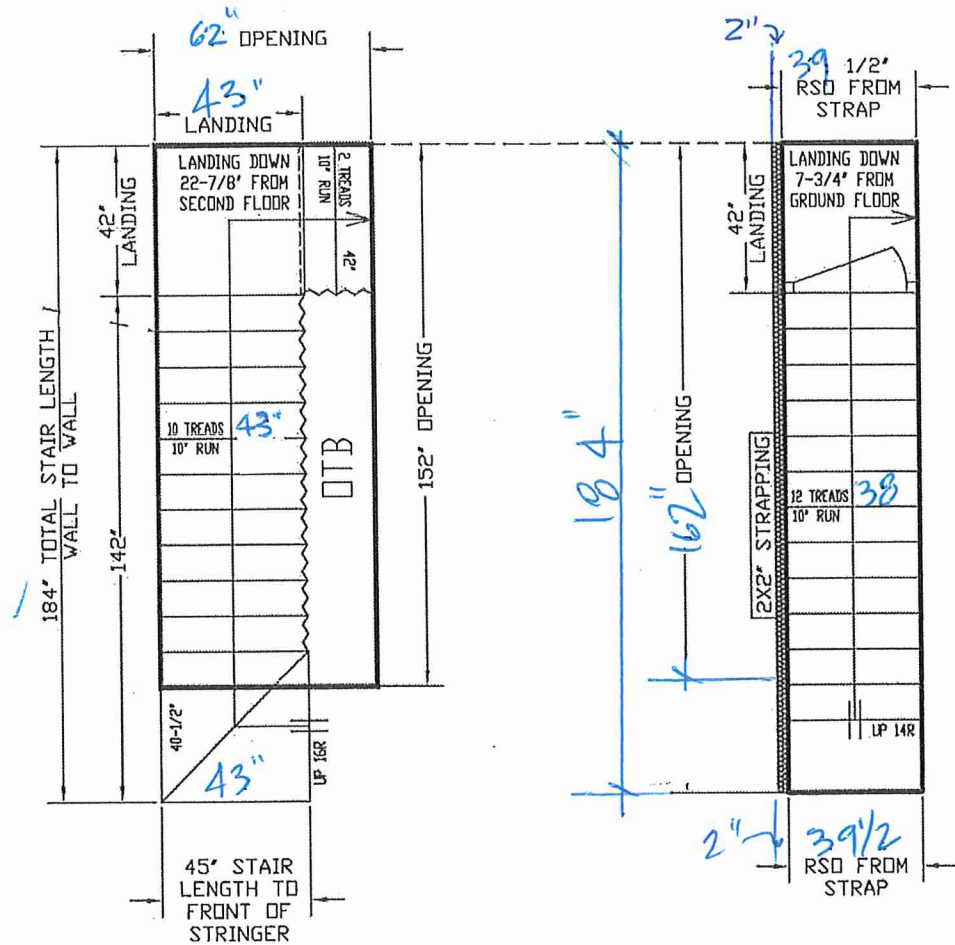


GROUND TO SECOND
122' HT 11-7/8' JOIST

BASEMENT TO GROUND
BSMT 11-7/8' JOIST



STAIRS LINE UP BY
PARTY WALL

ALL OPENINGS ARE ALLOWED
FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST
BE ALLOWED BY CARPENTERS

NO WALLS UNTIL
STAIRS INSTALLED

GARAGE RIGHT >

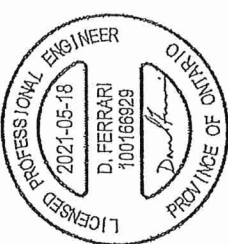
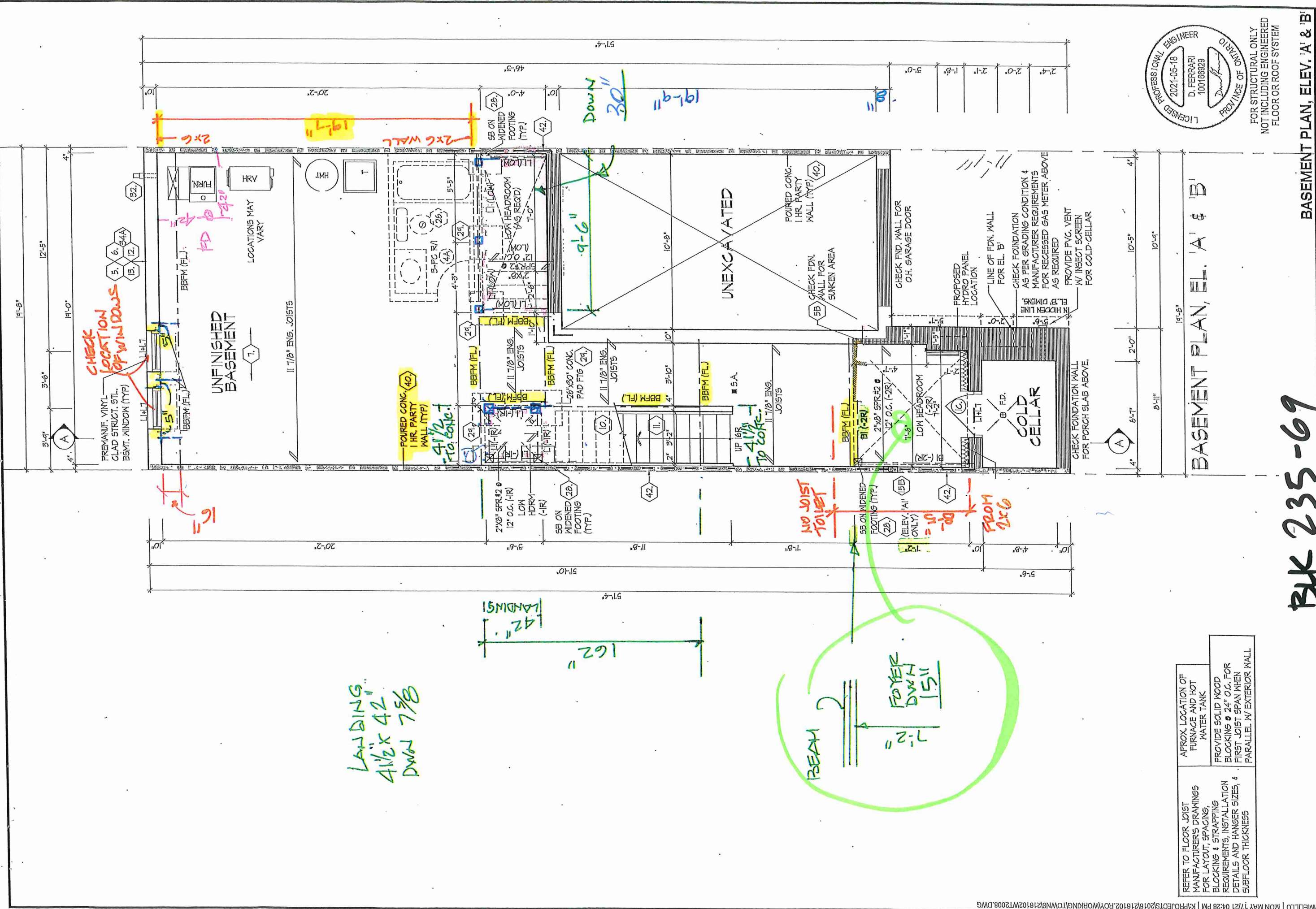


ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED
TO ALPA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO
INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STRAPPING ALLOWANCES, ALPA
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION!
ALPA STAIRS AND RAILINGS INC.
3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1H6
TEL: (905) 694-9556 | www.alpastairs.com



SITE:		NAME	DATE
CENTREFIELD		PARAJEET	APRIL 9, 2025
LOT #	CLIENT		
	ROYAL PINE HOMES		
Model	LAYOUT #		SCALE: 1/35
20-8 W/UNFIN. BSMT			

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FLOOR OR ROOF SYSTEM

BASEMENT PLAN, ELEV. 'A' & 'B'

ROYAL PINE HOMES - 216102
'CENTREFIELD', WEST GORMLEY, RICHMOND HILL, ON. REV. 2021.03.24



DESIGN ASSOCIATES INC. 37308 BOM 18695
www.huntassociates.com
8666 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
Scale 3/16"=1'-0"
Drawn By KM
Checked By DS
File Number 216102WT2008
Page Number 2 of 14

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REPRODUCED FROM THE ORIGINAL DRAWING. THE ORIGINAL DRAWING IS THE PROPERTY OF HUNT DESIGN ASSOCIATES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HUNT DESIGN ASSOCIATES INC.

