

CONSTRUCTION SUMMARY				
Red Oaks on Bayview - Trinimont Developments Inc.				
PURCHASER: JING JING YE			RECEIVED OCT 17 2023	TEL:
LOT / PHASE 141 / 1	REG. PLAN # 65M-4737	HOUSE TYPE Sequoia Elev B		

CONSTRUCTION

1 - PROVIDE WALK-UP BASEMENT STAIR (UNCOVERED) TO THE REAR OF THE DWELLING UNIT. <i>15May23</i> Note: The purchaser acknowledges and accepts that the walk-up is subject to the Vendors approval, in its sole and unfettered discretion. The purchaser further acknowledges and accepts that the location, dimension and configuration of the walk-up shall be determined by the Vendor in its sole and unfettered discretion. As a result of the installation of the walk up, modifications to the main floor and basement floor plans may be required to allow for such walk-up to be installed,	
1 - INCREASE BASEMENT CEILING HEIGHT TO 9FT - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL. If the Purchaser has purchased or been provided with a 9 foot basement concrete pour (being an increase from the Vendor's standard basement depth) <i>12May23</i> Note: the depth is measured from the top of footing to the top of foundation wall. The increased depth will result in increased ceiling height in various areas of the basement however, the Vendor makes no representation to the ceiling height in the basement and the ceiling height will not be uniform.	

ELECTRICAL

2 - POT LIGHT - EXTERIOR - SOFFIT MOUNT - REGULAR VOLTAGE -- GARAGE SOFFIT *SEE SKETCH 2 POTLIGHTS ON 1 SWITCH -- AT GARAGE SOFFIT <i>29Jun23</i> Note: PURCHASER ACKNOWLEDGES AND ACCEPTS POT LIGHT LOCATIONS CANNOT BE EXACTLY GUARANTEED DUE TO ANY INTERFERENCES. PURCHASER ACCEPTS LIGHT LOCATION AT VENDORS SOLE DISCRETION.	
4 - POT LIGHT - EXTERIOR - SOFFIT MOUNT - REGULAR VOLTAGE - AT UPPER SOFFIT ***SEE SKETCH 4 POTLIGHTS ON 1 SWITCH -- AT UPPER SOFFIT <i>29Jun23</i> Note: PURCHASER ACKNOWLEDGES AND ACCEPTS POT LIGHT LOCATIONS CANNOT BE EXACTLY GUARANTEED DUE TO ANY INTERFERENCES. PURCHASER ACCEPTS LIGHT LOCATION AT VENDORS SOLE DISCRETION.	
1 - ELECTRIC VEHICLE ROUGH-IN PROVISION ONLY FOR FUTURE ELECTRIC CAR (CONDUIT FROM BASEMENT INTO JUNCTION BOX IN GARAGE WITH PULL STRING, NO WIRE) <i>29Jun23</i> Note: PURCHASER ACKNOWLEDGES AND ACCEPTS LOCATION TO BE AT VENDORS DISCRETION CONDUIT TUBE ONLY	

FIREPLACE AND ACCESSORIES

1 - GAS LINE ROUGH-IN FOR STOVE (INCLUDES ELECTRICAL OUTLET) - FIRST FLOOR <i>29Jun23</i> Note:	
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MISCELLANEOUS

1 - Purchaser acknowledges that all Colour Selections and Finishes have been individually reviewed as documented. Purchaser further acknowledges that all selections, codes and descriptions are correct, and has instructed the Vendor <i>05Oct23</i> Note: to proceed accordingly. The purchaser(s) hereby acknowledges, understands, and accepts that once this document has been signed and executed by all parties hereto, it will be Final. Absolutely no further requests for additions, changes, deletions and/or alterations, will be permitted or entertained, other than reselection due to unavailability.	
1 - including but not limited to, modifications to the room layout, window and door locations and/or size and structural components of the dwelling unit and the Purchaser hereby accepts such modifications without any change in the purchase price. <i>15May23</i> Note: The walk-up is uncovered. If the walk up is not approved by the Vendor, the Vendor shall reduce the Purchase Price in the amount of \$37,290.00 (includes HST) and the Purchaser agrees to accept the Property and complete the purchase without the walk up and agrees that such reduction of the Purchase Price in full and final settlement of any claims the Purchaser may have arising from the Vendor's decision not to construct the walk up.	
1 - The Purchaser acknowledges that mechanical, electrical and other systems will require bulkheads and dropped ceilings in various locations in the basement if and when the Purchaser elects to finish the basement. The Purchaser(s) acknowledge that all <i>12May23</i> Note: measurements and locations are approximate only and are subject to verification on site and may be adjusted to accommodate site conditions.	

