



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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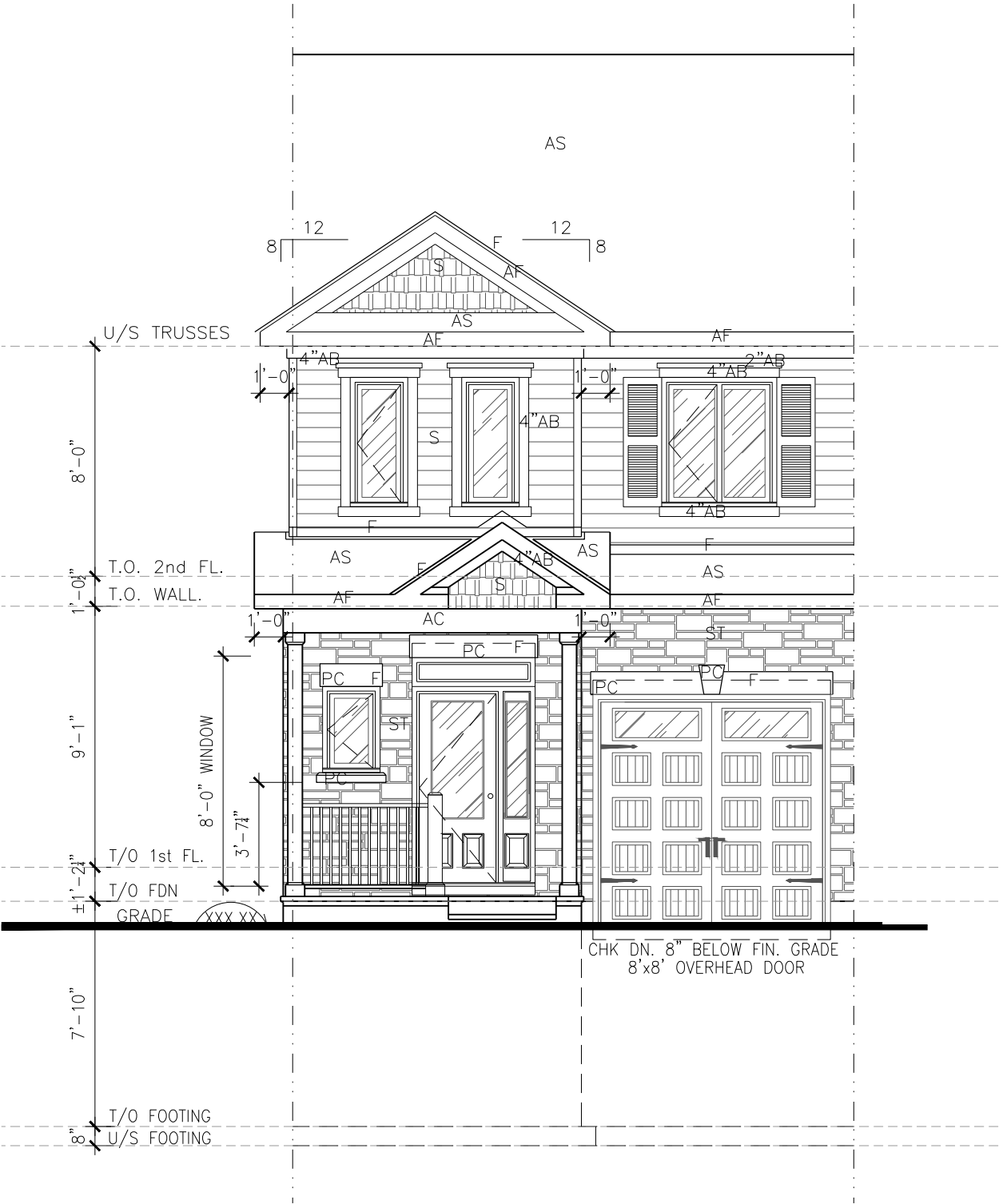
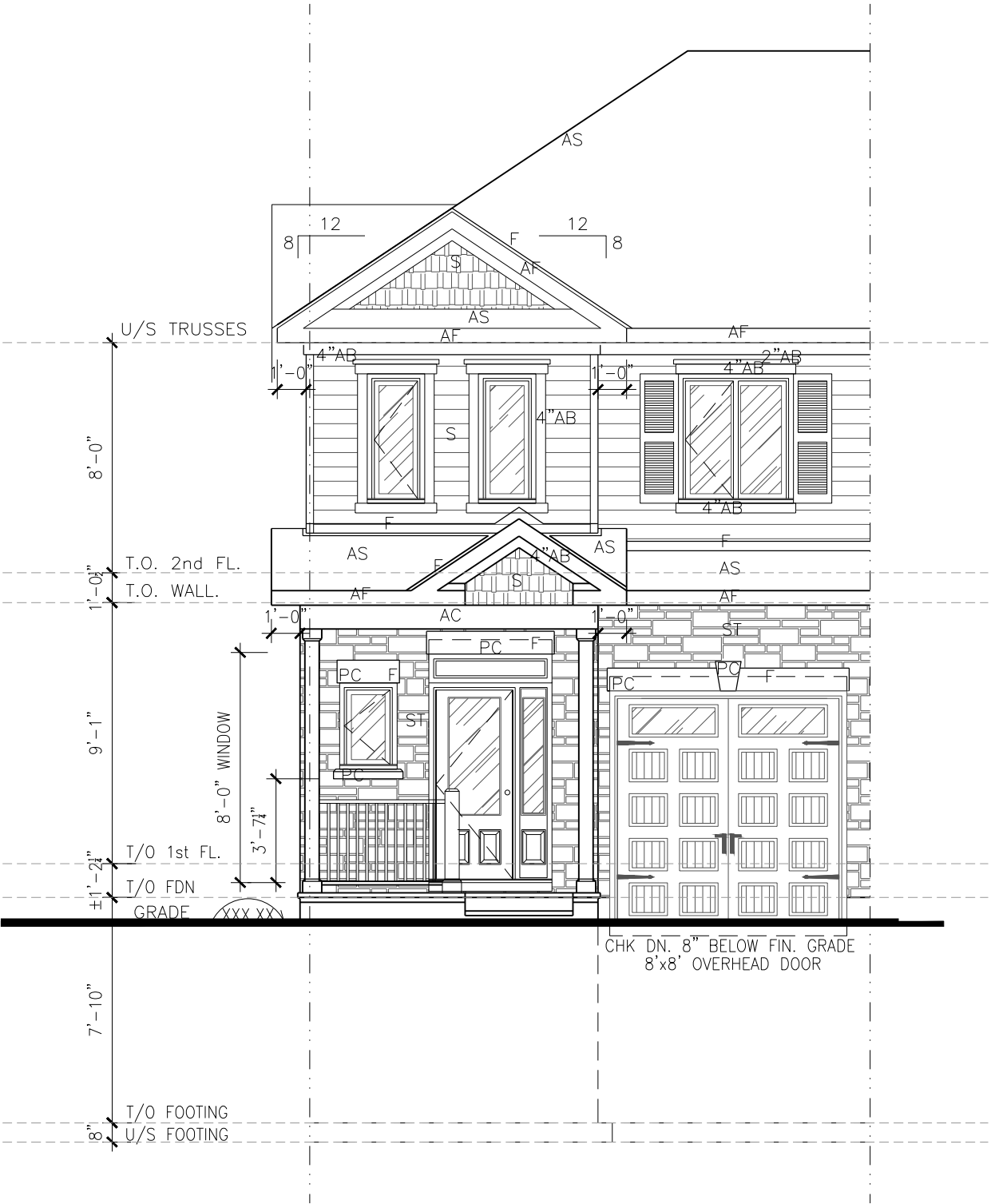
EXTERIOR FINISH LEGEND:	
B	- BRICK (MAIN)
B1	- BRICK SOLDIER COURSE (ACCENT)
B2	- BRICK SOLDIER COURSE (ACCENT)
+20mm PROUD	
B3	- BRICK SLEEPER COURSE
B4	- STACK BOND (ACCENT)
B5	- BRICK SILL (ACCENT)
B6	- BRICK ROW LOCK (ACCENT)
B7	- BRICK CORBELLING
B8	- BRICK CORNING 20mm PROUD
+20	- BRICK 20mm PROUD
-20	- BRICK 20mm RECESSED
S	- SIDING (HORIZONTAL)
ST	- STONE VENEER
T	- TRIM 200mm COVE SIDING
AF	- ALUMINUM FASCIA
AC	- ALUMINUM CLADDING
AB	- 48" ALUMINUM BAND
AS	- ASPHALT SHINGLES
F	- FLASHING
V	- ROOF VENT (MAXIMUM)
P	- PARGING
PC	- PARGING
PCH10	- PRECAST HEADER 10"
PCH8	- PRECAST HEADER 8"
PCS	- PRECAST SILL
PCB	- PRECAST BAND
VS	- VINYL SHAKES
VEC	- SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