- WINDOWS + SLIDING DOOR = 96
- ARCHES = 95 1/2
- FRONT DOOR 95"
- DOORS = 83 1/2"

MASONRY WALL	
SOLID MASONRY WALL W/ 10-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)	
2"x6" SILL PLATE • TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" x 12" BOLTS • 24" O.C. STAGGERED	
MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES • 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR	

* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 4'-10" TO MAX. 12'-0" HIGH, - NO FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - W/ FLOOR LOAD DOUBLE UP EVERY STUD @ 12" O.C. PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	ALL DOORS ON PLAN ARE 1'-10" HIGH TOP OF FRAME, UNLESS LABELED OTHERWISE. PROVIDE SOLID WOOD BLOCKING • 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
--	---

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING AND ASSURES THAT IT MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME
Derek R. Sattos
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
37308
BON
19895

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KM
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DS

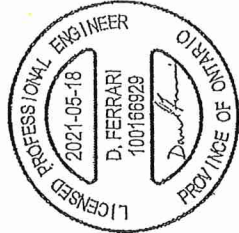
Project Number
216102WT2008
Scale
3/16"=1'-0"

Project Name
ROYAL PINE HOMES - 216102
'CENTREFIELD', WEST GORMLEY, RICHMOND HILL, ON.

Revision
REV. 2021.03.24

Page Number
4 of 14

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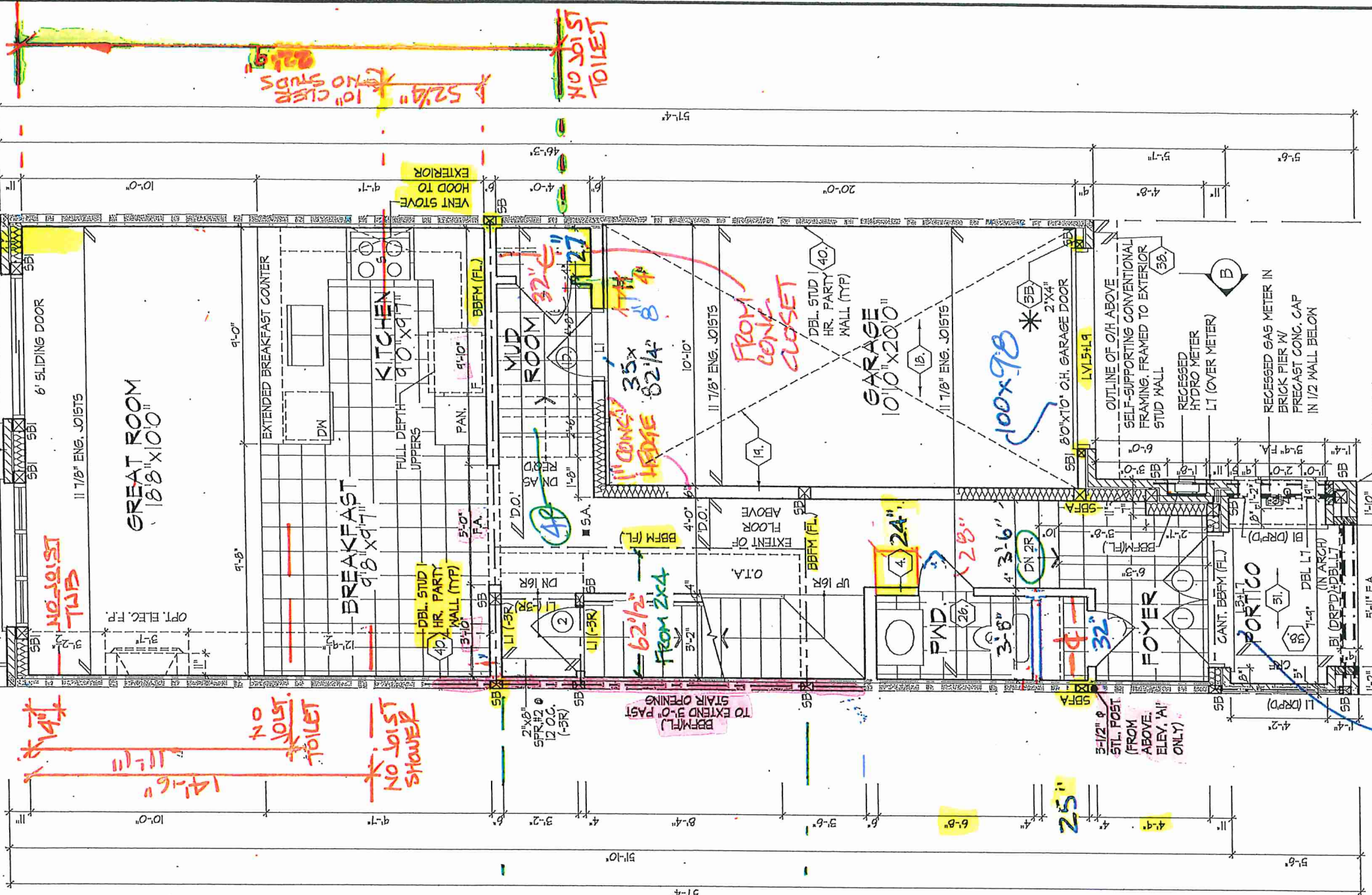
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GROUND FLOOR PLAN, EL. 'A'

