

NOTE:
BASE FOOTINGS TO BE PLACED BELOW FROST LINE ON NATIVE UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 100KPa. COORD. ON SITE.

WHERE FROST LINE DEPTH IS NOT POSSIBLE ON SITE, PROVIDE MIN. 2" RIGID INSULATION ON FOUNDATION WALL DOWN VERTICALLY MIN. 2'-0" AND HORIZONTALLY MIN. 3'-0" ON GRADE. COORD. ON SITE. TO BE VERIFIED BY A GEOTECHNICAL ENGINEER OR STRUCTURAL ENGINEER.

BASEMENT WALL FOOTING DIMENSIONS:

- 8" WALL - 24"x10" FOOTING c/w 2-15M CONTINUOUS REBAR
IF 75kPa - FOOTINGS ARE TO BE 36" WIDE w/ 3-15M CONTINUOUS REBAR
- 10" or 12" - 30"x10" (@ 100 kPa) FOOTING c/w WALL 3-15M CONTINUOUS REBAR
IF 75kPa - FOOTINGS ARE TO BE 36" WIDE w/ 3-15M CONTINUOUS REBAR
- ** ALL FOOTINGS ARE TO BE c/w:
1-15M TRANSVERSE BAR @ 24" o/c
1-15M 8"x36" "L" SHAPE DWL @ 24" o/c
2" CONCRETE COVER REQUIRED

BASEMENT COLUMN PAD DIMENSIONS:

** N/A **

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION (PROPOSED AT 5'-0", SEE LOCAL AUTHORITIES);
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON A SOIL BEARING CAPACITY OF 100KPa. SEE GEOTECHNICAL REPORT

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER ORDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

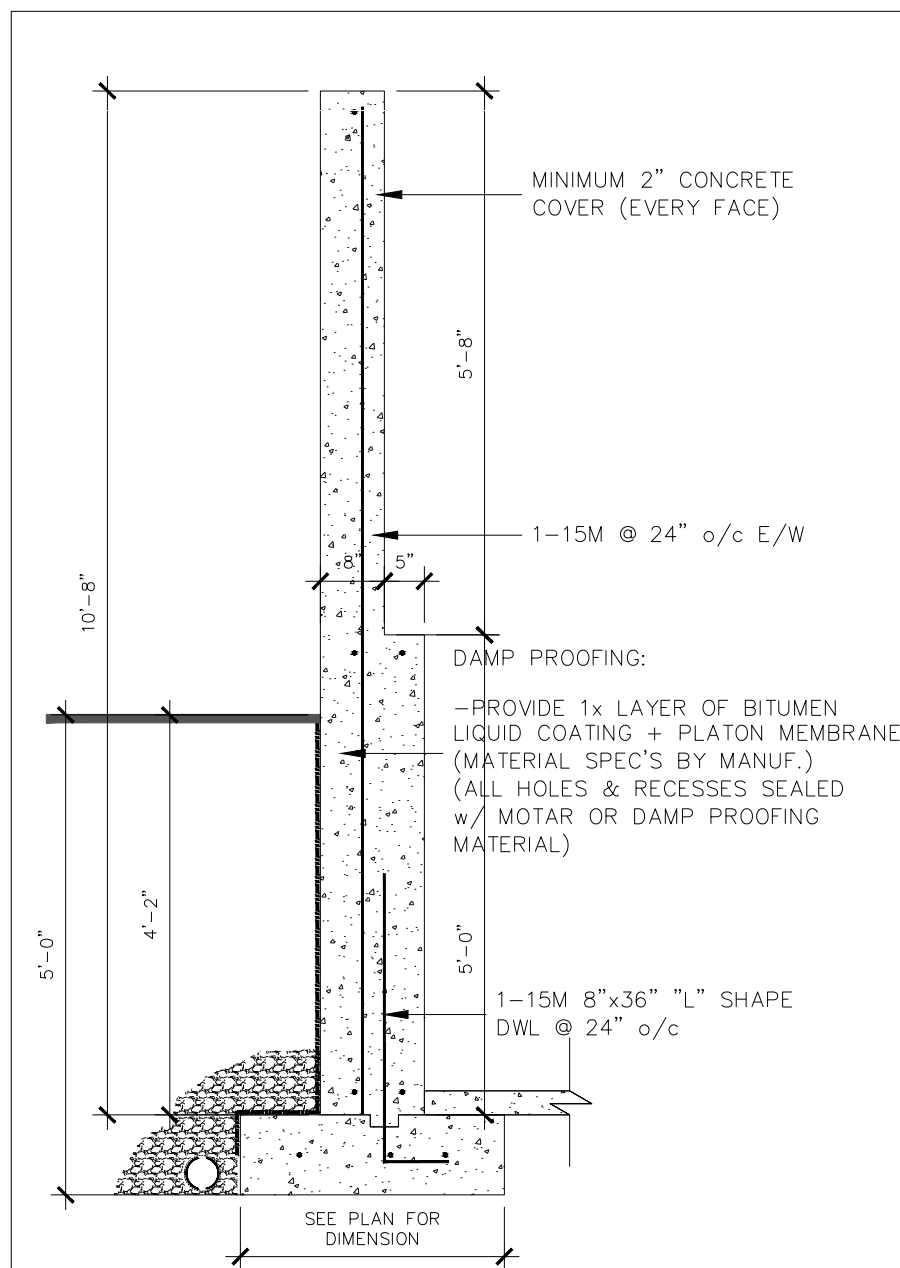
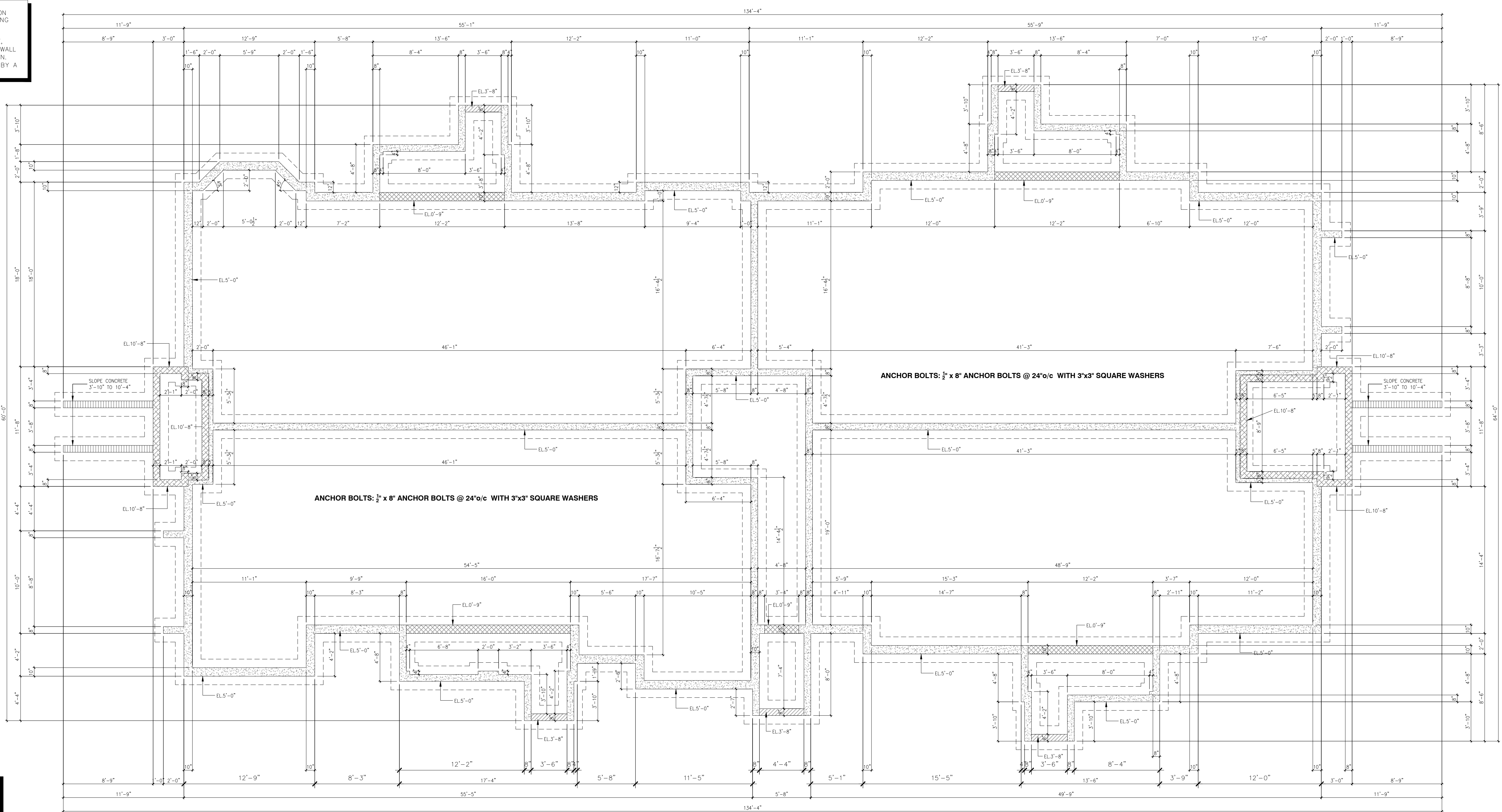
- FINISH FLOORING IN BATHROOMS, KITCHENS, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012

BASEMENT NOTE:

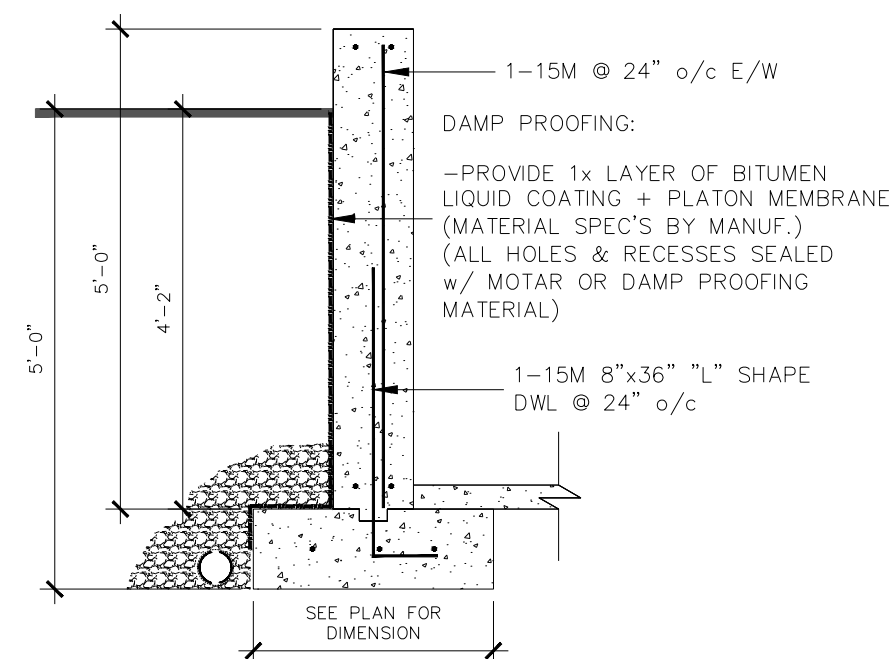
- IF A ROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

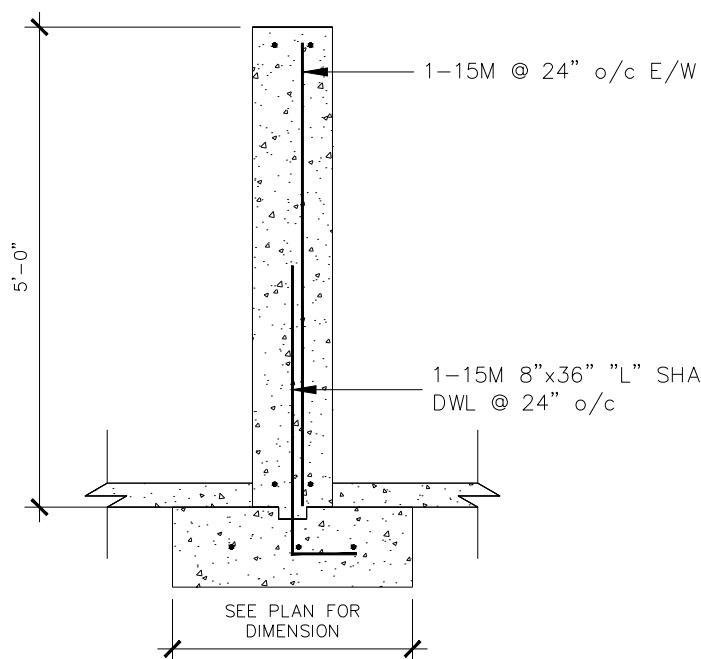
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.F.T.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



PORCH WALLS TYP.



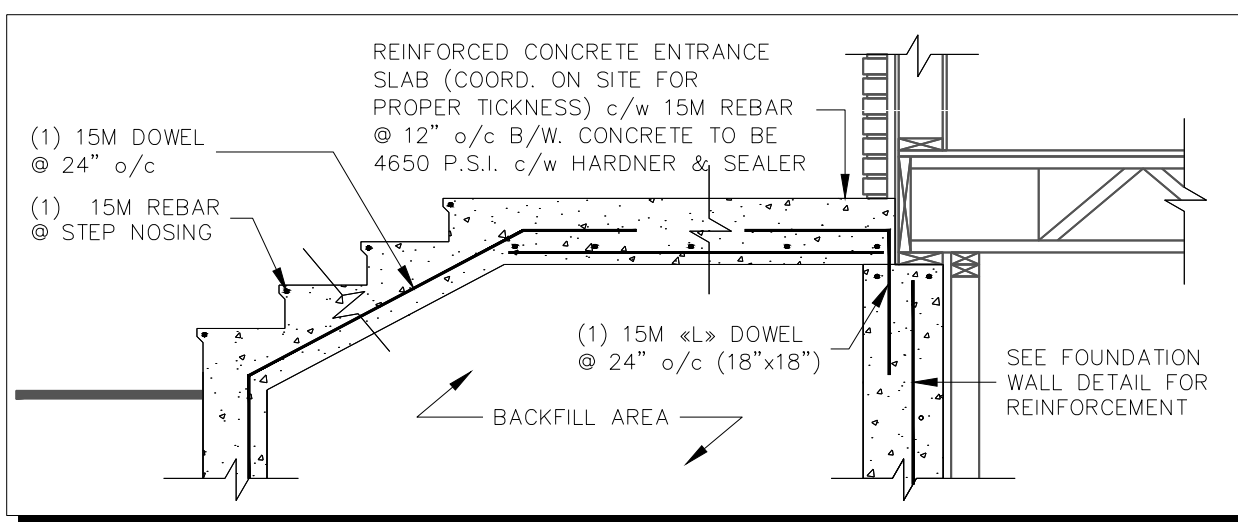
EXTERIOR WALLS TYP.



