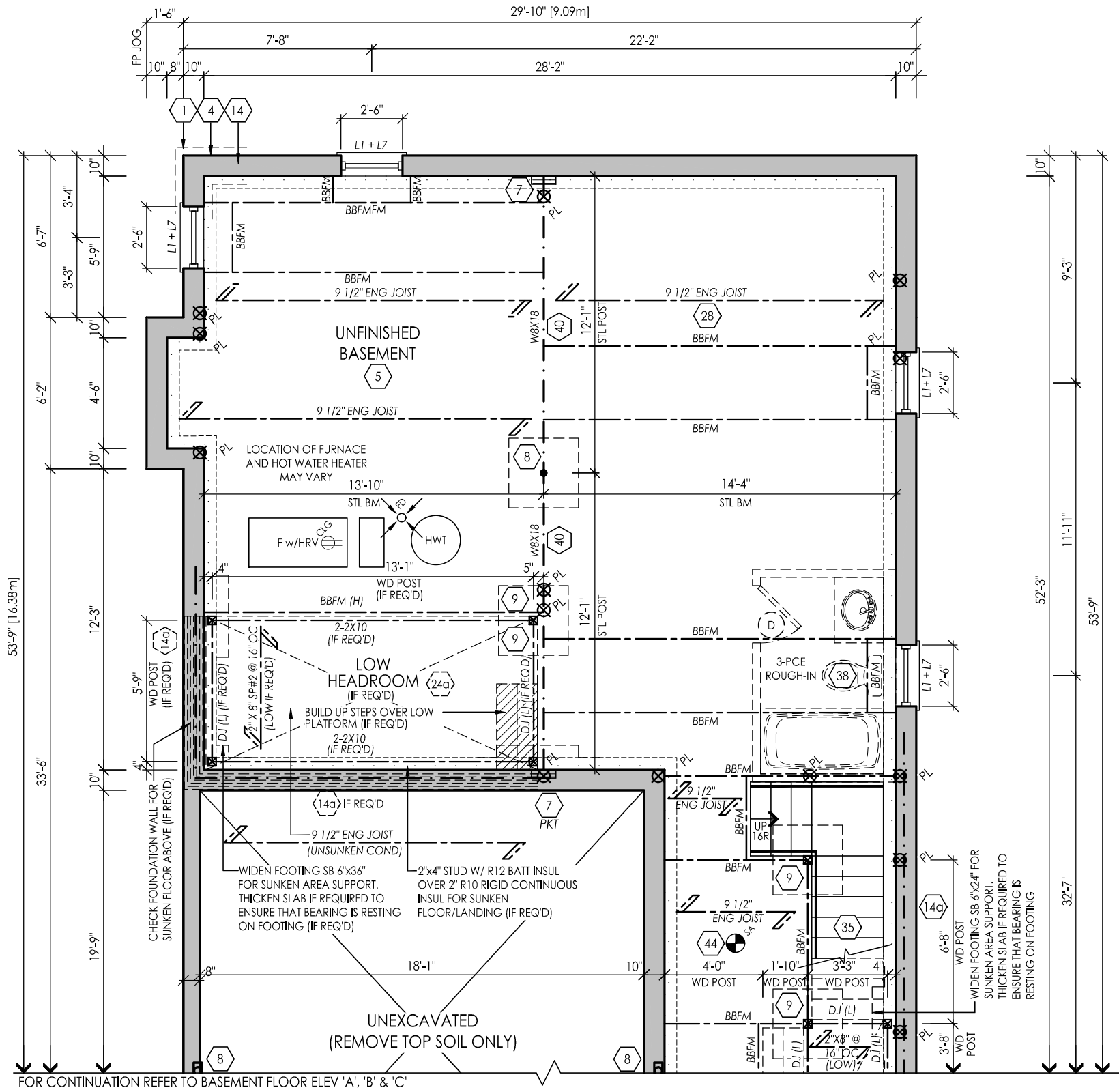
WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13**  
scale  
**3/16" = 1'0"**  
project #  
**20005**

page

**A1**

# PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' FOR OPT GROUND FLOOR



FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV. 'A', 'B' & 'C'



**FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM**

File: C:\\_RN\_Standards\Temp\AcPublish\_15708\20005-38-13-FINAL.dwg Plotted: Feb 14, 2022 By: Marthas

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**  
 project  
**Centrefield, Ph. 2**

location  
**Richmond Hill**  
 marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUN-21 | AB  | CM  |   |           |      |     |     |

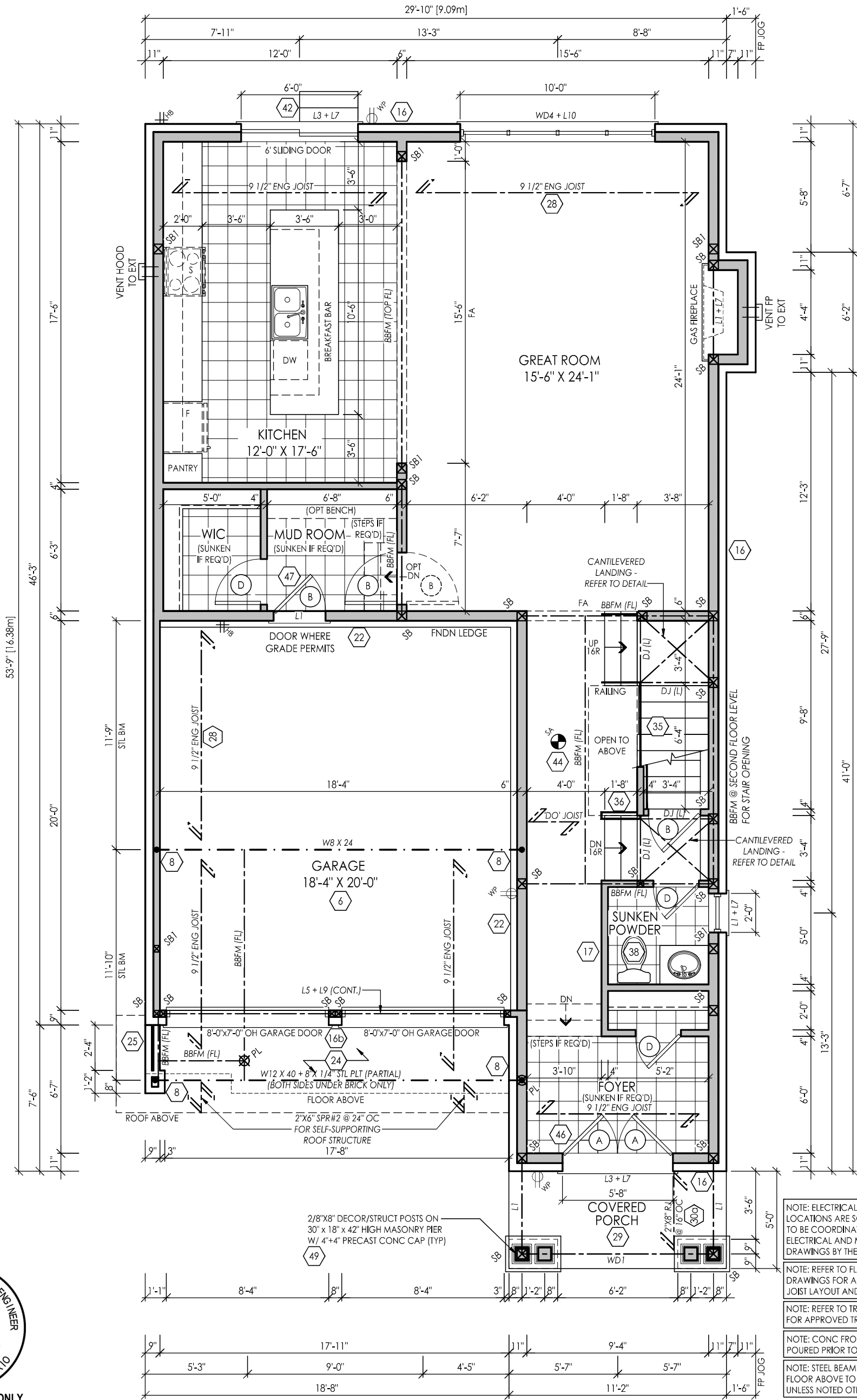


WWW.RNDESIGN.COM  
 Tel: 905-738-3177  
 WWW.THEPLUSGROUP.CA

model  
**38-13**  
 scale  
**3/16" = 1'0"**  
 project #  
**20005**

page

**A2**



- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING
- NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
- NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK
- NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE: *[Signature]*

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUN-21 | AB  | CM  |   |           |      |     |     |

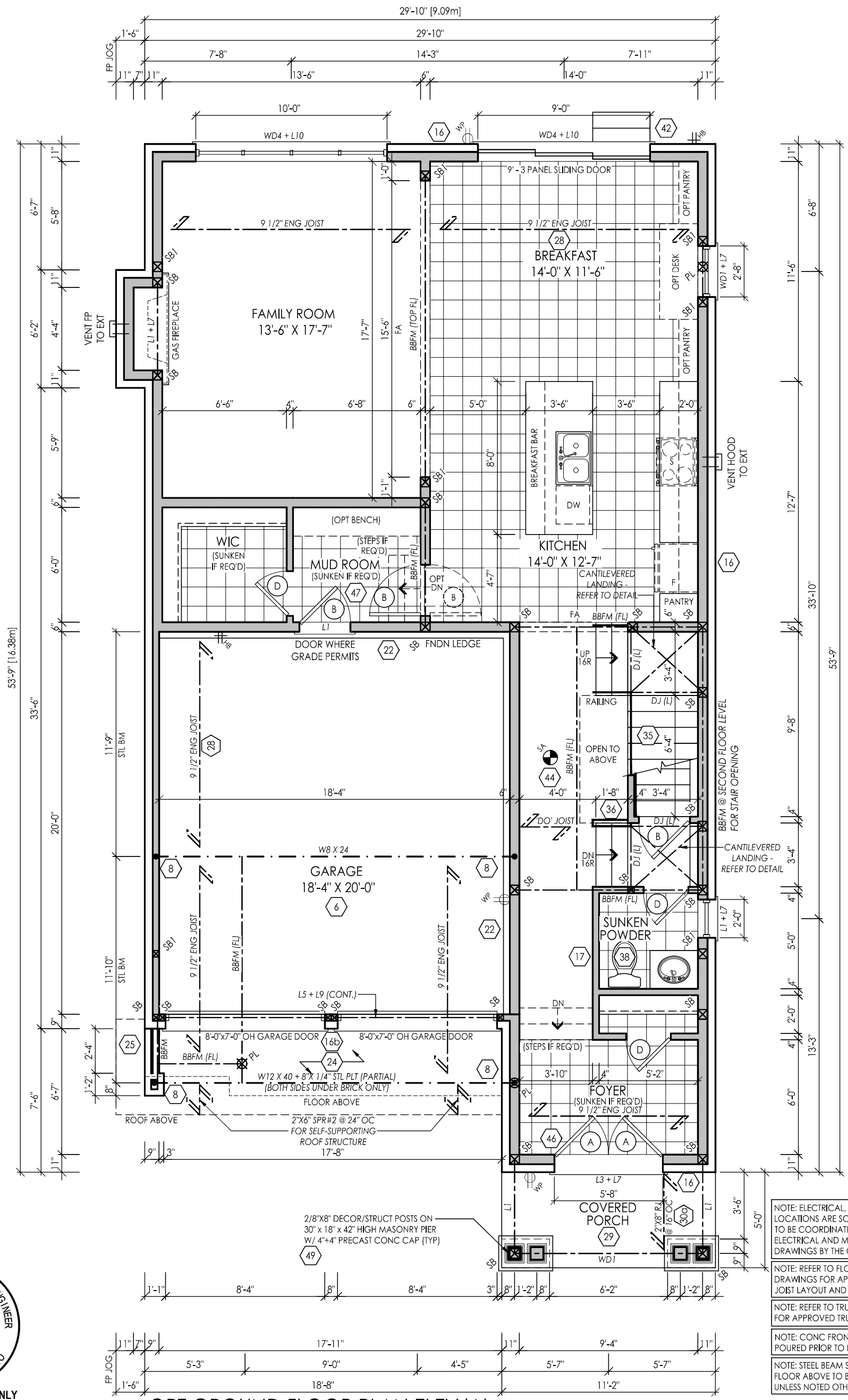
client: **Royal Pine Homes Ltd.**  
location: **Richmond Hill**  
marketing name: **Centrefield, Ph. 2**

www.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model: **38-13**  
scale: **3/16" = 1'0"**  
project #: **20005**

page: **A3**





**OPT GROUND FLOOR PLAN ELEV 'A'**

- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING
- NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
- NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK
- NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE



**FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM**

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

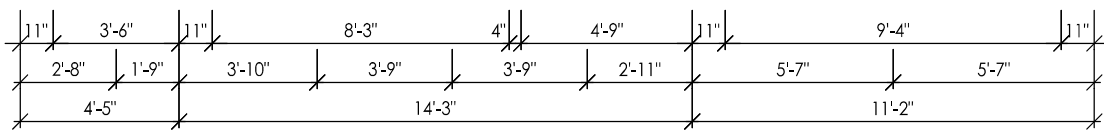
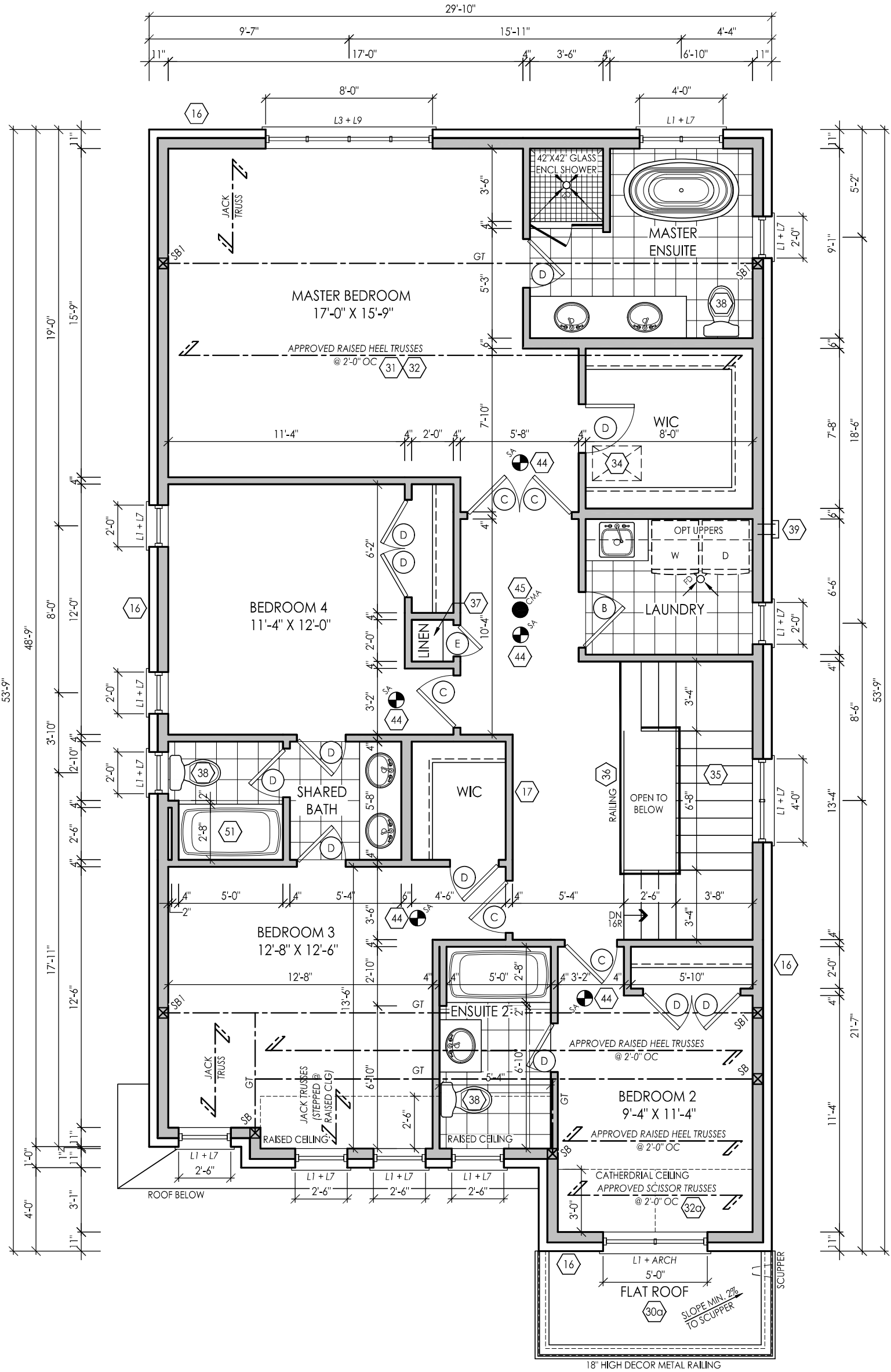
SIGNATURE:

| client  |   | Royal Pine Homes Ltd. |     | location       |   | Richmond Hill |      |
|---------|---|-----------------------|-----|----------------|---|---------------|------|
| project |   | Centrefield, Ph. 2    |     | marketing name |   |               |      |
| #       | revisions   | date                  | dwn | chk            | # | revisions     | date |
| 1       | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21             | SL  | XX             |   |               |      |
| 4       | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21             | CM  | CM             |   |               |      |
| 5       | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21             | AB  | CM             |   |               |      |



model  
**38-13**  
 scale  
3/16" = 1/0"  
 project #  
20005

page  
**A4**



**SECOND FLOOR PLAN ELEV 'A'**

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**

location  
**Richmond Hill**

project  
**Centrefield, Ph. 2**

marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS                    | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUL-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21 | AB  | CM  |   |           |      |     |     |