ELEVATION A - FRONT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

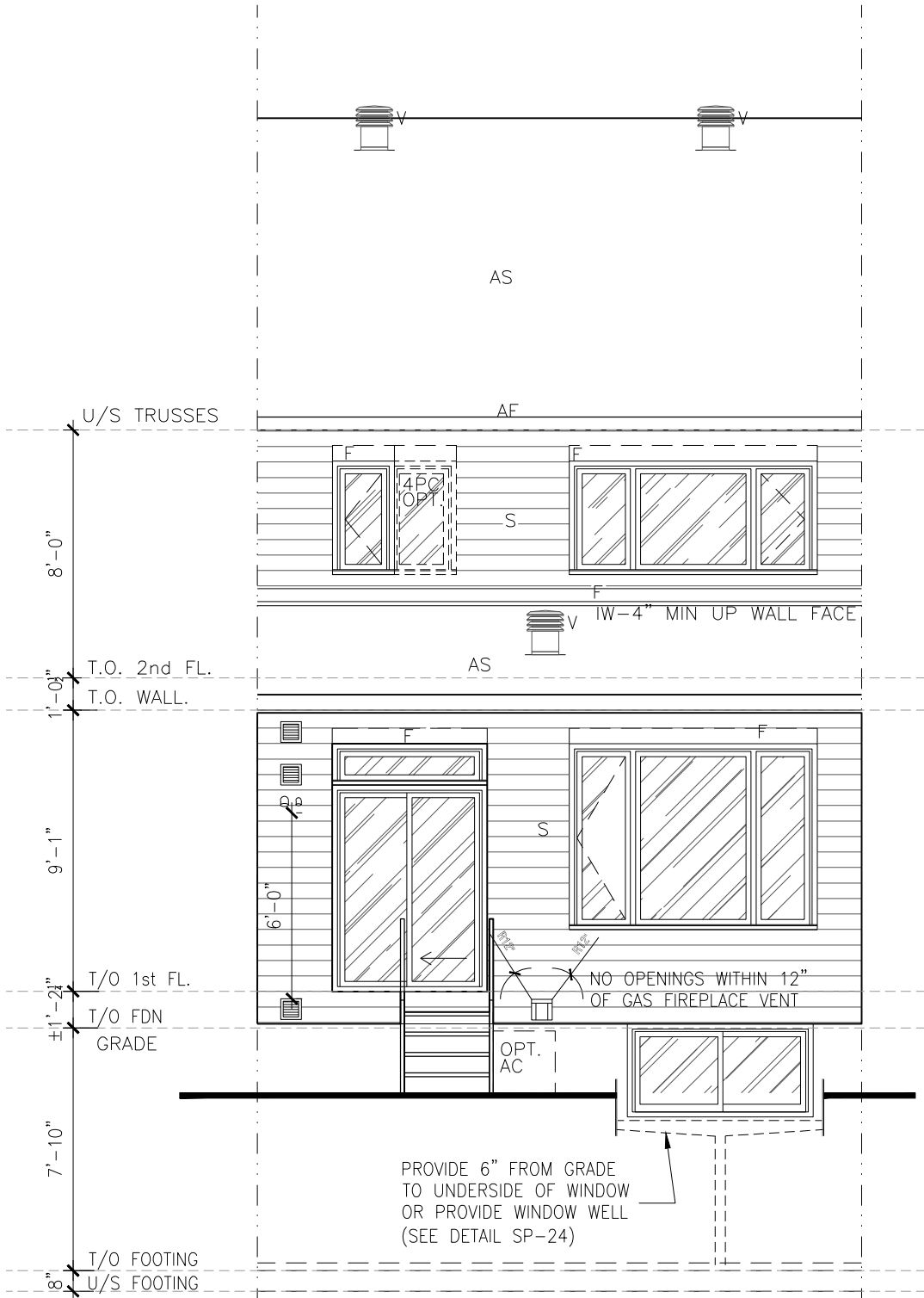
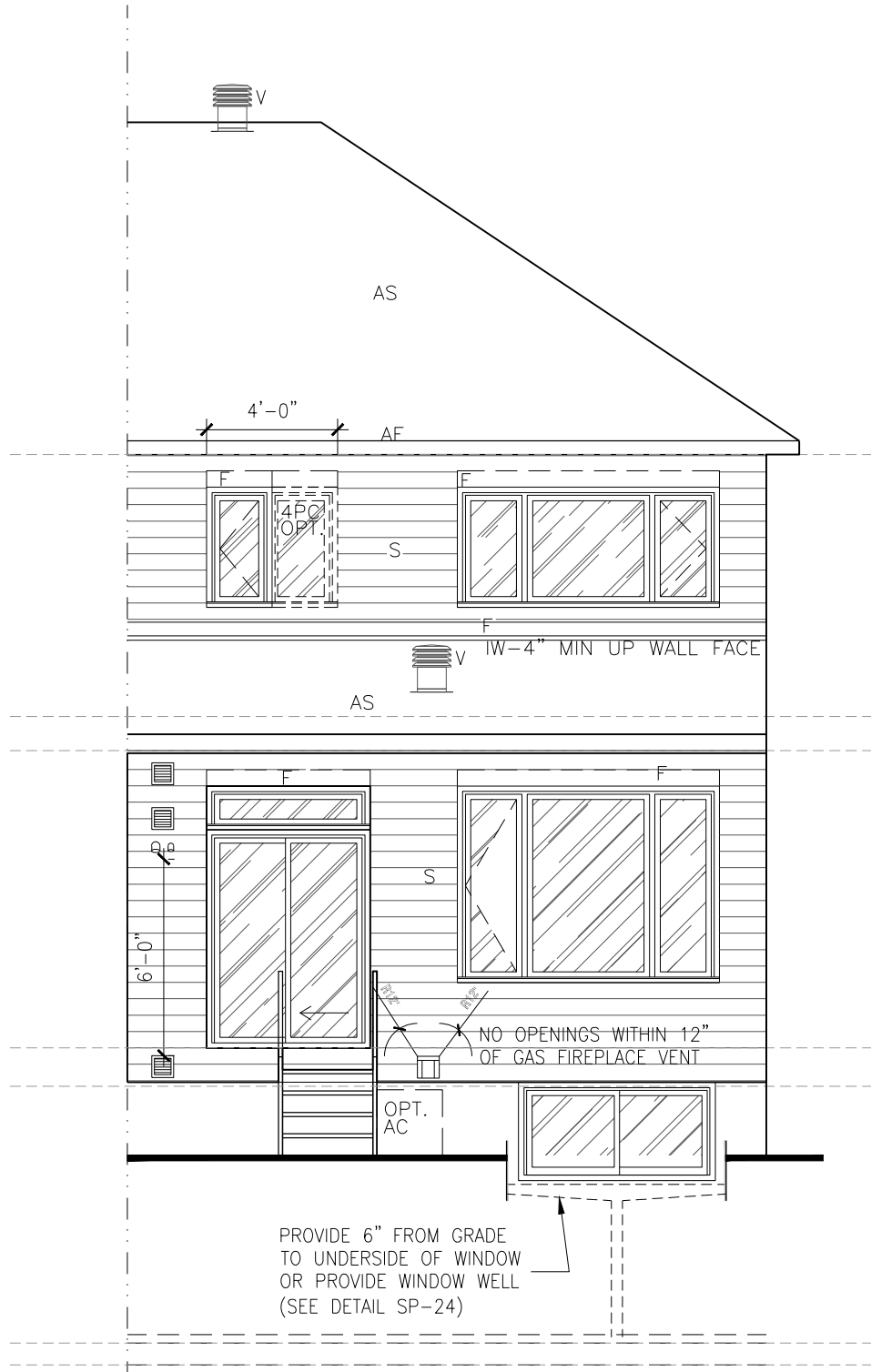