INTERIOR WALLS TYP.

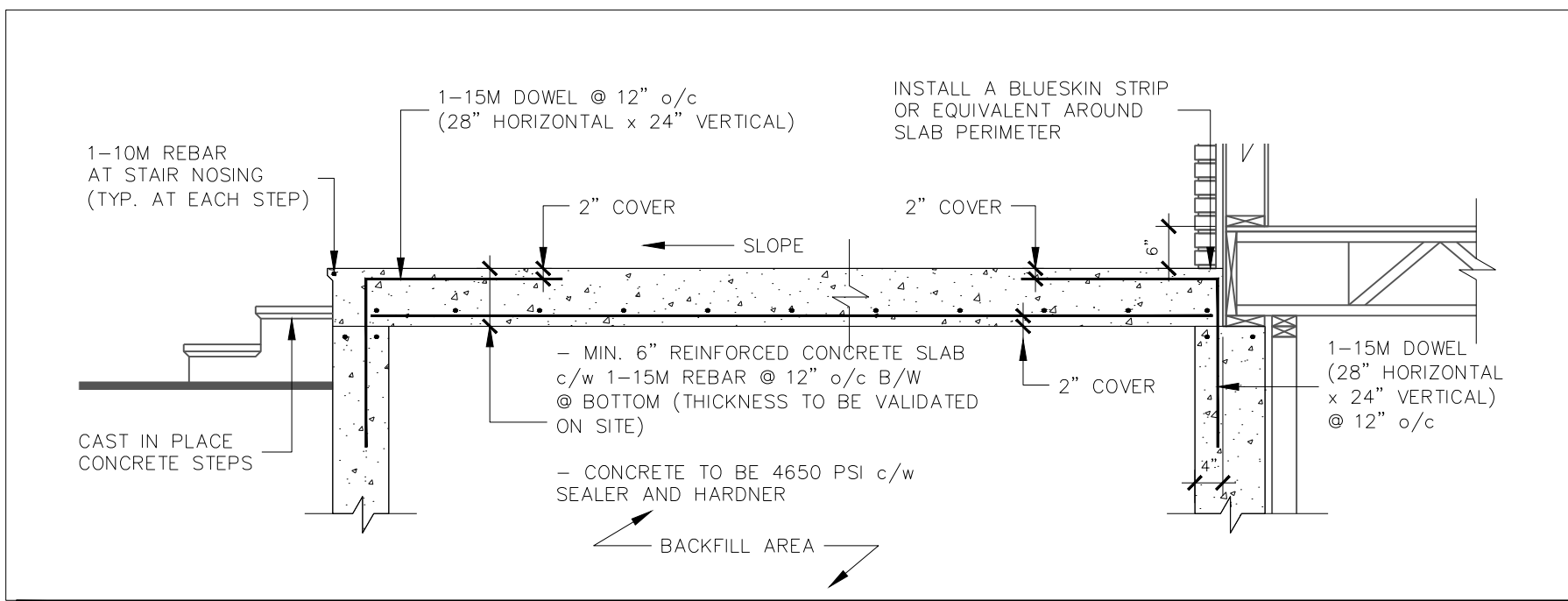
WALL REBAR DETAIL

SCALE: 1/2" = 1'-0"



CONCRETE PORCH DETAIL

SCALE: 1/2" = 1'-0"



FRONT/SIDE ENTRANCE CONCRETE SLAB

SCALE: 1/2" = 1'-0"

BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS
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WITH

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER COVERED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-4	AS PER STRUCTURAL	06/03/2019	AM
REV-3	ISSUED FOR TENDER	07/09/2018	AM
REV-2	NEW STANDARD DRWG MODIFICATION	07/06/2018	AM
REV-1	NEW STANDARD DRWG MODIFICATION	06/25/2018	AM

DRAWING: FOUNDATION PLAN

ADDRESS: 83 SCALE: 1/2" = 1'-0" SHEET: 10/10/XXXX

5000 SERIES - DEERFIELD CONDOS

(STANDARD DRAWINGS)

A101

BLOCK: XXXX

DATE: XX/XX/XXXX

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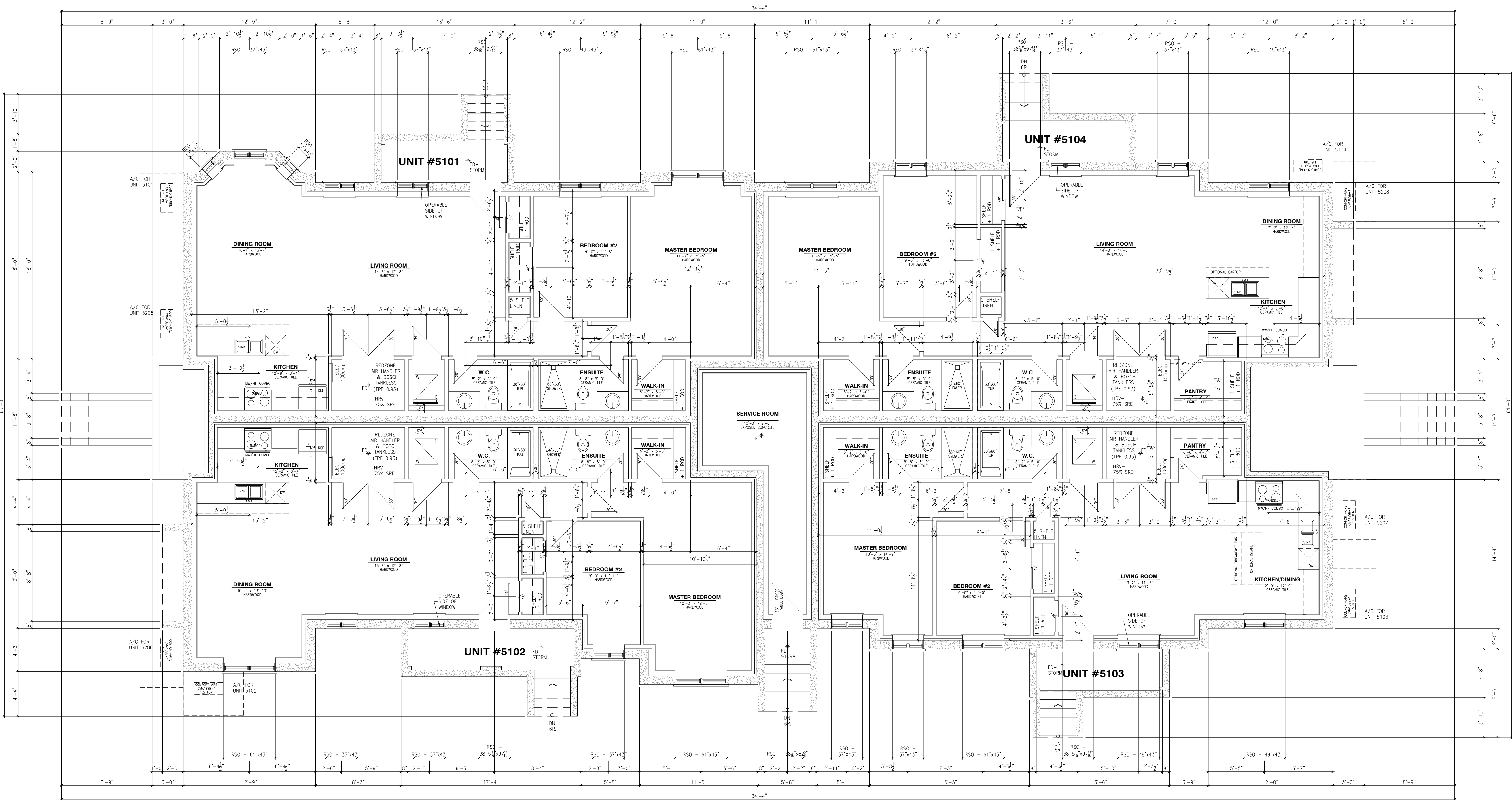
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FIRE RATING NOTES:

1. DUCTS THAT CONNECT 2 FIRE COMPARTMENTS OR PENETRATE AN ASSEMBLY REQUIRED TO BE A FIRE SEPARATION WITH A FIRE RESISTANCE RATING SHALL BE EQUIPPED WITH A FIRE DAMPER.
2. PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION.
3. WHERE FIRE STOPS ARE PIERCED BY PIPES, DUCTS OR OTHER ELEMENTS, THE EFFECTIVENESS OF THE FIRE STOPS SHALL BE MAINTAINED AROUND SUCH ELEMENTS

** EVERY FIRE DOOR AND WINDOW SHALL BE INSTALLED IN CONFORMANCE WITH CHAPTERS 2 TO 14 OF NFPA 80 x FIRE DOORS AND WINDOWS AND WHERE REQUIRED TO HAVE A FIRE-PROTECTION RATING. IT SHALL HAVE LABELS OR CLASSIFICATION MARKS TO IDENTIFY THE TESTING LABORATORY.

DOORS AND WINDOWS NOTES:

- ALL EXTERIOR DOORS ARE TO BE INSULATED (GLASS MAX U-VALUE 1.6)
- ALL EXTERIOR WINDOWS ARE TO BE AS PER MANUF. SPEC'S (ER 25)
- ALL INTERIOR DOORS ARE TO BE WITH (SEE PLAN) x 80" HIGH - COLONIAL
- ALL EXTERIOR DOORS ARE TO BE WITH (SEE PLAN) x 80" HIGH
- ALL EXTERIOR WINDOWS ARE TO BE WITH (SEE PLAN) x HEIGHT (SEE PLAN)

** ALL DOORS AND WINDOWS ARE TO BE VALIDATED **
WITH CLIENT AND MANUF.

CODES AND STANDARDS:

- AT THE TIME OF PREPARATION, THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION.
- ALL WORK SHALL CONFORM TO BYLAWS, ORDINANCES AND REGULATIONS.
- PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS ON THESE PLANS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.
- ALL WORKMANSHIP IS TO BE OF STANDARD EQUAL IN ALL RESPECTS TO GOOD PRACTICE.
- ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY. CHANGES SHALL BE SUBMITTED TO MUNICIPALITY FOR APPROVAL PRIOR FOR THE CHANGES TO BE MADE.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERM STORAGE OF MATERIALS SHALL NOT ALLOW TO EXCEED THE DESIGN LOADINGS.
- THE BUILDER IS TO PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS AND FLOORS PRIOR TO THE COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEMS.
- THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITTING OF THE HOUSE ON THE PROPERTY.
- THE OWNER/BUILDER TO SUPPLY ALL MISSING DIMENSIONS ON SITE PLAN, ALSO ELEVATIONS OF LOT, LEGAL DESCRIPTION, NORTH DIRECTION AND MAIN STREETS.
- THE OWNER/BUILDER IS TO BE RESPONSIBLE FOR CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST PENETRATION, WATER TABLE OR BURIED STRUCTURES, LOCATION OF SERVICES, ETC...

CARPENTRY:

- FRAMING LUMBER SHALL BE NUMBER TWO(2) OR BETTER UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS.
- JOISTS SHALL BE PLACED TO ACCOMMODATE HEATING AND PLUMBING, ETC...
- OWNER/BUILDER TO OBTAIN SHOP DRAWINGS FROM MANUFACTURER OF TRUSSES.
- FLOOR AND ROOF JOIST SPANS OF MORE THAN 7'-0" SHALL BE BRIDGED AT MIDSPAN OR AT 7'-0" o.c. MAXIMUM UNLESS SHEATING OR STRAPPED BOTH SIDES WITH WOOD.
- BRIDGING SHALL BE 2x2 DIAGONAL TYPE WHEREVER POSSIBLE.
- PLATES ARE TO BE ANCHORED TO CONCRETE WITH 1/2" DIA. ANCHOR BOLTS @ 6'-0" MAX.
- PLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH JOIST HANGERS UNLESS OTHERWISE SPECIFIED.

ROOFING:

- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE ONTARIO BUILDING CODE.

SHEET METAL:

- ALL REQUIRED FLASHINGS TO BE 28GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED.

PLUMBING:

- PROVIDE AND INSTALL PLUMBING AND FIXTURES AS INDICATED ON PLANS ACCORDING TO THE LOCAL PLUMBING CODES AND CONFORMING TO 9.31., PART 9 AND PART 7 OF THE ONTARIO BUILDING CODE.

INSULATION /VENTILATION:

- MINIMUM INSULATION REQUIREMENTS: REFER TO THE ENERGY EFFICIENCY DESIGN SUMMARY (EEDS FORM).
- CEILING INSULATION MAY BE LOOSE FILL TYPE OR BATT TYPE FOR WALLS.
- WALLS AND CEILINGS BETWEEN RESIDENCE AND ATTACHED GARAGE SHALL BE INSULATED.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF VENTS OR EQUALLY DISTRIBUTED AT THE TOP OF ROOF SPACE AND SOFFITS AS SHOWN ON ELEVATION DRAWINGS.
- ALL VENTILATION OF ROOF SPACES SHALL CONFORM TO THE ONTARIO BUILDING CODE (MIN. 1/300).