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

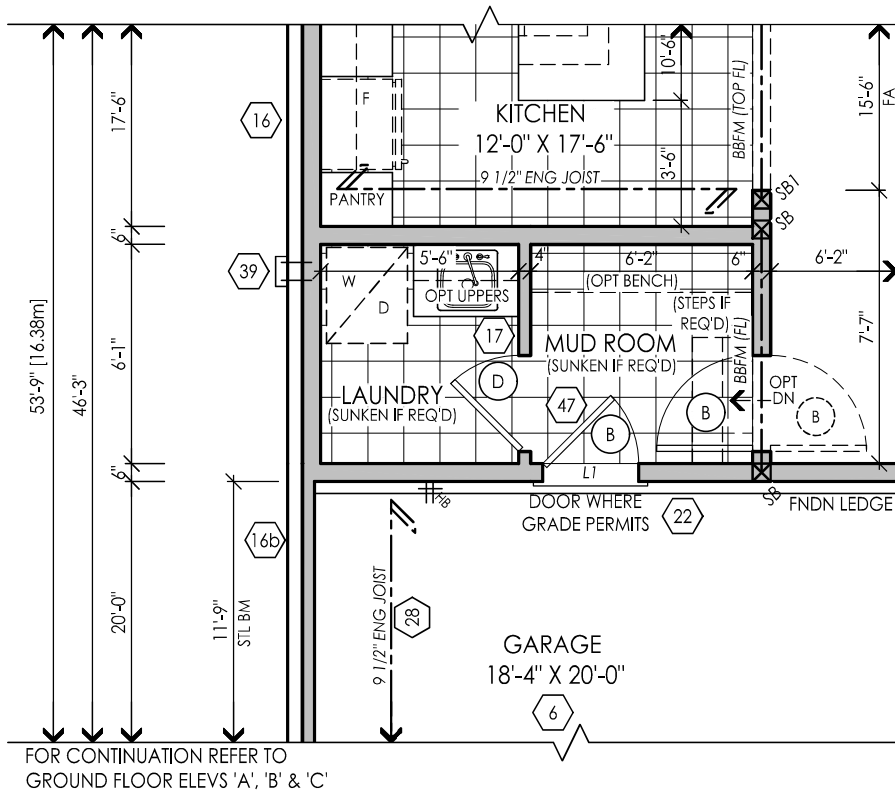
model  
**38-13**

scale  
**3/16" = 1'0"**

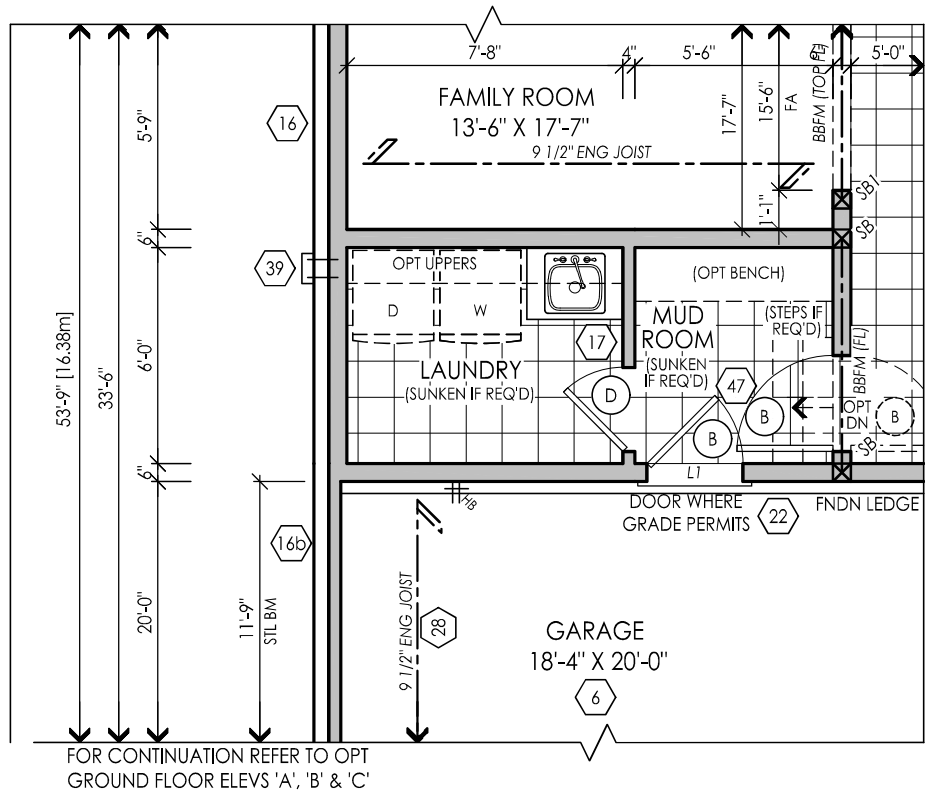
project #  
**20005**

page

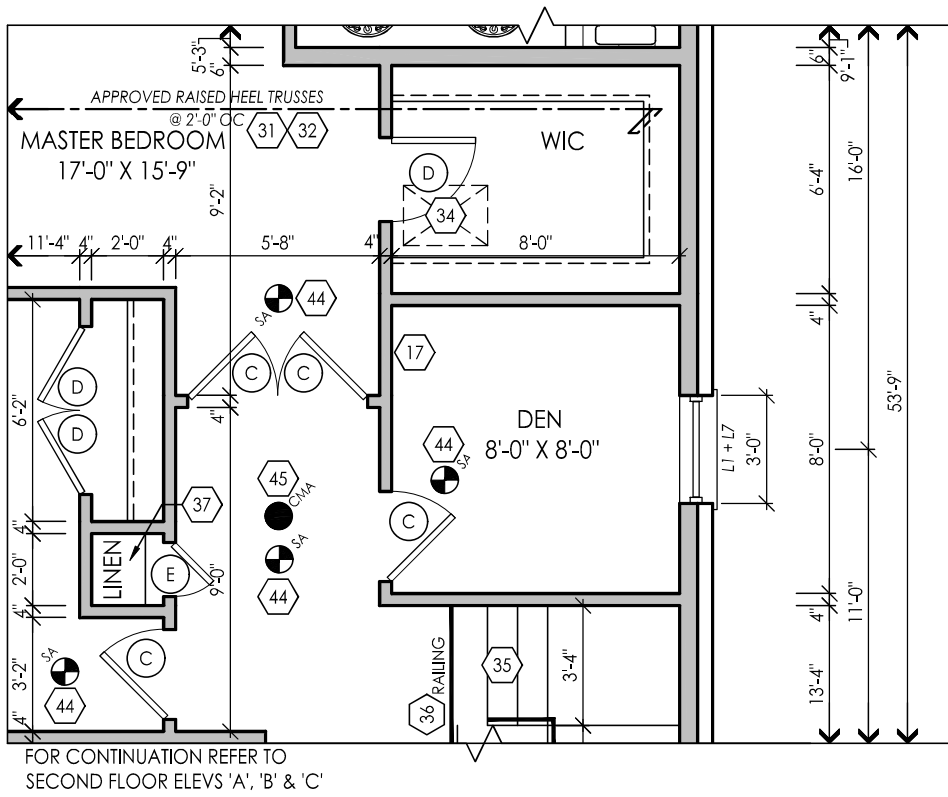
**A5**



**PARTIAL GROUND FLOOR PLAN  
ELEV. 'A', 'B' & 'C' w/ LAUNDRY**



**PARTIAL OPT GROUND FLOOR PLAN  
ELEV. 'A', 'B' & 'C' w/ LAUNDRY**



**PARTIAL SECOND FLOOR PLAN  
ELEV. 'A', 'B' & 'C' w/ DEN**



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: EB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**  
project  
**Centrefield, Ph. 2**

location  
**Richmond Hill**  
marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21 | AB  | CM  |   |           |      |     |     |



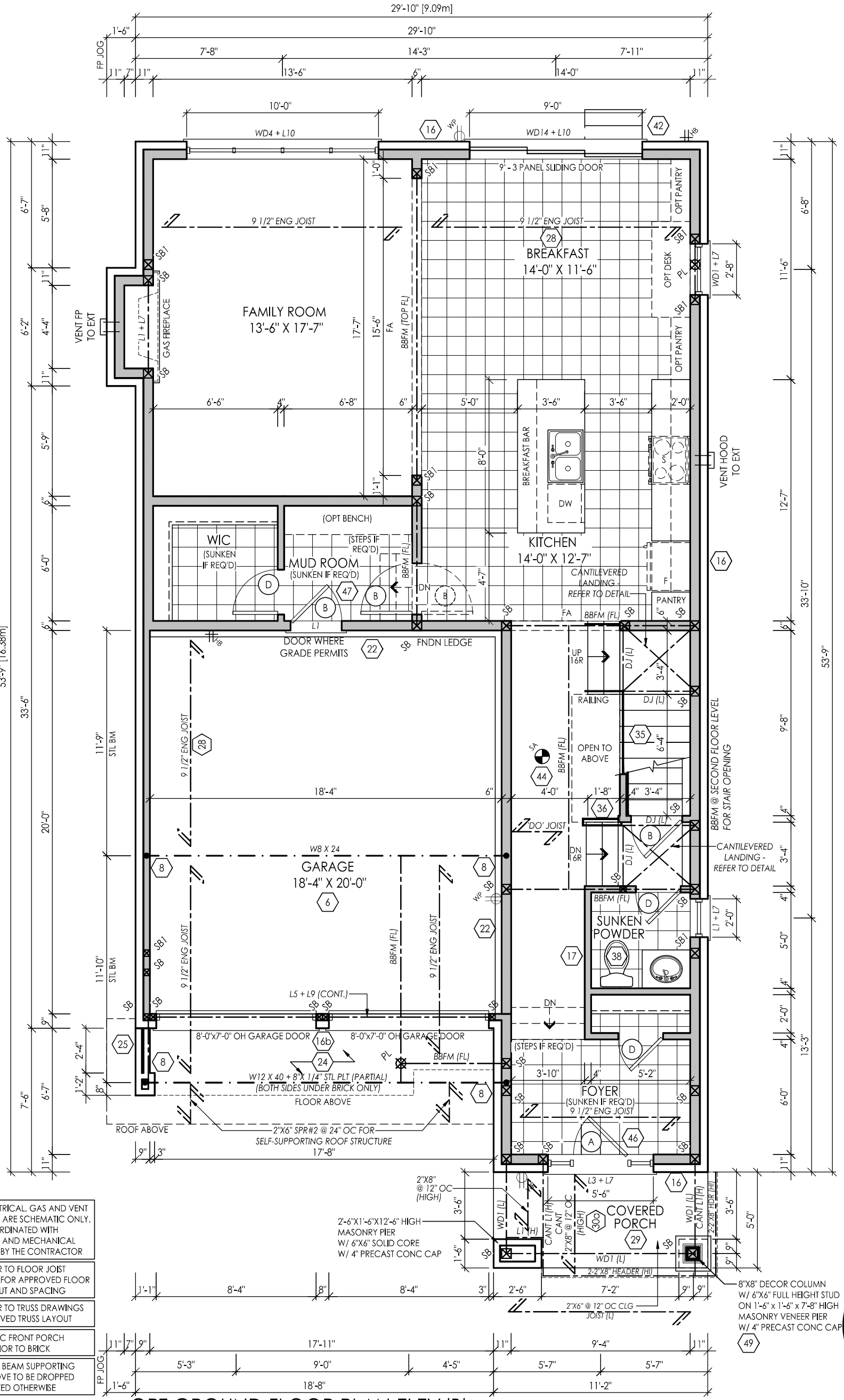
WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13**  
scale  
**3/16" = 1'0"**  
project #  
**20005**

page

**A6**





- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING
- NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
- NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK
- NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE

**OPT GROUND FLOOR PLAN ELEV 'B'**



**FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM**

I, MARTHA SANDOVO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

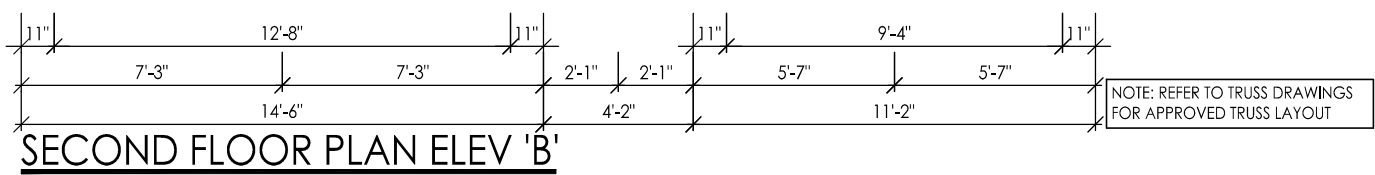
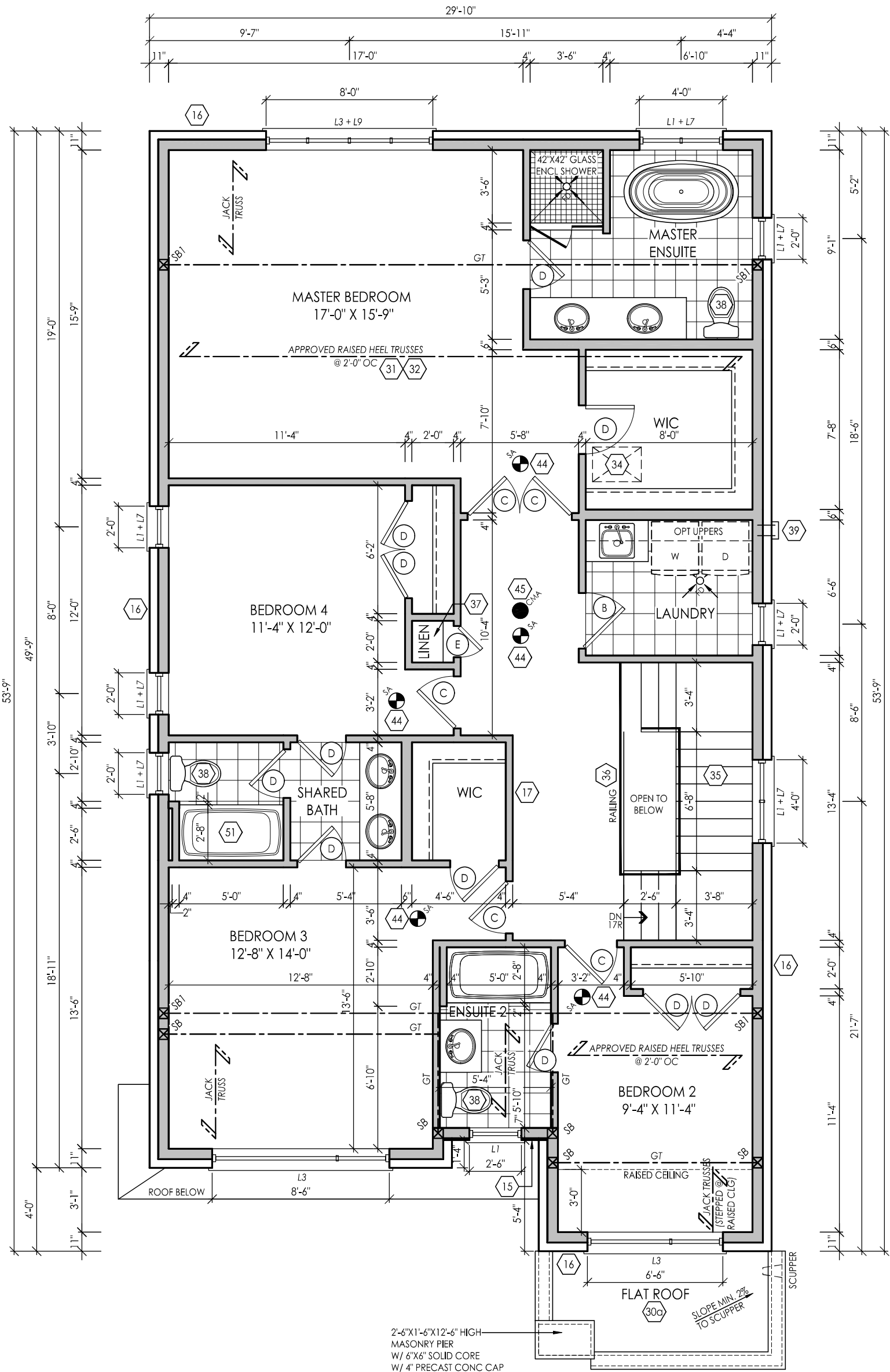
SIGNATURE: *[Signature]*

|         |   |           |                |               |   |
|---------|---|-----------|----------------|---------------|---|
| client  | Royal Pine Homes Ltd.                             |           | location       | Richmond Hill |   |
| project | Centrefield, Ph. 2                                |           | marketing name |               |   |
| #       | revisions   | date      | dwn            | chk           | # |
| 1       | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL             | XX            |   |
| 4       | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM             | CM            |   |
| 5       | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUN-21 | AB             | CM            |   |



model  
**38-13**  
 scale  
3/16" = 1/0"  
 project #  
20005

page  
**A8**



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**  
project  
**Centrefield, Ph. 2**

location  
**Richmond Hill**  
marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS                    | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUL-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

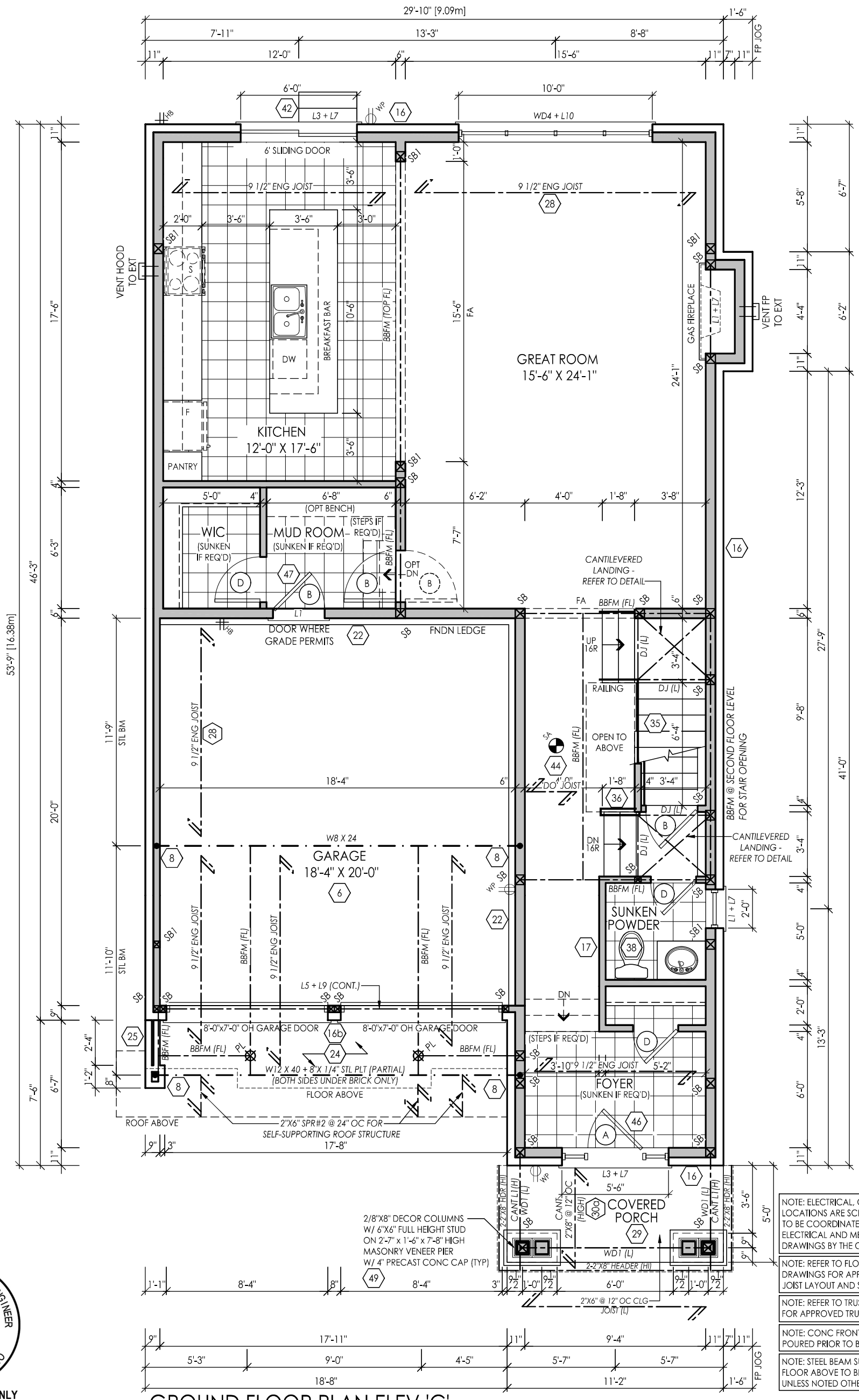


WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13**  
scale  
3/16" = 1'0"  
project #  
20005

page

**A9**



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE: *[Signature]*

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUN-21 | AB  | CM  |   |           |      |     |     |

client: **Royal Pine Homes Ltd.**  
location: **Richmond Hill**  
project: **Centrefield, Ph. 2**  
marketing name:

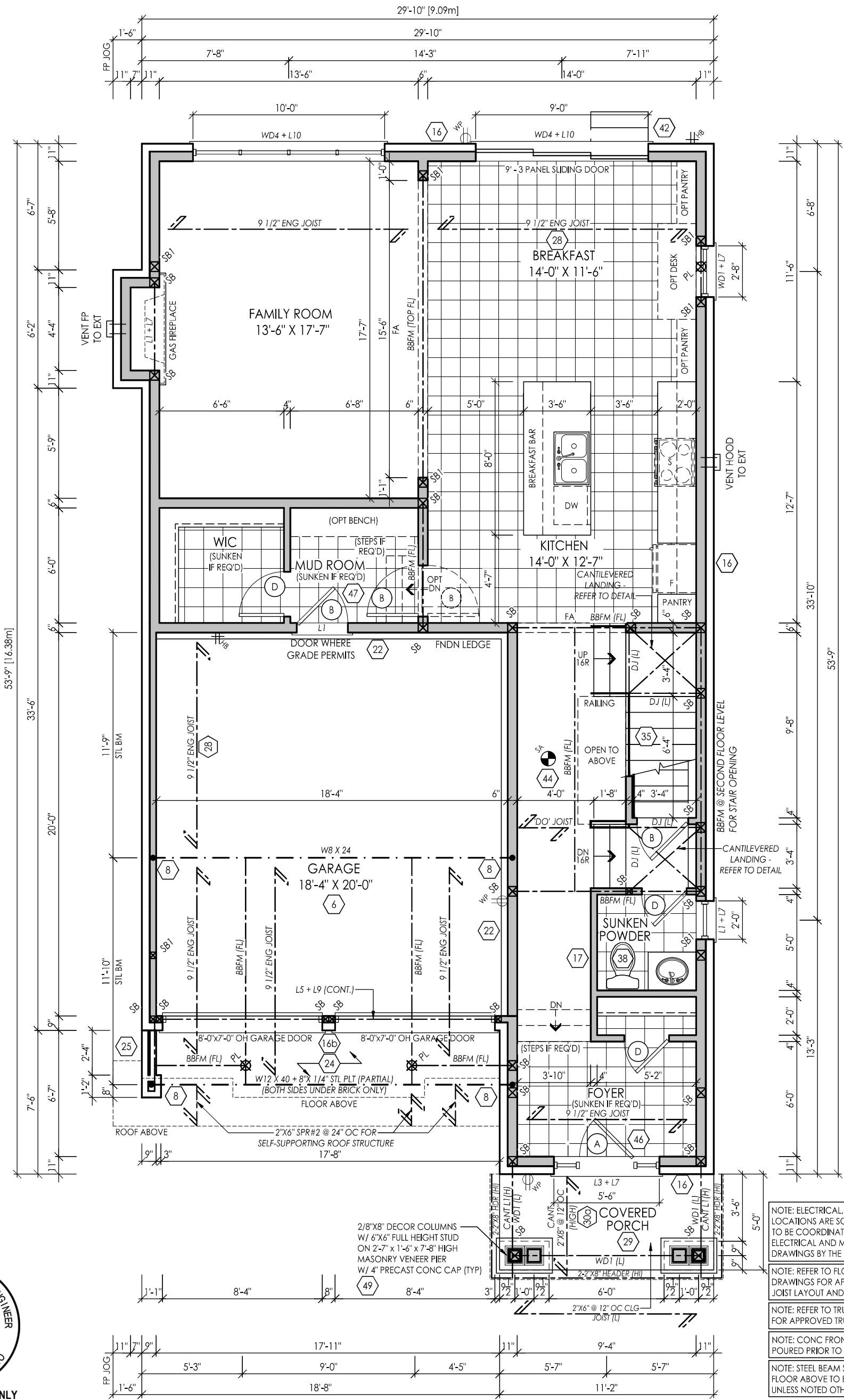


WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model: **38-13**  
scale: **3/16" = 1'0"**  
project #: **20005**

page: **A10**





**OPT GROUND FLOOR PLAN ELEV 'C'**

- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING
- NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
- NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK
- NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE



**FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM**

I, MARTHA SANDOVO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

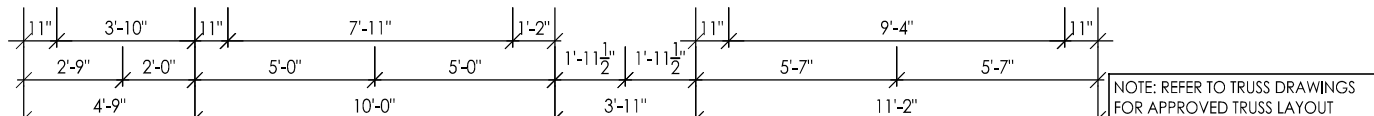
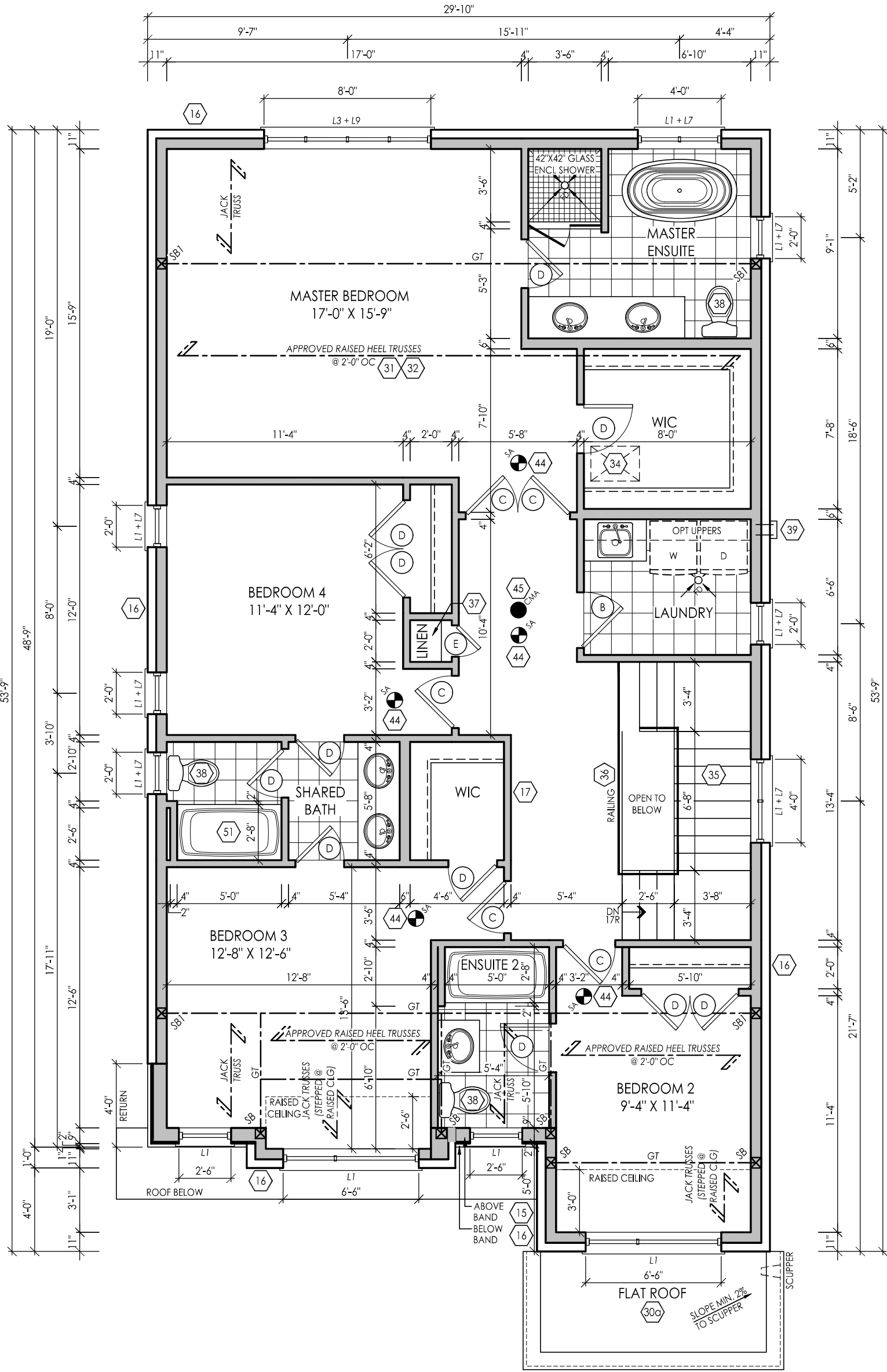
SIGNATURE: *[Signature]*

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUN-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUN-21 | AB  | CM  |   |           |      |     |     |

client: **Royal Pine Homes Ltd.** location: **Richmond Hill**  
 project: **Centrefield, Ph. 2** marketing name:  
 # revisions date dwn chk # revisions date dwn chk

**RN DESIGN**  
 WWW.RNDESIGN.COM  
 Tel: 905-738-3177  
 WWW.THEPLUSGROUP.CA

model: **38-13**  
 scale: **3/16" = 1'0"** project #: **20005**  
 page: **A11**



**SECOND FLOOR PLAN ELEV 'C'**

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE: *[Signature]*

client  
**Royal Pine Homes Ltd.**  
project  
**Centrefield, Ph. 2**

location  
**Richmond Hill**  
marketing name

| # | revisions   | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|---|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW                          | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS                    | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 4 | REVISED PER FLOOR/TRUSS COORD                     | 13-JUL-21 | CM  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21 | AB  | CM  |   |           |      |     |     |



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13**  
scale  
3/16" = 1'0"  
project #  
20005

page  
**A12**

### GROSS GLAZING AREA-ELEV A-STD

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3457.39 SF       | 321.20 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 121.76 SF        | 11.31 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 56.00 SF         | 5.20 m <sup>2</sup>        |
| REAR GLAZING AREA               | 167.33 SF        | 15.55 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>373.76 SF</b> | <b>34.72 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>10.81 %</b>   |                            |

### GROSS GLAZING AREA-ELEV A-OPT

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3457.39 SF       | 321.20 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 121.76 SF        | 11.31 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 71.89 SF         | 6.68 m <sup>2</sup>        |
| REAR GLAZING AREA               | 191.33 SF        | 17.78 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>413.65 SF</b> | <b>38.43 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>11.96 %</b>   |                            |

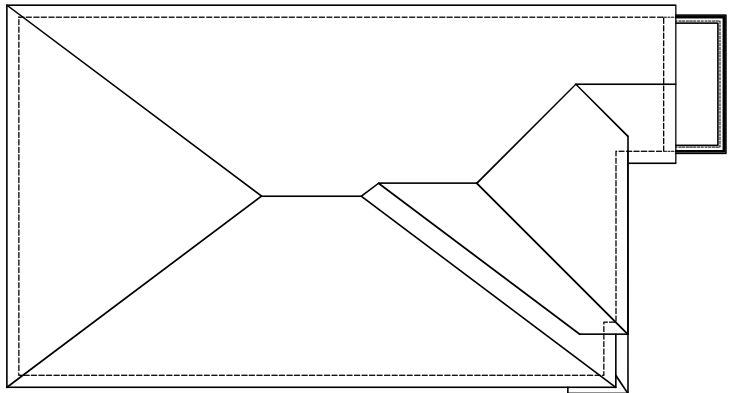
PEAK HEIGHT OF ROOF (30'-6")

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE CBC. ROOF-RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

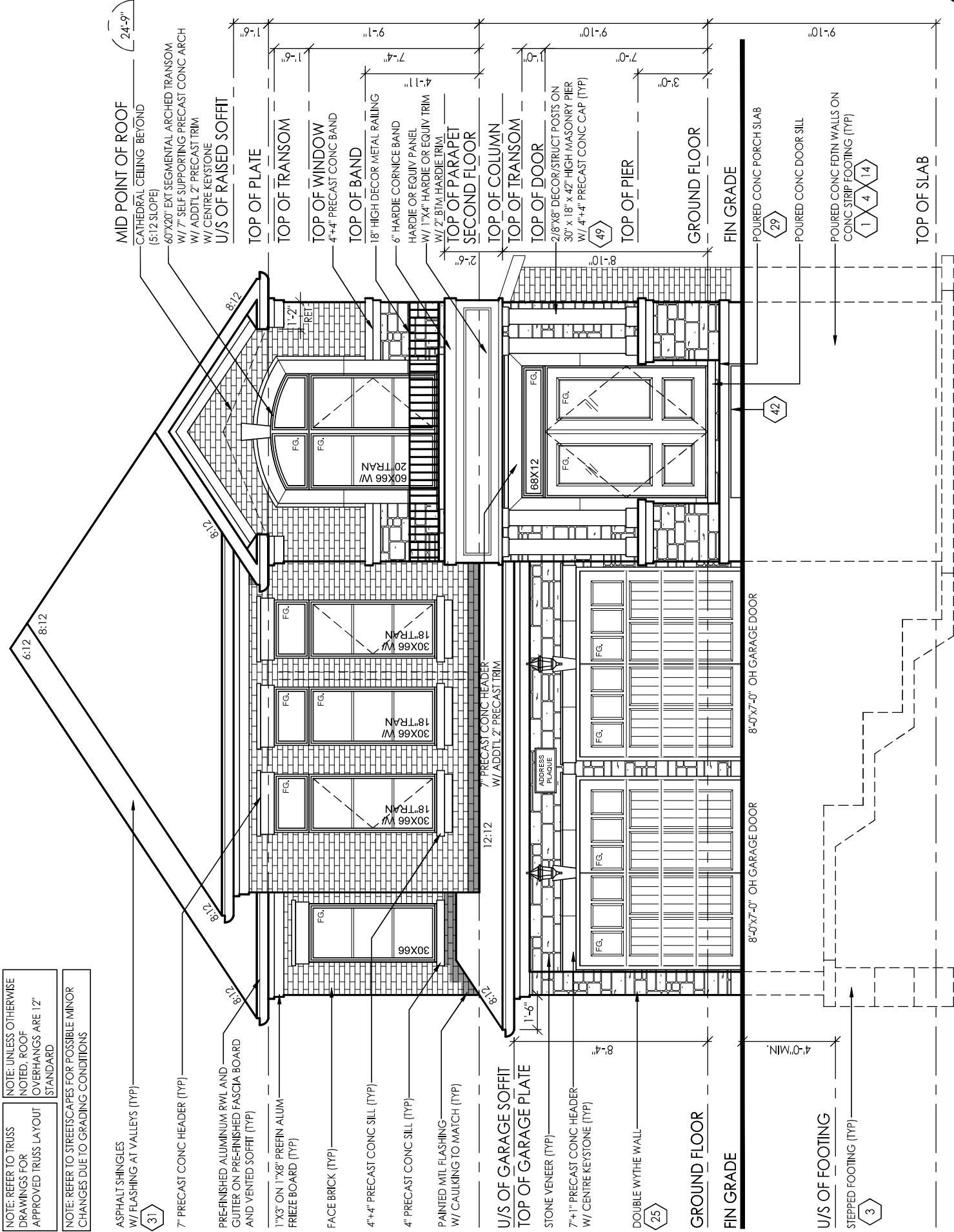
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETSAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



ROOF PLAN ELEV 'A'



FRONT ELEVATION 'A'

model 38-13  
scale 3/16" = 1'0"  
project # 20005



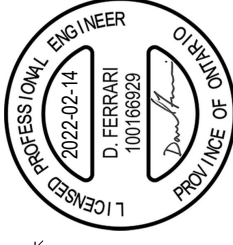
WWW.RNDESIGN.COM  
TEL: 905.738.3177  
WWW.THEPLUSGROUP.CA

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
Location: Richmond Hill  
Project: Centrefield, Ph. 2  
Marketing name: \_\_\_\_\_  
date dwn chk #

Client: \_\_\_\_\_  
Location: \_\_\_\_\_  
Project: \_\_\_\_\_  
Marketing name: \_\_\_\_\_  
date dwn chk #

1. MARCHA SANDOVAL DECLARES THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: \_\_\_\_\_  
FIRM BCIN: 26995  
DATE: FEB 9, 2022  
SIGNATURE: \_\_\_\_\_



**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**

FINAL  
RECERT BY: **GGE**

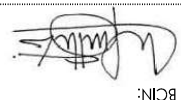
This stamp is only for the purposes of design control and carries no other professional obligations.

FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

Client: Royal Pine Homes Ltd.  
 location: Richmond Hill  
 Project: Centrefield, Ph. 2

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 3 | ISSUED FOR PERMIT              | 27-JUN-21 | AB  | CM  |   |           |      |     |     |

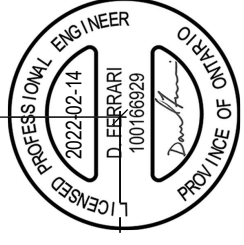
1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE: 

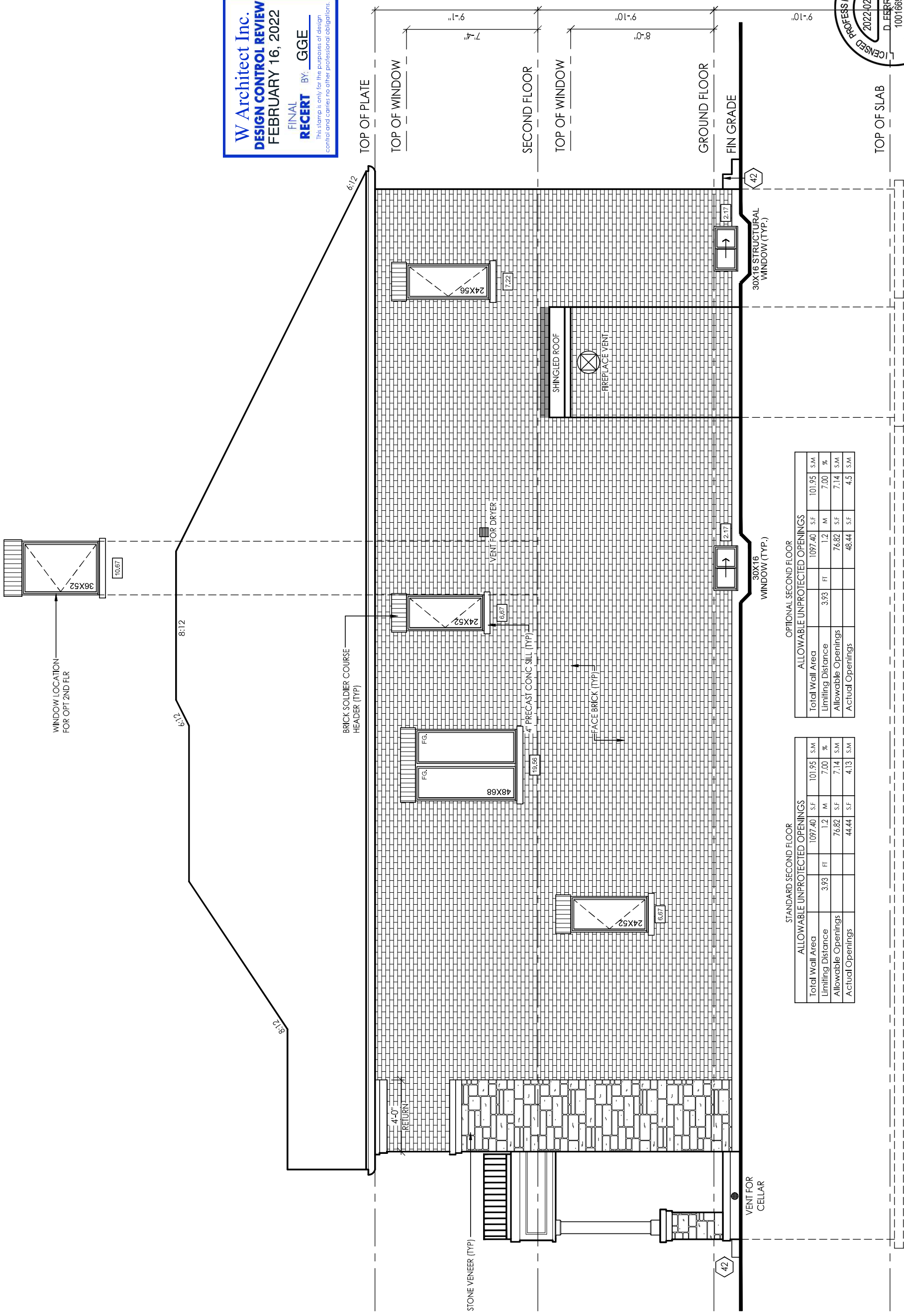
**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**

FINAL  
**RECERT BY: GGE**

This stamp is only for the purposes of design control and carries no other professional obligations.