PROMOTIONAL

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1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER PER PE DATED MAY 3/23. 12May23 Note:				
REDEEMED				

EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Five Worksheet Note:	
EXTERIOR BRICK SELECTION: The Purchaser(s) acknowledge that the Vendor will make every effort to accommodate the Purchasers first choice brick selection. ?In the event of a colour conflict, we will automatically proceed to your second or third choice. Worksheet Note:	
1st Choice: Exterior Colour Scheme 7 - Royal Grey Worksheet Note:	
2nd Choice: Exterior Colour Scheme 4 - Westmont Worksheet Note:	

This Document is Extremely Time Sensitive - Printed 5 Oct 23 at 10:32

Purchaser:JING JING YE

Telephone Res. / Bus: /

Decor Advisor: Sabrina Carano

Lock Date: 5-Oct-23

Property: 141

Project: Trinimont Developments Inc.

Model and Elevation: Sequoia Elev B

5-Oct-23

Plan #: 65M-4737

Layout Changes: ☒ Yes ☐ No

Sketch Attached: ☒ Yes ☐ No

Exterior Colour Scheme:

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	DORAL W500 WHITE	464 SA
Laundry Room	N/A (TUB ON LEGS)	N/A
Powder Room	DORAL W500 WHITE	464 SA
Master Ensuite Bathroom	DORAL W500 WHITE	464 SA
Ensuite Bath - Bedroom 2	DORAL W500 WHITE	464 SA
Ensuite Bath - Bedroom 3	DORAL W500 WHITE	464 SA
Ensuite Bath - Bedroom 4	DORAL W500 WHITE	464 SA
	N/A	N/A
	N/A	N/A

Appliances:

Built In Appliances ☐ Yes ☒ No

Dishwasher Cabinet

☐ Closed ☒ Open

41" Upper Cabinets ☒ Yes ☐ No

Please NOTE: Standard Cabinet Height is 30"

Stove Opening

STD OPENING

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

STD OPENING

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge
Kitchen / Breakfast	STANDARD - NERO IMPALA GRANITE	#360
Laundry Room	N/A	
Powder Room	LAMINATE-CARRARA BIANCO 6696-46	
Master Ensuite Bathroom	LAMINATE-CARRARA BIANCO 6696-46	
Ensuite Bath - Bedroom 2	LAMINATE-CARRARA BIANCO 6696-46	
Ensuite Bath - Bedroom 3	LAMINATE-CARRARA BIANCO 6696-46	
Ensuite Bath - Bedroom 4	LAMINATE-CARRARA BIANCO 6696-46	
	N/A	
	N/A	

** Refer to Construction Summary

3. Ceramic Flooring

At a 45 Threshold-If App.

Entrance Vestibule	S.N. PASTELLO BIANCO 13 X 13 - SILVER 1 GROUT	<input type="checkbox"/>	Metal Strip Where Applic.
Main Hall	N/A	<input type="checkbox"/>	
Kitchen / Breakfast	S.N. PASTELLO BIANCO 13 X 13 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Laundry Room	S.N. PASTELLO BIANCO 13 X 13 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Powder Room	S.N. PASTELLO BIANCO 13 X 13 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Master Ensuite Bathroom	CONCEPT 602 GREY 12 X 12 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Master Ens. Shower Flr	2X2 WHITE TILE - SILVER 1 GROUT	<input type="checkbox"/>	
Ensuite Bath - Bedroom 2	CONCEPT 602 GREY 12 X 12 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Ensuite Bath - Bedroom 3	CONCEPT 602 GREY 12 X 12 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
Ensuite Bath - Bedroom 4	CONCEPT 602 GREY 12 X 12 - SILVER 1 GROUT	<input type="checkbox"/>	STD STACKED INSTALLATION
	N/A	<input type="checkbox"/>	

** Refer to Construction Summary

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall	N/A	
Tub Deck	N/A	
Tub Deck Skirt	N/A	
Shower Stall	GROENLANDIA LUCIDO 8X16 - SILVER 1 GROUT	STD HORIZONTAL STACKED INSTALLATION
Bathtub Enclosure Walls	N/A	
Master Ens. Shower Flr	N/A	
Ensuite Bath - Bedroom 2	GROENLANDIA LUCIDO 8X16 - SILVER 1 GROUT	STD HORIZONTAL STACKED INSTALLATION
Ensuite Bath - Bedroom 3	GROENLANDIA LUCIDO 8X16 - SILVER 1 GROUT	STD HORIZONTAL STACKED INSTALLATION
Ensuite Bath - Bedroom 4	GROENLANDIA LUCIDO 8X16 - SILVER 1 GROUT	STD HORIZONTAL STACKED INSTALLATION
	N/A	N/A
Kitchen Backsplash	N/A	N/A

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

*** ALL SHOWER THRESHOLDS/JAMBS - QUARTZ WHITE (WHERE APPLICABLE AS PER PLAN)

5. Plumbing Fixtures

All Bathrooms

White

Whirlpool

☐ Yes ☒ No

Dishwasher Rough-In

☒ Yes ☐ No

Waterline for Fridge

☐ Yes ☒ No

** Refer to Construction Summary

6. Trim Carpentry

Interior Doors	As Per Construction Specifications
Interior Trim	As Per Construction Specifications
Door Handles	As Per Construction Specifications
Exterior Front Door Handle	As Per Construction Specifications