MISCELLANEOUS:

- CAULK OVER AND AROUND ALL EXTERIOR OPENING USING NON-HARDENING CAULKING COMPOUND.
- FLASH CHANGES OF MATERIALS ON EXTERIOR WALLS.
- FLASH OVER ALL EXTERIOR OPENINGS.
- ALL SIDING TO BE A MINIMUM OF 8" (200mm) ABOVE FINISHES GRADE.
- ALL BALCONY RAILINGS TO BE 3'-6" (1070mm) IN HEIGHT MAX. SPACING BETWEEN VERTICAL MEMBERS IS 4" MIN. (100mm) AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.
- FLOOR FINISHES, BATHROOM VANITIES, BACKSPLASH AND KITCHEN CABINETS TO MEET SPECIFICATIONS OF OWNER/BUILDER.
- COAT AND CLOTHES CLOSET SHALL HAVE AT LEAST ONE ROD + SHELF. LINEN CLOSET SHALL HAVE ADJUSTABLE SHELVES WHEREVER POSSIBLE. BROOM CLOSET SHALL HAVE ONE SHELF.
- CERAMIC AND PLASTIC TILE INSTALLED ON WALLS AROUND BATHTUBS OR SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING.

GLASS / WINDOWS:

- ALL WINDOWS SIZES ARE SPECIFIED ON PLANS AS ROUGH DIMENSIONS.
- GLASS SIDING PATIO DOORS ARE TO BE OF TEMPERED GLASS TO CONFORM TO 9.6.5.5, 9.7.1.7., 9.7.2.1. AND 9.7.6. OF THE ONTARIO BUILDING CODE.

ABOVE GRADE MASONRY:

- ALL ABOVE GRADE MASONRY IS TO CONFORM TO SECTION 9.20 OF THE ONTARIO BUILDING CODE.
- AT BRICK VENEER COUNTERFLASHING SHALL BE INSTALL UP TO 8" (200mm) BEHIND THE BUILDING FELT AND BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN.
- PROVIDE WEEPHOLES AT MAX 31" o/c.
- BRICK VENEER TIE SPACING TO BE AT MAXIMUM HORIZONTAL SPACING OF 16" (400mm) AND A MAXIMUM VERTICAL SPACING OF 24" (600mm) OR A MAXIMUM HORIZONTAL SPACING OF 24" (600mm) AND A MAXIMUM VERTICAL SPACING OF 20" (500mm) TO COINCIDE WITH WALL STUD SPACING.
- ALL SIDING TO CONFORM TO TABLE 9.20.9.5. OF THE ONTARIO BUILDING CODE.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 965mm (38")
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE.
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (915mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11".
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11".
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT.
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

NOTES:
FINISH FLOORING IN BATHROOMS, KITCHENS, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH CLIENT AND MANUF.

NOTE:

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER AND P.ENG. IN OTHER CASE.

NOTE:

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.

2012 O.B.C. DRAWINGS

BASEMENT FLOOR LAYOUT

ADVISOR: 03 SCALE: 1/2" = 1'-0" DATE: 03/08/2008

5000 SERIES -

DEERFIELD CONDOS

(STANDARD DRAWINGS)

A102

ROOF AND FLOOR LAYOUT NOTES:

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NOTE:
COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.

BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS

ARCHITECT

**1 SHERBROOK STREET E
PERTH, ON, K7H 1A1**

WITH



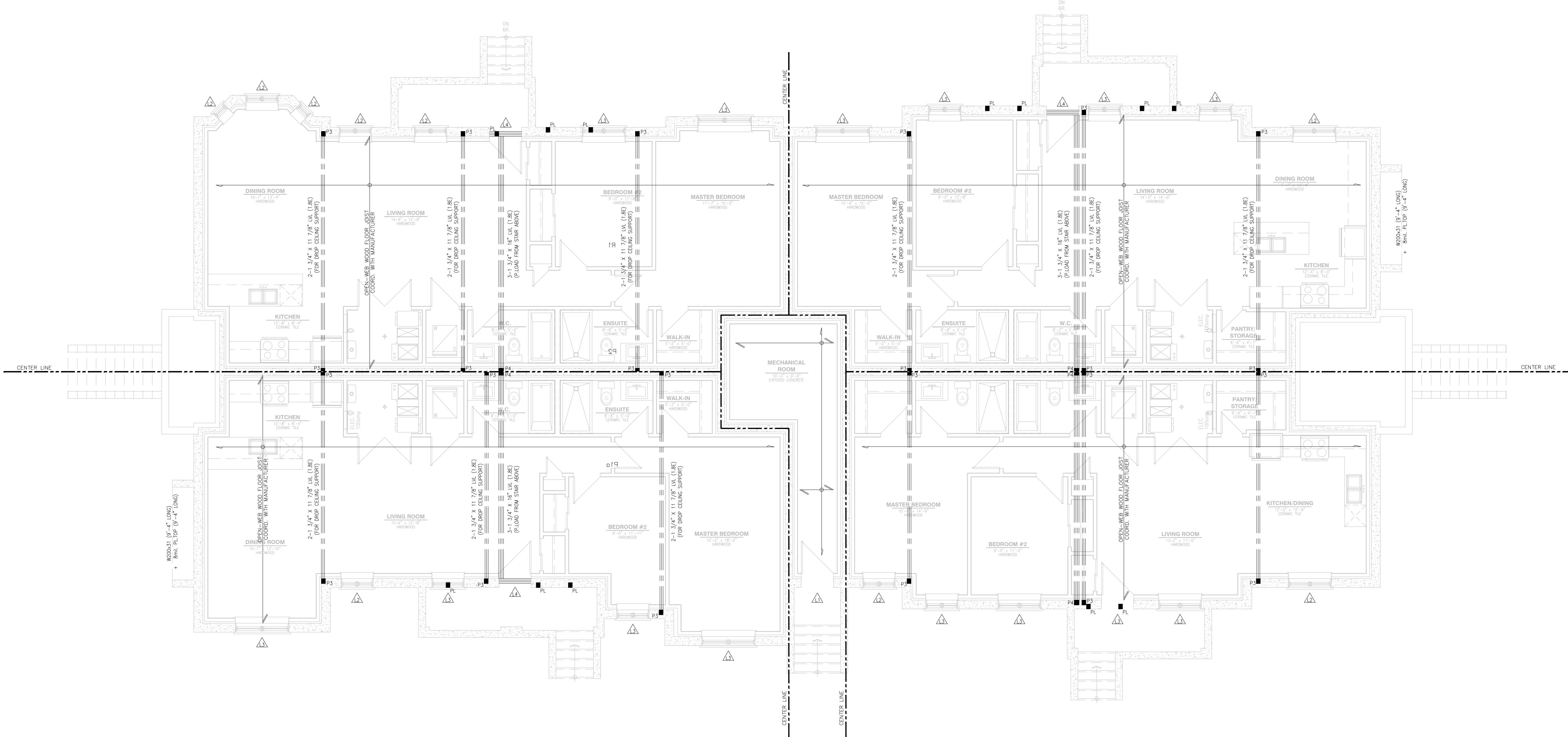
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2012 O.B.C. DRAWINGS

REV-4	REV FOR STRUCTURAL	04/03/2019	MB
REV-3	ISSUED FOR TENDER	07/09/2018	MAO
REV-2	NEW STANDARD DWG MODIFICATION	07/08/2018	MAO
REV-1	NEW STANDARD DWG MODIFICATION	18/05/2018	MAO

NO. DESCRIPTION DATE BY

DRAWING: BASEMENT/GROUND FLOOR STRUCTURE

ADDRESS: 03 SCALE: 1/2"=1'-0" DATE: 03/04/XXXX

5000 SERIES - DEERFIELD CONDOS

SHEET: A103

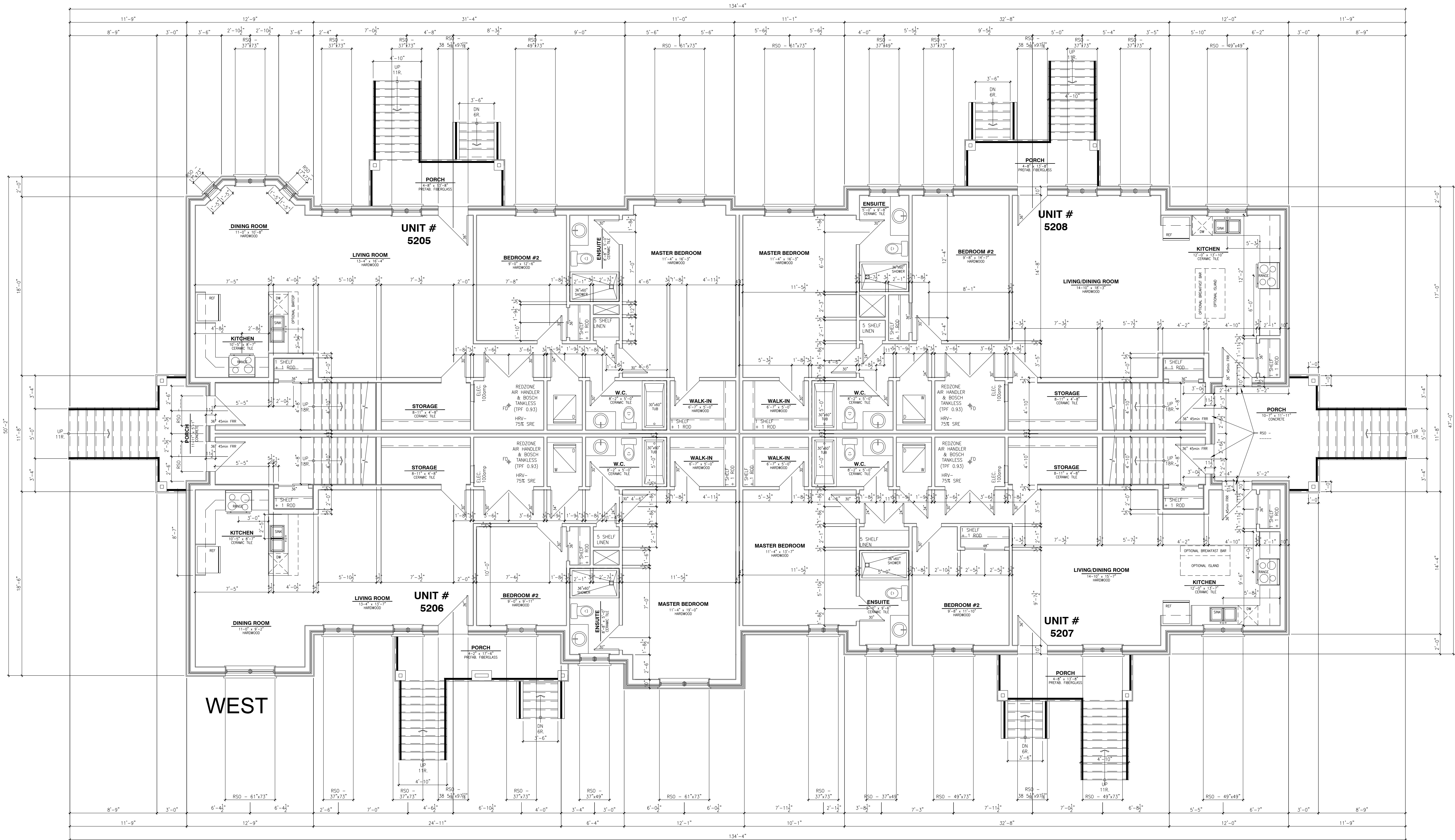
(STANDARD DRAWING)

NORTH

EAST

SOUTH

WEST



BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E

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REV-3	ISSUED FOR TENDER	07/09/2018	WAO
REV-2	NEW STANDARD DRAWING MODIFICATION	07/09/2018	WAO
REV-1	NEW STANDARD DRAWING MODIFICATION	10/05/2018	WAO
NO.		DESCRIPTION	DATE

DRAWN BY

DATE

GROUND FLOOR LAYOUT

DATE

ADDRESS: 00

SCALE: 1/2" = 1'-0"

SHEET: 00/00/XXXX

5000 SERIES -

DEERFIELD CONDOS

A104

(STANDARD DRAWING)

BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS
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1 SHERBROOK STREET E
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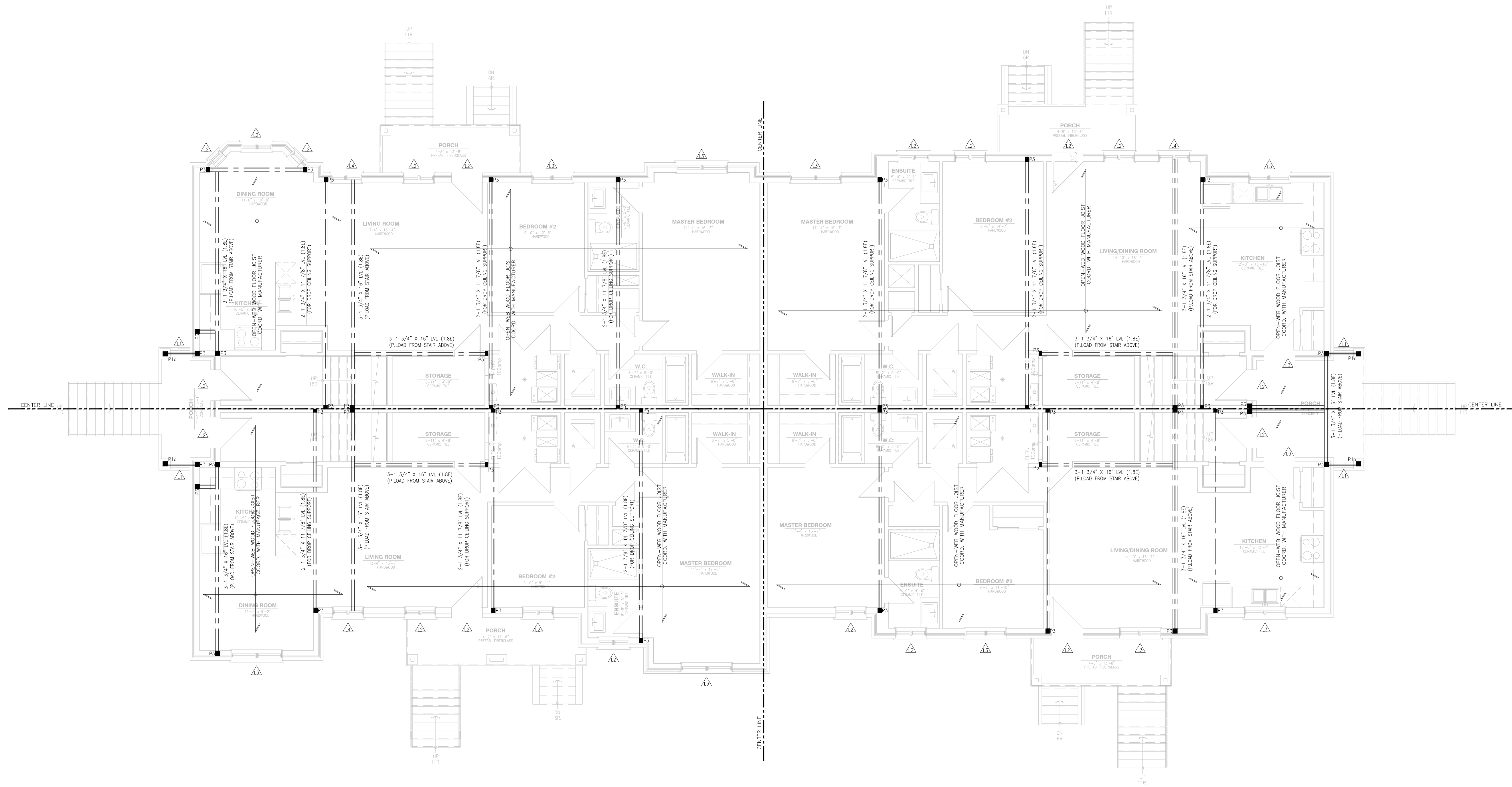
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REV-1	NEW STANDARD DWG. MODIFICATION	06/25/2018	MAO
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND / SECOND FLOOR STRUCTURE