**FOR STRUCTURAL ONLY**  
**NOT INCLUDING ENGINEERED**  
**FLOOR OR ROOF SYSTEM**



OPTIONAL SECOND FLOOR ALLOWABLE UNPROTECTED OPENINGS

| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings |
|-----------------|-------------------|--------------------|-----------------|
| 1097.40 S.F.    | 3.93 FT           | 76.82 S.F.         | 48.44 S.F.      |
| 101.95 S.M.     | 1.2 M             | 7.14 S.M.          | 4.5 S.M.        |
| 7.00 %          |                   |                    |                 |

STANDARD SECOND FLOOR ALLOWABLE UNPROTECTED OPENINGS

| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings |
|-----------------|-------------------|--------------------|-----------------|
| 1097.40 S.F.    | 3.93 FT           | 76.82 S.F.         | 44.44 S.F.      |
| 101.95 S.M.     | 1.2 M             | 7.14 S.M.          | 4.13 S.M.       |
| 7.00 %          |                   |                    |                 |

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**RIGHT SIDE ELEVATION 'A'**



WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

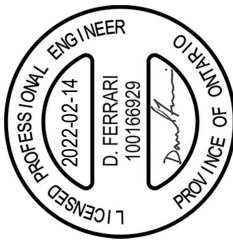
| # | revisions                      | date      | dwn | chk | # |
|---|--------------------------------|-----------|-----|-----|---|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |
| 3 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |

Client: Royal Pine Homes Ltd.  
 Project: Centrefield, Ph. 2  
 location: Richmond Hill  
 marketing name:

Client: Royal Pine Homes Ltd.  
 Project: Centrefield, Ph. 2  
 location: Richmond Hill  
 marketing name:

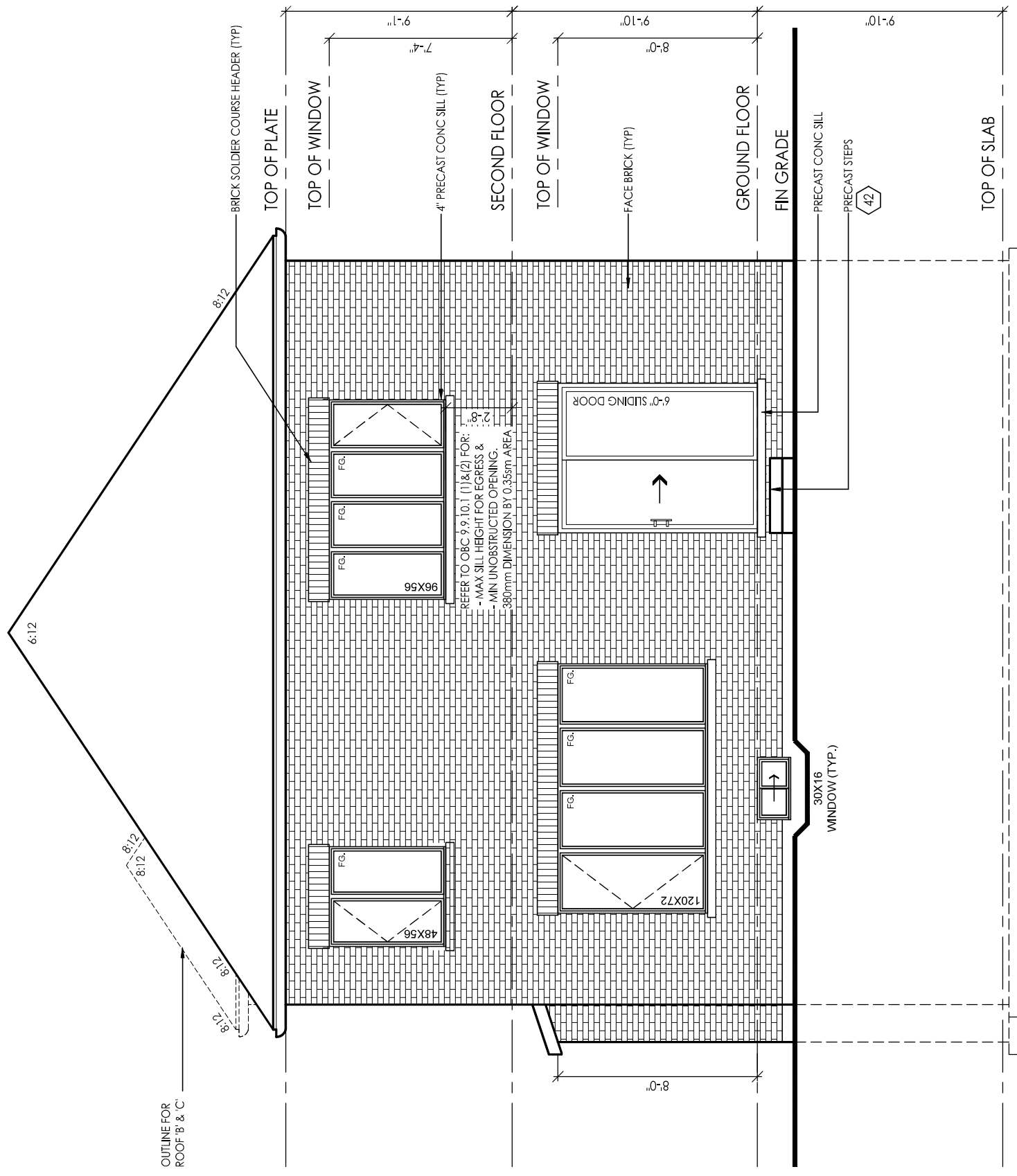
1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE:



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL  
**RECERT BY: GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.



NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

30X16 WINDOW (TYP.)

96X56

6'-0" SLIDING DOOR

48X56

120X72

BRICK SOLDIER COURSE HEADER (TYP)

TOP OF PLATE

TOP OF WINDOW

4" PRECAST CONC SILL (TYP)

SECOND FLOOR

TOP OF WINDOW

FACE BRICK (TYP)

GROUND FLOOR

FIN GRADE

PRECAST CONC SILL

PRECAST STEPS

TOP OF SLAB

OUTLINE FOR ROOF 'B' & 'C'

REAR ELEVATION 'A', 'B' & 'C'



WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 3 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

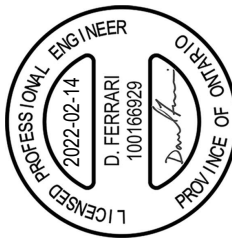
client Royal Pine Homes Ltd.  
 project Centrefield, Ph. 2  
 location Richmond Hill  
 marketing name

client  
 project Centrefield, Ph. 2  
 location Richmond Hill  
 marketing name

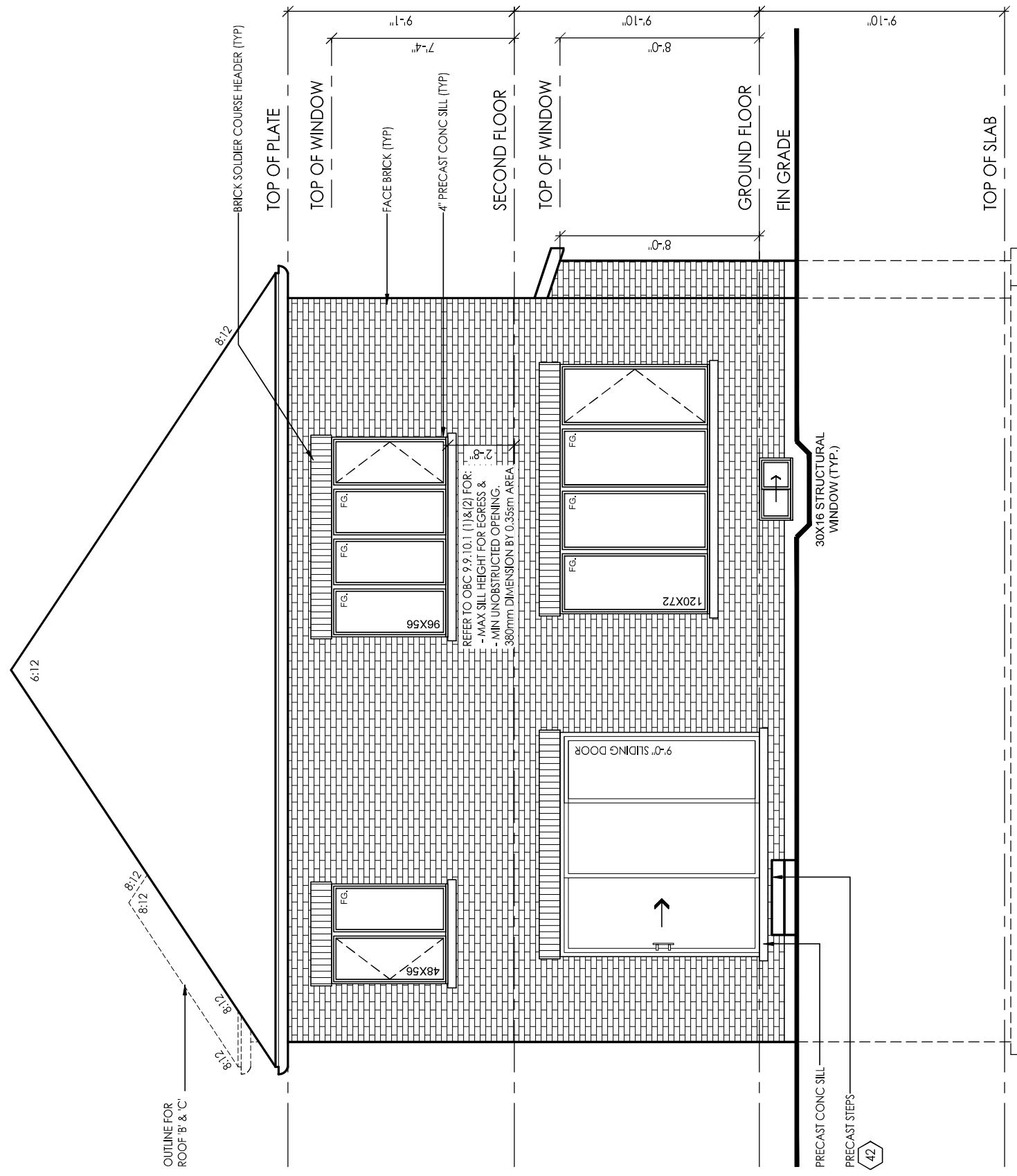
1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE:

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL  
**RECERT BY: GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM



NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

REAR ELEVATION 'A', 'B' & 'C'  
 FOR OPT GROUND FLOOR

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

PRECAST STEPS 42

PRECAST CONC SILL

30X16 STRUCTURAL WINDOW (TYP.)

9'-0" SLIDING DOOR

120X72

96X56

48X56

REFER TO OBC 9.9.10.1 (1)&(2) FOR:  
 - MAX SILL HEIGHT FOR EGRESS &  
 - MIN UNOBSTRUCTED OPENING:  
 380mm DIMENSION BY 0.35sm AREA

BRICK SOLDIER COURSE HEADER (TYP)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP)

4" PRECAST CONC SILL (TYP)

SECOND FLOOR

TOP OF WINDOW

GROUND FLOOR

FIN GRADE

TOP OF SLAB

6:12

8:12

OUTLINE FOR ROOF 'B' & 'C'

8:12

8:12

9'-1"

7'-4"

9'-10"

8'-0"

9'-10"

9'-10"

8'-0"

FG.

FG.

FG.

FG.





Client: Royal Pine Homes Ltd.  
 Location: Richmond Hill  
 Project: Centrefield, Ph. 2

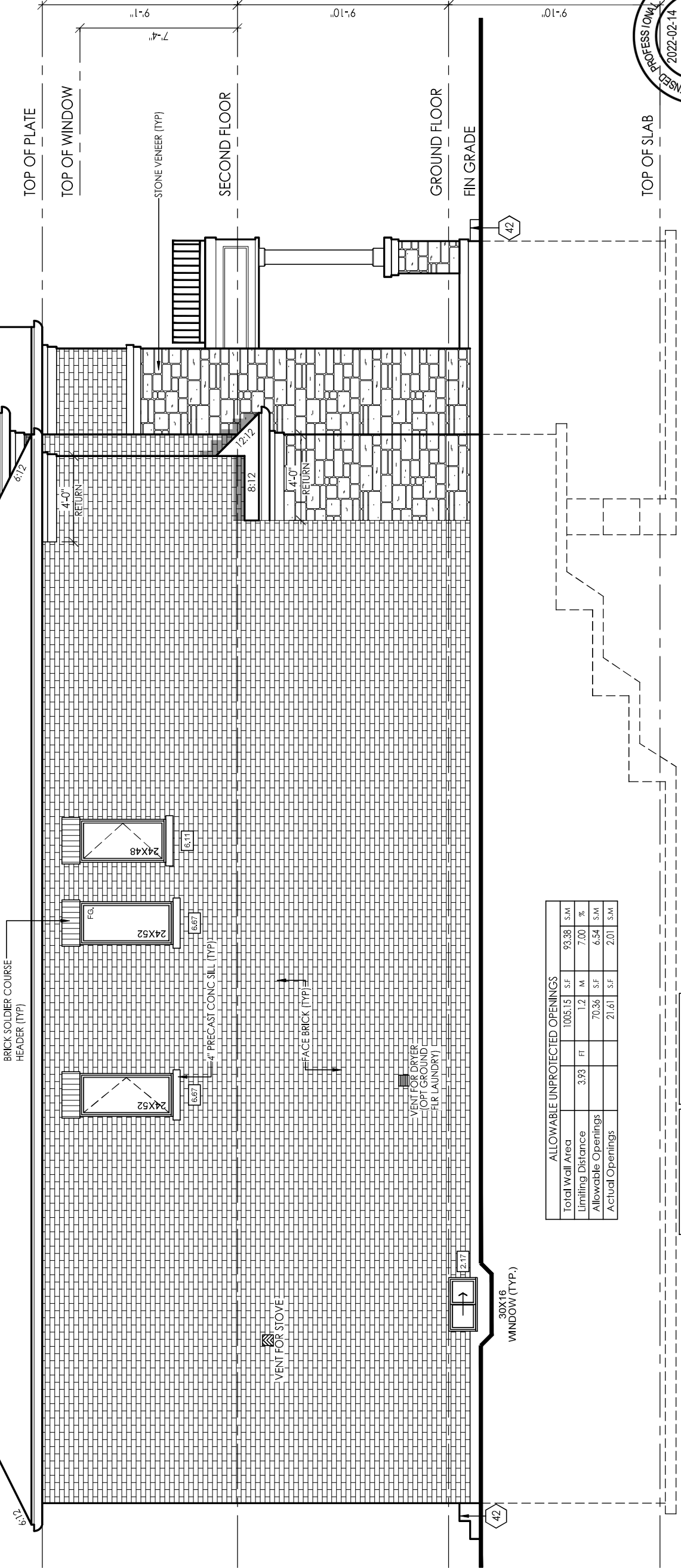
| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 3 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

marking name: \_\_\_\_\_  
 date dwn chk: \_\_\_\_\_

1. MARTHA SANDOVAL DECLARES THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF W ARCHITECT INC. UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER RCIN: \_\_\_\_\_  
 FIRM BCIN: \_\_\_\_\_  
 DATE: FEB. 9, 2022

SIGNATURE: \_\_\_\_\_  
 103017  
 26995

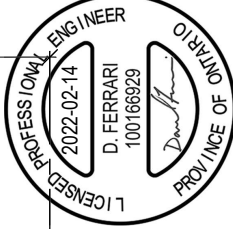
**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL RECERT BY: **GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.



| ALLOWABLE UNPROTECTED OPENINGS |         |      |       |      |
|--------------------------------|---------|------|-------|------|
| Total Wall Area                | 1005.15 | S.F. | 93.38 | S.M. |
| Limiting Distance              | 3.93    | FT   | 1.2   | M    |
| Allowable Openings             | 70.36   | S.F. | 6.54  | S.M. |
| Actual Openings                | 21.61   | S.F. | 2.01  | S.M. |

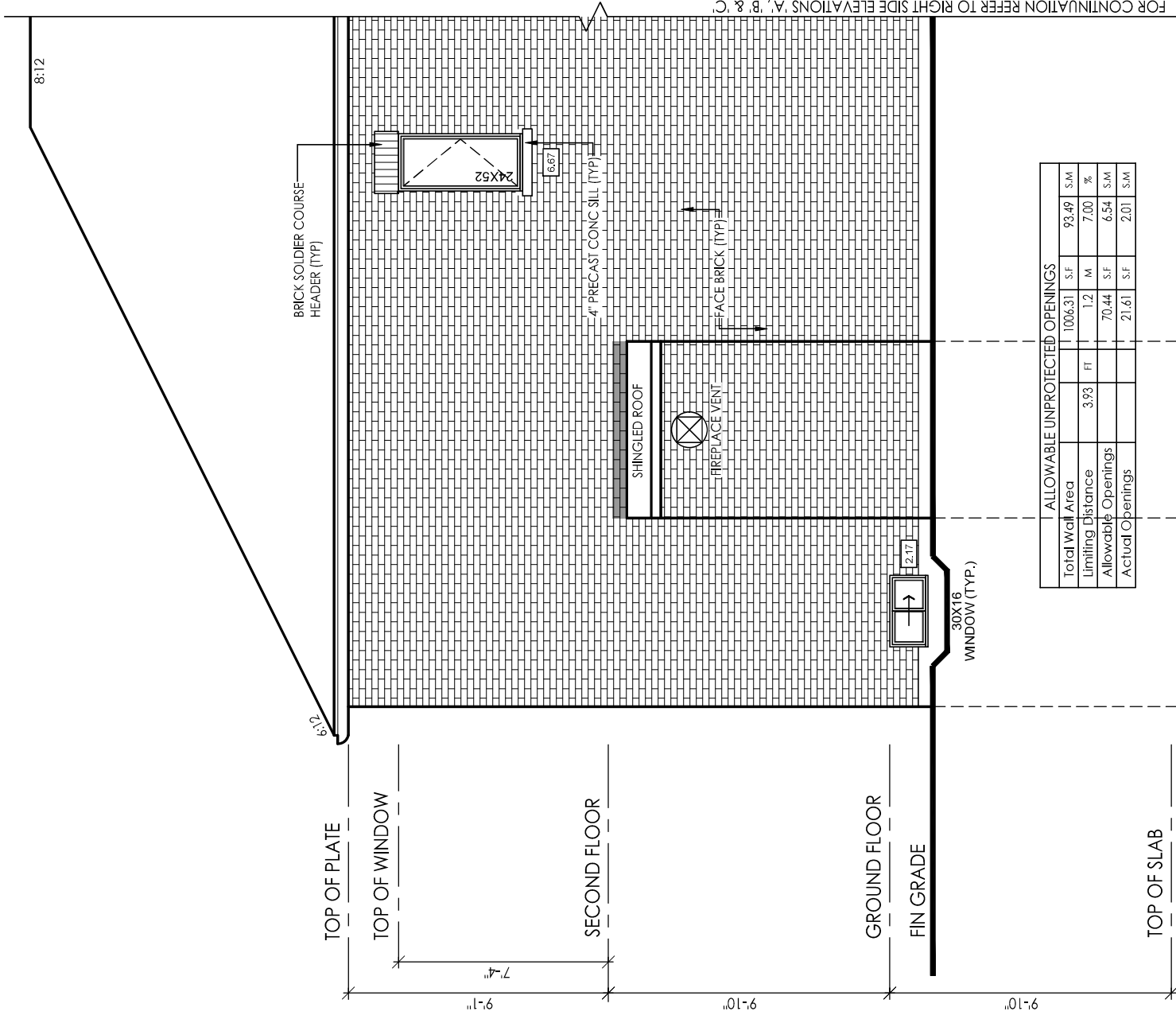
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD  
 NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**LEFT SIDE ELEVATION 'A'**



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM



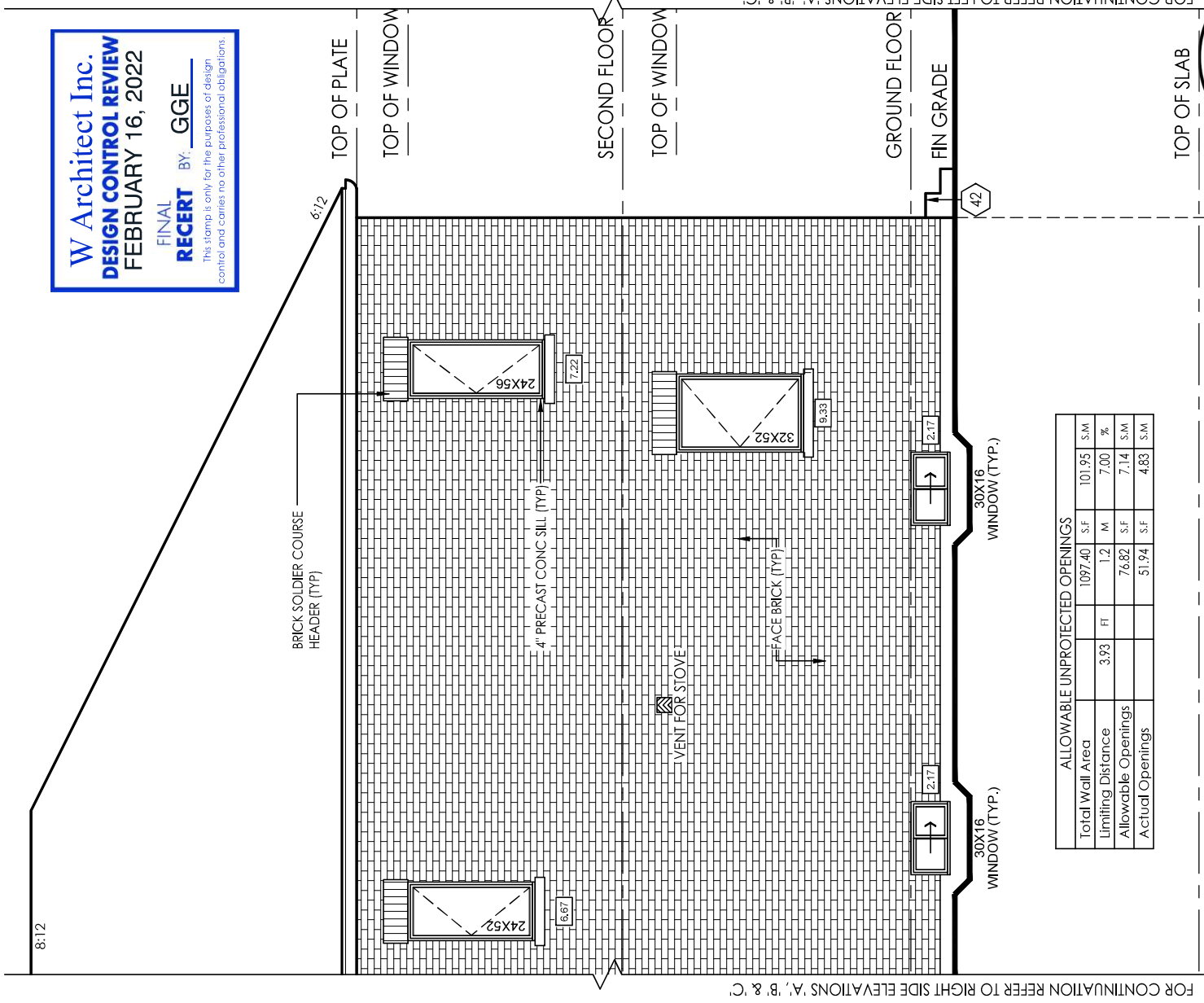


| ALLOWABLE UNPROTECTED OPENINGS |         |      |       |
|--------------------------------|---------|------|-------|
| Total Wall Area                | 1006.31 | S.F. | 93.49 |
| Limiting Distance              | 3.93    | FT   | 7.00  |
| Allowable Openings             | 70.44   | S.F. | 6.54  |
| Actual Openings                | 21.61   | S.F. | 2.01  |