UNIT 2008

GROUND FLOOR PLAN, EL. 'A'

BK 235-69



12" LONG
DOWNTURNED LT

SEE MASONRY
WALL NOTE

67x95

100x98

FROM
CONC.
CLOSET

62 1/2"
FROM 2'x4

VENT STOVE
HOOD TO
EXTERIOR

NO JOIST
TOILET

NO JOIST
SHOWER
TOILET

NO JOIST
TUB

12 1/2 x 96

73x69

5'-6"

5'-6"

5'-6"

SEE BLACK
PLANS FOR
VENTS

LANDINGS
43' X 42"
DNH 22' 8"

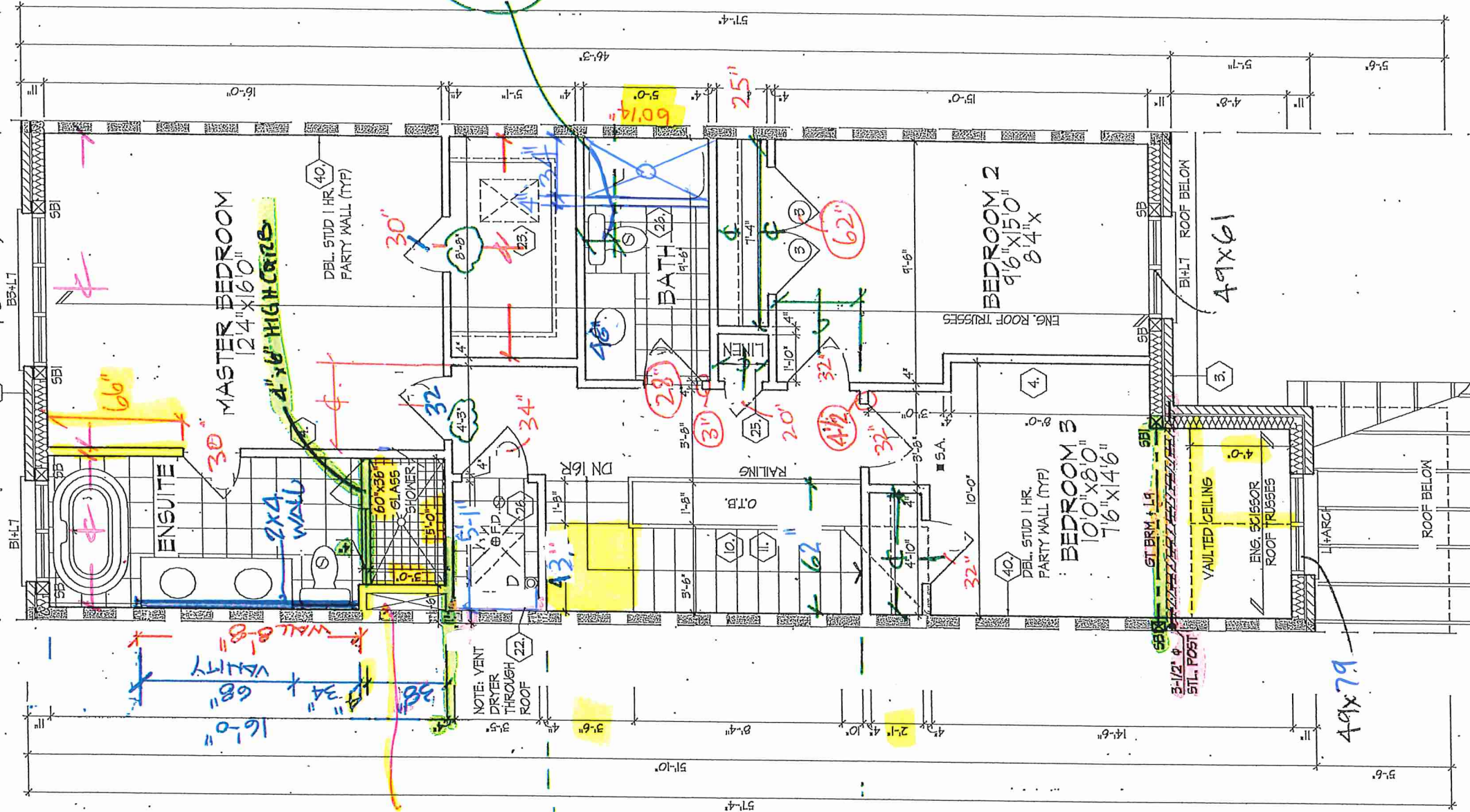
ROOF PLAN
EL. 'A2'
N.T.S.