ADDRESS: 5000 SERIES - DEERFIELD CONDOS

5000 SERIES - DEERFIELD CONDOS

(STANDARD DRAWINGS)

SHEET:

A105

BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
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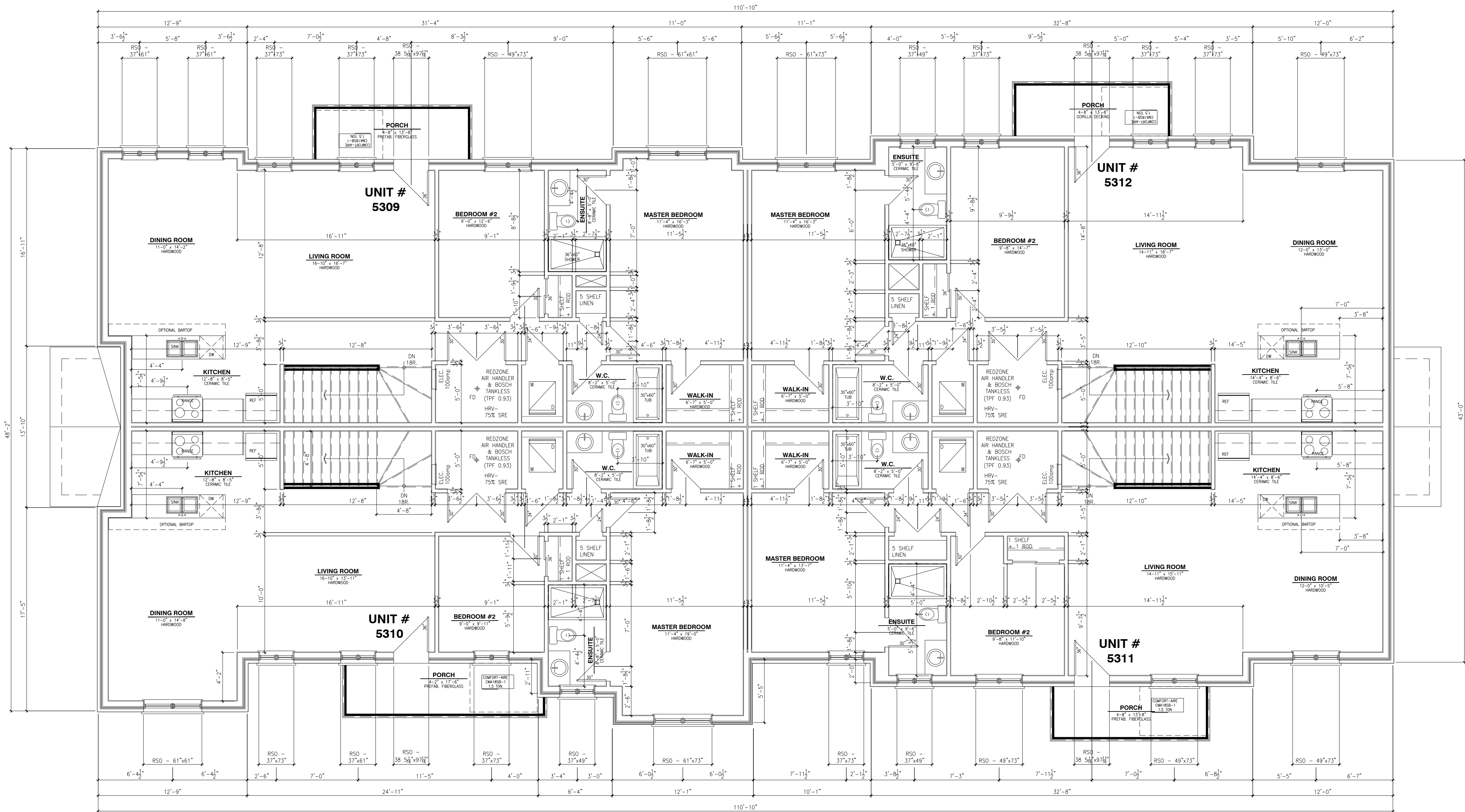
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE
REV-4	REV. FOR STRUCTURAL	04/03/2019
REV-3	ISSUED FOR TENDER	07/09/2018
REV-2	NEW STANDARD DRAWING MODIFICATION	07/09/2018
REV-1	NEW STANDARD DRAWING MODIFICATION	07/09/2018
NO.	DESCRIPTION	DATE

SECOND FLOOR LAYOUT

ADDRESS: 5000 SERIES - DEERFIELD CONDOS

SCALE: 1/2" = 1'-0"

DATE: 03/04/2019

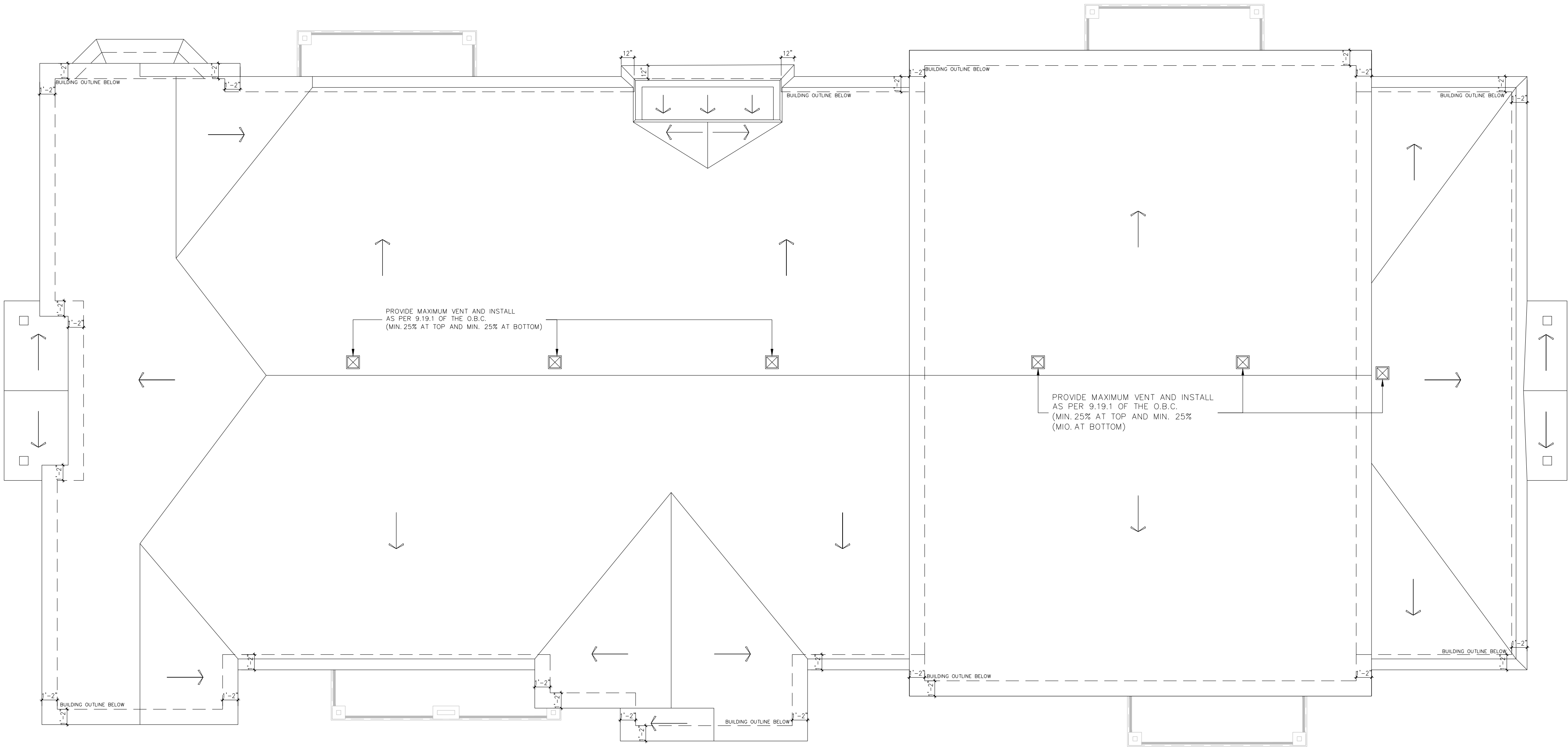
SHEET: A106

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER AND P.ENG. IN OTHER CASE.

NOTE:
COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.



BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 1-14 AND ANY REVISIONS AND NOT SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS COORDINATE ON A SCHEDULE OF WORK OR OTHER DOCUMENT. OTHERWISE THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S PROFESSIONAL SUPERVISOR.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-4	AS PER STRUCTURAL	04/03/2019	MB
REV-3	ISSUED FOR TENDER	07/09/2018	MMO
REV-2	NEW STANDARD DING MODIFICATION	07/08/2018	MMO
REV-1	NEW STANDARD DING MODIFICATION	10/25/2018	MMO
NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN/LAYOUT

ADDRESS: XX SCALE: 1/2"=1'-0" DATE: XX/XX/XXXX

5000 SERIES -
DEERFIELD CONDOS
(STANDARD DRAWINGS)

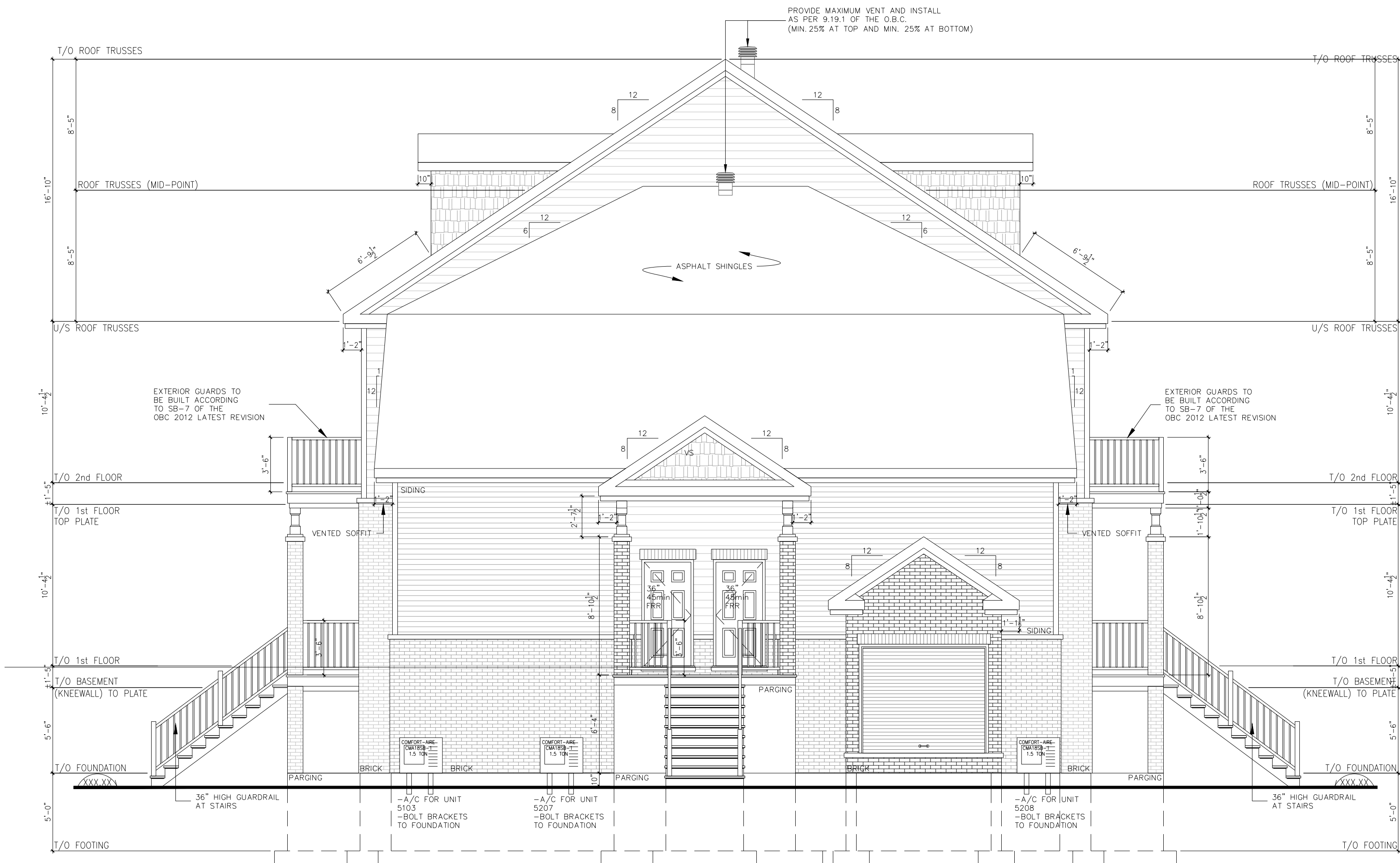
SHEET:
A107

NOTE:
COORD. ALL MAN DOORS AND WINDOWS WITH CLIENT. REFER
TO CHOSEN OPTIONS FOR PROPER ROUGH OPENING WIDTHS

NOTE:
COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR
LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS