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Model and Elevation: Sequoia Elev B

Plan #: 65M-4737

7. Outer Flooring		
Main Hall	HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Living Room	N/A	
Dining Room	HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Family Room	HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Den / Library / Study	Home Office - HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Basement Landing(If Applies)	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Lower Landing (If Applies)	HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Upper Landing	HARDWOOD - 3 1/4" NATURAL OAK HARDWOOD FLOORING (VENDORS STANDARD)	
Upper Hall	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Master Bedroom	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Bedroom #2	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Bedroom #3	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Bedroom #4	LAMINATE - NATURAL LAMINATE FLOORING (VENDORS STANDARD)	
Bedroom #5	N/A	
	N/A	
	N/A	
	N/A	
Underpad	Type	Area
	N/A	N/A

** Refer to Construction Summary

8. Railings and Pickets

Railing TypeAS PER CONSTRUCTION SPECIFICATIONS

ColourNATURAL

Picket TypeAS PER CONSTRUCTION SPECIFICATIONS

ColourNATURAL

Stringer / RiserAS PER CONSTRUCTION SPECIFICATIO

ColourNATURAL

TreadsAS PER CONSTRUCTION SPECIFICATIO

ColourNATURAL

Red Oak Stairs with Semi Gloss Finish

☒ Yes☐ No

** Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall22 WARM GREY

Master Bedroom22 WARM GREY

Living RoomN/A

Bedroom #222 WARM GREY

Dining Room22 WARM GREY

Bedroom #322 WARM GREY

Kitchen / Breakfast22 WARM GREY

Bedroom #422 WARM GREY

Family Room22 WARM GREY

Bedroom #5N/A

Powder Room22 WARM GREY

Master Ensuite22 WARM GREY

Laundry Room22 WARM GREY

Ensuite Bath - Bedroom 222 WARM GREY

Den/LibraryHome Office-22 WARM GREY

Ensuite Bath - Bedroom 322 WARM GREY

Trim Paint-Semi GlossBIRCH WHITE

Ensuite Bath - Bedroom 422 WARM GREY

N/A

Bsmt Landing Area22 WARM GREY

N/A

N/A

Smooth Ceilings First Floor☐ Yes☒ No

** Refer to Construction Summary

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Lock Date: 5-Oct-23

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Plan #: 65M-4737

10. Plaster Mouldings and Medallions

Entrance Vestibule	N/A	N/A	Kitchen/Breakfast	N/A	N/A
Main Hall	N/A	N/A	Den/Library	N/A	N/A
Living Room	N/A	N/A	Lower Landing	N/A	N/A
Dining Room	N/A	N/A		N/A	N/A
Family Room	N/A	N/A			

** Refer to Construction Summary

11. Fireplace

Living Room			Family Room			Other Room - Specify		
Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Fireplace Type			As Per Construction Specifications					
Mantle Type			MANTLE M2-STANDARD					
Colour / Stain			BIRCH					
Surround			BIANCO					
Hearth			N/A					

** Refer to Construction Summary

12. Heating and Air Conditioning

Air Conditioning	N/A	Gas Provisions Stove	YES
Gas Provisions Dryer	N/A	Gas Provisions Barbecue	N/A
Comment			

** Refer to Construction Summary

13. Electrical

Plugs and Switches	<input checked="" type="radio"/> White	DECOR	Above Kitchen Cabinet Light	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Hood Fan	STANDARD WHITE		Below Kitchen Cabinet Light	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Appliances	Built in Cooktop	Built in Oven	Gas Stove	Microwave	
	<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	<input checked="" type="radio"/> Yes <input type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Dishwasher Rough-in	Yes				

