

CONSTRUCTION SUMMARY

Red Oaks on Bayview - Trinimont Developments Inc.

PURCHASERS: JINGWEN ZHOU and YI MING ZHOU

RECEIVED

OCT 03 2023

TEL:

LOT / PHASE	REG. PLAN #	HOUSE TYPE		
140 / 1	65M-4737	Sequoia Elev A		

CABINETRY

1 - 36" STOVE OPENING AND 36" WIDE UPPER CABINET 15Sep23 Note: PURCHASER ACKNOWLEDGES THAT VENDORS STANDARD 30" HOOD FAN AND 6" DUCT WILL REMAIN*	
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CABINETRY ACCESSORIES

4 - KITCHEN CABINETRY BASE - TOP DRAWER SINGLE - PRICE IS PER DRAWER - STANDARD AT KITCHEN ISLAND ONLY 15Sep23 Note: ONE DRAWER ABOVE EACH CABINET DOOR	
1 - KITCHEN CABINETRY BASE - PULLOUT RECYCLE 2 BIN - PRICE IS EACH 15Sep23 Note: INSTALL NEXT TO KITCHEN SINK AS PER ATTACHED SKETCH	
1 - KITCHEN CABINETRY UPPER - FULL DEPTH ABOVE FRIDGE - WITH GABLES - 600MM - PRICE IS EACH - STANDARD 15Sep23 Note: PURCHASER ACKNOWLEDGES AND ACCEPTS THAT HIS FUTURE FREESTANDING FRIDGE WILL PROTRUDE FROM THE CABINETRY.	

CERAMIC TILE

1 - GROUT COLOUR - UPGRADE GROUT COLOUR THROUGHOUT - FLAT FEE 15Sep23 Note: TITANIUM 50 GROUT THROUGHOUT	
1 - TILE - UPGRADE 1 FLOOR TILE - POWDER ROOM 15Sep23 Note: STANDARD STACKED INSTALLATION W/ TITANIUM 50 GROUT **SEE SKETCH FOR TILES DIRECTION**	
1 - TILE - UPGRADE 1 FLOOR TILE - KITCHEN/BREAKFAST 15Sep23 Note: STANDARD STACKED INSTALLATION W/ TITANIUM 50 GROUT **SEE SKETCH FOR TILES DIRECTION**	
1 - TILE - UPGRADE 1 FLOOR TILE - FOYER 15Sep23 Note: STANDARD STACKED INSTALLATION W/ TITANIUM 50 GROUT **SEE SKETCH FOR TILES DIRECTION**	

CONSTRUCTION

1 - PROVIDE WALK-UP BASEMENT STAIR (UNCOVERED) TO THE REAR OF THE DWELLING UNIT. 24May23 Note: If applicable, the Purchaser acknowledges and agrees that the location, dimension and configuration of the walk-up shall be determined by the Vendor in its sole and unfettered discretion. As a result of the installation of the walk-up, modifications to the main floor and basement floor plans may be required to allow for such walk-up to be installed,	
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COUNTER TOP

1 - UPGRADE COUNTER TOP MATERIAL - KITCHEN BACKSPLASH 15Sep23 Note:	
1 - UPGRADE COUNTER TOP - KITCHEN 15Sep23 Note: STD #360 EDGE C/W VENDORS STANDARD UNDERMOUNT KITCHEN SINK	

HARDWOOD FLOORING

1 - HARDWOOD - GROUP A SERIES 5 INCH - IN LIEU OF 3 1/4 INCH NATURAL RED OAK - FIRST FLOOR IN STANDARD HARDWOOD AREAS 15Sep23 Note:	
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LOT / PHASE 140 / 1	REG. PLAN # 65M-4737	HOUSE TYPE Sequoia Elev A		

MISCELLANEOUS

1 - Purchaser acknowledges that all Colour Selections and Finishes have been individually reviewed as documented. Purchaser further acknowledges that all selections, codes and descriptions are correct, and has instructed the Vendor 15Sep23 Note: to proceed accordingly. The purchaser(s) hereby acknowledges, understands, and accepts that once this document has been signed and executed by all parties hereto, it will be Final. Absolutely no further requests for additions, changes, deletions and/or alterations, will be permitted or entertained, other than reselection due to unavailability.	
1 - including but not limited to, modifications to the room layout, window and door locations and/or size and structural components of the dwelling unit and the Purchaser hereby accepts such modifications without any change in the purchase price. 24May23 Note: The walk-up is uncovered. If the walk up is not approved by the Vendor, the Vendor shall reduce the Purchase Price in the amount of \$37,290.00 (includes HST) and the Purchaser agrees to accept the Property and complete the purchase without the walk up and agrees that such reduction of the Purchase Price in full and final settlement of any claims the Purchaser may have arising from the Vendor's decision not to construct the walk up.	