WEST



SOUTH

BLOCK: XXXX
DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
Valecraft
INCORPORATED

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
10-11 AND ANY ADDENDUMS AND SHALL BE USED ONLY IN THE MANNER
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
ALL ITEMS COORDINATE ON A SCHEDULE OR ADD OTHER ITEMS
NOT SHOWN, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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ARCHITECTURAL DEPARTMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE
REV-4	AS PER STRUCTURAL	06/03/2019 MB
REV-3	ISSUED FOR TENDER	07/09/2018 MB
REV-2	NEW STANDARD DWG MODIFICATION	07/09/2018 MB
REV-1	NEW STANDARD DWG MODIFICATION	06/25/2018 MB
NO.	DESCRIPTION	DATE

DRAWING: ELEVATIONS

ADDRESS: 83 SCALE: 1/2" = 1'-0" DATE: 03/09/XXXX

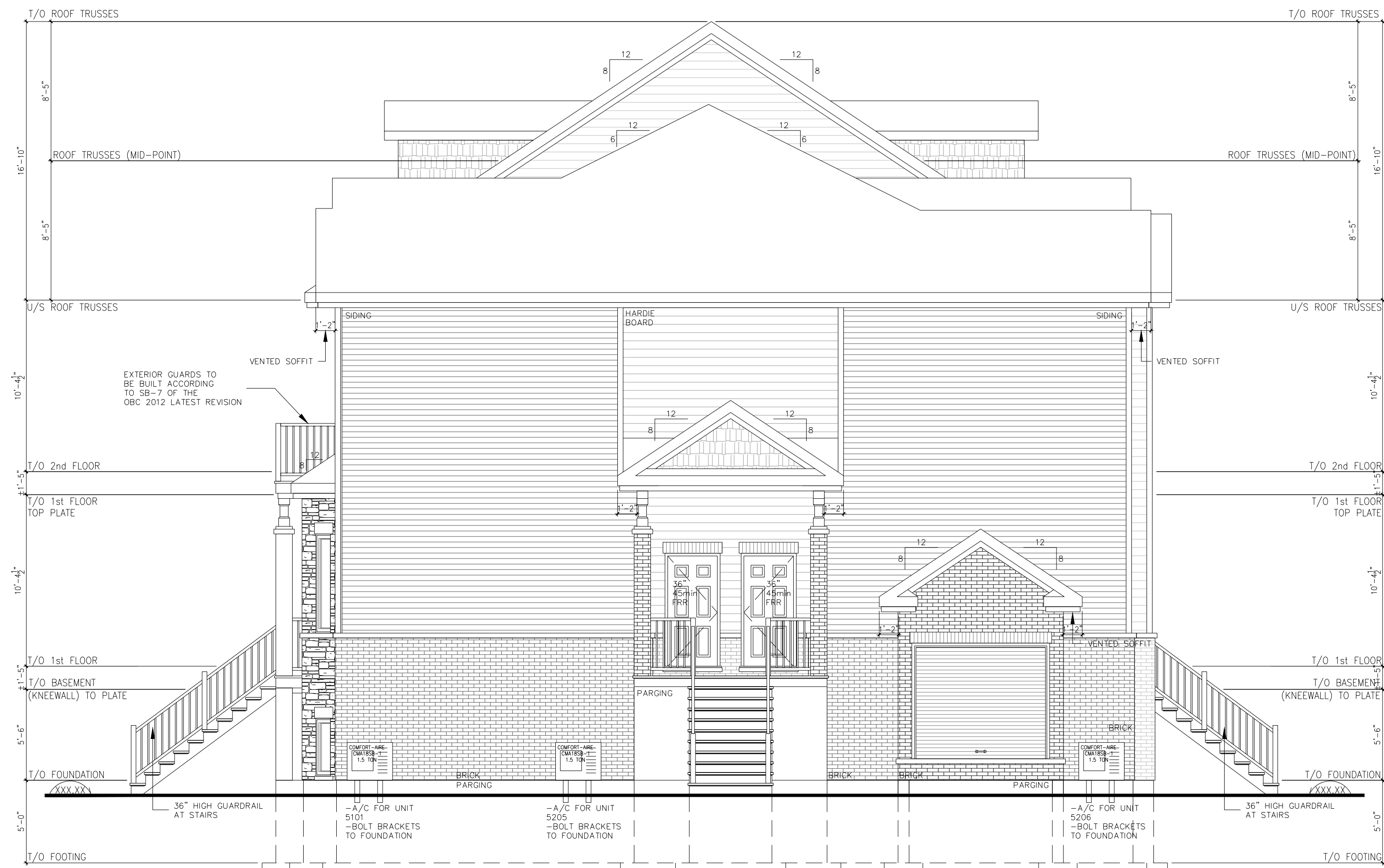
5000 SERIES - DEERFIELD CONDOS

(STANDARD DRAWINGS)

SHEET:
A108



FAST



NORTH

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 1-1 AND ANY AMENDMENTS AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE DRAWING IS THE PROPERTY OF GEOFF HODGINS ARCHITECT AND SHALL REMAIN HIS PROPERTY. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GEOFF HODGINS ARCHITECT. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

ROOF AND FLOOR LAYOUT NOTES:

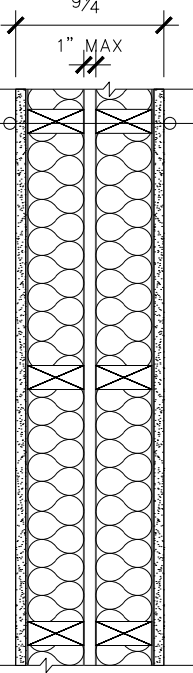
– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER ORDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
PROVIDE MINIMUM 2 ROWS OF "ICE AND WATER SHIELD MEMBRANE" AT ALL ROOF PERIMETER AND AT ALL ROOF VALLEY'S. ALL VALLEY'S TO BE COMPLETED WITH FLAT STOCK SHEET METAL.

NOTE:
COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.

NOTE:
COORD. FLOOR JOIST, LINTEL, ROOF TRUSSES AND POSTS WITH MANUFACTURER AND PILING IN OTHER CASE.

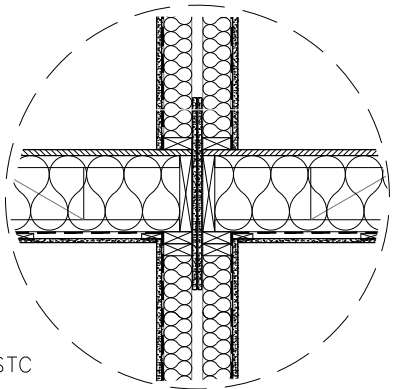
60min COLUMN RATING



U3 PARTY WALL - W13a - 60 MIN. F.R.R.

- 5/8" PAINTED, TYPE X DRYWALL
- 2 ROWS 2x4 @ 16" o/c ON SEPARATE PLATES (1" APART) c/w BATT INSULATION (R-12) ON EACH SIDE
- 5/8" PAINTED, TYPE X DRYWALL

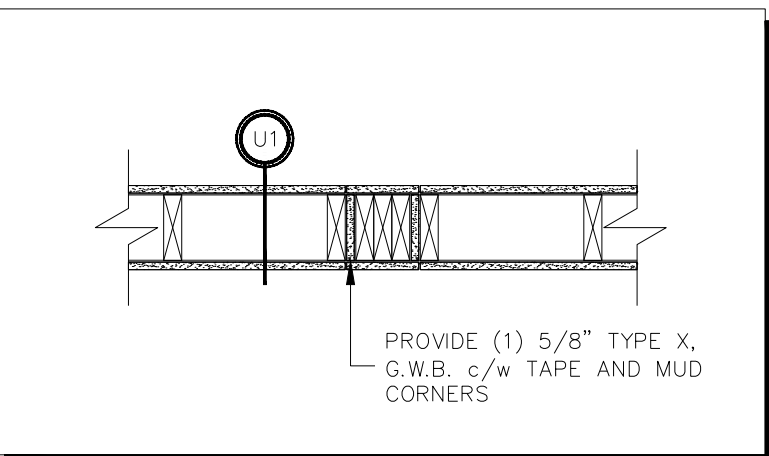
* WALL TO BE CONSTRUCTED FROM FOUNDATION WALL TO THE UNDERSIDE OF THE ROOF TRUSSES.
* AT FLOOR RIMBOARDS, PROVIDE 2x 1/2" TYPE X DRYWALL IN 1" AIR SPACE (2'-0" WIDE MINIMUM)



** SB-3 WALL = W13a
** STC PROVIDED = 57 STC

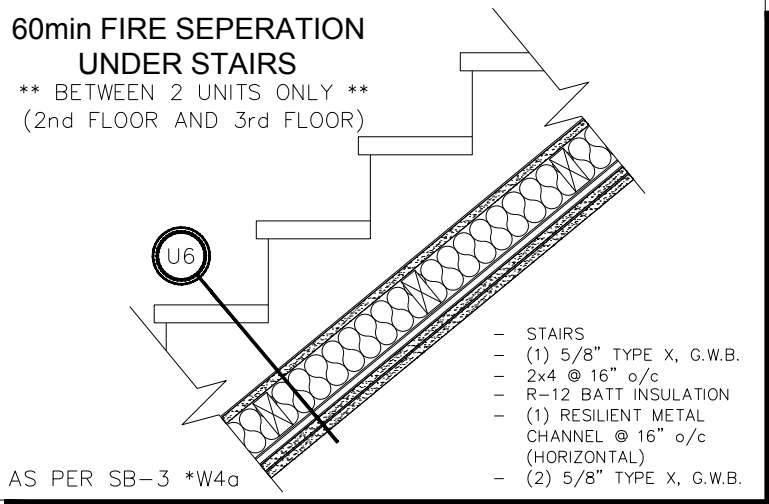
U3 - INTERIOR WALL FIRE WALL CONSTRUCTION

SCALE: 1" = 1'-0"



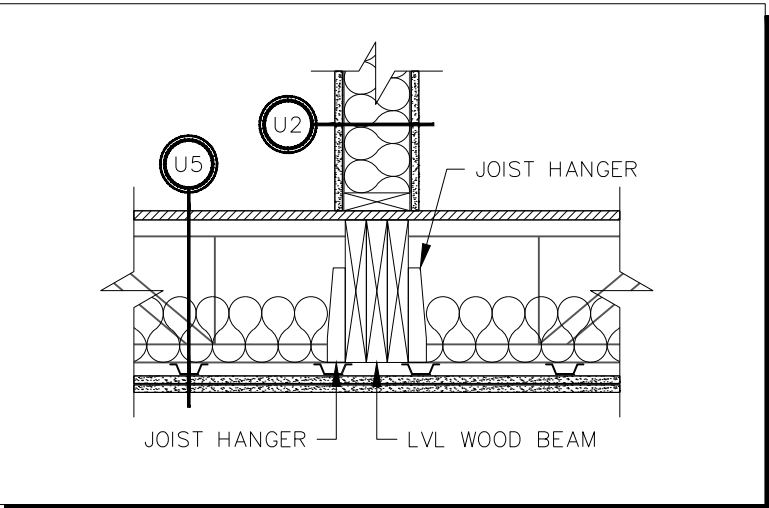
COLUMN DETAIL - 60min FRR

SCALE: 3/4" = 1'-0"



STAIR DETAIL - 60min FRR

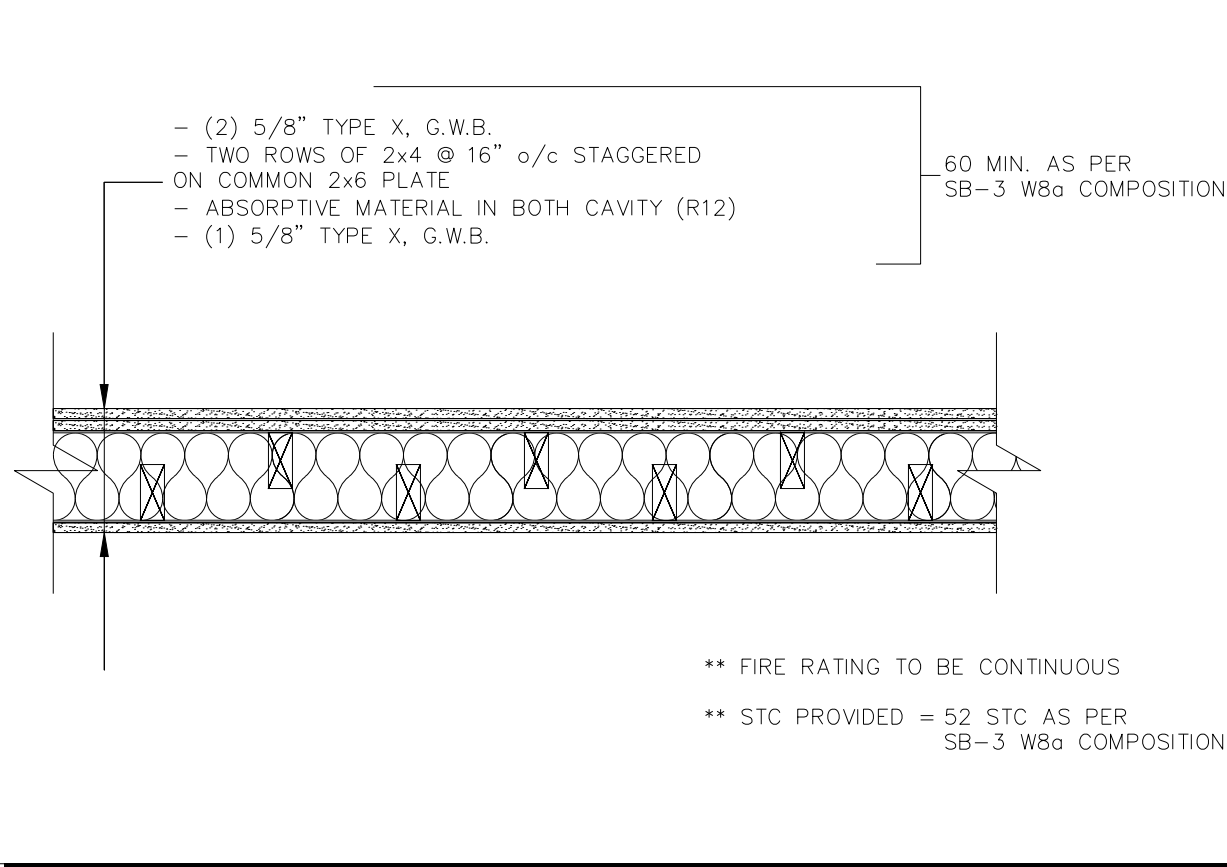
SCALE: 3/4" = 1'-0"