SEE BLACK
PLANS FOR
VENTS

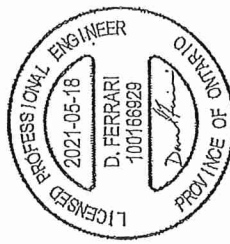
ROOF PLAN
EL. 'A1'
N.T.S.

DOORS B3"
WINDOWS SEE ELEV.

BK 235-69



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.



SECOND FLOOR PLAN,
EL. 'A1/A2'

SECOND FLOOR PLAN, EL. 'A1/A2'

ROYAL PINE HOMES - 216102
'CENTREFIELD', WEST GORMLEY, RICHMOND HILL, ON. REV. 2021.03.24

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DESIGN AND HAS REVIEWED THE MANUFACTURER'S DRAWINGS
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Derek R. Santos 37308 BCN 19695
SIGNATURE
HUNT DESIGN ASSOCIATES INC.

UNIT 2008
REV. 2021.03.24
Page Number
5 of 14
File Number
216102W72008
Checked By
DS 3/16/21
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INTERIOR PORCH
SECTION EL. 'A'



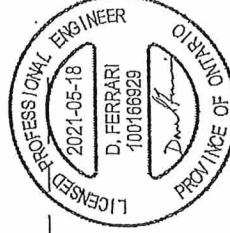
ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
12"x12" PRECAST CONC.
ACCENT (TYP.)
PREFIN. ALUM. GUTTER,
RWL, FASCIA BD. &
VENTED SOFFIT (TYP.)

2"x4" ALUMINIUM CLAD
PROFIED FRIEZE BOARD (TYP.)
7" PRECAST CONC. HEADER ON 7"
PRECAST CONC. SURROUND (TYP.)
3.5" PRECAST CONC. SILL
(TYP.)

COACH LAMP (TYP.)
ADDRESS PLAQUE (TYP.)
7" PRECAST CONC.
HEADER (TYP.)
CONT. 3.5" PRECAST
CONC. BAND (TYP.)

FIN. GRADE @ FRONT
FIN. GRADE @ REAR
STEPPED FOOTINGS (30)

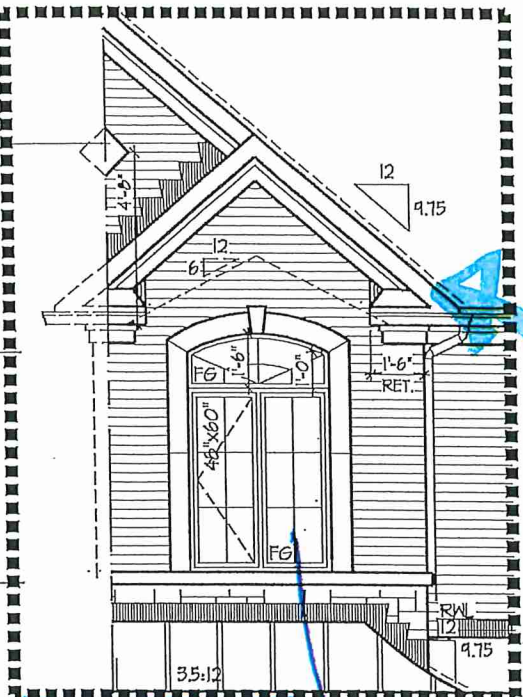
W Architect Inc.
DESIGN CONTROL REVIEW
MAY 31, 2021
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GARAGE ROOF
18'0.4 + 18'12 PITCH

PK 235-69



PART FRONT
ELEVATION 'A2'

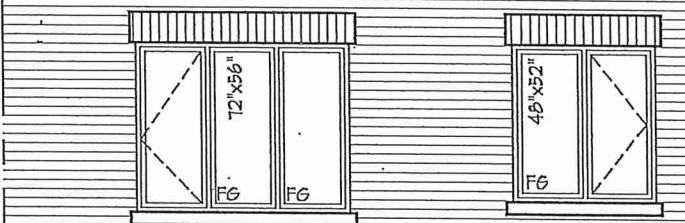
7" SELF SUPPORTING PRECAST
CONC. ARCH & KEYSTONE ON 7"
PRECAST CONC. SURROUND W/ 1/2"
PROJ. (TYP.)
FACE BRICK (TYP.)
PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.)
PREFIN. SEAMED METAL ROOF

7" PRECAST CONC.
HEADER & KEYSTONE
(TYP.)
STONE VENEER (TYP.)
FIN. GROUND FLOOR
SUNK. FOYER (-2R)