** Refer to Construction Summary

14. General Comments

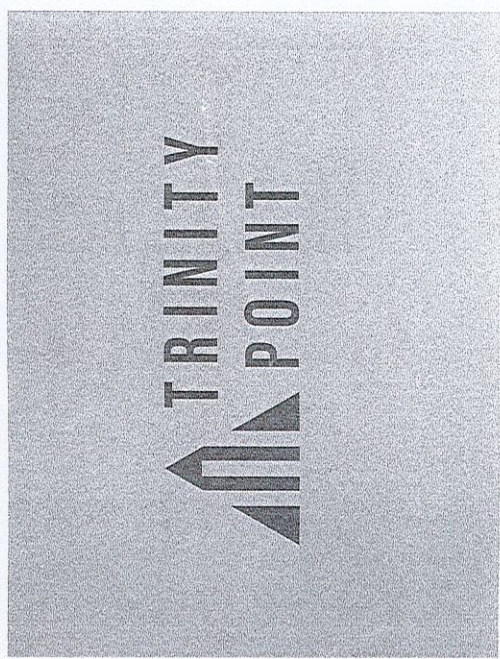
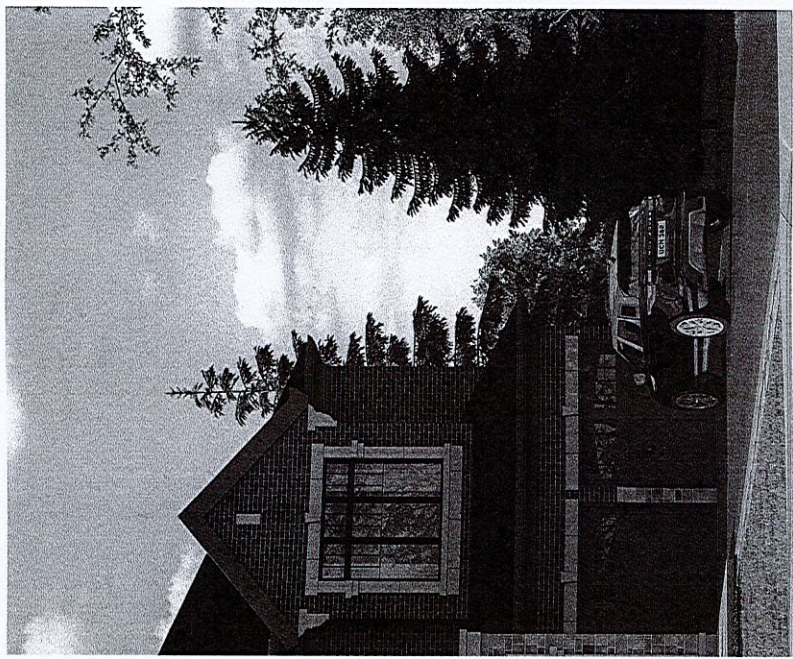
** Refer to Construction Summary **BASEMENT WALK UP STAIR** **9 FT BASEMENT CEILING HEIGHT**

Disclaimers and Notes

- 1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.
- 2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.
- 3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.
- 4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

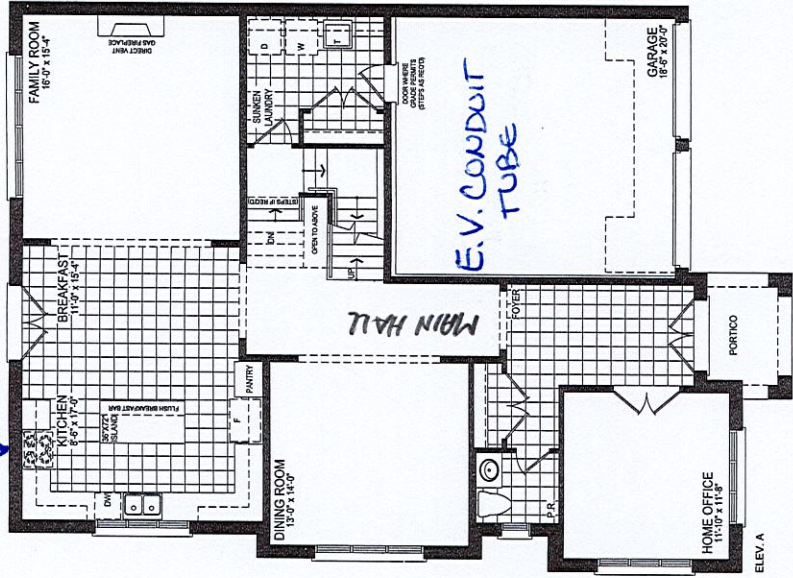
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TRINITY LOT 141

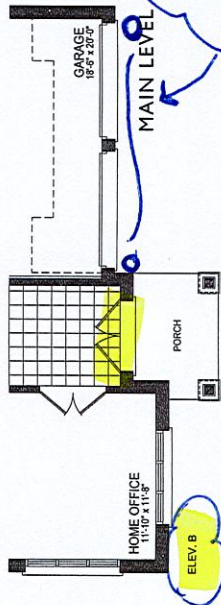
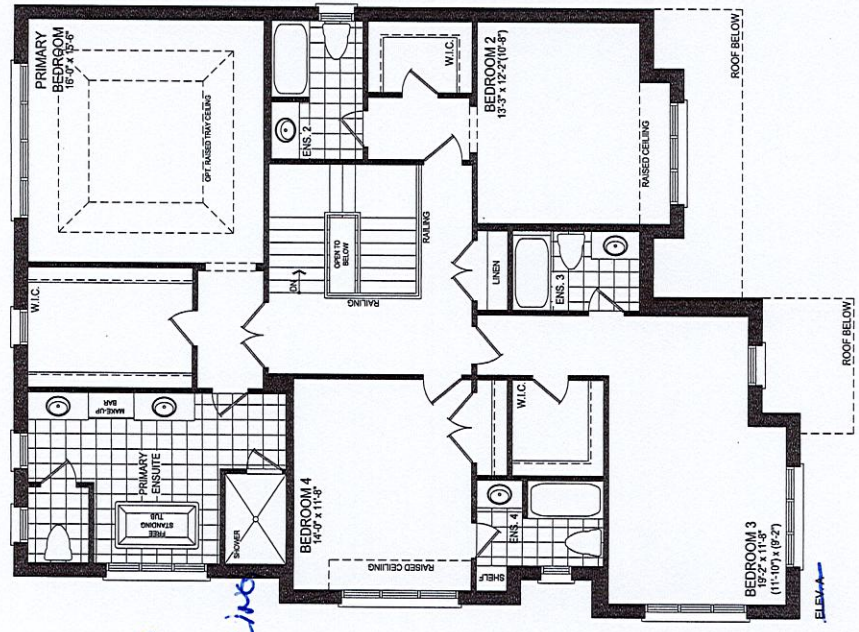
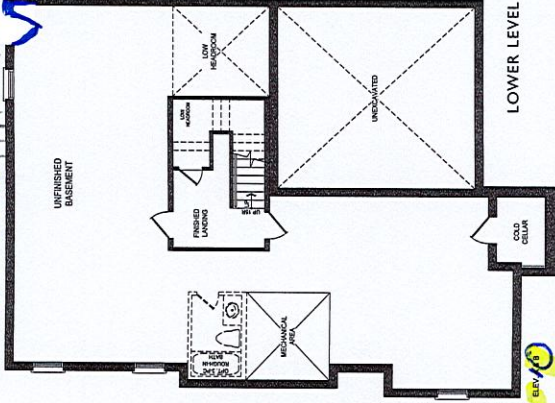