DETAIL - FLUSH BEAM

SCALE: 3/4" = 1'-0"

FIRE SEPARATION - INTERIOR WALL (60min FRR)

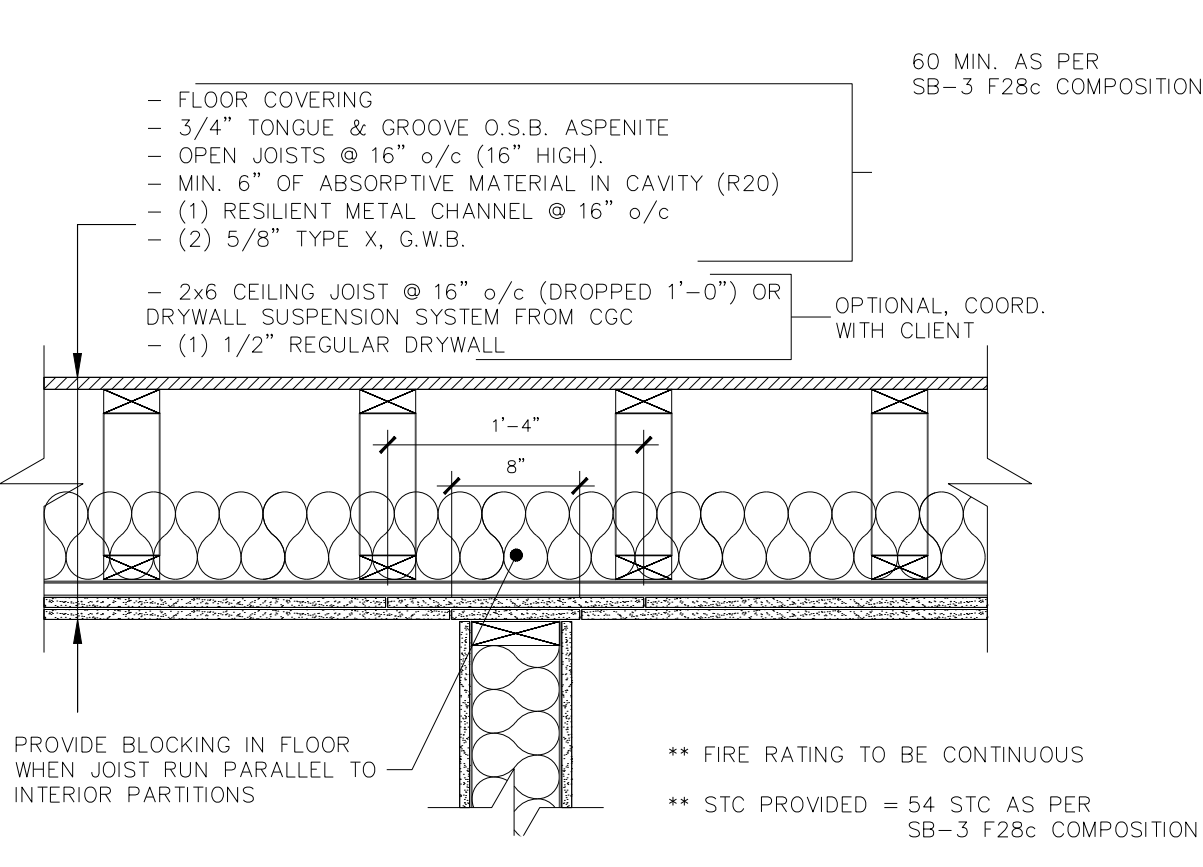


** FIRE RATING TO BE CONTINUOUS
** STC PROVIDED = 52 STC AS PER SB-3 W8a COMPOSITION

U4 - FIRE SEPARATION INTERIOR WALL BETWEEN UNITS

SCALE: 1" = 1'-0"

FIRE SEPARATION FLOOR (60min FRR)



** FIRE RATING TO BE CONTINUOUS
** STC PROVIDED = 54 STC AS PER SB-3 F28c COMPOSITION

U5 - FLOOR SEPARATION - BETWEEN UNITS

SCALE: 1" = 1'-0"

R1/ROOF

- ASPHALT SINGLES (30 YEARS) c/w EAVE PROTECTION
- #15 ASPHALT SATURATED FELT
- 1/2" T&G ROOF SHEETING c/w "H" CLIPS
- PRE-FAB. ROOF TRUSSES, INSTALLED AT 24"o/c
- BLOWN INSULATION (R-60)
- 6 MIL. VAPOUR BARRIER
- 1x4" WOOD FURRING @ 16" o/c (COORD. NEED WITH MANUF.)
- 1/2" PAINTED REGULAR DRYWALL

R2/ROOF

- ASPHALT SINGLES (30 YEARS) c/w EAVE PROTECTION
- #15 ASPHALT SATURATED FELT
- 1/2" T&G ROOF SHEETING c/w "H" CLIPS
- PRE-FAB. ROOF TRUSSES, INSTALLED AT 24"o/c
- VENTED ALUMINIUM SOFFIT

I1 INTERIOR WALL - 2x4

- 1/2" PAINTED REGULAR DRYWALL
- 2x4 @ 16" o/c c/w SOUND INSULATION (COORD. THE NEED WITH CLIENT)
- 1/2" PAINTED REGULAR DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

I2 INTERIOR WALL - 2x6

- 1/2" PAINTED REGULAR DRYWALL
- 2x6 @ 16" o/c c/w SOUND INSULATION (COORD. THE NEED WITH CLIENT)
- 1/2" PAINTED REGULAR DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

F1 BASEMENT FLOOR SLAB

- 3" CONCRETE FLOOR SLAB AND 6 MIL. V-B
- 2" (R10) RIGID INSULATION (BASEMENT ENTRANCE)
- 10" OF 7/8" MINUS MATERIAL
- UNDISTURBED SOIL OR COMPACTED SOIL TO 95% PROCTOR

* SOIL TO BE 75kPa, PROVIDE SOIL TEST REPORT

F2 FLOOR - HOUSE/EXTERIOR

- 3/8" UNDERLAY FOR CERAMIC
- 3/4" FLOOR SHEETING (ASPHENITE)
- 6 MIL. VAPOUR BARRIER
- OPEN-WEB WOOD JOIST 16" HIGH @ 16" o/c NAILED AND GLUED c/w MID-SPAN BRIDGING
- * LIVE LOAD 40 * DEAD LOAD 15
- BATT INSULATION (R40)
- 7/16" EXTERIOR SHEETING (ASPHENITE)
- 5/8" EXTERIOR FIRE RATED G.W.B. (DENS GLASS)
- TYP. TYVEK OR EQUIVALENT
- c/w SEALED JOINTS WITH PROPER TAPE
- UN-VENTED ALUMINIUM SOFFIT

S1 SILL PLATE

- 2x6 SILL PLATE c/w SILL GASKET
- 1/2" DIA. ANCHOR BOLTS @ 72" o/c MAX.

E5 FOUNDATION WALL - BETWEEN UNIT

- 5/8" PAINTED, TYPE X, DRYWALL
- 2x4 @ 16" o/c c/w BATT INSULATION (R-20)
- 10" POURED CONCRETE FOUNDATION WALL
- 2x4 @ 16" o/c c/w BATT INSULATION (R-20)
- 5/8" PAINTED, TYPE X, DRYWALL

E1 EXTERIOR FOUNDATION WALL

- PARKING (SAND FINISH) ABOVE GRADE
- 8", 10" OR 12" POURED CONCRETE FOUND. WALL

E2 EXTERIOR FOUNDATION WALL

- PARKING (SAND FINISH) ABOVE GRADE
- DRAINAGE LAYER, TYP. DELTA-MS OR EQUIVALENT
- 2 COATS OF DAMPROOFING BELOW GRADE
- 2x4 @ 16" o/c c/w R-12 BATT INSULATION & 2" CLOSED CELL SPRAY FOAM
- 5/8" PAINTED, TYPE X, DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

E3 EXTERIOR FINISH - STONE/BRICK

- STONE/BRICK, COORD. COLOR WITH CLIENT
- 1" AIR SPACE c/w WEEPHOLES @ 2'-7" o/c MAX.
- TYP. TYVEK OR EQUIVALENT
- c/w SEALED JOINTS WITH PROPER TAPE
- R5.6 WALL SHEETING = 1-9/16" THICKNESS (R-5) (7/16" ASPHENITE + 1-1/8" RIGID INSULATION)
- 2x6 @ 16" o/c c/w BATT INSULATION (R-20)
- 6 MIL. VAPOUR BARRIER
- 5/8" PAINTED, TYPE X, DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

E4 EXTERIOR FINISH - SIDING/CANEXEL

- EXTERIOR HORIZONTAL SIDING c/w PROPER FURRING AS PER MANUFACTURER (SEE LOCATION ON ELEVATIONS)
- TYP. TYVEK OR EQUIVALENT
- c/w SEALED JOINTS WITH PROPER TAPE
- R5.6 WALL SHEETING = 1-9/16" THICKNESS (R-5) (7/16" ASPHENITE + 1-1/8" RIGID INSULATION)
- 2x6 @ 16" o/c c/w BATT INSULATION (R-20)
- 6 MIL. VAPOUR BARRIER
- 5/8" PAINTED, TYPE X, DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

U1 INTERIOR WALL - 2x4 (ULC W301)

- 5/8" PAINTED TYPE X, DRYWALL
- 2x4 @ 16" o/c c/w SOUND INSULATION (COORD. THE NEED WITH CLIENT)
- 5/8" PAINTED TYPE X, DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

U2 INTERIOR WALL - 2x6 (ULC W301)

- 5/8" PAINTED TYPE X, DRYWALL
- 2x6 @ 16" o/c c/w SOUND INSULATION (COORD. THE NEED WITH CLIENT)
- 5/8" PAINTED TYPE X, DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

U3 PARTY WALL - W13a - 60 MIN. F.R.R.

- 5/8" PAINTED, TYPE X DRYWALL
- 2 ROWS 2x4 @ 16" o/c ON SEPARATE PLATES (1" APART) c/w BATT INSULATION (R-12) ON EACH SIDE
- 5/8" PAINTED, TYPE X DRYWALL

* WALL TO BE CONSTRUCTED FROM FOUNDATION WALL TO THE UNDERSIDE OF THE ROOF TRUSSES.
* AT FLOOR RIMBOARDS, PROVIDE 2x 1/2" TYPE X DRYWALL IN 1" AIR SPACE (2'-0" WIDE MINIMUM)

U4 INTERIOR WALL - FIRE SEPARATION

SEE DETAIL ON DRAWING A-110 OF A-110

U5 INTERIOR FLOOR - GENERAL

SEE DETAIL ON DRAWING A-110 OF A-110

U6 INTERIOR - STAIRS

SEE DETAIL ON DRAWING A-110 OF A-110

BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-14 AND ANY REVISIONS MUST SHOW ONLY ONE OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS COVERED ON A SCHEDULE OR REVISION, THE DRAWING DOCUMENT, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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2012 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
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INFORMATION - PROJECT

NO.	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY
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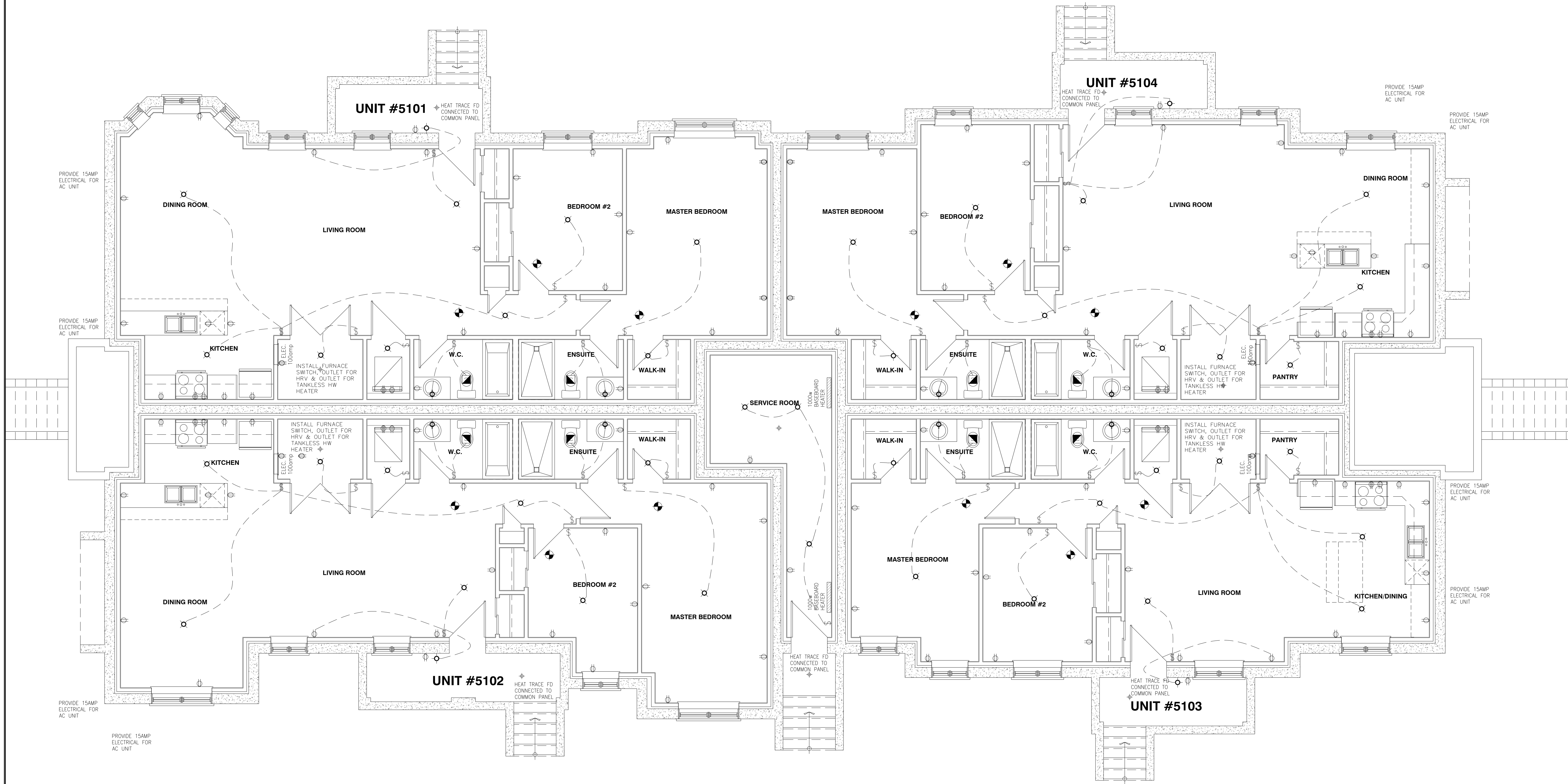
NO.	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY
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BLOCK: XXXX
DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
Valecraft
Brampton Ltd.