POURED CONC. DOOR SILL &
PORCH SLAB (TYP.)
POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)
TOP OF BASEMENT SLAB

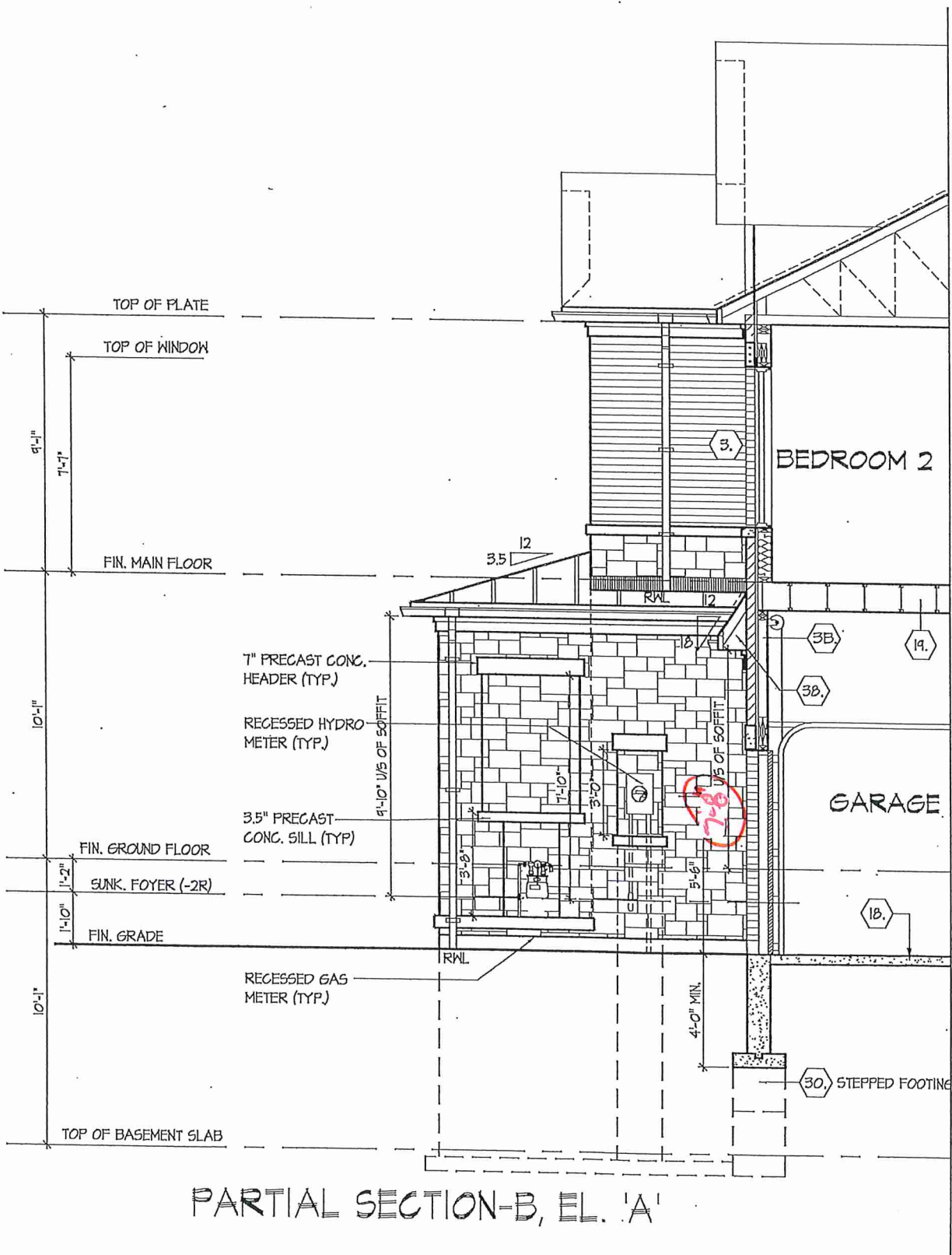
FRONT ELEVATION 'A1'

73x57 49x57

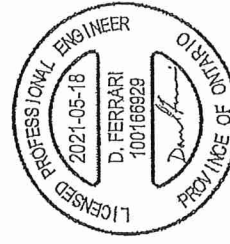


21. STEPS
MAY VARY
6" POURED CONC.
DOOR SILL

REAR ELEVATION 'A' & 'B'



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BK 235-69

PART. SECTIONS 'B'

UNIT 2008

ROYAL PINE HOMES - 216102
'CENTREFIELD', WEST GORMLEY, RICHMOND HILL, ON.