FRONT ELEVATION

SCALE: 3/16" = 1'-0"

ELEVATION - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
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- P - PARGING
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- VEC - SIDING (VERTICAL CORNER)

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DRAWING:

REAR ELEVATION

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3a



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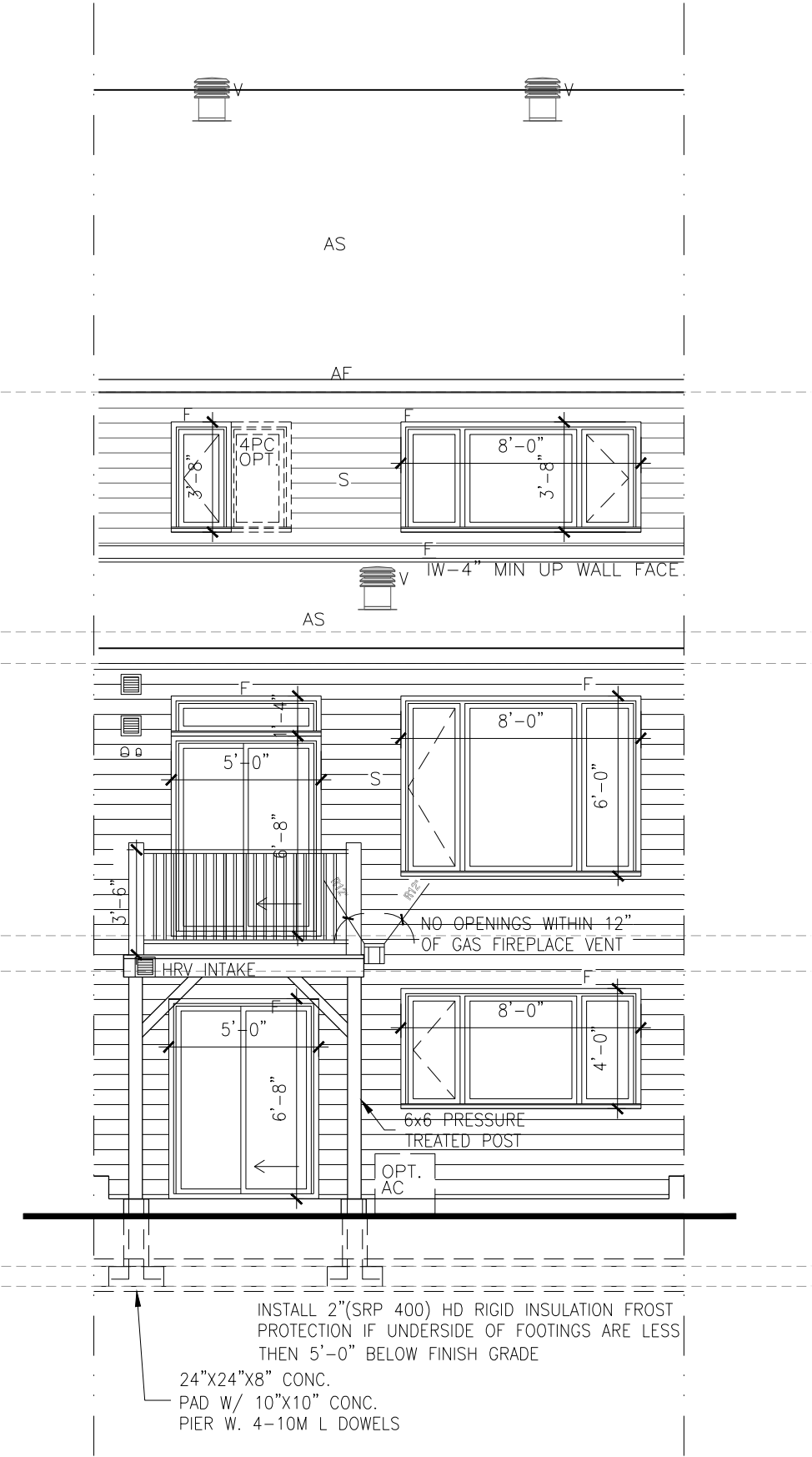
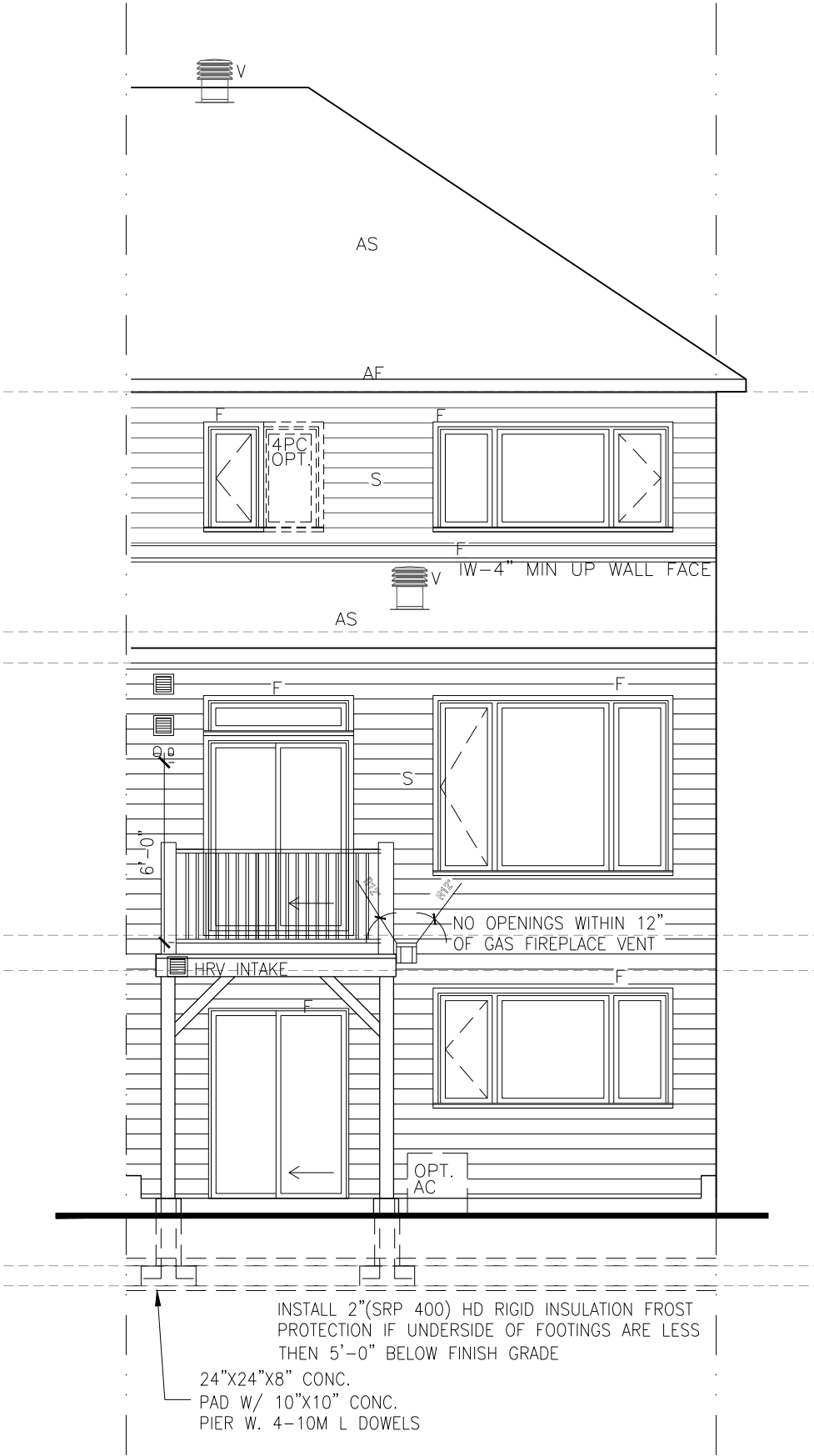
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DRAWING:REAR ELEVATION (WOB)