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY WORK OF THE CONTRACTOR DETAILED ON THIS DOCUMENT. THE DRAWINGS NOT SHOW ALL WORK COVERED ON A SCHEDULE OR ANY OTHER ITEM. NOTWITHSTANDING, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

• SMOKE ALARM AS PER SECTION 9.10.13. OF THE BUILDING CODE.
• SHALL HAVE A VISUAL SMOKE ALARM.
• ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY.
• ARE REQUIRED ON EACH STORY, INCLUDING BASEMENT.
• ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL OPERATION, FOLLOWED BY A MINIMUM OF 30 DAYS.
• CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

• PROVIDE MECHANICAL EXHAUST TO OUTSIDE.

• ELECTRICAL RECEPTACLE - INSTALL GFI WHERE REQUIRED

• STANDARD CEILING MOUNTED LIGHT FIXTURE

• STANDARD WALL MOUNTED LIGHT FIXTURE

• SINGLE GANG SWITCH

• DOUBLE GANG SWITCH

• TRIPLE GANG SWITCH

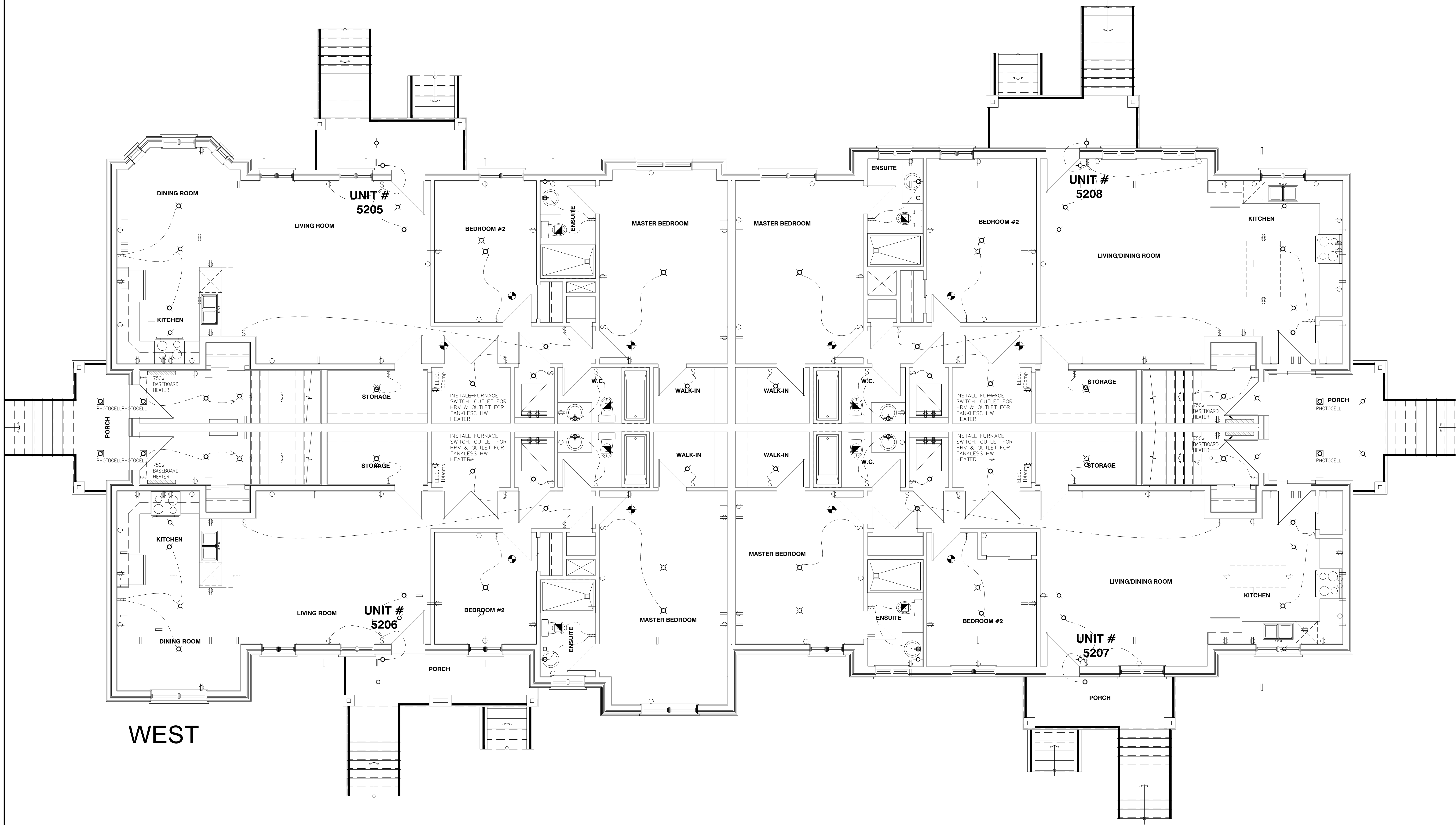
2012 O.B.C. DRAWINGS

REV-4	AS PER STRUCTURAL	18/03/2019	MB
REV-3	ISSUED FOR TENDER	07/09/2018	MMO
REV-2	NEW STANDARD DRAWING MODIFICATION	17/06/2018	MMO
REV-1	NEW STANDARD DRAWING MODIFICATION	18/05/2018	MMO
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR ELECTRICAL**

ADDRESS: 5000 SERIES - DEERFIELD CONDOS
SCALE: 1/4" = 1'-0"
SHEET: 10/18/XXXX

5000 SERIES - DEERFIELD CONDOS
(STANDARD DRAWINGS)



WEST

BLOCK: XXXX
DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
 Valecraft
ELECTRICAL LTD.

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE SCHEDULE
T-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY WORK OF THE CONTRACTOR
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ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- SMOKE ALARMS AS PER SECTION 9.10.10. OF THE
ONTARIO BUILDING CODE:
 - SHALL HAVE A TESTAL SOUNDING DEVICE
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY
 - ARE REQUIRED ON EACH STORY, INCLUDING BASEMENT
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY OR AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY 4 HOURS OF ALARM AND
CARRYOVER ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

ELECTRICAL RECEPTACLE - INSTALL GFCI WHERE REQUIRED

STANDARD CEILING MOUNTED LIGHT FIXTURE

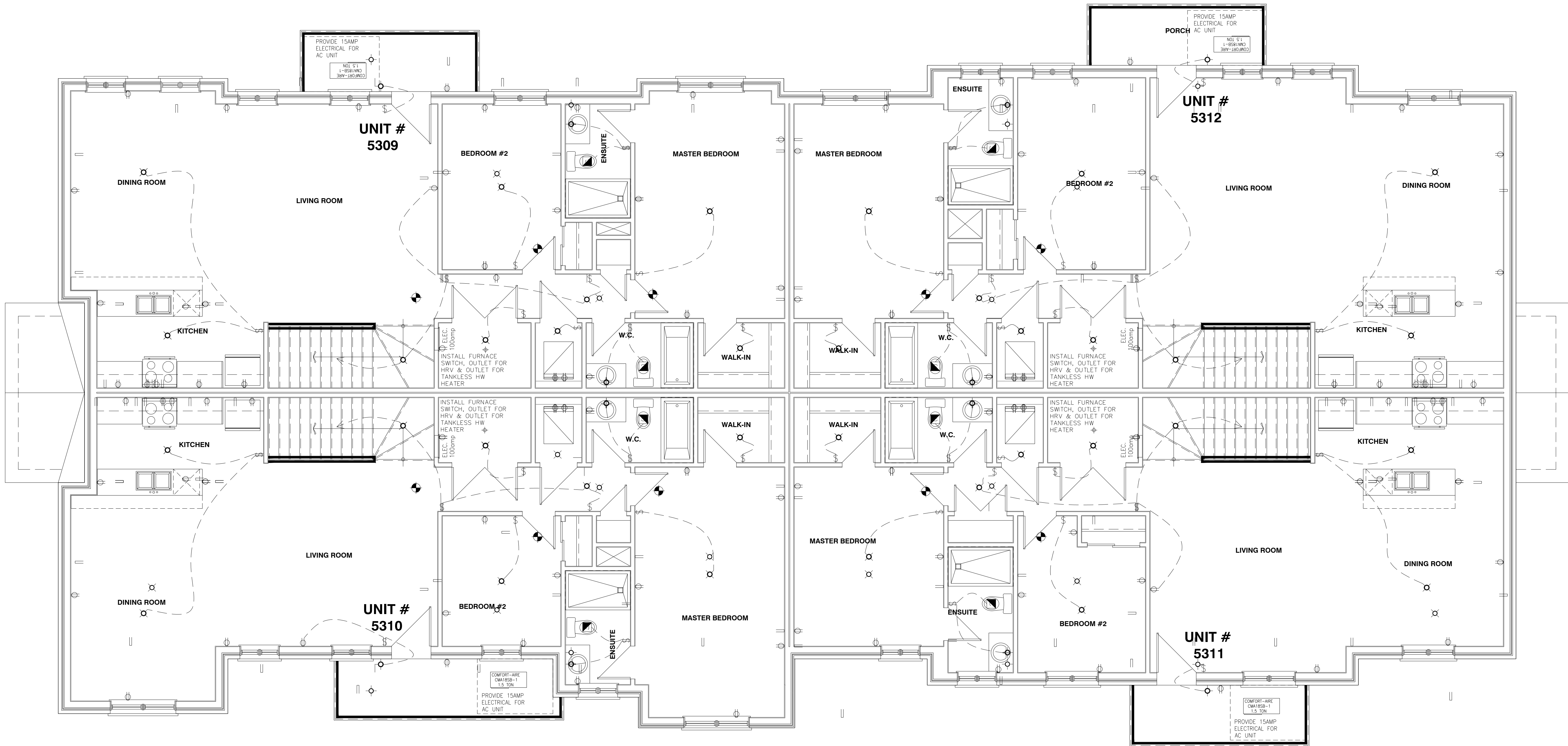
STANDARD WALL MOUNTED LIGHT FIXTURE

SINGLE GANG SWITCH

DOUBLE GANG SWITCH

TRIPLE GANG SWITCH

2012 O.B.C. DRAWINGS			
REV-4	AS PER STRUCTURAL	10/03/2019	AM
REV-3	ISSUED FOR TENDER	07/09/2018	MM
REV-2	NEW STANDARD DRAWING MODIFICATION	07/09/2018	MM
REV-1	NEW STANDARD DRAWING MODIFICATION	10/25/2018	MM
NO.	DESCRIPTION	DATE	BY
GROUND FLOOR ELECTRICAL			
ADDRESS:	SCALE:	SHEET:	
5000 SERIES -	1/2" = 1'-0"	10/10/XXXX	
DEERFIELD CONDOS			E2
(STANDARD DRAWINGS)			



BLOCK: XXXX

DATE: XX/XX/XXXX

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
 Valecraft
INCORPORATED

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY WORK OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULE 10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY WORK OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULE 10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY WORK OF THE CONTRACTOR.