**PARTIAL LEFT SIDE ELEVATION 'A', 'B' & 'C'  
FOR OPT GROUND FLOOR**

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

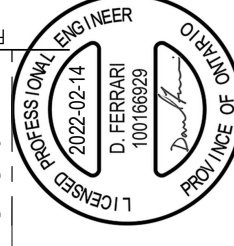


| ALLOWABLE UNPROTECTED OPENINGS |         |      |        |
|--------------------------------|---------|------|--------|
| Total Wall Area                | 1097.40 | S.F. | 101.95 |
| Limiting Distance              | 3.93    | FT   | 7.00   |
| Allowable Openings             | 76.82   | S.F. | 7.14   |
| Actual Openings                | 51.94   | S.F. | 4.83   |

**PARTIAL RIGHT SIDE ELEVATION 'A', 'B' & 'C'  
FOR OPT GROUND FLOOR**

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION



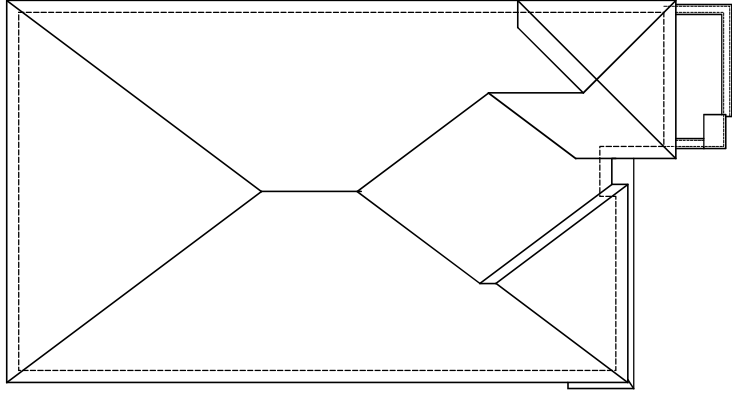
**FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM**

| # | revisions                | date    | dwn | chk | # |
|---|--------------------------|---------|-----|-----|---|
| 1 | ISSUED FOR CLIENT REVIEW | 14MAY21 | SL  | XX  |   |
| 5 | ISSUED FOR PERMIT        | 27JUL21 | AB  | CM  |   |

Client: Royal Pine Homes Ltd.  
Project: Centrefield, Ph. 2  
Location: Richmond Hill  
Marketing name: \_\_\_\_\_  
date dwn chk #  
revisions  
date dwn chk #  
revisions

1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES  
QUALIFIED DESIGNER RCIN: \_\_\_\_\_  
FIRM BCIN: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
FINAL  
RECERT BY: GGE  
This stamp is only for the purposes of design control and carries no other professional obligations.



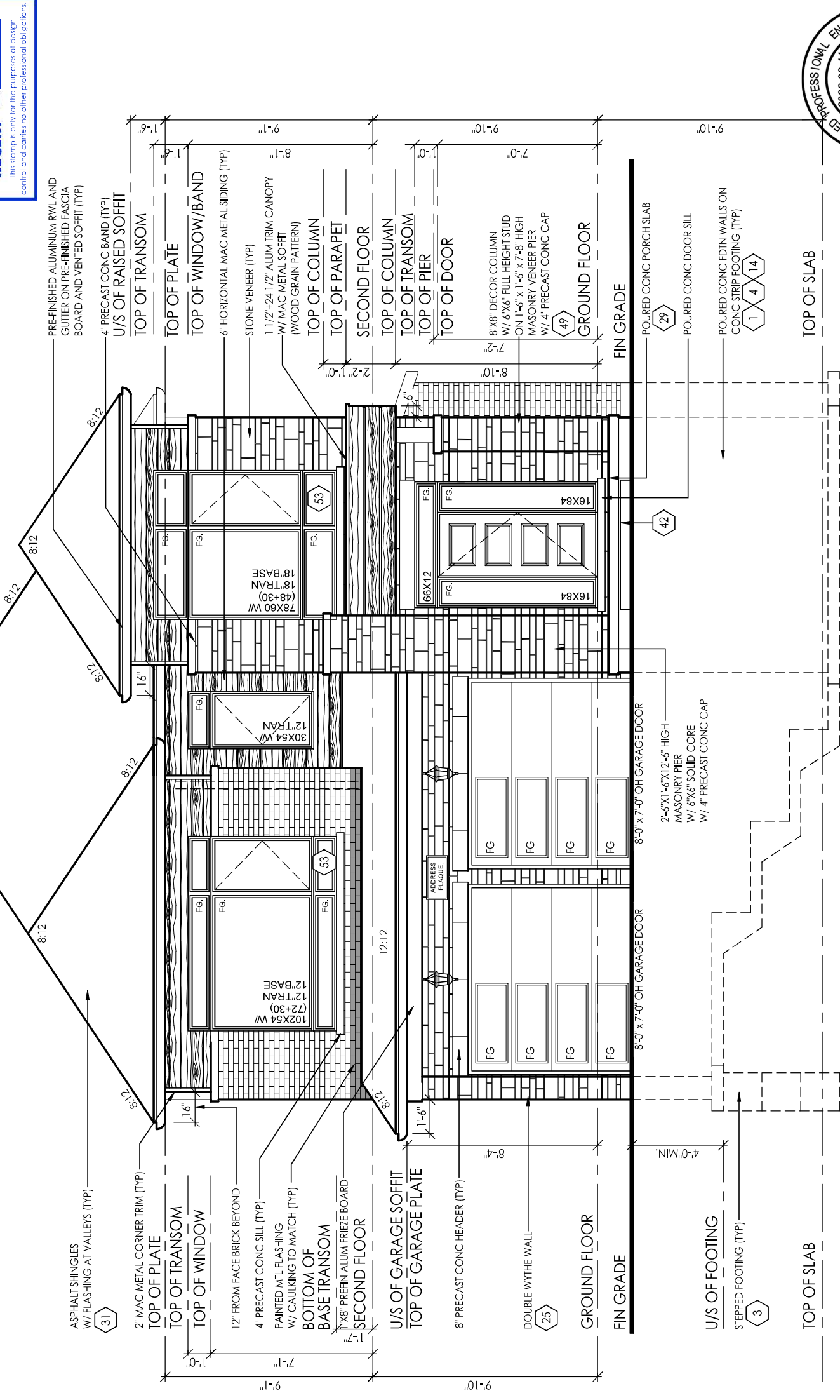
**ROOF PLAN ELEV 'B'**

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SFP @ 24" OC WITH A 2"x4" SFP VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6" TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



**FRONT ELEVATION 'B'**

**GROSS GLAZING AREA-ELEV B-STD**

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3523.39 SF       | 327.33 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 145.17 SF        | 13.49 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 56.00 SF         | 5.20 m <sup>2</sup>        |
| REAR GLAZING AREA               | 167.33 SF        | 15.55 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>397.17 SF</b> | <b>36.90 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>11.27 %</b>   |                            |

**GROSS GLAZING AREA-ELEV B-OPT**

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3523.39 SF       | 327.33 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 145.17 SF        | 13.49 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 71.89 SF         | 6.68 m <sup>2</sup>        |
| REAR GLAZING AREA               | 191.33 SF        | 17.78 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>437.06 SF</b> | <b>40.60 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>12.40 %</b>   |                            |

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
**FINAL RECERT BY: GGE**  
This stamp is only for the purposes of design control and carries no other professional obligations.

Model 38-13  
 scale 3/16" = 1'0"  
 Project # 20005

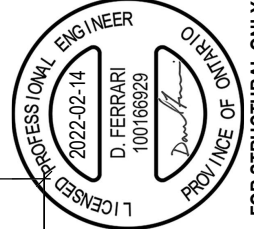


WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

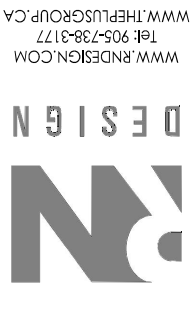
| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
 Project: Centrefield, Ph. 2  
 Location: Richmond Hill

SIGNATURE:   
 DATE: FEB. 9, 2022  
 FIRM BCIN: 26995  
 103017  
 QUALIFIED DESIGNER BCIN:  
 CATEGORIES:  
 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND



**FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM**



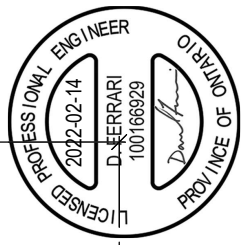
WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 3 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

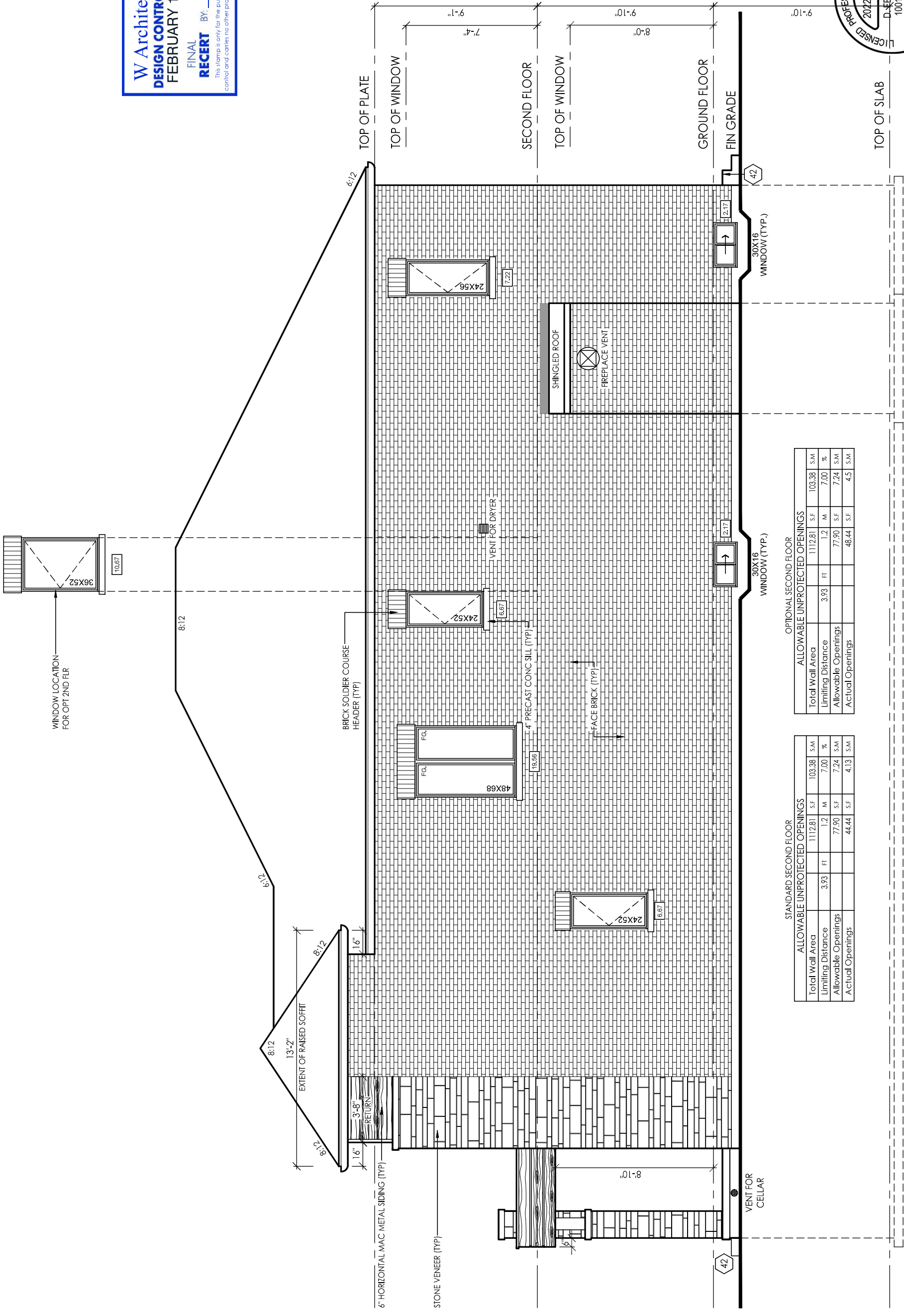
Client: Royal Pine Homes Ltd.  
 location: Richmond Hill  
 Project: Centrefield, Ph. 2  
 marketing name: \_\_\_\_\_  
 date: \_\_\_\_\_  
 dwn: \_\_\_\_\_  
 chk: \_\_\_\_\_

1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RND DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: \_\_\_\_\_  
 FIRM BCIN: \_\_\_\_\_  
 DATE: FEB. 9, 2022  
 SIGNATURE: \_\_\_\_\_

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL RECERT BY: GGE  
 This stamp is only for the purposes of design control and carries no other professional obligations.



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM



OPTIONAL SECOND FLOOR  
 ALLOWABLE UNPROTECTED OPENINGS

| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings | S.F.   | M   | %    | S.M.   |
|-----------------|-------------------|--------------------|-----------------|--------|-----|------|--------|
| 1112.81         | 3.93              | 77.90              | 48.44           | 112.81 | 1.2 | 7.00 | 103.38 |

STANDARD SECOND FLOOR  
 ALLOWABLE UNPROTECTED OPENINGS

| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings | S.F.   | M   | %    | S.M.   |
|-----------------|-------------------|--------------------|-----------------|--------|-----|------|--------|
| 1112.81         | 3.93              | 77.90              | 44.44           | 112.81 | 1.2 | 7.00 | 103.38 |

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**RIGHT SIDE ELEVATION 'B'**

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL  
**RECERT BY: GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.

model 38-13  
 scale 3/16" = 1'0"  
 project # 20005



WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

A21

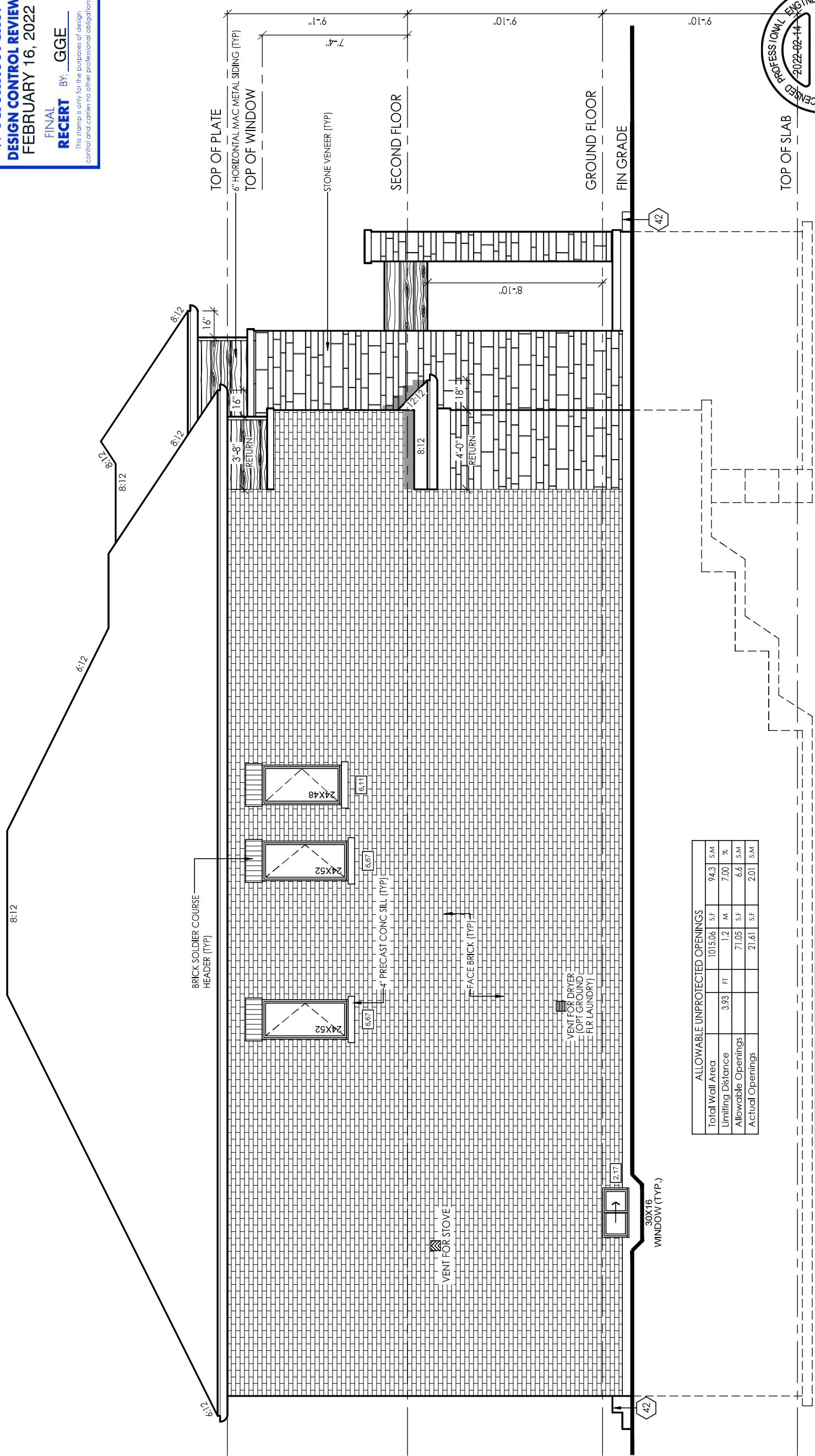
page

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 3 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
 location: Richmond Hill  
 Project: Centrefield, Ph. 2  
 marketing name: \_\_\_\_\_  
 date dwn chk #

Client: \_\_\_\_\_  
 location: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 marketing name: \_\_\_\_\_  
 date dwn chk #

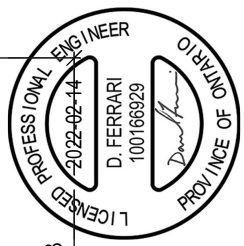
I, MARIYA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RND DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: \_\_\_\_\_  
 FIRM BCIN: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_



| ALLOWABLE UNPROTECTED OPENINGS |         |     |      |     |
|--------------------------------|---------|-----|------|-----|
| Total Wall Area                | 1015.06 | S.F | 94.3 | S.M |
| Limiting Distance              | 3.93    | FT  | 1.2  | M   |
| Allowable Openings             | 71.05   | S.F | 6.6  | S.M |
| Actual Openings                | 21.61   | S.F | 2.01 | S.M |

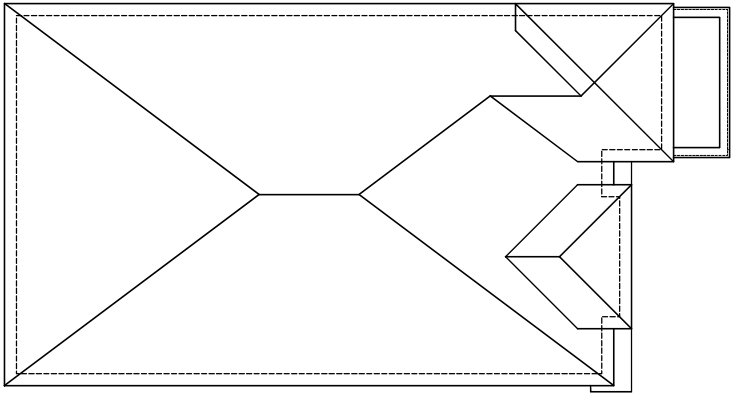
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

LEFT SIDE ELEVATION 'B'  
 NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM

File: C:\RND\Standa\Temp\Arch\Plot\15708\2005-38-13\FINAL.dwg Printed: Feb 14, 2022 9:47:03 AM



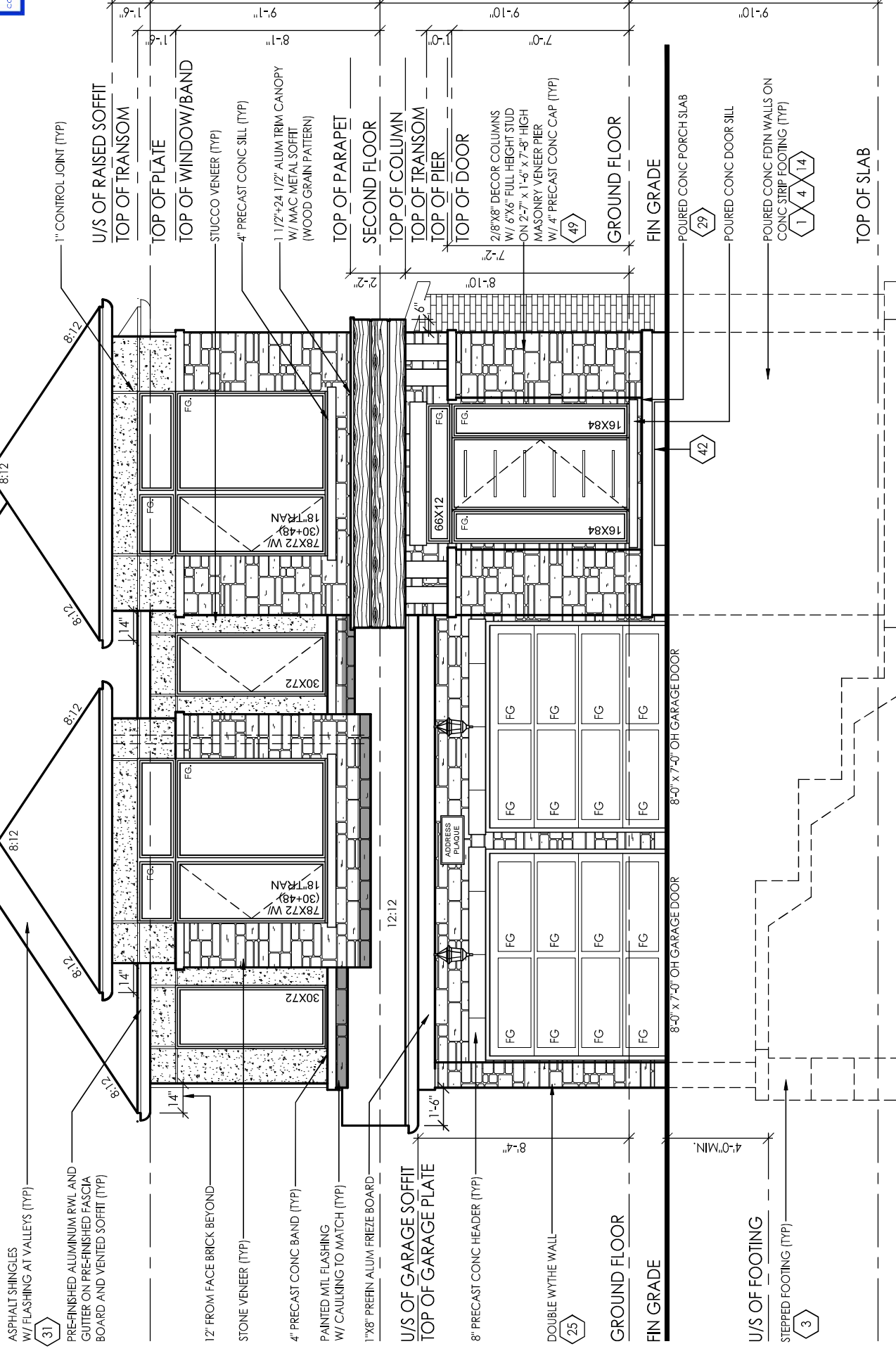
**ROOF PLAN ELEV 'C'**

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT STANDARD

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETS CAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



**FRONT ELEVATION 'C'**

**GROSS GLAZING AREA-ELEV C-STD**

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3517.34 SF       | 326.77 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 151.67 SF        | 14.09 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 56.00 SF         | 5.20 m <sup>2</sup>        |
| REAR GLAZING AREA               | 167.33 SF        | 15.55 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>403.67 SF</b> | <b>37.50 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>11.48 %</b>   |                            |

**GROSS GLAZING AREA-ELEV C-OPT**

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| TOTAL PERIPHERAL WALL AREA      | 3517.34 SF       | 326.77 m <sup>2</sup>      |
| FRONT GLAZING AREA              | 151.67 SF        | 14.09 m <sup>2</sup>       |
| LEFT SIDE GLAZING AREA          | 28.67 SF         | 2.66 m <sup>2</sup>        |
| RIGHT SIDE GLAZING AREA         | 71.89 SF         | 6.68 m <sup>2</sup>        |
| REAR GLAZING AREA               | 191.33 SF        | 17.78 m <sup>2</sup>       |
| <b>TOTAL GLAZING AREA</b>       | <b>443.56 SF</b> | <b>41.21 m<sup>2</sup></b> |
| <b>TOTAL GLAZING PERCENTAGE</b> | <b>12.61 %</b>   |                            |



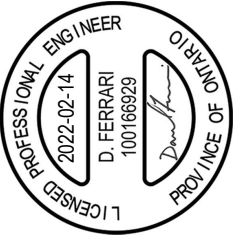
WWW.RNDESIGN.COM  
TEL: 905-738-3177  
WWW.THEPLUSGROUP.CA

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
Project: Centrefield, Ph. 2  
Location: Richmond Hill  
Marketing name:

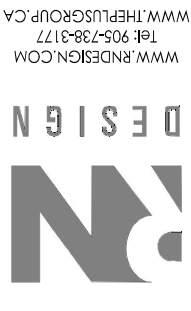
Client: 10301Z  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022  
SIGNATURE: [Signature]

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: [Signature]  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022  
SIGNATURE: [Signature]



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM



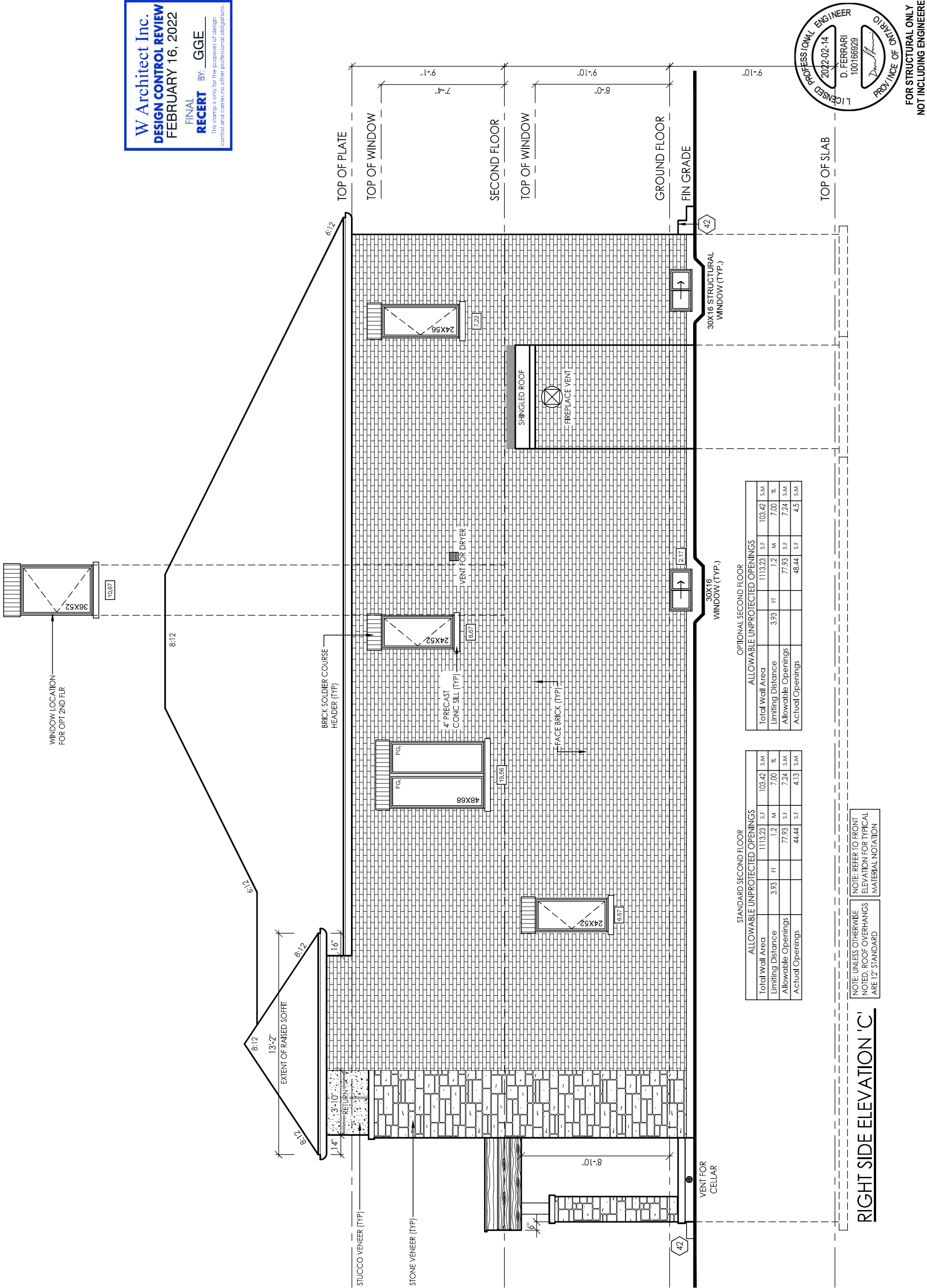


WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA

| # | revisions                      | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |           |      |     |     |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT              | 27-JUL-21 | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
 location: Richmond Hill  
 Project: Centrefield, Ph. 2  
 marketing name: \_\_\_\_\_  
 date: \_\_\_\_\_  
 dwn: \_\_\_\_\_  
 chk: \_\_\_\_\_  
 # \_\_\_\_\_

1. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: \_\_\_\_\_  
 FIRM BCIN: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_



**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL RECERT BY: **GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.



FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM

OPTIONAL SECOND FLOOR ALLOWABLE UNPROTECTED OPENINGS

| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings | S.F.   | M   | %    | S.F.   | S.M  |
|-----------------|-------------------|--------------------|-----------------|--------|-----|------|--------|------|
| 1113.23         | 3.93              | 77.93              | 48.44           | 113.23 | 1.2 | 7.00 | 103.42 | 7.24 |

STANDARD SECOND FLOOR ALLOWABLE UNPROTECTED OPENINGS

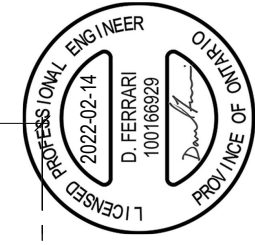
| Total Wall Area | Limiting Distance | Allowable Openings | Actual Openings | S.F.   | M   | %    | S.F.   | S.M  |
|-----------------|-------------------|--------------------|-----------------|--------|-----|------|--------|------|
| 1113.23         | 3.93              | 77.93              | 44.44           | 113.23 | 1.2 | 7.00 | 103.42 | 4.13 |

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

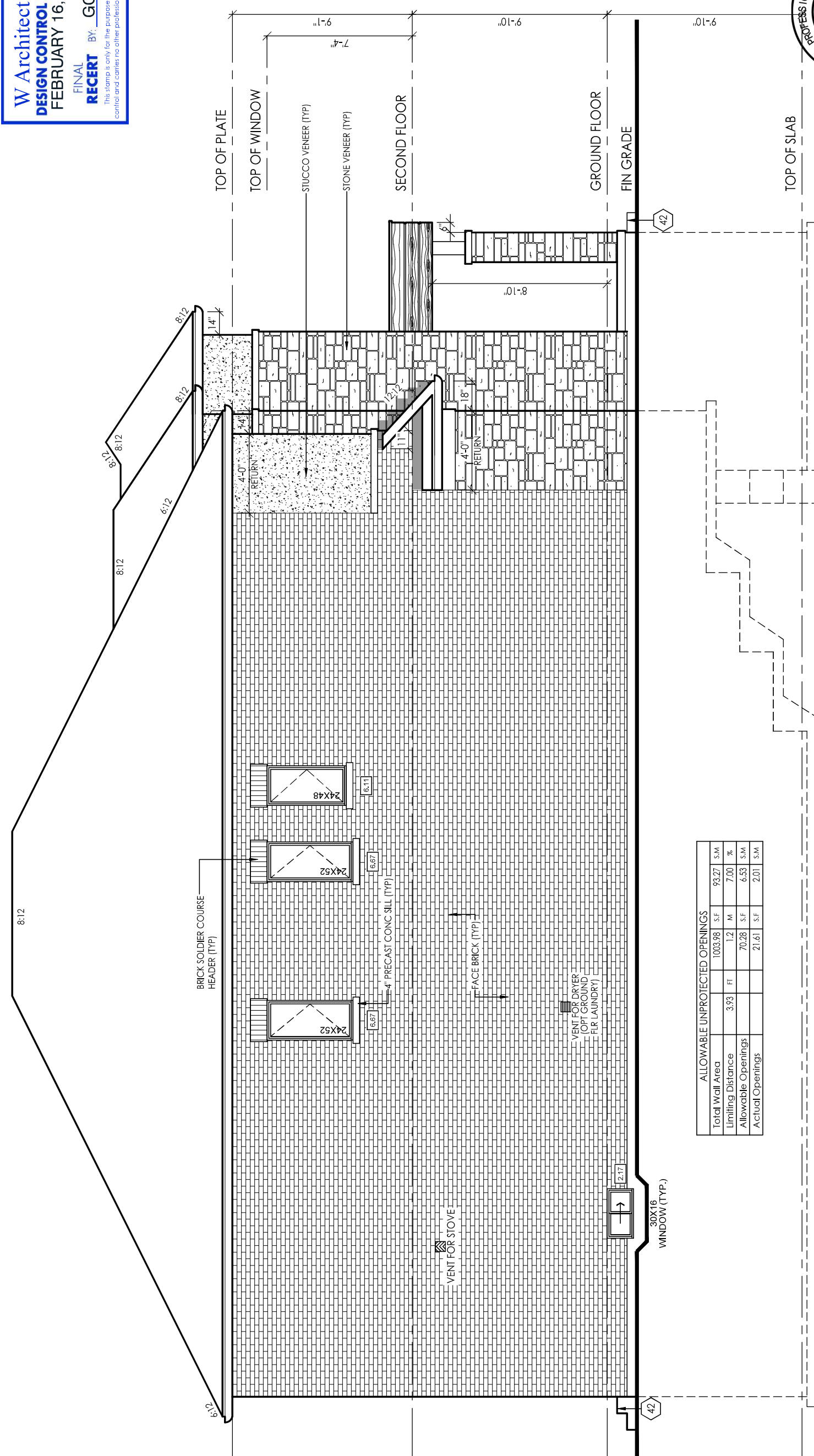
RIGHT SIDE ELEVATION 'C'

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL  
**RECERT BY: GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.



**FOR STRUCTURAL ONLY**  
**NOT INCLUDING ENGINEERED**  
**FLOOR OR ROOF SYSTEM**



| ALLOWABLE UNPROTECTED OPENINGS |         |      |       |      |
|--------------------------------|---------|------|-------|------|
| Total Wall Area                | 1003.98 | S.F. | 93.27 | S.M. |
| Limiting Distance              | 3.93    | ft   | 1.2   | m    |
| Allowable Openings             | 70.28   | S.F. | 6.53  | S.M. |
| Actual Openings                | 21.61   | S.F. | 2.01  | S.M. |

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD  
 NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**LEFT SIDE ELEVATION 'C'**

| # | revisions                      | date      | dwn | chk | # |
|---|--------------------------------|-----------|-----|-----|---|
| 1 | ISSUED FOR CLIENT REVIEW       | 14-MAY-21 | SL  | XX  |   |
| 2 | REVISED AS PER CLIENT COMMENTS | 28-MAY-21 | CM  | CM  |   |
| 3 | ISSUED FOR PERMIT              | 27-JUN-21 | AB  | CM  |   |

Client: Royal Pine Homes Ltd.  
 Project: Centrefield, Ph. 2  
 Revisions: #  
 date dwn chk #  
 date dwn chk #  
 date dwn chk #  
 103017Z  
 26995  
 FEB. 9, 2022  
 DATE:  
 SIGNATURE:

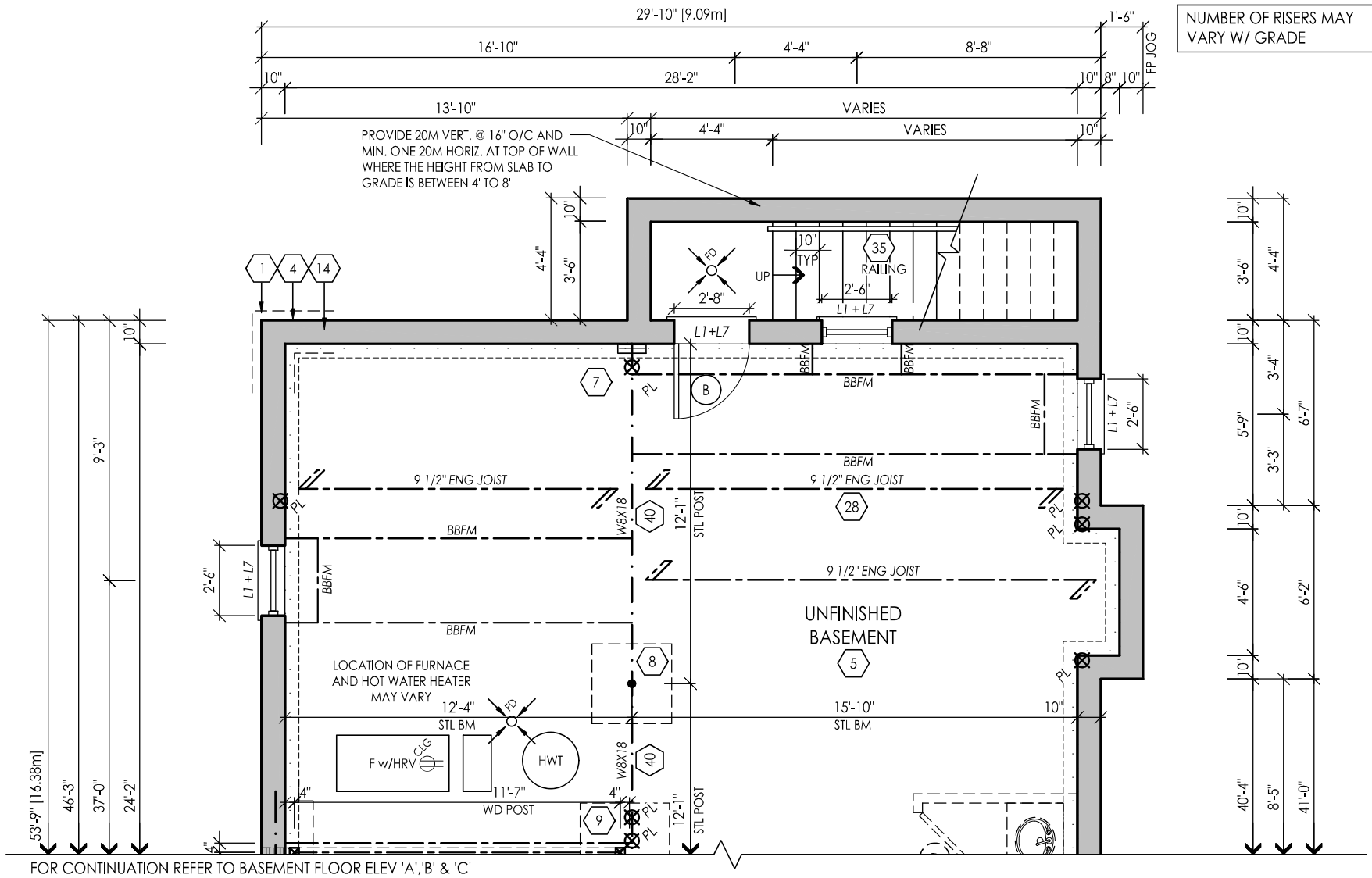
Client: Richmond Hill  
 Location: Richmond Hill  
 Marketing name:  
 #  
 date dwn chk #  
 date dwn chk #  
 date dwn chk #  
 103017Z  
 26995  
 FEB. 9, 2022  
 DATE:  
 SIGNATURE:  
 I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES:  
 QUALIFIED DESIGNER BCIN:  
 FIRM BCIN:  
 DATE:  
 SIGNATURE:  
 WWW.RNDESIGN.COM  
 TEL: 905-738-3177  
 WWW.THEPLUSGROUP.CA  
 model: 38-13  
 scale: 3/16" = 1'0"  
 project #: 20005  
 page: A24