PROMOTIONAL

1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER PER PE DATED MAY 4/23. 24May23 Note:	
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REDEEMED

STAIRS AND RAILINGS

2 - STAINED STAIRS – STANDARD STAIRCASE - PRICE IS PER SET 15Sep23 Note: PURCHASER ACKNOWLEDGES, UNDERSTANDS AND ACCEPTS THAT THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.	
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EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Five Worksheet Note:	
EXTERIOR BRICK SELECTION: The Purchaser(s) acknowledge that the Vendor will make every effort to accommodate the Purchasers first choice brick selection. ?In the event of a colour conflict, we will automatically proceed to your second or third choice. Worksheet Note:	
1st Choice: Exterior Colour Scheme 4 - Westmont Worksheet Note:	
2nd Choice: Exterior Colour Scheme 2 - Manchester Worksheet Note:	

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Purchasers:JINGWEN ZHOU & YI MING ZHOU

Property: 140

Telephone Res. / Bus: /

Project: Trinimont Developments Inc.

Decor Advisor: Sabrina Carano

Model and Elevation: Sequoia Elev A

Lock Date: 15-Sep-23

15-Sep-23

Plan #: 65M-4737

Layout Changes: ☒ Yes ☐ No

Sketch Attached: ☒ Yes ☐ No

Exterior Colour Scheme:

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	DORAL W500 WHITE	468 SA
Laundry Room	N/A (TUB ON LEGS)	N/A
Powder Room	DORAL H3078 HACIENDA WHITE	468 SA
Master Ensuite Bathroom	DORAL K43 SUMMIT WHITE	468 SA
#2 Ensuite	DORAL K43 SUMMIT WHITE	468 SA
#3 Ensuite	DORAL H3078 HACIENDA WHITE	468 SA
#4 Ensuite	DORAL H3078 HACIENDA WHITE	468 SA
	N/A	N/A
Kitchen Backsplash	N/A	N/A

Appliances:

Built In Appliances ☐ Yes ☒ No

Dishwasher Cabinet ☐ Closed ☒ Open

41" Upper Cabinets ☒ Yes ☐ No

Please NOTE: Standard Cabinet Height is 30"

Stove Opening 36" OPENING

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening Vendors Standard

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge
Kitchen / Breakfast	MISTRAL QUARTZ	#360
Laundry Room	N/A	
Powder Room	LAMINATE-CALCUTTA MARBLE 4925K-07	
Master Ensuite Bathroom	LAMINATE-HIVERNA P-948 CA	
#2 Ensuite	LAMINATE-HIVERNA P-948 CA	
#3 Ensuite	LAMINATE-HIVERNA P-948 CA	
#4 Ensuite	LAMINATE-HIVERNA P-948 CA	
	N/A	N/A
Kitchen Backsplash	MISTRAL QUARTZ	N/A

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3. Ceramic Flooring

		At a 45	Threshold-If App.
Entrance Vestibule	CARRARA MAMORE 12 X 24 - TITANIUM 50 GROUT	☐	Metal Strip Where Applic. <i>std stacked * see sketch</i>
Main Hall	N/A	☐	N/A
Kitchen / Breakfast	CARRARA MAMORE 12 X 24 - TITANIUM 50 GROUT	☐	Std Stacked Install- See Sketch*
Laundry Room	CONCRETE WHITE 13 X 13 - TITANIUM 50 GROUT	☐	STANDARD STACKED INSTALL
Powder Room	CARRARA MAMORE 12 X 24 - TITANIUM 50 GROUT	☐	Std Stacked Install- See Sketch*
Master Ensuite Bathroom	FRIGIA WHITE 13 X 13 - TITANIUM 50 GROUT	☐	STANDARD STACKED INSTALL
Master Ens. Shower Flr	STD- 2X2 WHITE TILE - TITANIUM 50 GROUT	☐	
#2 Ensuite	E.B. PETRA GRIS 12.5 X 12.5 - TITANIUM 50	☐	STANDARD STACKED INSTALL
#3 Ensuite	CONCRETE WHITE 13 X 13 - TITANIUM 50 GROUT	☐	STANDARD STACKED INSTALL
#4 Ensuite	CONCRETE WHITE 13 X 13 - TITANIUM 50 GROUT	☐	STANDARD STACKED INSTALL
	N/A	☐	N/A