ALL CONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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SMOKE ALARMS AS PER SECTION 9.10.18 OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY OR AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 HOURS OF ALARM AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

○ ELECTRICAL RECEPTACLE - INSTALL GFI WHERE REQUIRED

○ STANDARD CEILING MOUNTED LIGHT FIXTURE

○ STANDARD WALL MOUNTED LIGHT FIXTURE

○ SINGLE GANG SWITCH

○ DOUBLE GANG SWITCH

○ TRIPLE GANG SWITCH

2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-4	AS PER STRUCTURAL	04/03/2019	MB
REV-3	ISSUED FOR TENDER	07/09/2018	WAO
REV-2	NEW STANDARD DRAWING MODIFICATION	07/09/2018	WAO
REV-1	NEW STANDARD DRAWING MODIFICATION	06/25/2018	WAO
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR ELECTRICAL

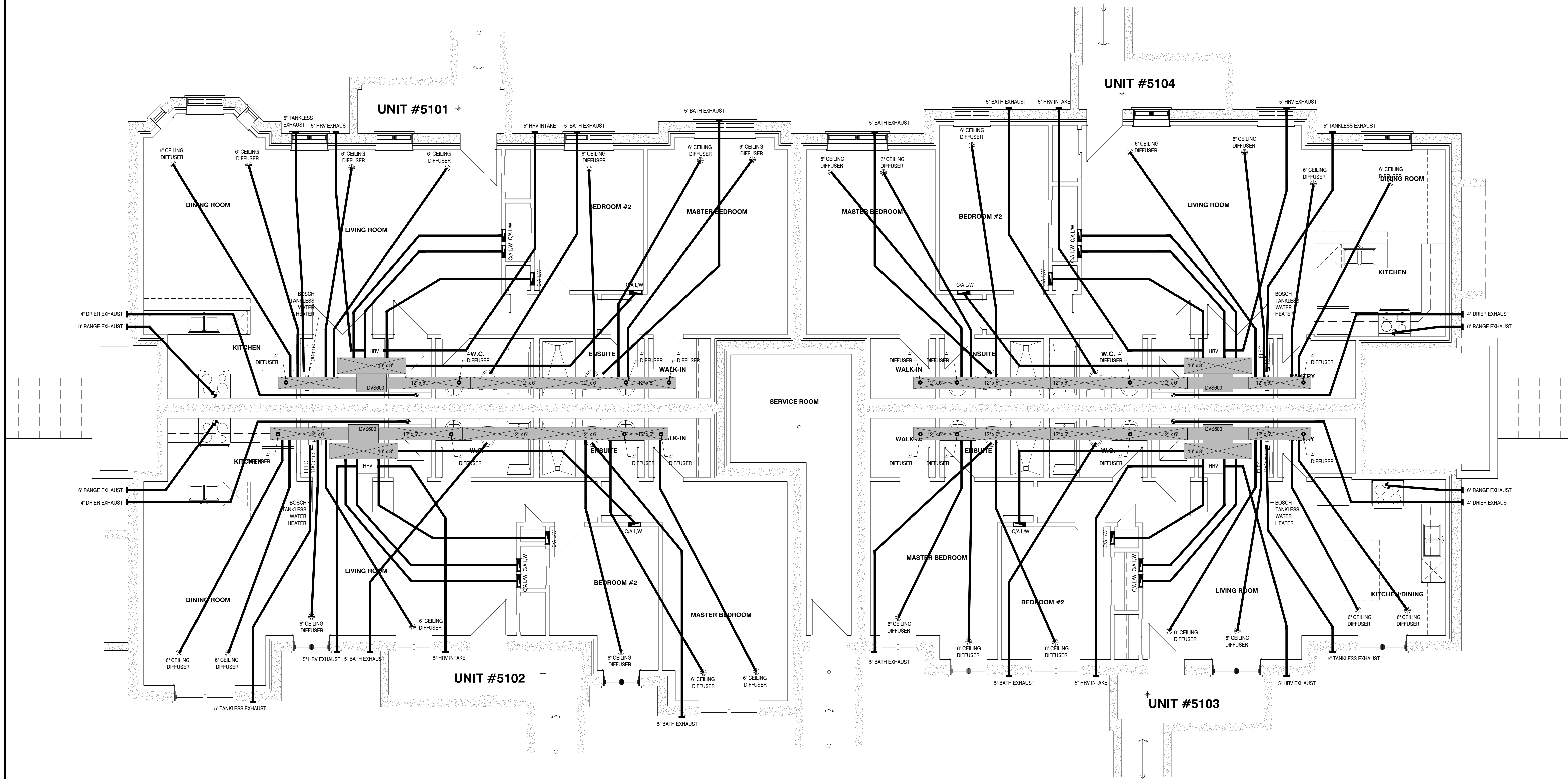
ADDRESS: 00

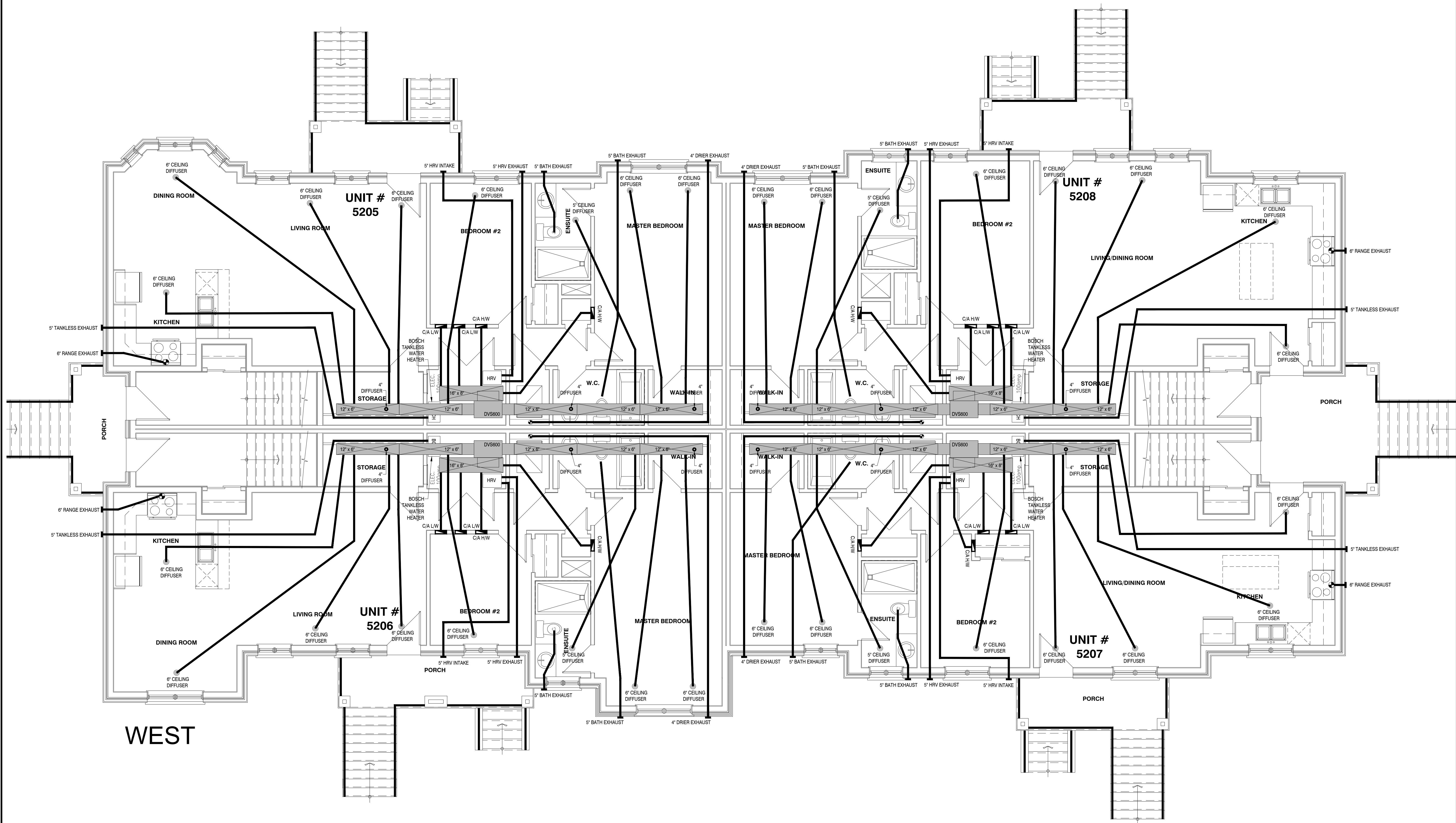
SCALE: 1/4" = 1'-0"

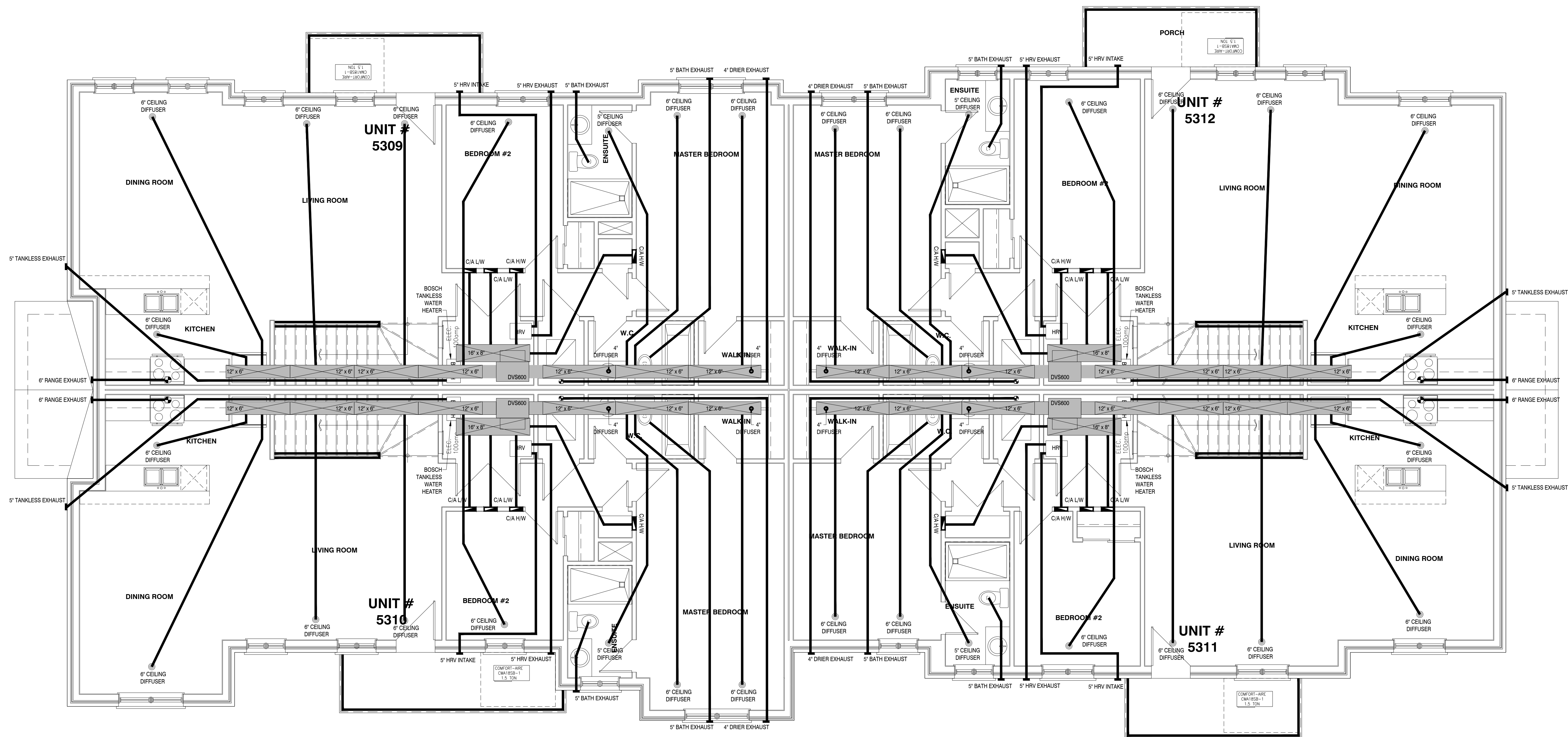
SHEET: 00/00/XXXX

5000 SERIES - DEERFIELD CONDOS

E3









Valecraft



Homes Ltd.

5000 SERIES - UNITS 5101, 5102, 5103, 5104
LEVEL 1

All dimensions are approximate
Exterior illustrations are artist concepts only and may not be as shown.
E & OE, plans, materials and specifications are subject to change without notice.
Actual useable floor space may vary from the stated floor area.
NOTE * : Number of steps varies due to site grading.

E. & O.E. 06/13/19



Valecraft



Homes Ltd.

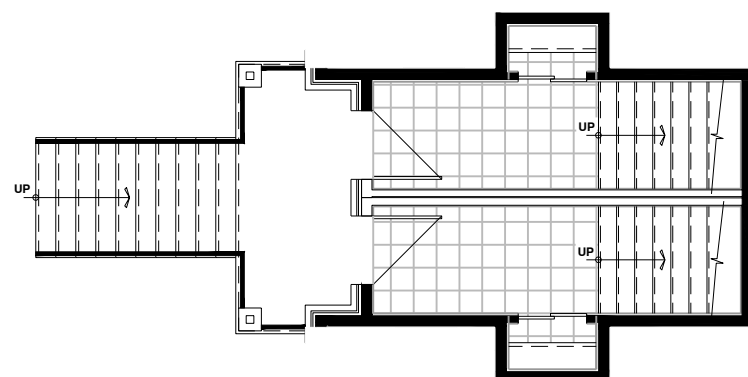
5000 SERIES - UNITS 5205, 5206, 5207, 5208
LEVEL 2

All dimensions are approximate
Exterior illustrations are artist concepts only and may not be as shown.
E & OE, plans, materials and specifications are subject to change without notice.
Actual useable floor space may vary from the stated floor area.
NOTE * : Number of steps varies due to site grading.

E. & O.E. 05/06/19



SOUT



ENTRANCE TO UNIT

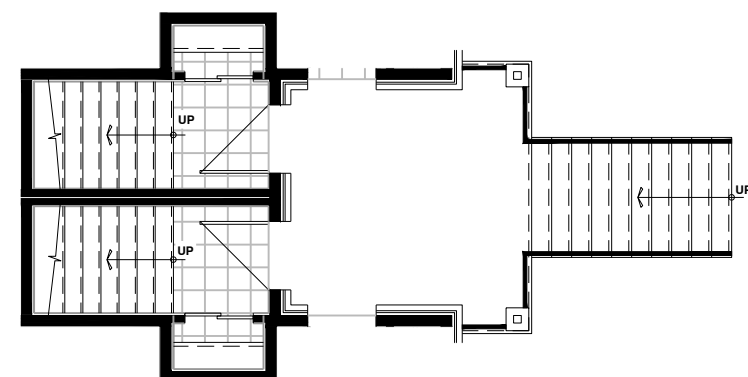
5000 SERIES - UNITS 5309, 5310, 5311, 5312
LEVEL 3

Valecraft



Homes Ltd.

All dimensions are approximate
Exterior illustrations are artist concepts only and may
not be as shown.
E & OE, plans, materials and specifications are subject to
change without notice.
Actual useable floor space may vary from the stated floor area.
NOTE * : Number of steps varies due to site grading.



ENTRANCE TO UNIT