me. Steps and porches may vary at any exterior entrance ways due to eas. All renderings are artist's concept. Dimensions, specifications and types may vary due to siting. E. & O. E. June 2022.

GASLINE R11
STOVE
↓



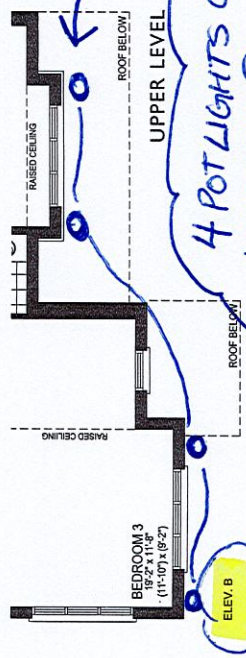
* BASEMENT WALK UP
STAIR
* 9 FT BASEMENT CEILING



2 POT LIGHTS
ON 1 SWITCH
AT GARAGE SOFFIT
* SEE EXTERIOR ELEV.
SKETCH ALSO.

The Sequoia ELEV. A - 3,438 SQ. FT.
Includes 74 sq. ft. of finished lower level area.

OCT 5/12/23



4 POT LIGHTS ON
1 SWITCH @
UPPER SOFFIT
* SEE EXTERIOR
ELEV. SKETCH ALSO *

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model types may vary due to siting. E. & O. E. June 2022.