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

120 - THE HUNTLEY 2018 FOOTPRINT(SHEET: A3a)

(STANDARD DRAWINGS)



ELEVATION - REAR (WALK OUT BASEMENT)

SCALE: 3/16" = 1'-0"


Valecraft
 Thomas Ltd.

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ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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120 - THE HUNTLEY
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A4a

SIDE ELEVATION

SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"



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DRAWING:

SIDE ELEVATION (WOB)

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

120 - THE HUNTLEY
2018 FOOTPRINT

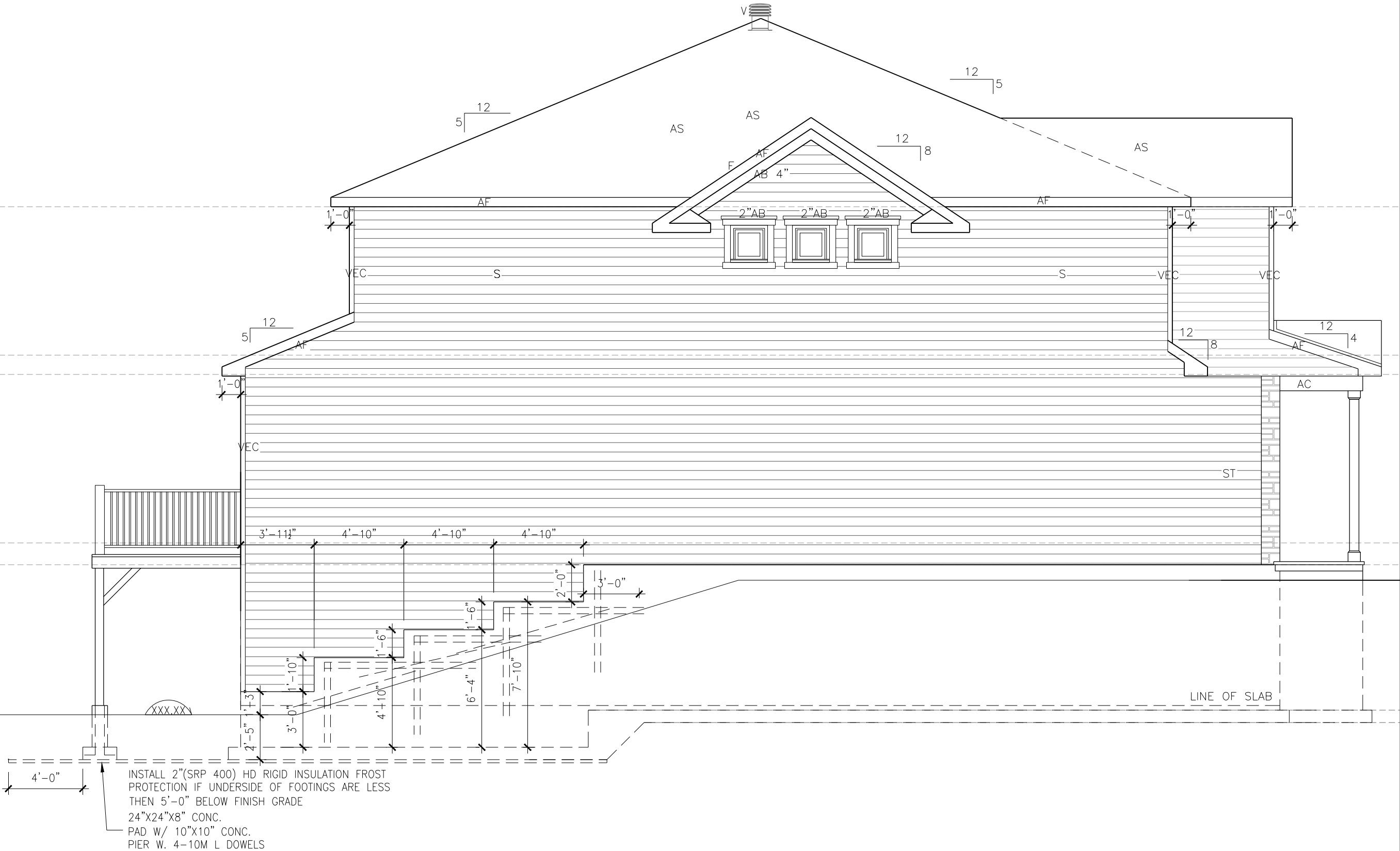
(STANDARD DRAWINGS)