** Refer to Construction Summary

* SEE SKETCH FOR DIRECTION OF TILE

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall	N/A	N/A
Tub Deck	N/A	N/A
Tub Deck Skirt	N/A	N/A
Shower Stall	SILVIA WHITE 8X16 - TITANIUM 50 GROUT	STANDARD HORIZONTAL STACKED INSTALL.
Bathtub Enclosure Walls	N/A	N/A
Master Ens. Shower Flr	N/A	N/A
#2 Ensuite	CONCEPT PLUS 10 GREY 8X16 - TITANIUM 50 GROUT	STANDARD HORIZONTAL STACKED INSTALL.
#3 Ensuite	GROENLANDIA LUCIDO 8X16 - TITANIUM 50 GROUT	STANDARD HORIZONTAL STACKED INSTALL.
#4 Ensuite	GROENLANDIA LUCIDO 8X16 - TITANIUM 50 GROUT	STANDARD HORIZONTAL STACKED INSTALL.
	N/A	N/A
Kitchen Backsplash	MISTRAL QUARTZ	N/A

** Refer to Construction Summary - TITANIUM 50 GROUT THROUGHOUT**

*** ALL SHOWER THRESHOLDS/JAMBS - QUARTZ WHITE (WHERE APPLICABLE AS PER PLAN).

5. Plumbing Fixtures

All Bathrooms

White

Whirlpool

☐ Yes ☒ No

Dishwasher Rough-In

☒ Yes ☐ No

Waterline for Fridge

☐ Yes ☒ No

** Refer to Construction Summary

6. Trim Carpentry

Interior Doors	As Per Construction Specifications
Interior Trim	As Per Construction Specifications
Door Handles	As Per Construction Specifications
Exterior Front Door Handle	As Per Construction Specifications

** Refer to Construction Summary

Initials: m J

Purchasers:

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Telephone Res. / Bus: /

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Decor Advisor: Sabrina Carano

Model and Elevation: Sequoia Elev A

Lock Date: 15-Sep-23

15-Sep-23

Plan #: 65M-4737

7. Other Flooring

Main Hall	HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Living Room	N/A	
Dining Room	HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Family Room	HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Den / Library / Study	HOME OFFICE-HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Basement Landing(If Applies)	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Lower Landing (If Applies)	HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Upper Landing	HARDWOOD- MIRAGE - ADMIRATION - RIO RED OAK EXCLUSIVE CASHMERE 5"	
Upper Hall	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Master Bedroom	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Bedroom #2	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Bedroom #3	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Bedroom #4	LAMINATE-LEXINGTON-W BRUSSELS OAK TL-LW1316-PEFC	
Bedroom #5	N/A	
	N/A	
	N/A	
	N/A	
Underpad	Type	Area
	N/A	N/A

** Refer to Construction Summary

8. Railings and Pickets

Railing Type	AS PER CONSTRUCTION SPECIFICATIONS	Colour	RIO (MIRAGE)
Picket Type	AS PER CONSTRUCTION SPECIFICATIONS	Colour	RIO (MIRAGE)
Stringer / Riser	AS PER CONSTRUCTION SPECIFICATIO	Colour	RIO (MIRAGE)
Treads	AS PER CONSTRUCTION SPECIFICATIO	Colour	RIO (MIRAGE)
Red Oak Stairs with Semi Gloss Finish		☒ Yes ☐ No	