HUNT ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE, B.C.A. DESIGNER, QUALIFICATION INFORMATION
Derek R. Santos
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19895
37308
BCN

Drawn By: KM
Checked By: DS
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File Number: 216102\WT2008
Page Number: 11 of 14

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CROSS SECTION 'A-A'

BLK 235-69

1 HR. PARTY WALL (CONC. BLOCKS) (SS-3) WALL TYPE 88a & 81b)
1 1/2" (12.7) GYPSUM SHEETING ON EACH SIDE ON 2x2" (38.63) VERTICAL WD.
STRAPPING @ 24" (610) O.C. ON 1" (25.4) CONC. BLOCK HILL STRAPPING
CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL
PROCESSED FROM ROCK, SLAB OR GLASS. TAPE, FILL & SAND ALL GYPSUM
JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2" (50.8) COATS OF PAINT OR
FINISH W/ 2x2x4" (38.63x101.6) WD. STRAPPING & 1 1/2" (12.7) GYPSUM SHEATHING.

THE FIREWALL (SR-3) WALL TYPE 'BBE' & 'B1b'

STUCCO WALL CONSTRUCTION (420)

STUCCO WALL CONSTRUCTION 12X87 1/2" CONTINUOUS
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER
MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON
APPROVED DRAINAGE MAT ON APPROVED VAPOUR BARRIER AS PER O.B.C.
9.27.3, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPPED) MECHANICALLY
FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE
SHEATHING ON STUDS CONFORMING TO O.B.C 9.28.10.1, & SECTION 1.1,
INSULATION, APPROX 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7)
INSULATION, ABOVE IT. (REFER TO 35 NOTE AS REQUIRED)

REINFORCING AI STAIRS AND SUNKEN FLOORS AT LAGO

- 2-15M HORIZ. REINFORCING ON THE INSIDE OF FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 2#1' (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1#1' (25) CONC. COVER.
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING.

STEAM MODNIA

45

SLOPED CEILING CONSTRUCTION

2x12" (86/238) ROOF JOISTS @ 16" (406) O.C. MAX. UNLESS OTHERWISE NOTED W/ 2x2" (86/338) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST. PURLINS NOT REQ. W/ SPRAY FOAM. INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER FINISH OF EXTERIOR WALL IS SHALL NOT BE LESS THAN R20 (3.52 RSI).

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY, REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

SIZE & SPACING OF STUDS: (SEE REFERENCE: TABLE 9-238.10.1.1)		SUPPORTED LOADS (EXTERIOR)	
MIN. STUD SIZE,	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR, ATTIC & 8 FLOOR	ROOF w/ OR w/o ATTIC & 8 FLOOR
In (mm)	MAX. STUD SPACING, In (mm)	O.G.	
	MAX. UNSUPPORTED HGT., ft-in (m)		
2"x4"	24" (610)	16" (405)	12" (305)
(38x88)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)
2"x6"	-	24" (610)	16" (405)
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)
			5'-11" (1.8)

2-1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.65m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.

2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 6'-11" (1800), (9.9.5.1.)

3) ALL WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-5" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

2.2. CEILING HEIGHTS	
ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 8'-1" AT ANY POINT
BEDROOM	7'-7" OVER 60% OF REQUIRED FLOOR AREA OR 8'-1" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	8'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	8'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	8'-7" (9.5.3.4.)

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 8.1.16.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 8.1.12. OF THE O.B.C.

ALL LAMINATED VENEER CLIMBER, JOIST BEAMS, GIRDERS, TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.

FLOOR AND ROOF TRUSS MANUFACTURER.

JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND UPLIFT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2" (51mm) POLYETHYLENE FILM, No.50 (45mil) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

6. FLAT ARCHES
FOR 8'-0" (2400) CEILINGS, FLAT ARCHES SHALL BE 6'-0" (2080) A.F.F.
FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-0" (2400) A.F.F.
FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

9. GRADING
THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

10. ULC SPECIFIED ASSEMBLIES

3.1. WOOD LINTELS AND BUILT-UP WOOD
(DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16)
FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1), (3), 9.23.13.8.(2), 9.27.3.1.(1)

2"x8" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2
L1	L3	L5
L2	B3	B5
L3	B4	B6
L4	B5	B7

ENGINEERED LUMBER SCHEDULE		
1 3/4" x 8 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL
LVL2	LVL3	LVL10
LVL3	LVL6	LVL11
LVL4	LVL7	LVL12
LVL5	LVL9	LVL13
LVL8		

(DIVISION B PART 9, TABLE 9.20.5.2.B.)
FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