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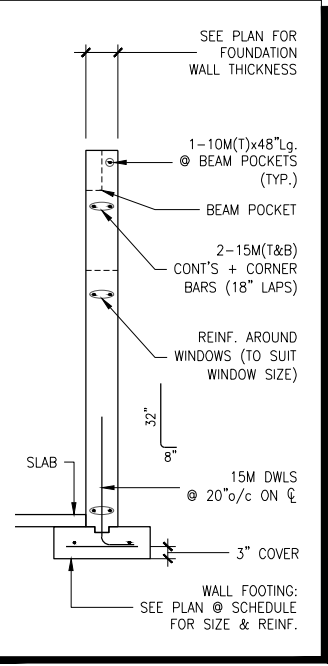
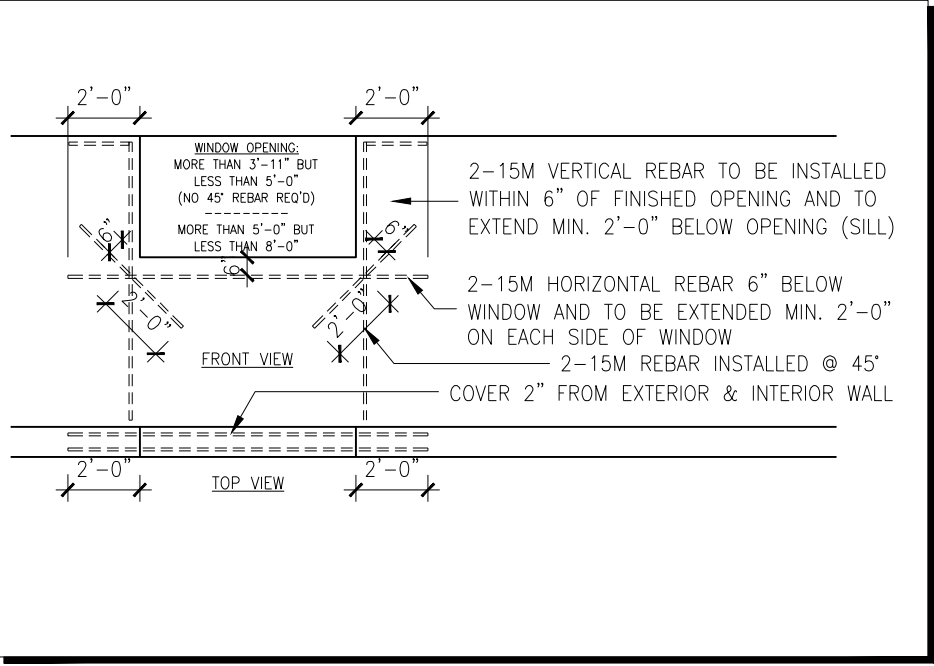
A4a

SIDE ELEVATION (WALK OUT BASEMENT)

SCALE: 3/16" = 1'-0"



FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.
PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.



NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANT'S RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ($\pm 1\%$) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT:XXXX