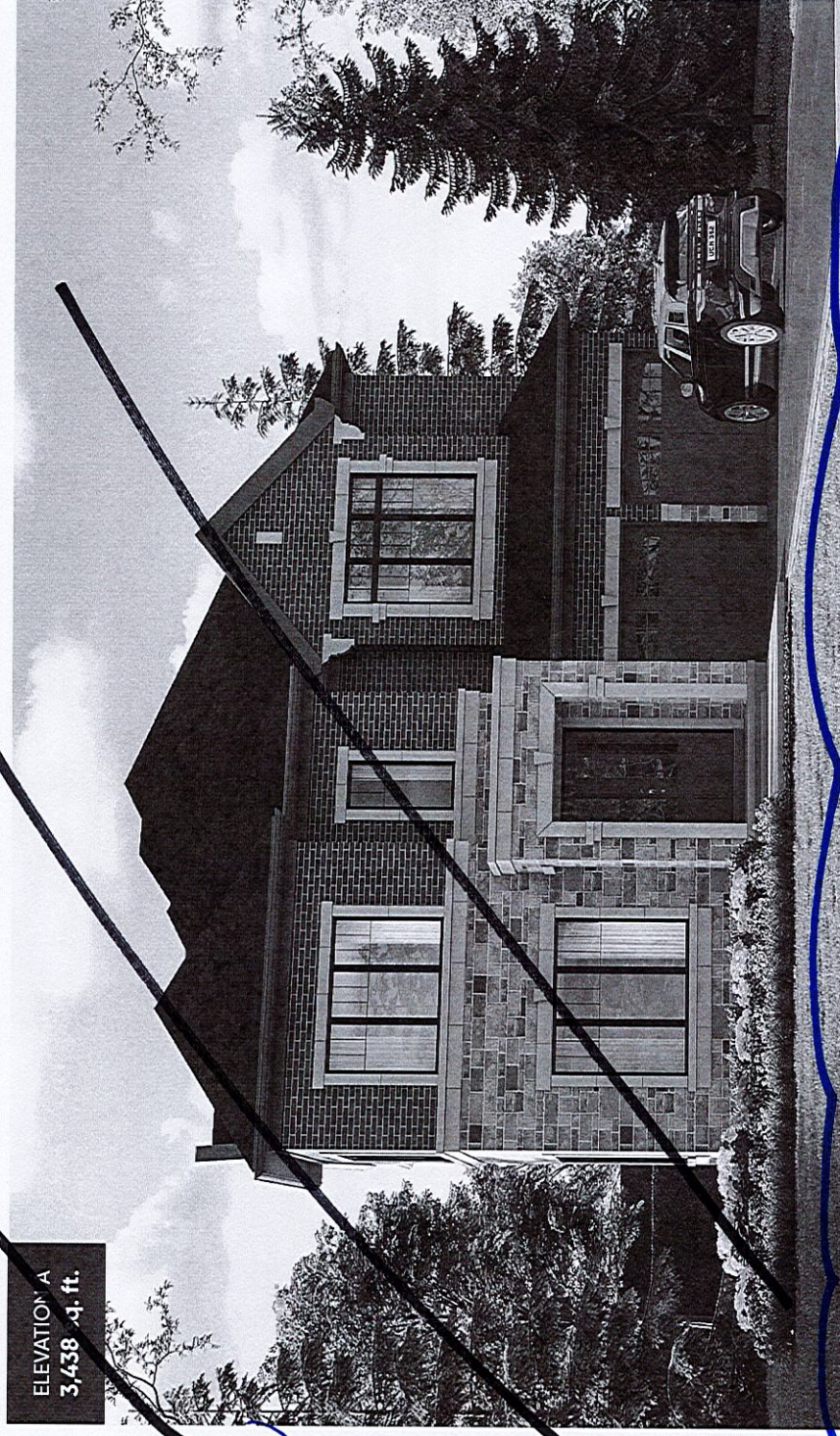
LOTS

141

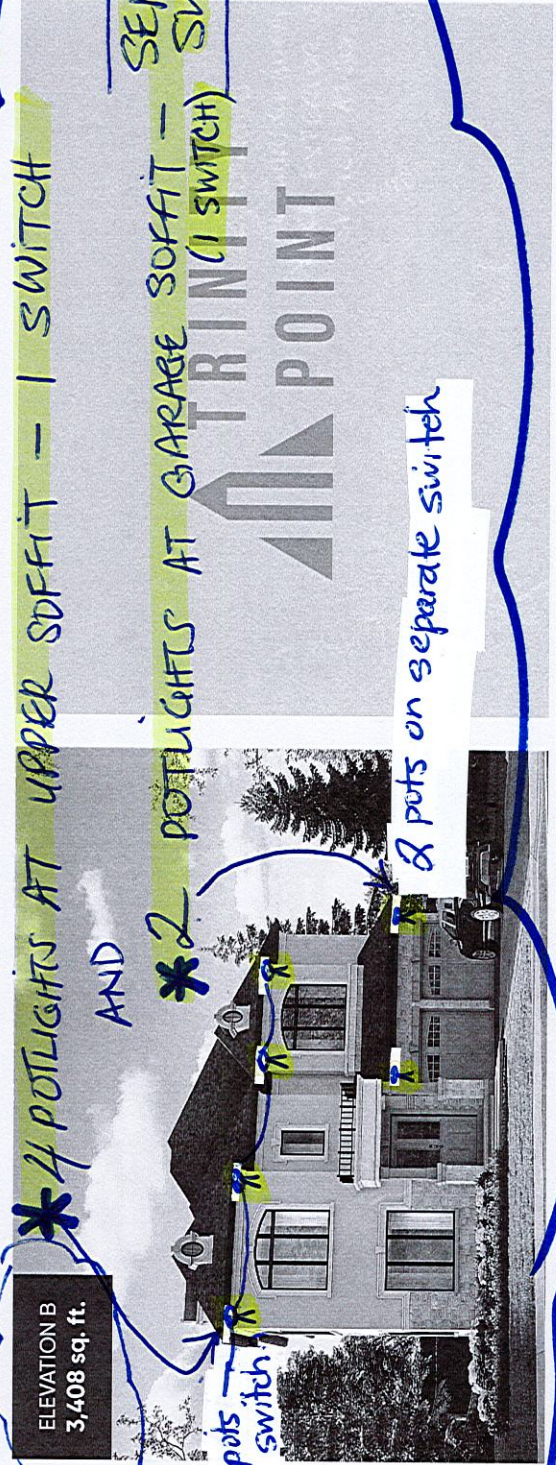
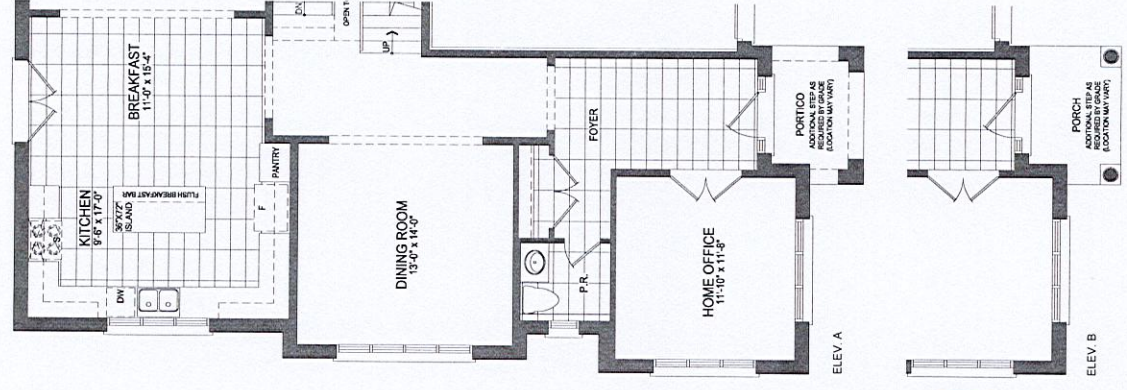
SEQUOIA ELEV B