CODE	SIZE	8K ^{1/2}	8K ^{1/2}	8K ^{1/2}
7	$3 \frac{1}{2}'' \times 3 \frac{1}{2}'' \times 1 \frac{1}{4}''$ (89 × 89 × 6.4)	8K ^{1/2} (2.47m)	7-6 ⁵ (2.30m)	
8	$4 \frac{1}{4}'' \times 3 \frac{1}{2}'' \times 1 \frac{1}{4}''$ (102 × 89 × 6.4)	8-6 ⁵ (2.66m)	8-6 ⁵ (2.48m)	
9	$4 \frac{7}{8}'' \times 3 \frac{1}{2}'' \times 5 \frac{1}{8}''$ (127 × 89 × 7.9)	10-1 ⁰ (3.91m)	10-1 ⁰ (3.03m)	
10	$4 \frac{7}{8}'' \times 3 \frac{1}{2}'' \times 3 \frac{1}{8}''$ (127 × 89 × 11)	11-5 ⁵ (4.48m)	10-7 ⁷ (3.24m)	
11	$5 \frac{7}{8}'' \times 3 \frac{1}{2}'' \times 3 \frac{1}{8}''$ (152 × 89 × 11)	12-5 ⁵ (3.82m)	11-7 ⁷ (3.54m)	
12	$6 \frac{1}{4}'' \times 3 \frac{1}{2}'' \times 1 \frac{1}{2}''$ (160 × 89 × 10.2)	14-1 ⁰ (4.30m)	13-1 ⁰ (3.99m)	

ERL

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3.3. DOOR SCHEDULE
CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10

1	EXTERIOR	2'-6" x 6'-6" x 1'-3/4" (615 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1A	EXTERIOR	2'-10" x 6'-6" x 1'-3/4" (665 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1B	EXTERIOR	3'-0" x 6'-6" x 1'-3/4" (615 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1C	EXTERIOR	2'-6" x 6'-6" x 1'-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1D	EXTERIOR	2'-6" x 6'-6" x 1'-3/4" (615 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1E	EXTERIOR	3'-0" x 6'-0" x 1'-3/4" (615 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
1F	EXTERIOR	2'-6" x 6'-0" x 1'-3/4" (615 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
2A	EXTERIOR	2'-6" x 6'-6" x 1'-3/4" (615 x 2030 x 45)	20 MIN. F.R.P. DOORFRAME WITH APP. SELF-CLOSING DE
2	INTERIOR	2'-6" x 6'-6" x 1'-3/8" (615 x 2030 x 35)	
3	INTERIOR	2'-6" x 6'-6" x 1'-3/8" (760 x 2030 x 35)	
3A	INTERIOR	2'-4" x 6'-6" x 1'-3/8" (710 x 2030 x 35)	
4	INTERIOR	2'-0" x 6'-6" x 1'-3/8" (610 x 2030 x 35)	
4A	INTERIOR	2'-2" x 6'-6" x 1'-3/8" (660 x 2030 x 35)	
5	INTERIOR	1'-6" x 6'-6" x 1'-3/8" (460 x 2030 x 35)	

PROVIDE 8'-0" HIGH
INTERIOR DOORS
FOR ALL 1'-0" CEILING
CONDITIONS

1-3/8" (460 x 2030 x 35)

A#F	ABOVE FINISHED FLOOR	JST	JOIST
BBFW	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
ORF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
OMW	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJL	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIG	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

CLASS 'B' VENT	EXHAUST VENT
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 DUPLEX OUTLET (12" HIGH)
 DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)

	POT LIGHT		LIGHT EXTURE (CELL) MOUNTED
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Light fixture wall: no intent	Light fixture pull chain
	

	CABLE TV JACK
	TELEPHONE JACK

SA	SMOKE ALARM (9.10.19.)
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C-CMD CARBON MONOXIDE ALARM (9.33.4.)

3. SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS):

VARYING PLATES. R III T-O TEE COBS. BEARING WALLS. ICE & WATER SHIELD

EXPOSED BUILDING FACE - O.B.C. 9,10,14, OR 9,10,15.
REFER TO HEX NOTES 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

	
REFER TO HEX NOTE 4D.	REFER TO HEX NOTE 40A.

DESIGN SNOW LOAD (9.4.2.2.):	1.23 kPa
WIND LOAD (q50) (SB-1.2.):	0.44 kPa

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. CONTRACTOR'S OBLIGATION IS TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE VARIOUS BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 3392.

UNIT 2009-END
REV. 2021.05.11

no responsibility or liability for this property unless it bears this appropriate policy number and original signature.