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9. Wall Paint Flat Finish

Main & Upper Hall	22 WARM GREY	Master Bedroom	22 WARM GREY
Living Room	N/A	Bedroom #2	22 WARM GREY
Dining Room	22 WARM GREY	Bedroom #3	22 WARM GREY
Kitchen / Breakfast	22 WARM GREY	Bedroom #4	22 WARM GREY
Family Room	22 WARM GREY	Bedroom #5	N/A
Powder Room	22 WARM GREY	Master Ensuite	22 WARM GREY
Laundry Room	22 WARM GREY	Ensuite Bath - Bedroom 2	22 WARM GREY
Den/Library	Home Office-22 WARM GREY	Ensuite Bath - Bedroom 3	22 WARM GREY
Trim Paint-Semi Gloss	BIRCH WHITE	Ensuite Bath - Bedroom 4	22 WARM GREY
	N/A		N/A
	N/A	Bsmt Landing Area	22 WARM GREY

Smooth Ceilings First Floor ☐ Yes ☒ No

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Telephone Res. / Bus:	/	Project:	Trinimont Developments Inc.
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10. Plaster Mouldings and Medallions

Entrance Vestibule	N/A	N/A	Kitchen/Breakfast	N/A	N/A
Main Hall	N/A	N/A	Den/Library	N/A	N/A
Living Room	N/A	N/A	Lower Landing	N/A	N/A
Dining Room	N/A	N/A		N/A	N/A
Family Room	N/A	N/A			

** Refer to Construction Summary

11. Fireplace

	Living Room			Family Room			Other Room - Specify		
	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
	☐	☒	☐	☐	☒	☐	☐	☐	☒
Fireplace Type				As Per Construction Specifications					
Mantle Type				MANTLE M1-STANDARD					
Colour / Stain				BIRCH					
Surround				NERO					
Hearth				N/A					

** Refer to Construction Summary

12. Heating and Air Conditioning

Air Conditioning	N/A	Gas Provisions Stove	N/A
Gas Provisions Dryer	N/A	Gas Provisions Barbecue	N/A
Comment			

** Refer to Construction Summary

13. Electrical

Plugs and Switches	☒ White	DECOR	Above Kitchen Cabinet Light	☐ Yes	☒ No
Hood Fan	STANDARD WHITE		Below Kitchen Cabinet Light	☐ Yes	☒ No
Appliances	Built in Cooktop	Built in Oven	Gas Stove	Microwave	
	☐ Yes ☒ No	☐ Yes ☒ No	☐ Yes ☒ No	☐ Yes ☒ No	
Dishwasher Rough-in	Yes				

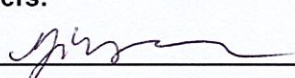
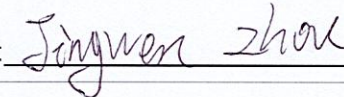
** Refer to Construction Summary

14. General Comments

** Refer to Construction Summary *WALK UP BASEMENT STAIR (UNCOVERED)

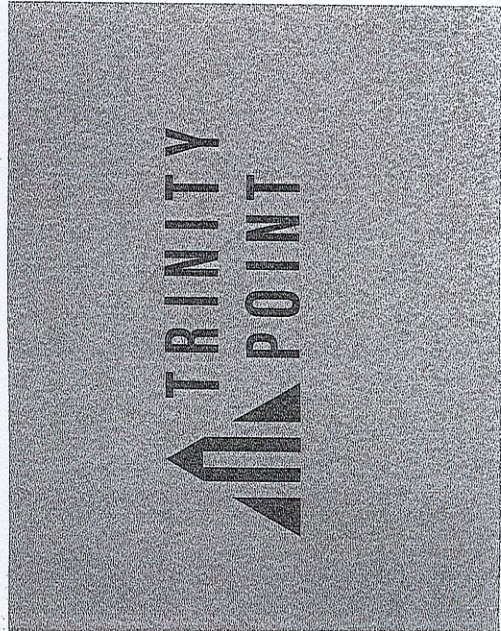
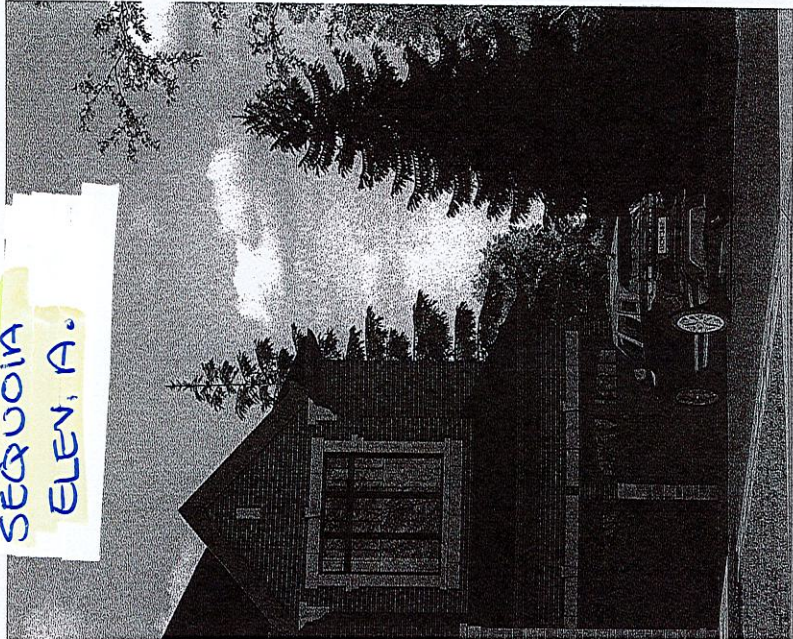
Disclaimers and Notes

- Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.
- Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.
- The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.
- The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

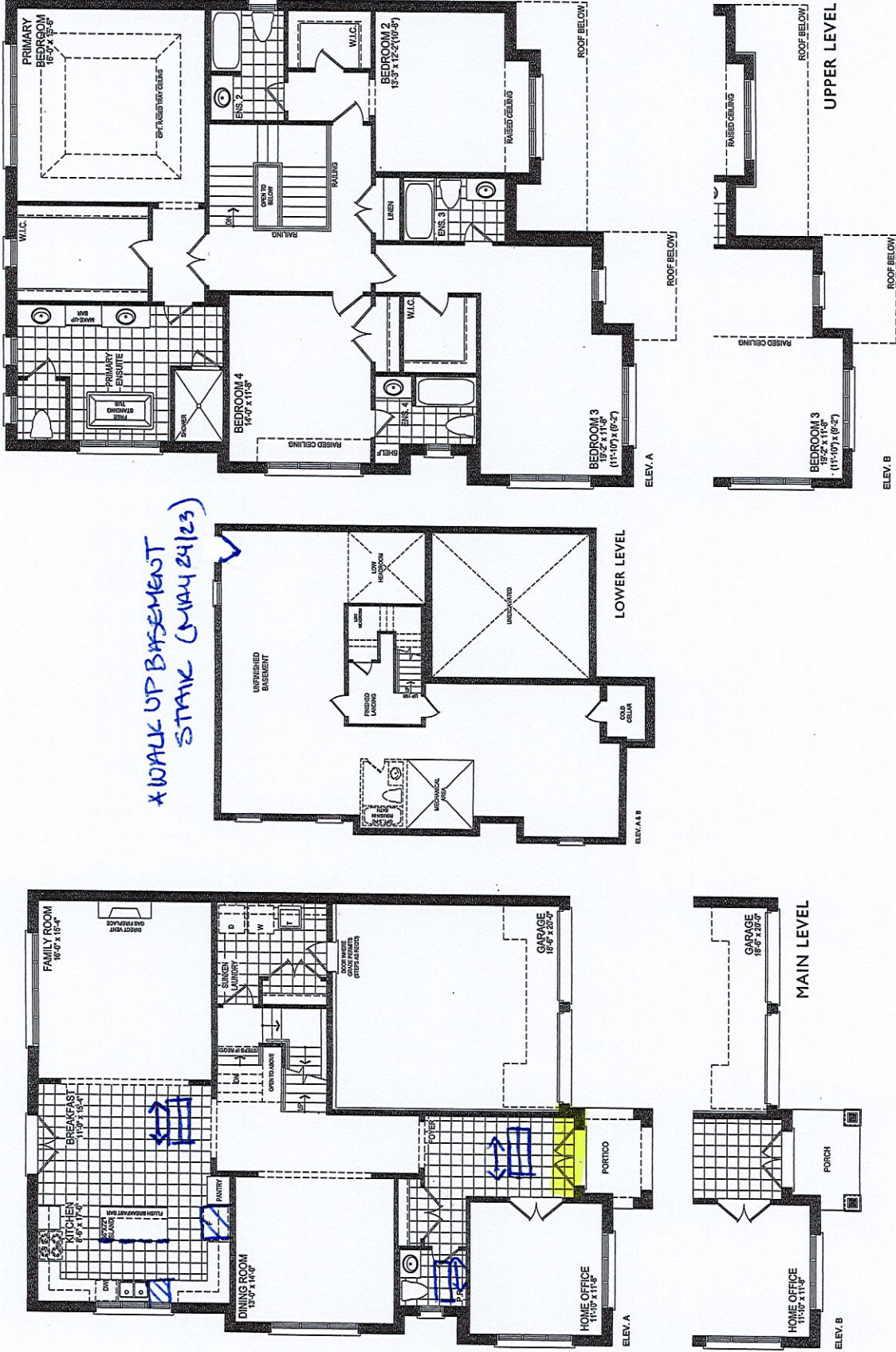
Signature:  Date: 09-15-2023 Signature:  Date: 09-15-2023