DATE:XX/XX/XXXX

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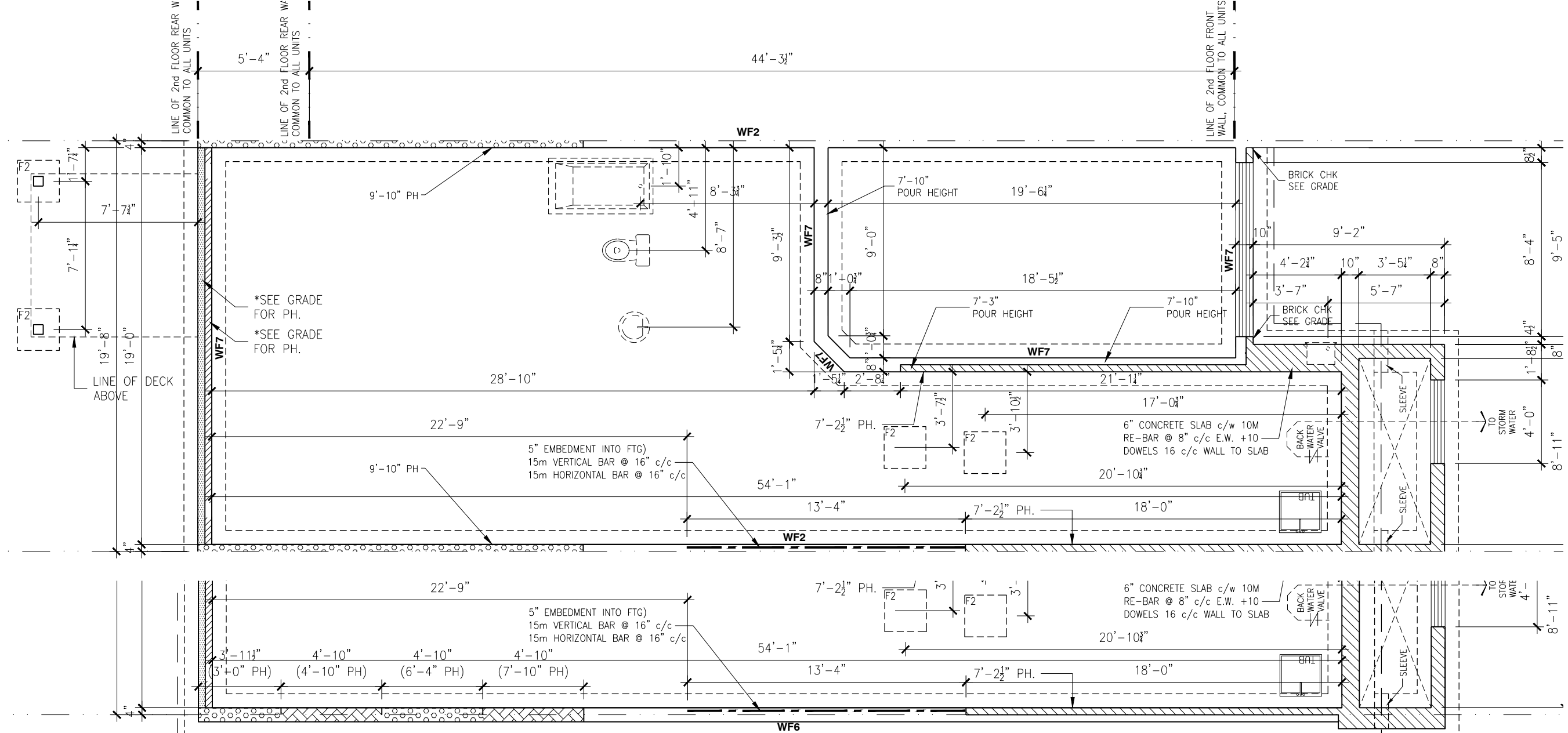
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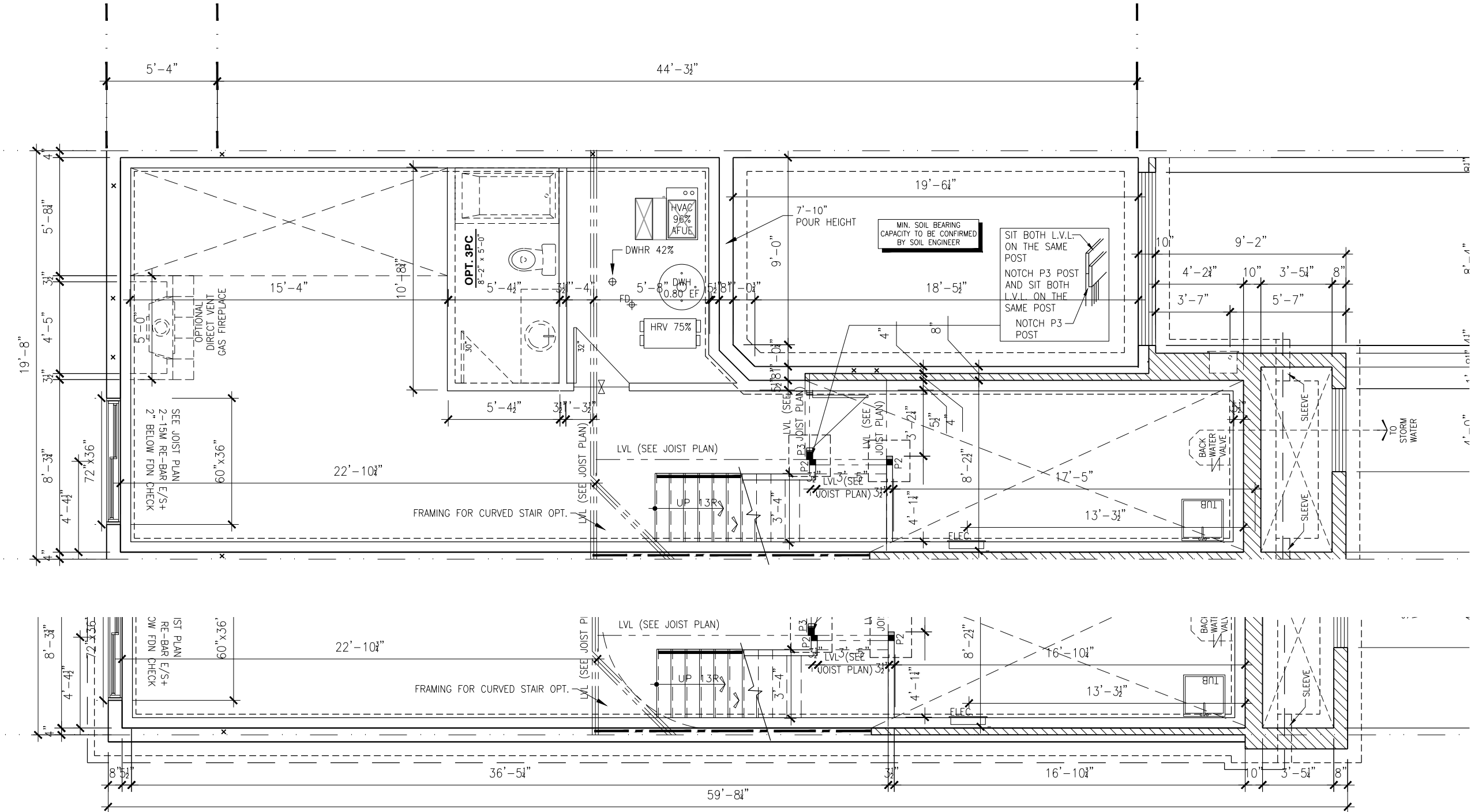
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BASEMENT PLAN

SCALE: 3/16" = 1'-0"



- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
 - 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: FOUNDATION PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS

NOTES:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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P14 = HSS 89x89x4.8 + 100x200x12 TAB & L (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 TAB & L
P16 = HSS 76.2x76.2x4.78 + 130x130x12 TAB & L
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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

FOUNDATION PLAN (WOB)

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:
A6b



SCALE: 3/16" = 1'-0"

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
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LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

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- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

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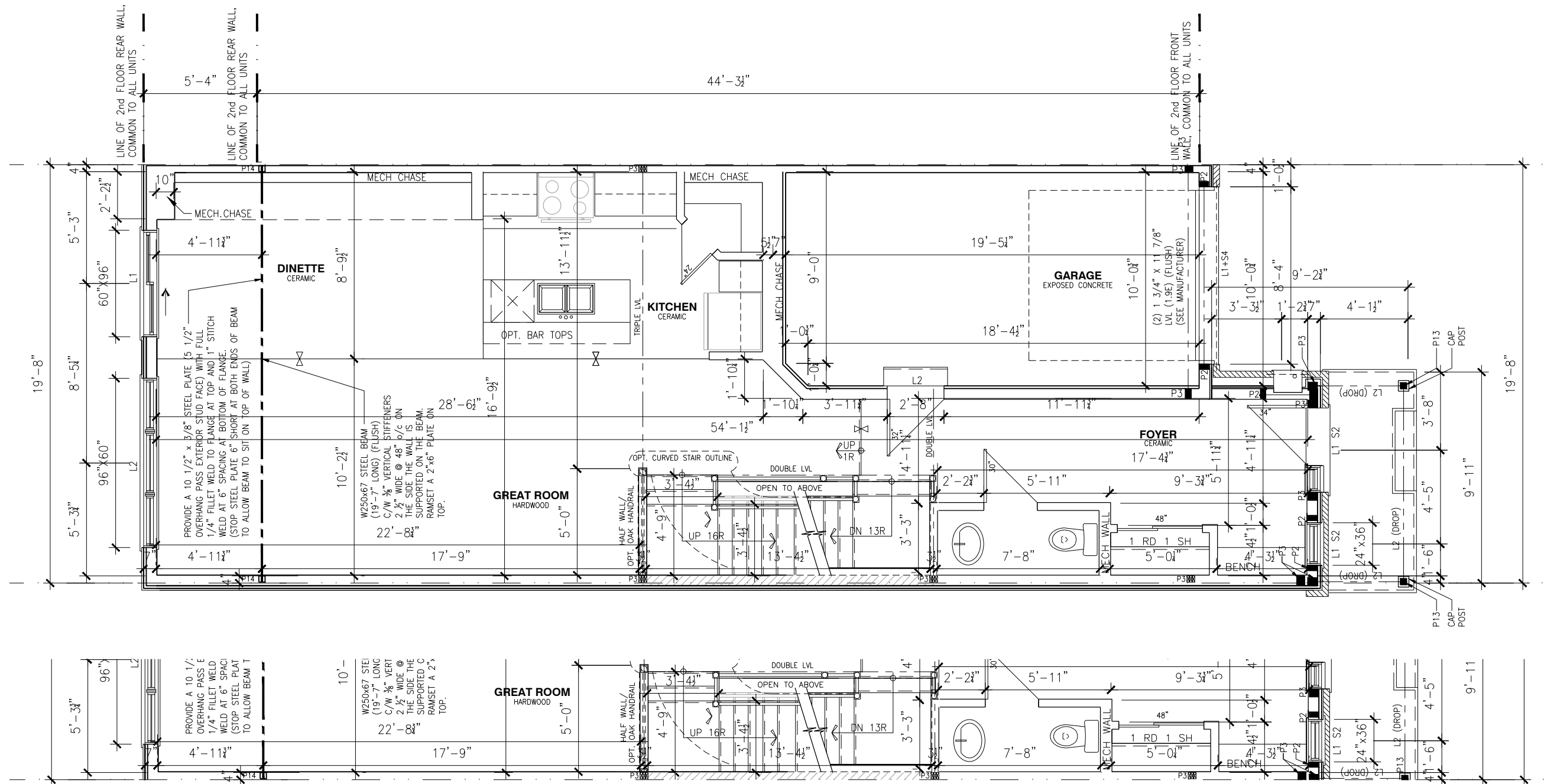
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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