The Sequoia

56' LOT



ELEVATION A
3,438 sq. ft.



ELEVATION B
3,408 sq. ft.

* 4 POTLIGHTS AT UPPER SOFFIT - 1 SWITCH

AND

* 2 POTLIGHTS AT GARAGE SOFFIT - SEPARATE SWITCH (1 SWITCH)

JUNE 29/23

4 pots on 1 switch

2 pots on separate switch

The Sequoia ELEV. A

LOT 141
TRINIMONT DEV. INC.
RED OAKS PHASE 2
RICHMOND HILL, ONTARIO

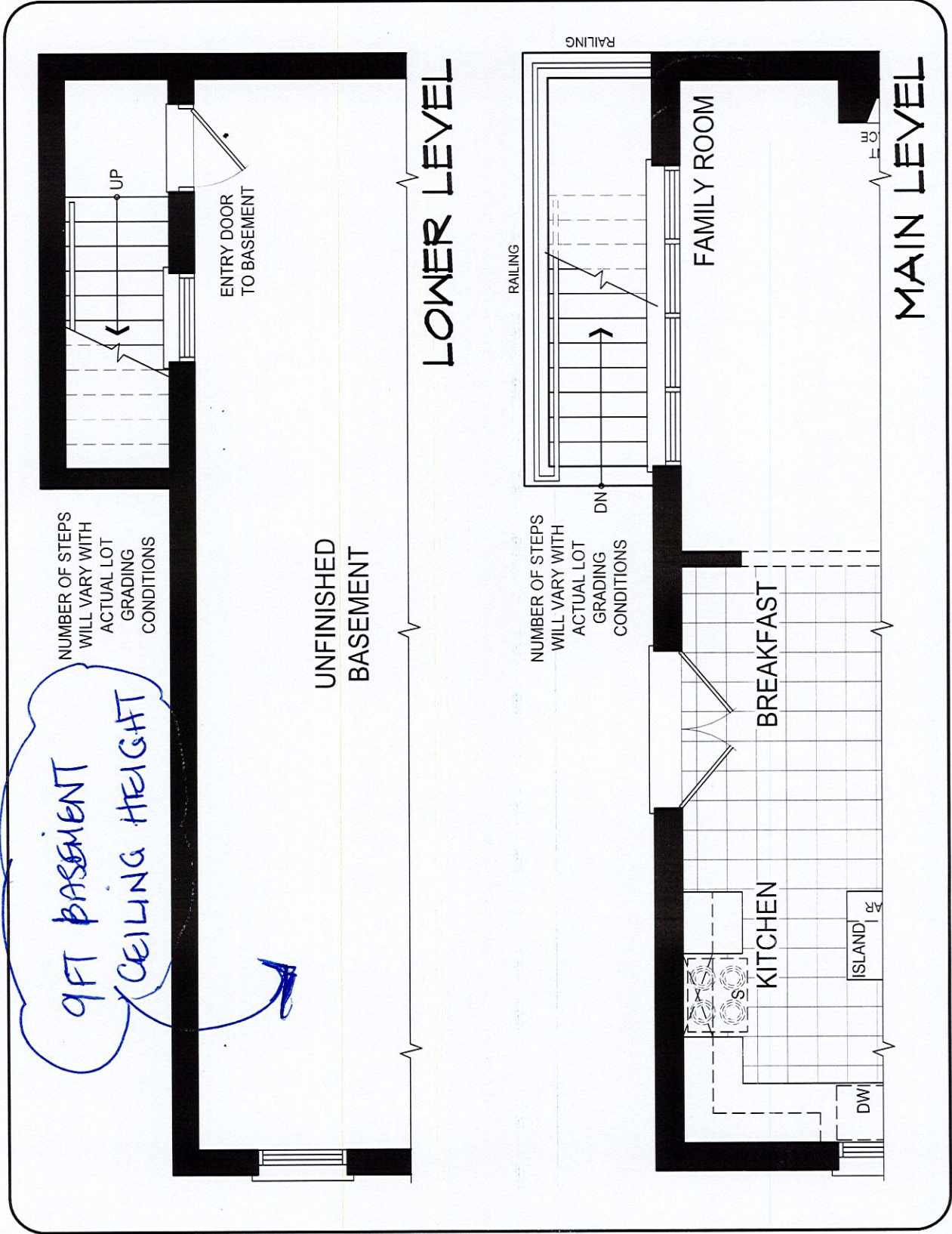
SEQUOIA
ELEVATION B

REVISIONS:

53 June 29/23

1. ADD EXTERIOR BASEMENT WALK-UP STAIRS TO REAR OF HOUSE.

2. 9 FT. BASEMENT CEILING HEIGHT.



DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

REGION
DESIGN
INC.

SCALE

N.T.S.

BY

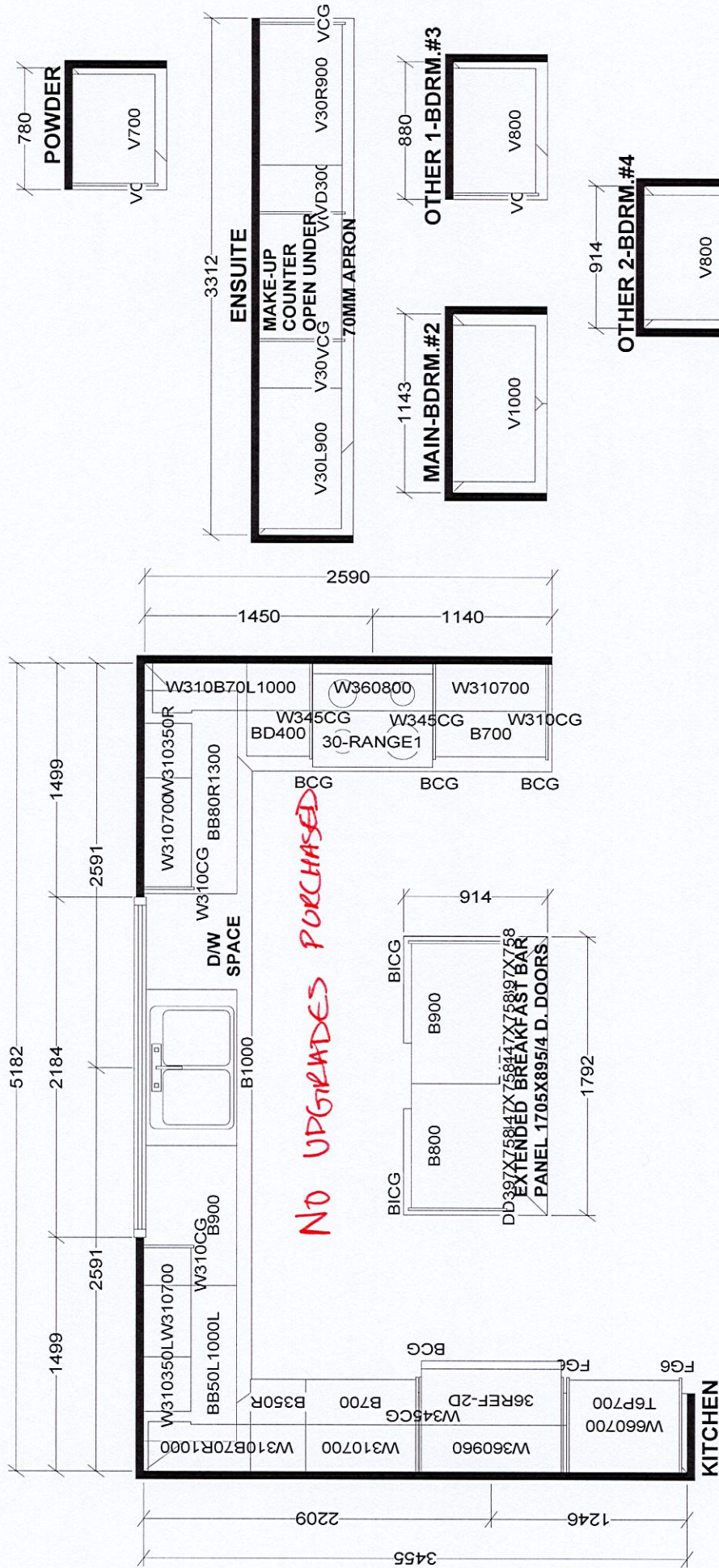
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1 OF 1

TRINITY POINT

LOT 141 (SEQUOIA ELEV B)
TRINIMONT



LOTS #140,141

Selba Industries		J #	
W WDTH	W HGHT	W CNT	This drawing is the intellectual property of Selba Industries Inc. and is an original design which must not be released or reproduced without a fee has been paid or job order placed.
FLOOR HGHT	DOOR HGHT	DOOR HGHT	BUILDER: TRINITY POINT DEV. SITE: TRINIMONT DEV., Richmond Hill
ST CENT	2X4	VENT BOX COVER	MODEL: SEQUOIA X EL B LOT #: 141
DESIGNER: KS		DATE: NOV 17 22	