LOT 140 TRINITYMONT

SEQUOIA
ELEV. A.

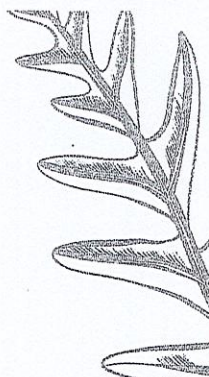


ie. Steps and porches may vary at any exterior entrance ways due to as. All renderings are artist's concept. Dimensions, specifications and es may vary due to siting. E. & O. E. June 2022.



The Sequoia ELEV. A • 3,438 SQ.FT. | ELEV. B - 3,408 SQ.FT.
Includes 74 sq.ft. of finished lower level area.

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model types may vary due to siting. E. & O. E. June 2022.



LOT

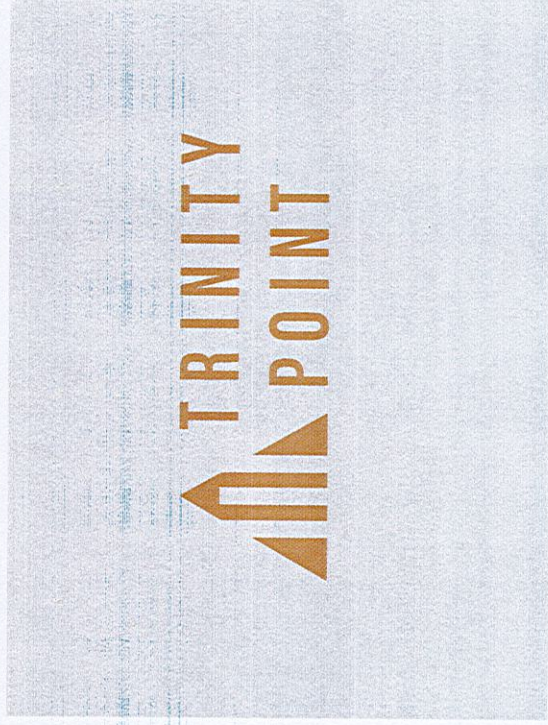
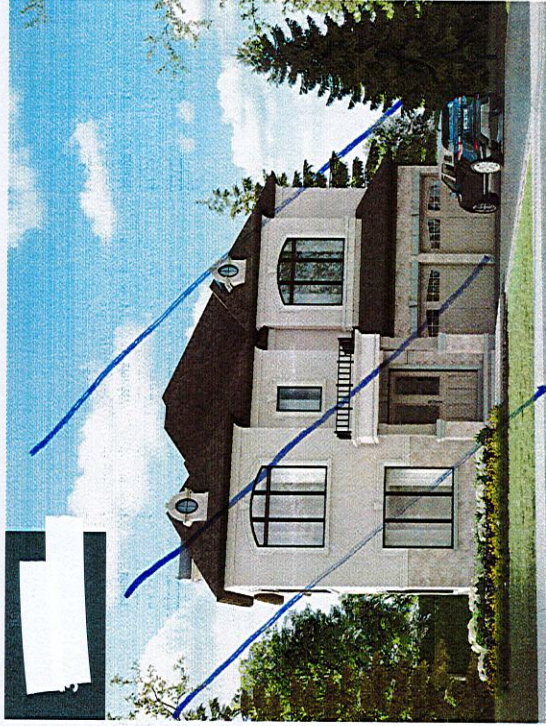
140 TRINIMONT

SEQUOIA ELEV A.

The Sequoia

56' LOT

ELEVATION A
3,438 sq. ft.