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NOTE:

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GROUND FLOOR PLAN - STANDARD

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

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S4	= L 125x90x8
S5	= L 125x90x10
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S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR PLAN

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
-------------	----------------------	------------------

120 - THE HUNTLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
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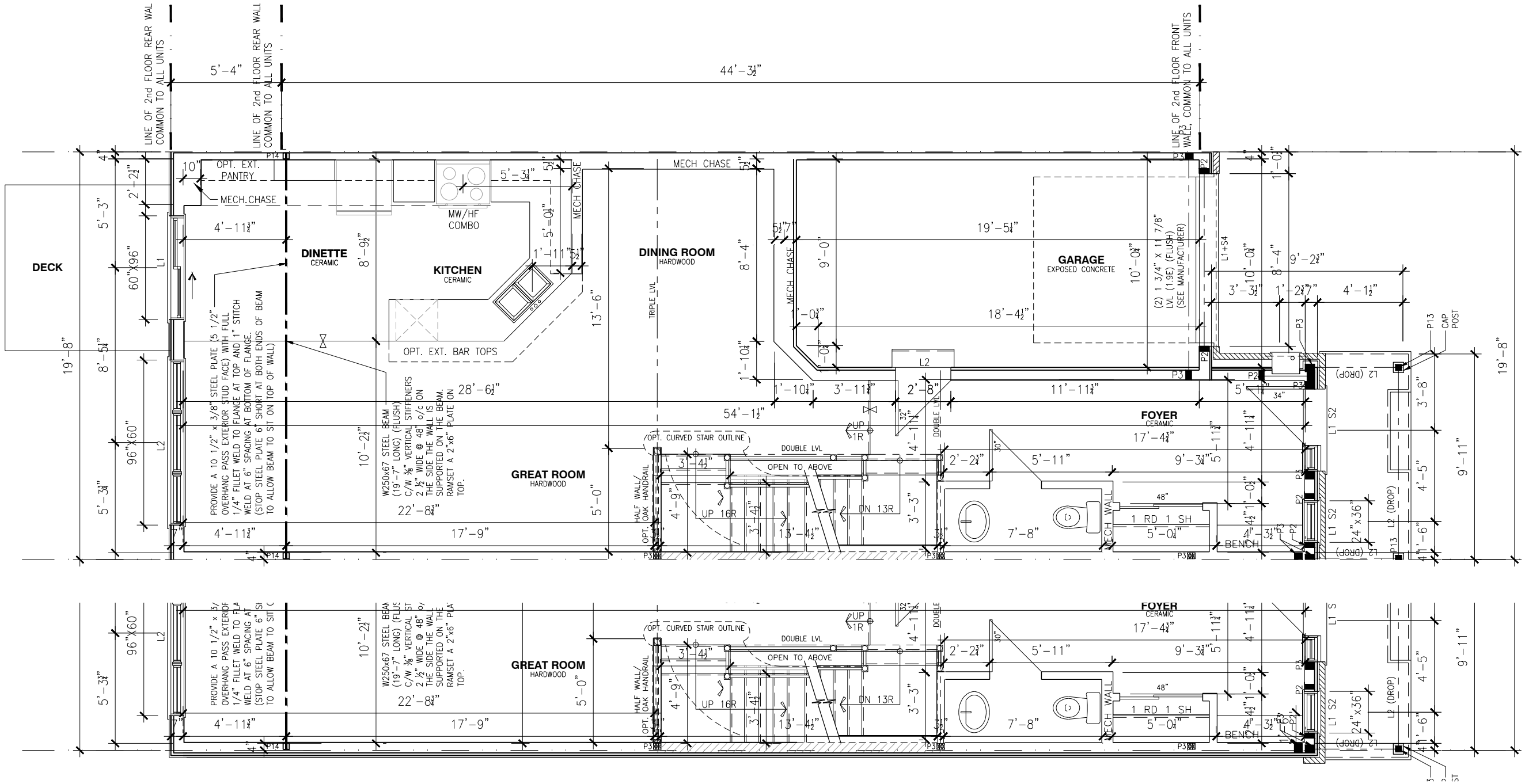
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NOTE:

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GROUND FLOOR PLAN - OPT. KITCHEN #2

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

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- S4 = L 125x90x8
- S5 = L 125x90x10
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- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
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NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR PLAN