# PARTIAL BASEMENT FLOOR PLAN ELEV 'A', 'B' & 'C' W/ WALK UP BASEMENT CONDITION

REFER TO DETAIL PACKAGE FOR WALK-UP STAIR DETAIL

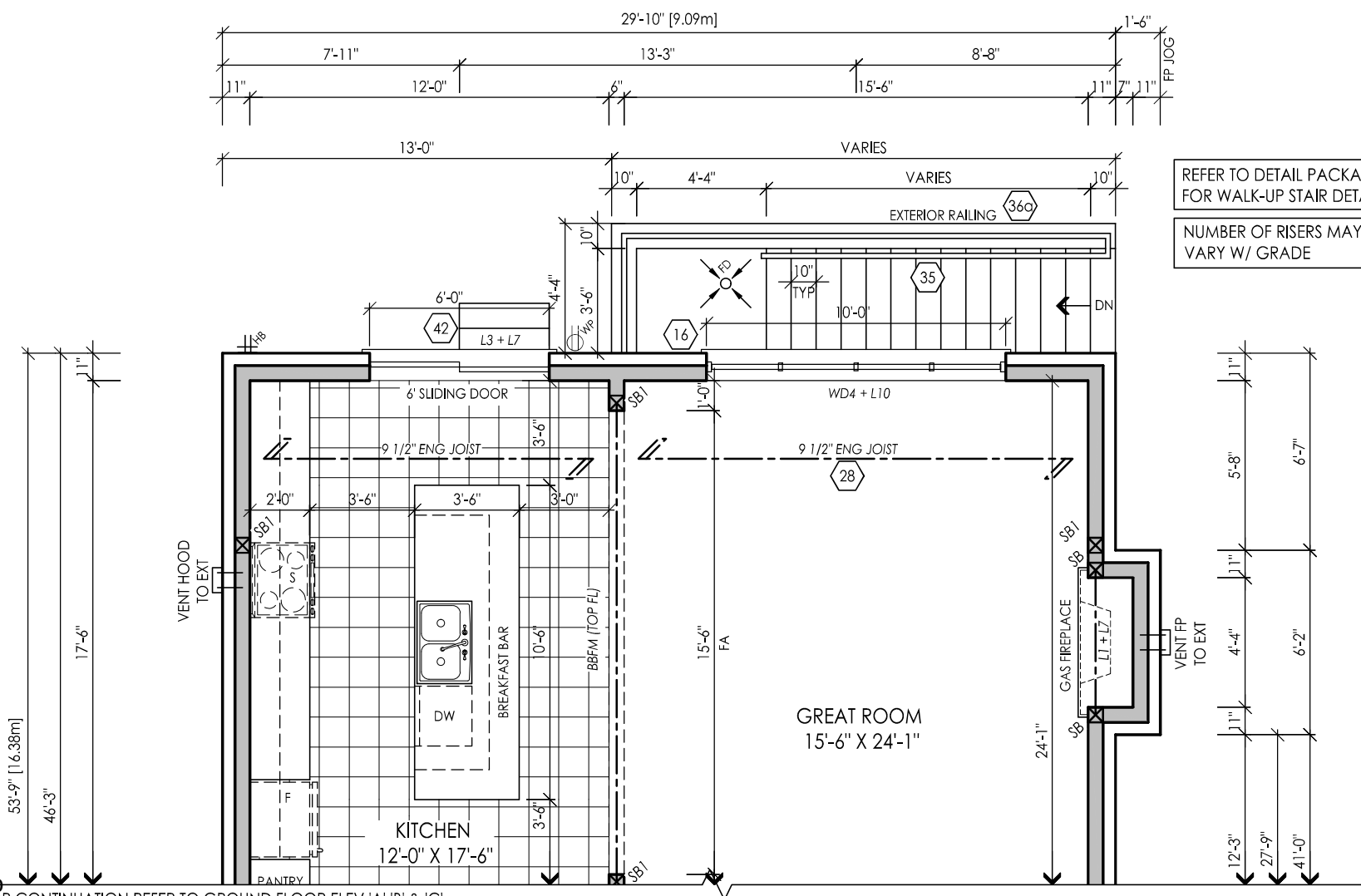
NUMBER OF RISERS MAY VARY W/ GRADE



# PARTIAL GROUND FLOOR PLAN ELEV 'A', 'B' & 'C' W/ WALK UP BASEMENT CONDITION

REFER TO DETAIL PACKAGE FOR WALK-UP STAIR DETAIL

NUMBER OF RISERS MAY VARY W/ GRADE



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE: *[Signature]*

client: Royal Pine Homes Ltd. location: Richmond Hill  
project: Centrefield, Ph. 2 marketing name:

| # | revisions   | date       | dwn | chk | # | revisions | date | dwn | chk |
|---|---|------------|-----|-----|---|-----------|------|-----|-----|
| 3 | ISSUED FOR CLIENT REVIEW                          | 15-JUNE-21 | EO  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21  | AB  | CM  |   |           |      |     |     |



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

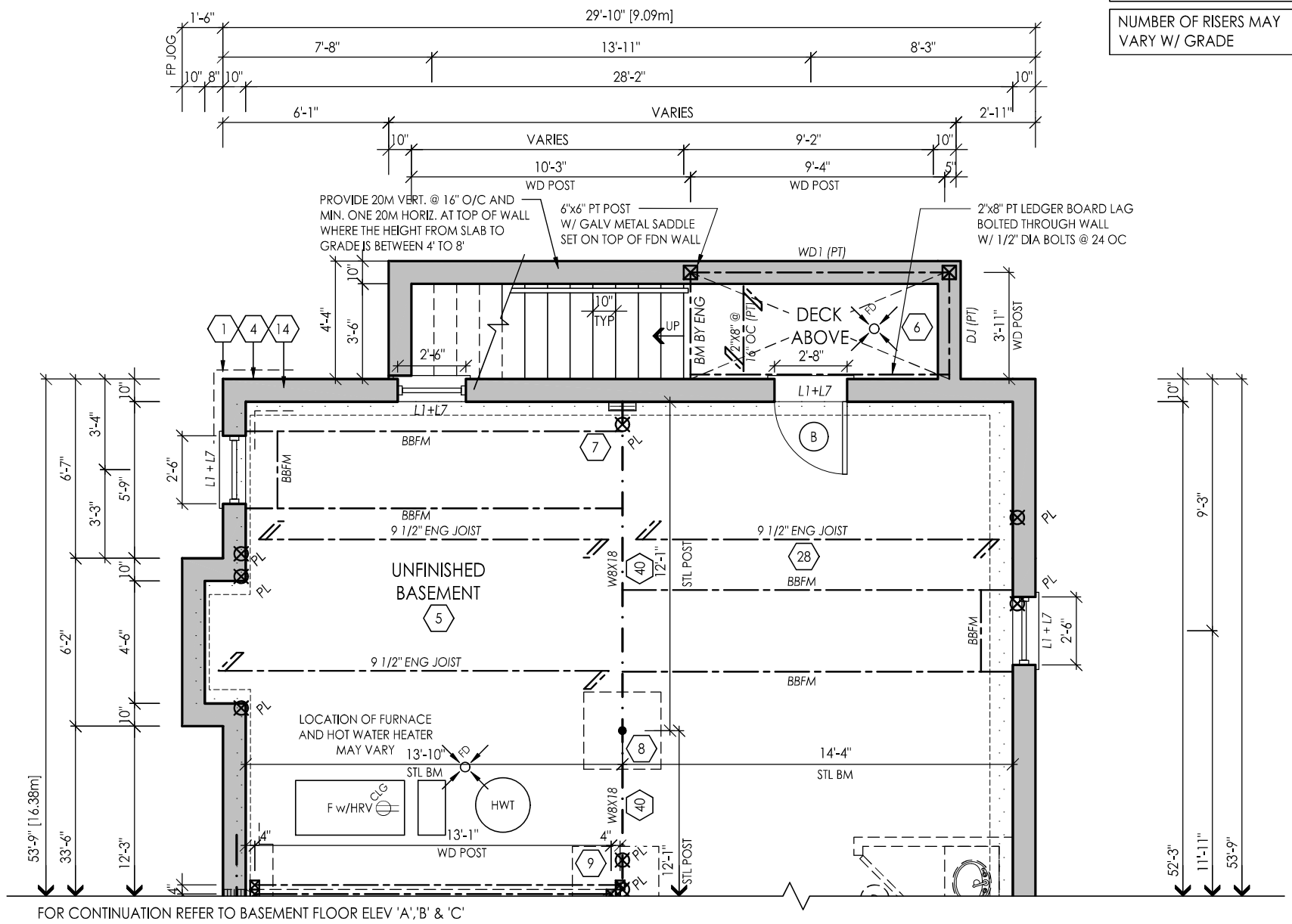
model: 38-13  
scale: 3/16" = 1'0" project #: 20005

page: A25

# PARTIAL BASEMENT FLOOR PLAN ELEV. 'A', 'B' & 'C' FOR OPT GROUND FLOOR W/ WALK-UP BASEMENT CONDITION

REFER TO DETAIL PACKAGE  
FOR WALK-UP STAIR DETAIL

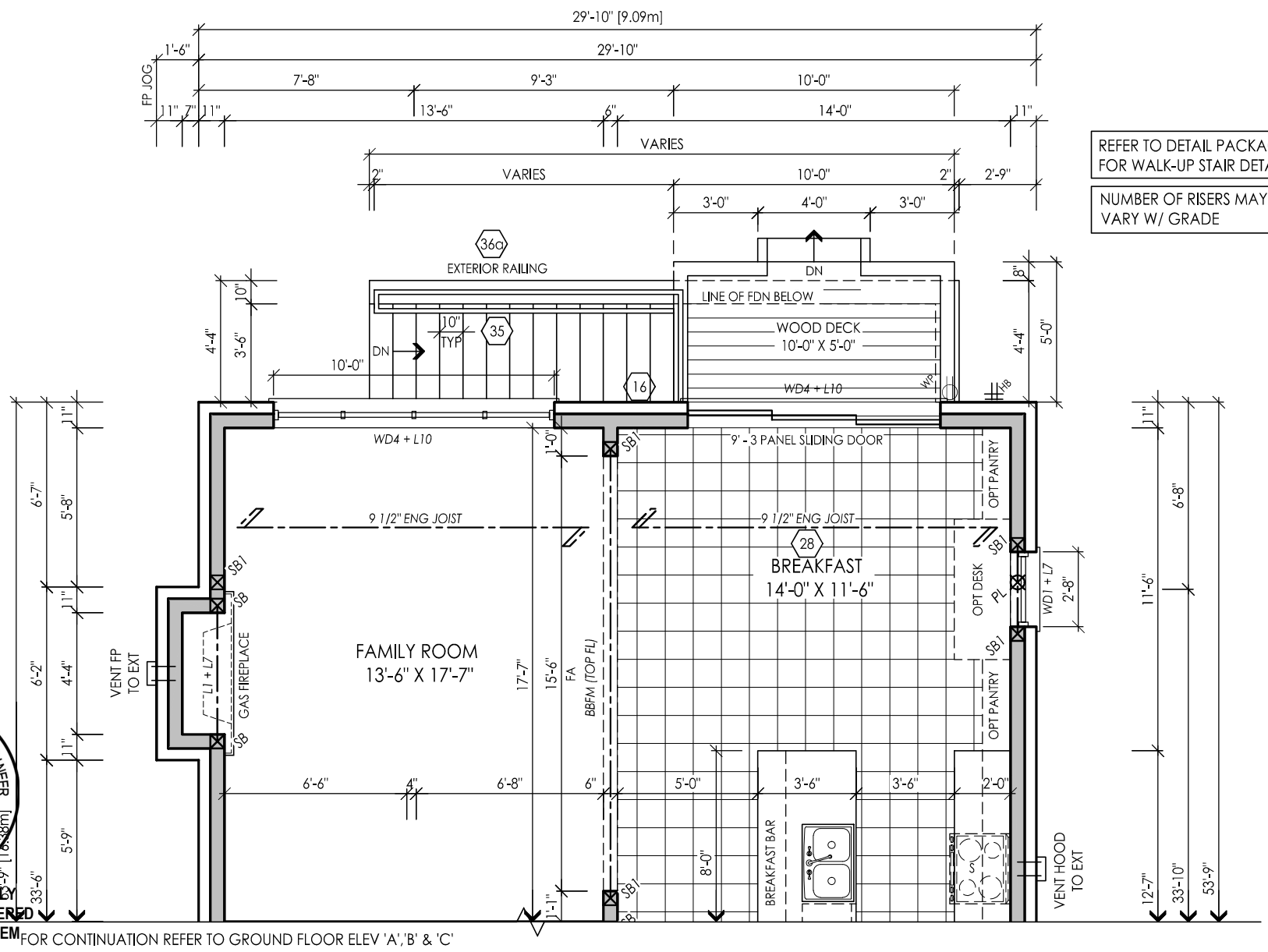
NUMBER OF RISERS MAY  
VARY W/ GRADE



# PARTIAL OPT. GROUND FLOOR ELEV 'A', 'B' & 'C' W/ WALK UP BASEMENT CONDITION

REFER TO DETAIL PACKAGE  
FOR WALK-UP STAIR DETAIL

NUMBER OF RISERS MAY  
VARY W/ GRADE



FOR STRUCTURAL ONLY  
NOT INCLUDING ENGINEERED  
FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**

location  
**Richmond Hill**

project  
**Centrefield, Ph. 2**

marketing name

| # | revisions   | date       | dwn | chk | # | revisions | date | dwn | chk |
|---|---|------------|-----|-----|---|-----------|------|-----|-----|
| 3 | ISSUED FOR CLIENT REVIEW                          | 15-JUNE-21 | EO  | CM  |   |           |      |     |     |
| 5 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 27-JUL-21  | AB  | CM  |   |           |      |     |     |



WWW.RNDESIGN.COM  
Tel: 905-738-3177  
WWW.THEPLUSGROUP.CA

model  
**38-13**

scale  
**3/16" = 1'0"**

project #  
**20005**

page

**A26**

## GROSS GLAZING AREA-ELEV A-STD-WUB

|                            |            |                       |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 3540.62 SF | 328.93 m <sup>2</sup> |
| FRONT GLAZING AREA         | 146.34 SF  | 13.60 m <sup>2</sup>  |
| LEFT SIDE GLAZING AREA     | 28.67 SF   | 2.66 m <sup>2</sup>   |
| RIGHT SIDE GLAZING AREA    | 167.33 SF  | 15.55 m <sup>2</sup>  |
| REAR GLAZING AREA          | 176.92 SF  | 16.44 m <sup>2</sup>  |

|                          |           |                      |
|--------------------------|-----------|----------------------|
| TOTAL GLAZING AREA       | 519.25 SF | 48.24 m <sup>2</sup> |
| TOTAL GLAZING PERCENTAGE | 14.67 %   |                      |

## GROSS GLAZING AREA-ELEV B-STD-WUB

|                            |            |                       |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 3480.94 SF | 323.39 m <sup>2</sup> |
| FRONT GLAZING AREA         | 181.60 SF  | 16.87 m <sup>2</sup>  |
| LEFT SIDE GLAZING AREA     | 28.67 SF   | 2.66 m <sup>2</sup>   |
| RIGHT SIDE GLAZING AREA    | 56.00 SF   | 5.20 m <sup>2</sup>   |
| REAR GLAZING AREA          | 167.33 SF  | 15.55 m <sup>2</sup>  |

|                          |           |                      |
|--------------------------|-----------|----------------------|
| TOTAL GLAZING AREA       | 433.60 SF | 40.28 m <sup>2</sup> |
| TOTAL GLAZING PERCENTAGE | 12.46 %   |                      |

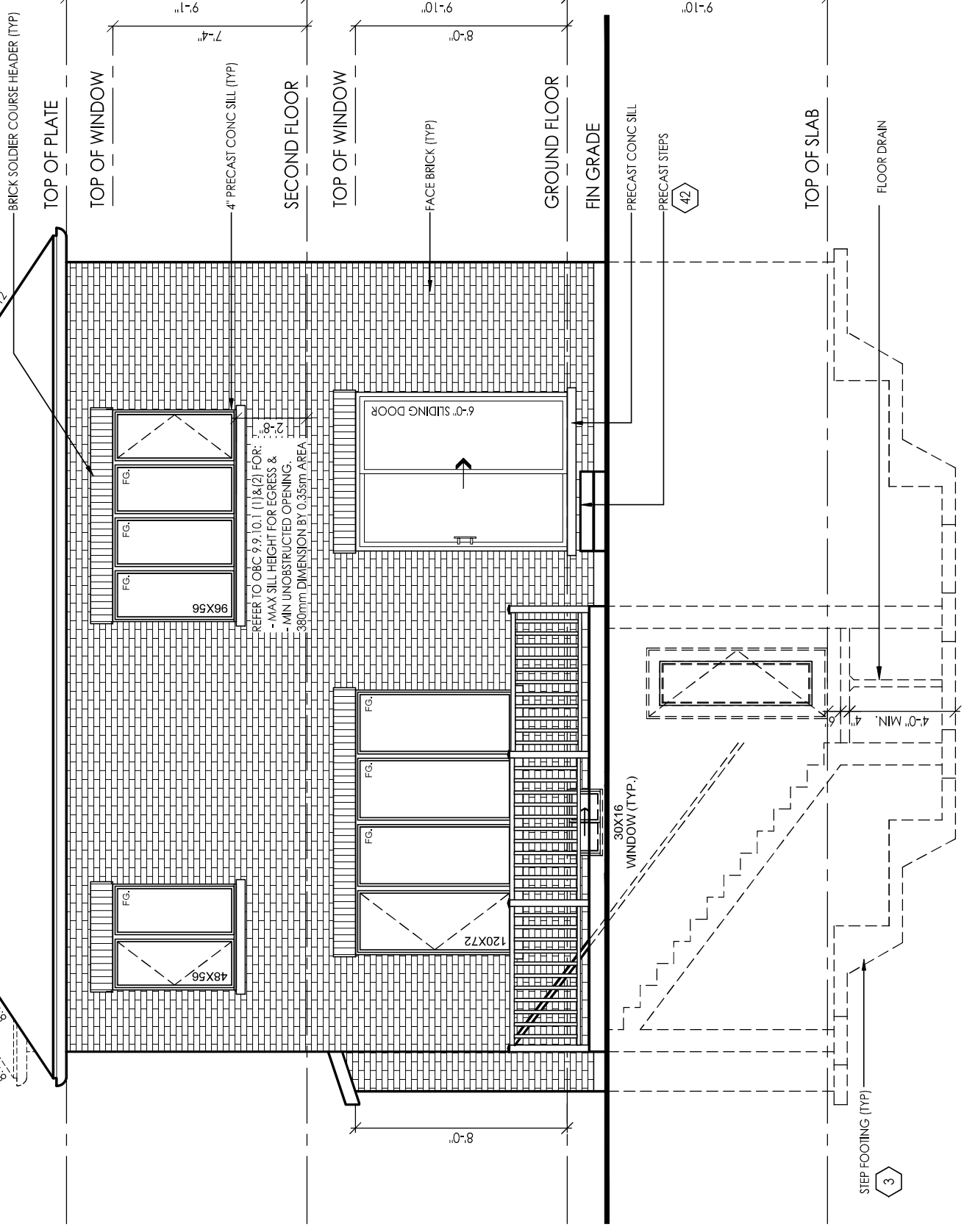
## GROSS GLAZING AREA-ELEV C-STD-WUB

|                            |            |                       |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 3475.06 SF | 322.84 m <sup>2</sup> |
| FRONT GLAZING AREA         | 151.67 SF  | 14.09 m <sup>2</sup>  |
| LEFT SIDE GLAZING AREA     | 28.67 SF   | 2.66 m <sup>2</sup>   |
| RIGHT SIDE GLAZING AREA    | 56.00 SF   | 5.20 m <sup>2</sup>   |
| REAR GLAZING AREA          | 177.53 SF  | 16.49 m <sup>2</sup>  |

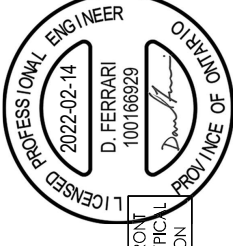
|                          |           |                      |
|--------------------------|-----------|----------------------|
| TOTAL GLAZING AREA       | 413.87 SF | 38.45 m <sup>2</sup> |
| TOTAL GLAZING PERCENTAGE | 11.91 %   |                      |

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**FEBRUARY 16, 2022**  
 FINAL  
**RECERT BY: GGE**  
 This stamp is only for the purposes of design control and carries no other professional obligations.