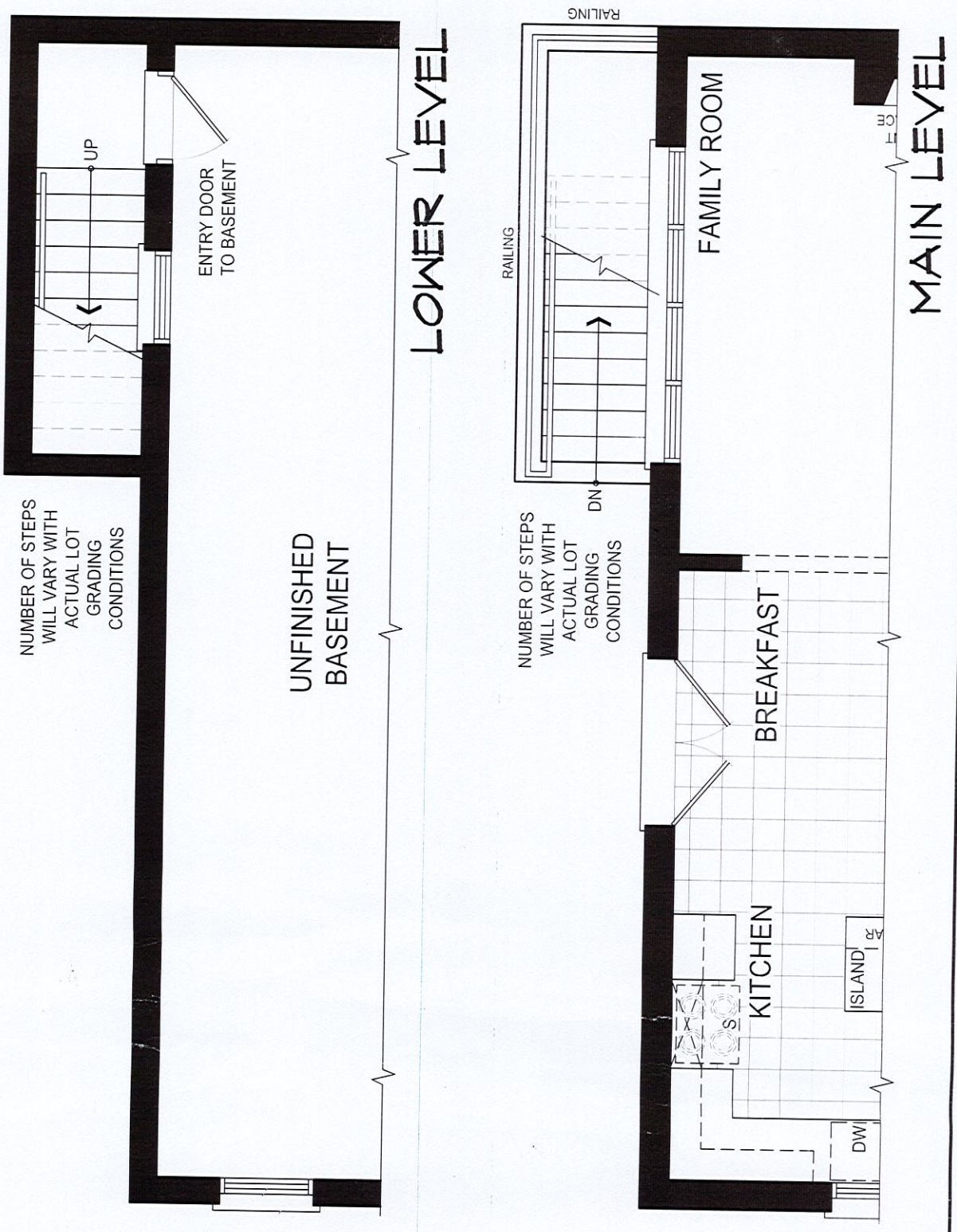
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LOT 140
TRINIMONT DEV. INC.
RED OAKS PHASE 2
RICHMOND HILL, ONTARIO

SEQUOIA
ELEVATION A

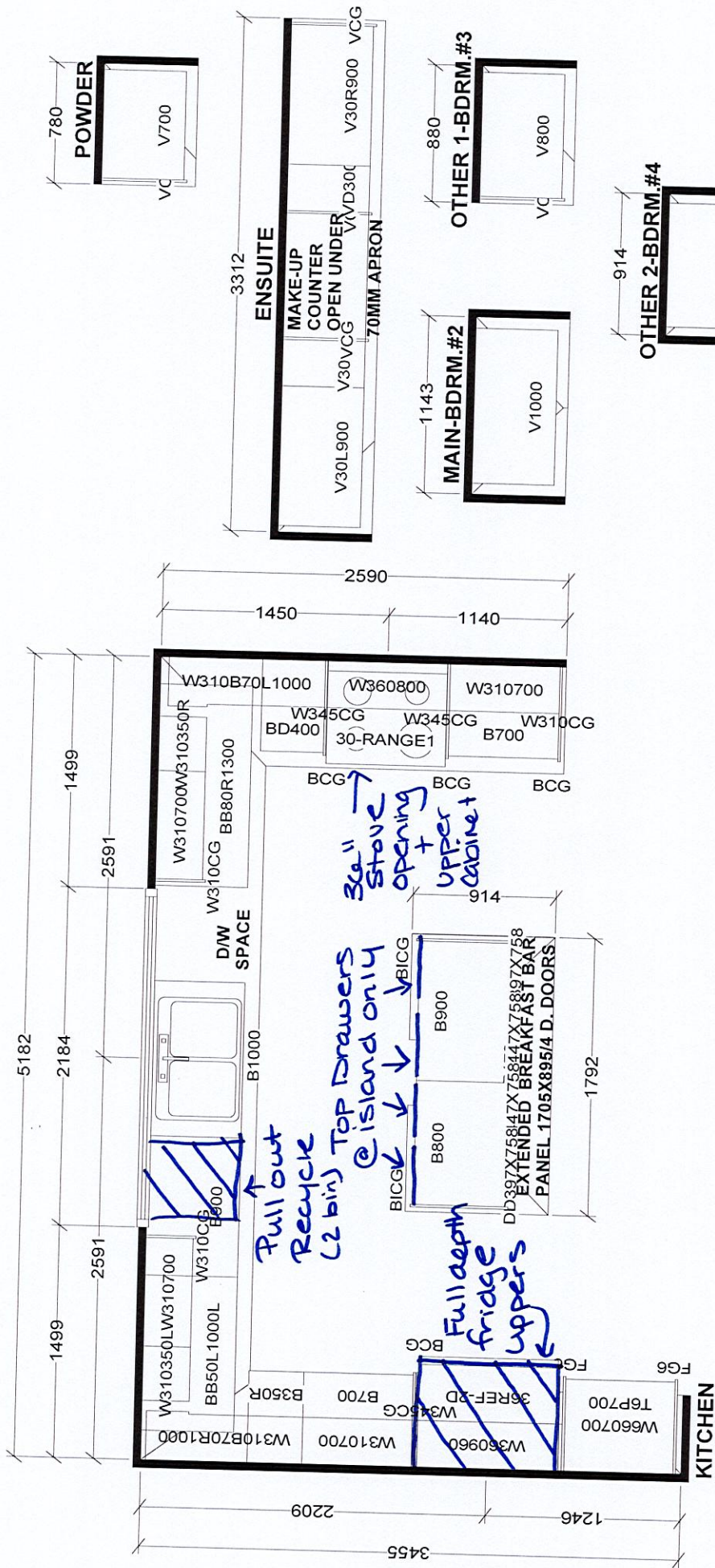
REVISIONS:

- 1. ADD EXTERIOR BASEMENT WALK-UP STAIRS TO REAR OF HOUSE.
- M 8
SEPT 6/23



DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS: SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

Trinimont - Lot 140



OTHER 1-BDRM.#3

OTHER 2-BDRM.#4

LOTS #140,141

Selba Industries		J #
W WDTH	W HGHT	W CNT
This drawing is the intellectual property of Selba Industries Inc. and is an original design which must not be released or copied unless an applicable fee has been paid or job order placed.		
FLOOR HGHT	DOOR HGHT	
ST CENT	2X4	VENT BOX COVER
DESIGNER: KS		DATE: NOV 17 22
JOB NUMBER:		
BUILDER: TRINITY POINT DEV.		
SITE: TRINIMONT DEV., Richmond Hill		
MODEL: SEQUOIA X EL A,B		
LOT #: 140		