OUTLINE FOR  
ROOF 'B' & 'C'



**REAR ELEVATION 'A', 'B' & 'C'**  
**W/ WALK UP BASEMENT CONDITION**



NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD  
 NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

**FOR STRUCTURAL ONLY**  
**NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM**



| # | revisions                | date       | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------|------------|-----|-----|---|-----------|------|-----|-----|
| 3 | ISSUED FOR CLIENT REVIEW | 15-JUNE-21 | EC  | CM  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT        | 27-JUL-21  | AB  | CM  |   |           |      |     |     |

Client: Royal Pine Homes Ltd.  
 Project: Centrefield, Ph. 2  
 Location: Richmond Hill  
 Marketing name: \_\_\_\_\_  
 date: \_\_\_\_\_  
 dwn: \_\_\_\_\_  
 chk: \_\_\_\_\_

Client: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Marketing name: \_\_\_\_\_  
 date: \_\_\_\_\_  
 dwn: \_\_\_\_\_  
 chk: \_\_\_\_\_

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **W ARCHITECT INC.** UNDER DIVISION PART-3 AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: \_\_\_\_\_  
 FIRM BCIN: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

Model: 38-13  
 Scale: 3/16" = 1'-0"  
 Project #: 20005  
 Page: \_\_\_\_\_

**A27**

\\c:\m\studies\Temp\Project\15709\2005-98-15\FINAL.dwg Plottd: Feb 14, 2022 9:47am







**REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW2b (STC = N/A, FIRE = 45 MIN)  
 FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
 -ADD GLASS FIBRE BATT TO FILL CAVITY WITH A MASS OF AT LEAST 1.0 kg/ sq.m.  
 -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**17 INTERIOR STUD WALLS:**

O.B.C. T.9.23.10.1.  
 -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR  
 -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/  
 -DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE  
 -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

**18 BEARING STUD WALL (BASEMENT):**

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR  
 -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/  
 -DBL. 2" X 4" OR 2" X 6" TOP PLATE.  
 -2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.  
 -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.  
 -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.  
 -FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

**19 PARTY WALL - BLOCK:**

O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK  
 -FLANKING FLOOR ASSEMBLIES TO COMPLY WITH OBC 9.11.1.4.(4)  
 -SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE  
 -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES  
 -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES  
 -ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.  
 -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)  
 -STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2  
 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 NOTE (4) TO TABLE 1

**19c PARTY WALL - BLOCK (AGAINST GARAGE):**

O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS  
 -1/2" (12.7mm) GYPSUM BOARD  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4.  
 -2" X 6" (38mmX 140mm) WOOD STRAPPING @ 16" (400mm) O.C.  
 -R22 (RSI 3.87) RIGID INSULATION  
 -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)  
 -1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE  
 -TAPE AND SEAL ALL JOINTS GAS TIGHT

**19b FIREWALL:**

O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)  
 - ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M.) OF BUILDING AREA, O.B.C. T.3.2.2.47.  
 -FLANKING FLOOR ASSEMBLIES TO COMPLY WITH OBC 9.11.1.4.(4)  
 -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS  
 -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL  
 -SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY  
 -7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING  
 -EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS  
 -STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2  
 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 NOTE (4) TO TABLE 1  
 -PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING  
 -EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)  
 -WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)

**20 PARTY WALL - FOUNDATION:**

O.B.C. 9.15.4.2.  
 -7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS  
 -FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

**21 PARTY WALL - WOOD STUD:**

O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK  
 -FLANKING FLOOR ASSEMBLIES TO COMPLY WITH OBC 9.11.1.4.(4)  
 -2 ROWS 2"x4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES  
 -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.  
 -5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.  
 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 NOTE (4) TO TABLE 1  
 NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =  
 -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
 -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
 - IF 2"x6" STUDS ARE USED AT STAIR OPENING CONTINUE TO USE ON REMAINING FLOORS AT THE STAIR OPENING AT 16" O.C.

**22 GARAGE WALL & CEILING:**

O.B.C. 9.10.9.16.(3)  
 -1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE  
 -TAPE AND SEAL ALL JOINTS GAS TIGHT  
 -R22 (RSI 3.87) INSULATION IN WALLS,  
 -R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4. FOR FLOOR ABOVE.  
 -INSULATION AROUND DUCTS AND PIPING NOT TO ENCR OACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).  
 -1/2" (12.7mm) GYPSUM BOARD  
 -ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS  
 -BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

**22c WALLS ADJACENT TO ATTIC SPACE:**

-1/2" (12.7mm) GYPSUM BOARD  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4.  
 -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.  
 -R22 (RSI 3.87) INSULATION  
 -1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.  
 -ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

**23 DOUBLE VOLUME WALLS:**

O.B.C. 9.23.10.1.  
 -3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING  
 -REFER TO PLAN FOR STUD SPECIFICATION  
 -STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS  
 -DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.  
 -SOLID BRIDGING AT 3'-1 1/2" (1200mm) O.C.  
 -MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12.3.1.1.2.A.)  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

**CLIENT SPECIFIC REVISIONS**

File: C:\\_RN\_Standards\Temp\AcPublish\_15708\20005-38-13\FINAL.dwg Plotted: Feb 14, 2022 By: Maritza

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE:

client  
**Royal Pine Homes Ltd.**

location  
**Richmond Hill**

project  
**Centrefield, Ph. 2**

marketing name

| # | revisions                | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW | 14-May-21 | SL  | XX  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT        | 27-JUN-21 | AB  | CM  |   |           |      |     |     |
| 6 | UPDATE TO 2022 OBC       | 9-Feb-22  | MSA |     |   |           |      |     |     |

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR  
 -2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)  
 -R31 (RSI 5.46) INSULATION  
 -MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.  
 -1/2" (12.7mm) GYPSUM BOARD

**33 CONVENTIONAL FRAMING:**

O.B.C. TABLE A6 OR A7  
 -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)  
 -2" X 4" (38mm X 89mm) COLLAR TIES AT MIDSPANS  
 -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.  
 -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

**34 ATTIC ACCESS HATCH:**

OBC 9.19.2.1. & SB-12 3.1.1.8.(1)  
 -19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

**GENERAL:****35 PRIVATE STAIRS:**

O.B.C. 9.8.4.  
 -MAX. RISE = 7-7/8" (200mm)  
 -MIN. RUN = 10" (255mm)  
 -MIN. TREAD = 11" (280mm)  
 -NOSING = 1" (25mm)  
 -MIN. HEADROOM = 6'-5" (1950mm)  
 -MIN. WIDTH = 2'-10" (860mm)  
 -MIN. WIDTH = 2'-11" (900mm) (EXIT STAIRS, BETWEEN GUARDS)  
 TAPERED TREADS: (9.8.4.3.)  
 -MIN. RUN = 5 7/8" (150mm)  
 -MIN. AVG. RUN\*\* = 10" (255mm)  
 (\*\*MEASURE FROM 300mm FROM MIDPOINT OF INSIDE HANDRAIL)  
 -FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
 -EXTERIOR CONC. STEPS TO HAVE MIN. 11" (280mm) TREAD & MAX. 7 7/8" (200mm) RISE  
 -FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

**HANDRAILS:**  
 O.B.C. 9.8.7  
 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
 -TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
 -ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS  
 -HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

**HEIGHT:**  
 O.B.C. 9.8.7.4  
 -2'-10" (865mm) MIN. TO 3'-6" (1070mm) MAX.  
 -3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
 -MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**  
 O.B.C. 9.8.7.6  
 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

**35c PUBLIC STAIRS:**

O.B.C. 9.8.4.  
 -MAX. RISE = 7-3/32" (180mm)  
 -MIN. RUN = 11" (280mm)  
 -MIN. TREAD = 12" (305mm)  
 -NOSING = 1" (25mm)  
 -MIN. HEADROOM = 6'-9" (2050mm)  
 -MIN. WIDTH = 2'-11" (900mm)  
 (EXIT STAIRS, BETWEEN GUARDS)  
 -FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
 -FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

**HANDRAILS:**

O.B.C. 9.8.7  
 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
 -TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
 -TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH  
 -HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS

**HEIGHT:**

O.B.C. 9.8.7.4  
 -2'-10" (865mm) MIN. TO 3'-6" (1070mm) MAX.  
 -3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
 -MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**

O.B.C. 9.8.7.6  
 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

**TERMINATION:**

O.B.C. 9.8.7.3  
 - ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH FLIGHT

**FINISH:**

O.B.C. 9.8.9.6  
 -TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)  
 - STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCAT E THE LEADING EDGE OF THE TREAD ON THE LANDING AND THE BEGINNING AND END OF A RAMP.

**36 INTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.  
 -GUARDS TO BE 3'-6" (1070mm) HIGH  
 -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
 -INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS  
 -PICKETS TO HAVE 4" (100mm) MAX. SPACING  
 -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

**36c EXTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.  
 -GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS MORE THAN 23 5/8" (600mm).  
 -GUARDS TO BE 3'-6" (1070mm)  
 -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
 -FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.  
 -PICKETS TO HAVE 4" (100mm) MAX. SPACING  
 -FOR WOOD GUARDS PROVIDE MID-SPAN POSTS AS PER SB-7.  
 -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD



**FOR STRUCTURAL ONLY  
 NOT INCLUDING ENGINEERED  
 FLOOR OR ROOF SYSTEM**



WWW.RNDESIGN.COM  
 Tel: 905-738-3177  
 WWW.THEPLUSGROUP.CA

model  
**38-13**  
 scale project #  
 3/16" = 1'0" 20005

page

**D2**

- 36b **EXTERIOR GUARDS @ JULIET BALCONY:**
  - FOR RAILING SPANNING MAXIMUM OF 6'-0".
  - PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
  - GUARDS TO BE 3'-6" (1070mm)
  - FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
  - FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
  - VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8" MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
  - PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37 -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38 -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39 -CAPPED DRYER VENT
- 40 -1"X2" (19mmX38mm) BOTH SIDES OF STEEL
- 41 -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42 -PRECAST CONC. STEP
- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44 SMOKE ALARM, O.B.C.- 9.10.19.
  - PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
  - PROVIDE 1 IN EACH BEDROOM
  - PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
  - INSTALLED AT OR NEAR CEILING
  - ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
  - ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45 CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
  - WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
  - CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46 -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
  - PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
  - R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47 -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15. -R4 (RSI 0.70)
- 48 -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT;
  - 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
  - 2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49 **EXTERIOR COLUMN W/ MASONRY PIER:**
  - MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
  - TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
  - MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
  - SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
  - 3/4" AIR SPACE AROUND POST.
  - OR
  - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
  - MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP. REFER TO ELEVATION DRAWINGS FOR PIER SIZE AND CAP HEIGHT.
  - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.
- 49a **EXTERIOR COLUMN:**
  - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
  - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.
- 50 **COLD CELLARS:**
  - FOR COLD CELLARS PROVIDE THE FOLLOWING:
    - VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
    - COVER VENT W/ BUG SCREEN
    - WALL MOUNTED LIGHT FIXTURE
    - L1-L7 FOR DOOR OPENING
    - 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
    - INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ R20 (RSI 3.52) CONTINUOUS INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
    - ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
- 51 **STUD WALL REINFORCEMENT:**
  - O.B.C. 9.5.2.3.
  - WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(g) & 3.8.3.13.(4)(e)
  - GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)
- 53 **WINDOW GUARDS:**
  - @ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
  - WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS OR -
  - WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b)
  - @ FLOORS - OBC 9.8.8.1.(6)
  - OPERABLE WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.

**FRAME CONSTRUCTION:**

- ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
- BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
- APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

**WATERPROOF WALLS IN BATHROOMS:**

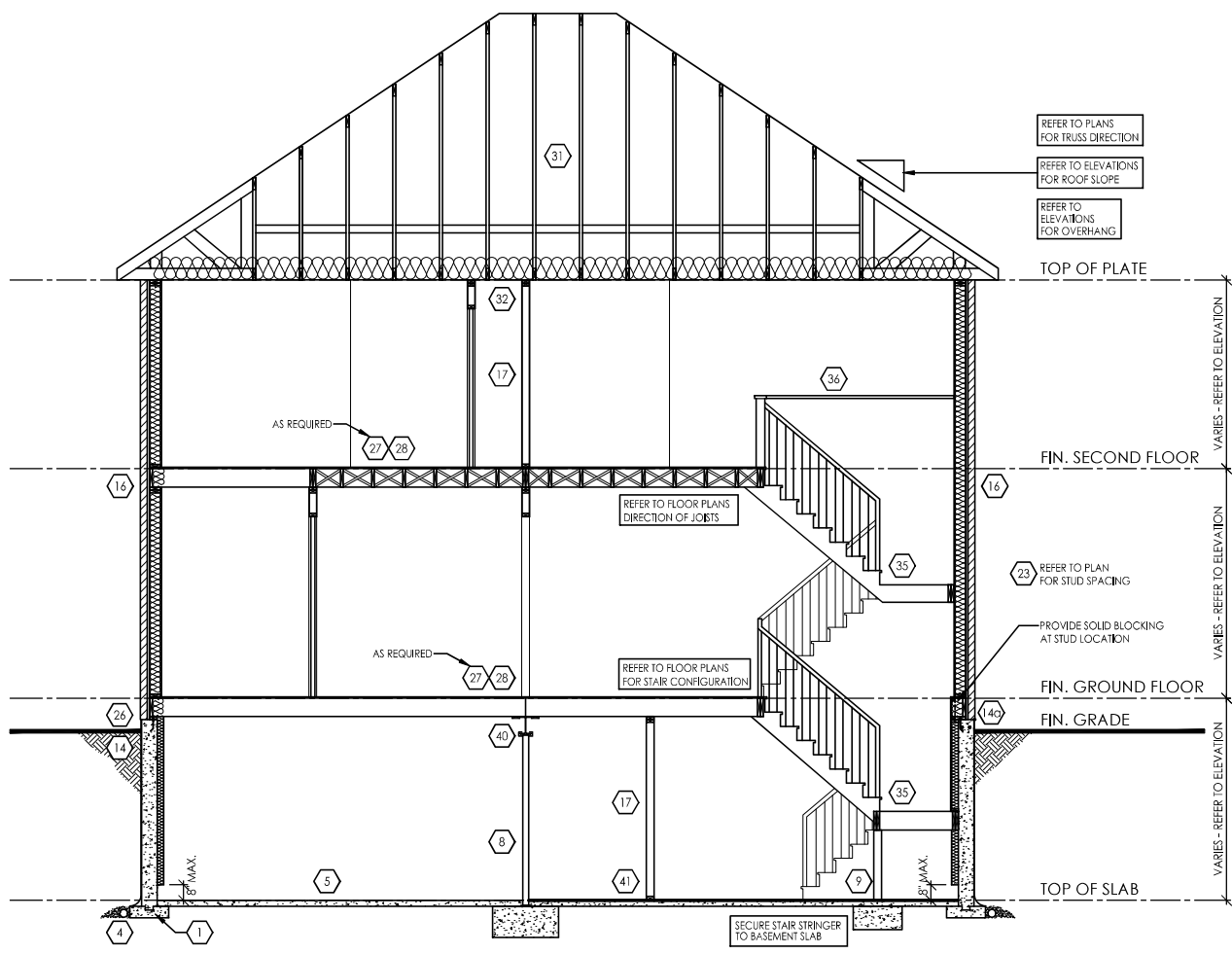
-REQUIRED AS PER OBC 9.29.2.1.

**WINDOWS:**

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

**DRAIN WATER HEAT RECOVERY:**

- DWHR UNITS TO BE INSTALLED AS PER OBC SB-12 3.1.1.1.(22) & 3.1.1.12. SENTENCES (1) TO (6)
- DWHR ARE REQUIRED IN ALL DWELLING UNITS TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS PROVIDED THERE IS A CRAWL SPACE OR STOREY BELOW THE SHOWERS.



TYPICAL CROSS SECTION - 2 STOREY (BRICK)

N.T.S.



FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

SCHEDULES

DOORS

- A 865x2030x45 (2'10"x6'8"x1-3/4")
- B 815x2030x35 (2'8"x6'8"x1-3/8")
- C 760x2030x35 (2'6"x6'8"x1-3/8")
- D 710x2030x35 (2'4"x6'8"x1-3/8")
- E 460x2030x35 (1'6"x6'8"x1-3/8")
- F 610x2030x35 (2'0"x6'8"x1-3/8")
- G OVER SIZED EXTERIOR DOOR

STEEL BEAMS

- ST1 W 6 X 15
- ST2 W 6 X 20
- ST3 W 8 X 18
- ST4 W 8 X 21
- ST5 W 8 X 24

WOOD BEAMS

- WD1 3/2" X 8" SPR
- WD2 4/2" X 8" SPR
- WD3 5/2" X 8" SPR
- WD4 3/2" X 10" SPR
- WD5 4/2" X 10" SPR
- WD6 5/2" X 10" SPR
- WD7 3/2" X 12" SPR
- WD8 4/2" X 12" SPR
- WD9 5/2" X 12" SPR

LINTELS

- L1 2/2" X 8" SPR
- L2 2/2" X 10" SPR
- L3 2/2" X 12" SPR
- L4 5" X 3-1/2" X 1/4" L
- L5 5" X 3-1/2" X 1/2" L
- L6 5" X 3-1/2" X 3/8" L
- L7 3-1/2" X 3-1/2" X 1/4" L
- L8 5" X 3-1/2" X 1/4" L
- L9 5" X 3-1/2" X 1/4" L
- L10 5" X 3-1/2" X 5/16" L
- L11 5" X 3-1/2" X 3/8" L
- L12 6" X 3-1/2" X 5/16" L
- L13 6" X 3-1/2" X 3/8" L
- L14 6" X 3-1/2" X 1/2" L
- L15 6" X 4" X 1/2" L
- L16 7" X 4" X 3/8" L
- L17 7" X 4" X 1/2" L

PLAN/ELEVATION LEGEND

|                          |                                |   |
|--------------------------|--------------------------------|---|
| SMOKE ALARM 44           | CARBON MONOXIDE ALARM (CMA) 45 | FLOOR DRAIN   |
| WATERPROOF DUPLEX OUTLET | DOUBLE JOIST                   | SOLID BEARING LUMBER (TO BE SAME WIDTH AS SUPPORTED MEMBER) |
| VENTS AND INTAKES        | PRESSURE TREATED LUMBER        | POINT LOAD  |
| HOSE BIB                 | GIRDER TRUSS                   | FLAT ARCH   |
| EXHAUST FAN 38           | ABOVE FINISHED FLOOR           | 2 STORY WALL  |
| COLD CELLAR VENT 50      | BEAM BY FLOOR MANUF            | EXT. LIGHT FIXTURE (WALL MOUNTED)                           |
| STOVE VENT               | FLUSH                          | HYDRO METER   |
| FIRE PLACE VENT          | DROPPED                        | GAS METER   |
| DRYER VENT               | REPEAT SAME JOIST SIZE         |   |
|                          | UNDER SIDE                     |   |
|                          | FIXED GLAZING                  |   |
|                          | GLASS BLOCK                    |   |
|                          | BLACK GLASS                    |   |

File: C:\\_RN\_Standards\Temp\_AcPub\15708\20005-38-1-FINAL.dwg Plotted: Feb 14, 2022 By: Marilho

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 103017  
 FIRM BCIN: 26995  
 DATE: FEB. 9, 2022

SIGNATURE:

|         |                       |                |               |
|---------|-----------------------|----------------|---------------|
| client  | Royal Pine Homes Ltd. | location       | Richmond Hill |
| project | Centrefield, Ph. 2    | marketing name |               |

| # | revisions                | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW | 14-May-21 | SL  | XX  |   |           |      |     |     |
| 5 | ISSUED FOR PERMIT        | 27-JUN-21 | AB  | CM  |   |           |      |     |     |
| 6 | UPDATE TO 2022 OBC       | 9-Feb-22  | MSA |     |   |           |      |     |     |

|       |              |           |       |
|-------|--------------|-----------|-------|
| model | 38-13        | project # | 20005 |
| scale | 3/16" = 1'0" |           |       |
| page  | D3           |           |       |

WWW.RNDESIGN.COM  
 Tel: 905-738-3177  
 WWW.THEPLUSGROUP.CA