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7a

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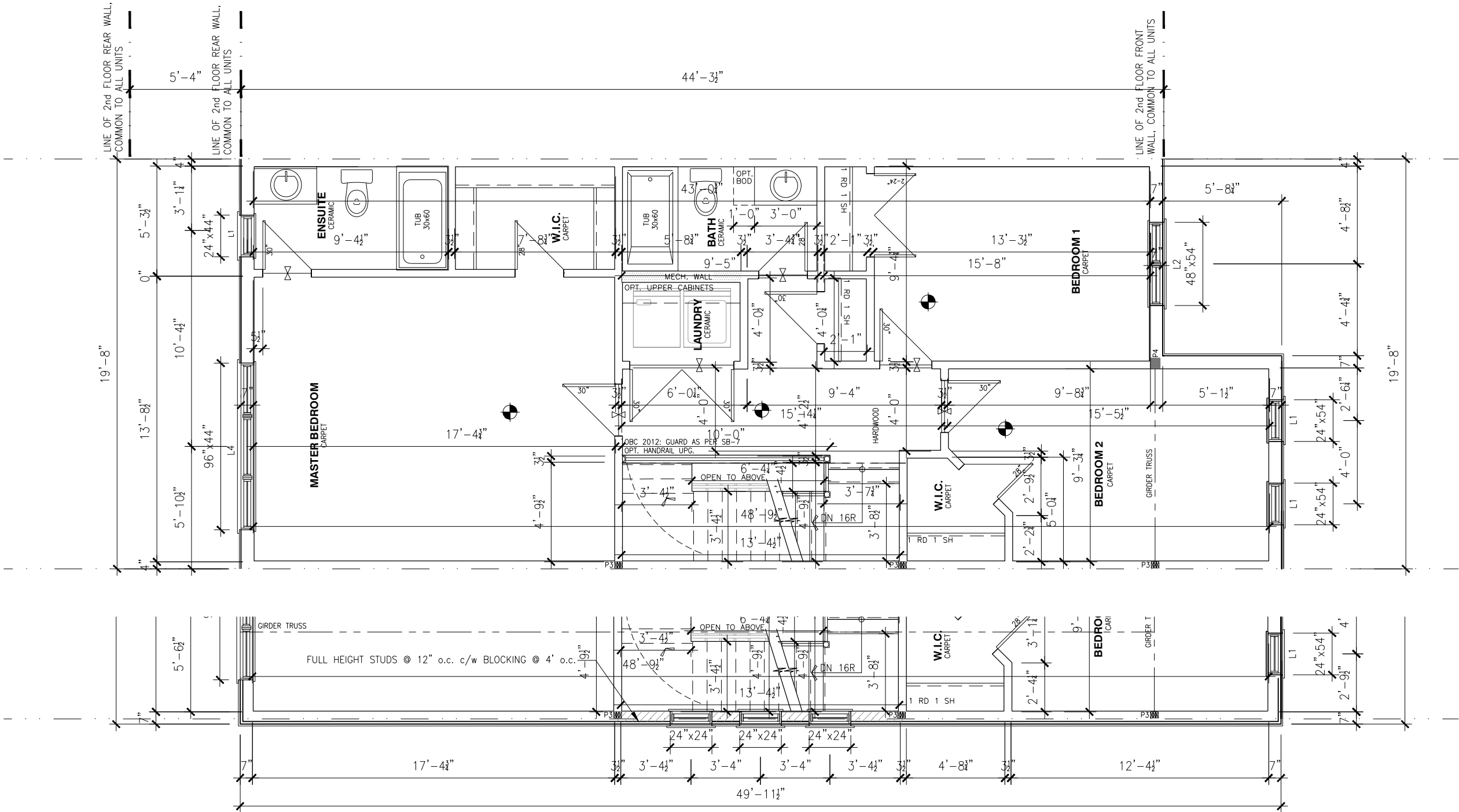
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SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

SECOND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

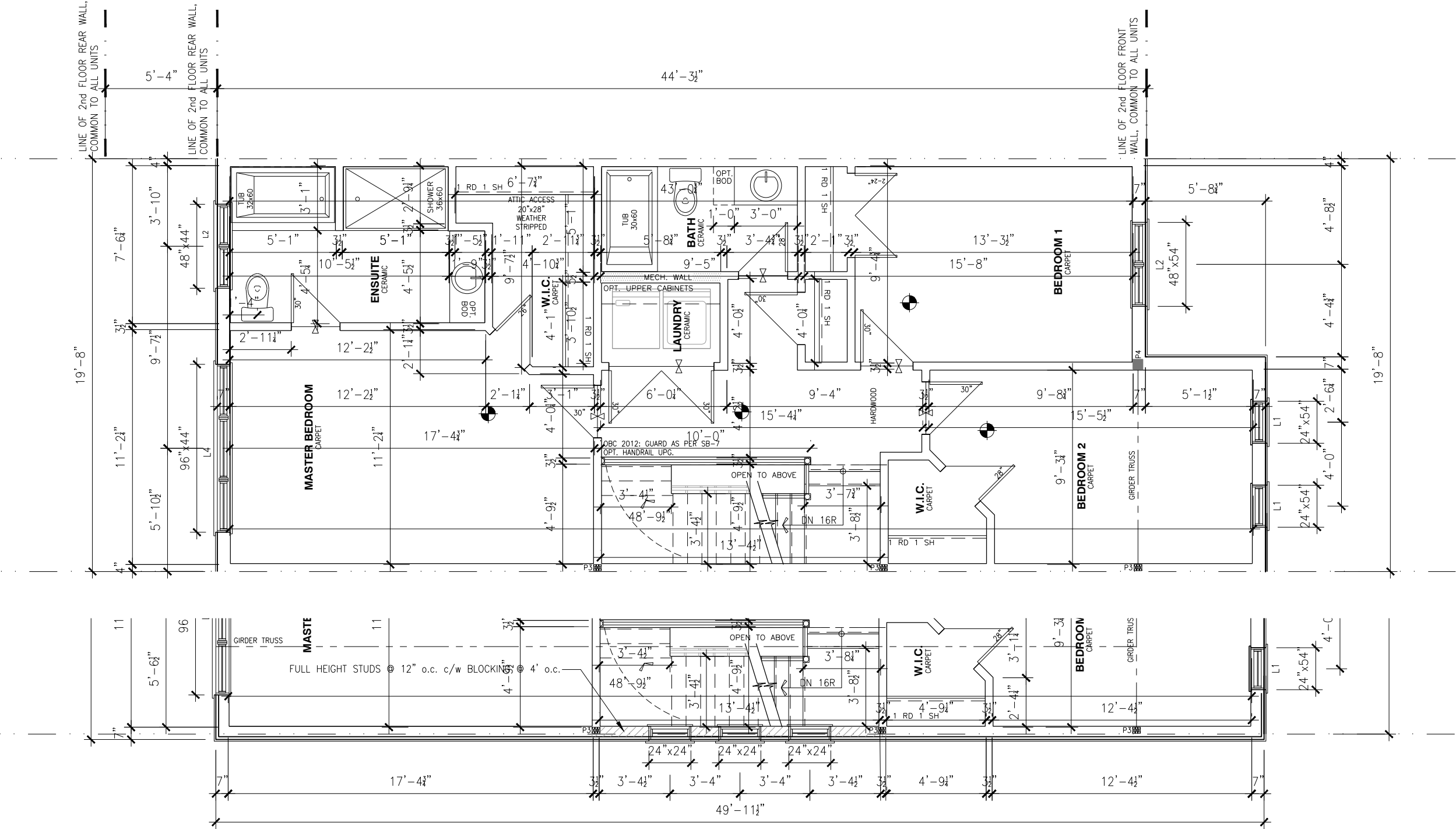
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



SECOND FLOOR - OPTIONAL ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

S1	=	L 90x90x6
S2	=	L 90x90x8
S3	=	L 100x90x8
S4	=	L 125x90x8
S5	=	L 125x90x10
S6	=	L 200x100x12
S7	=	L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	=	2-2x10 + P2 ON BOTH SIDES
L2	=	3-2x10 + P3 ON BOTH SIDES
L3	=	2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4	=	3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES



* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	=	3" ADJUSTABLE STEEL COLUMN
P1o	=	HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	=	2-2x4 OR 2-2x6
P3	=	3-2x4 OR 3-2x6
P4	=	4-2x4 OR 4-2x6
P5	=	5-2x4 OR 5-2x6
P6	=	6-2x4 OR 6-2x6
P13	=	HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	=	HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

REV-2	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

SECOND FLOOR PLAN

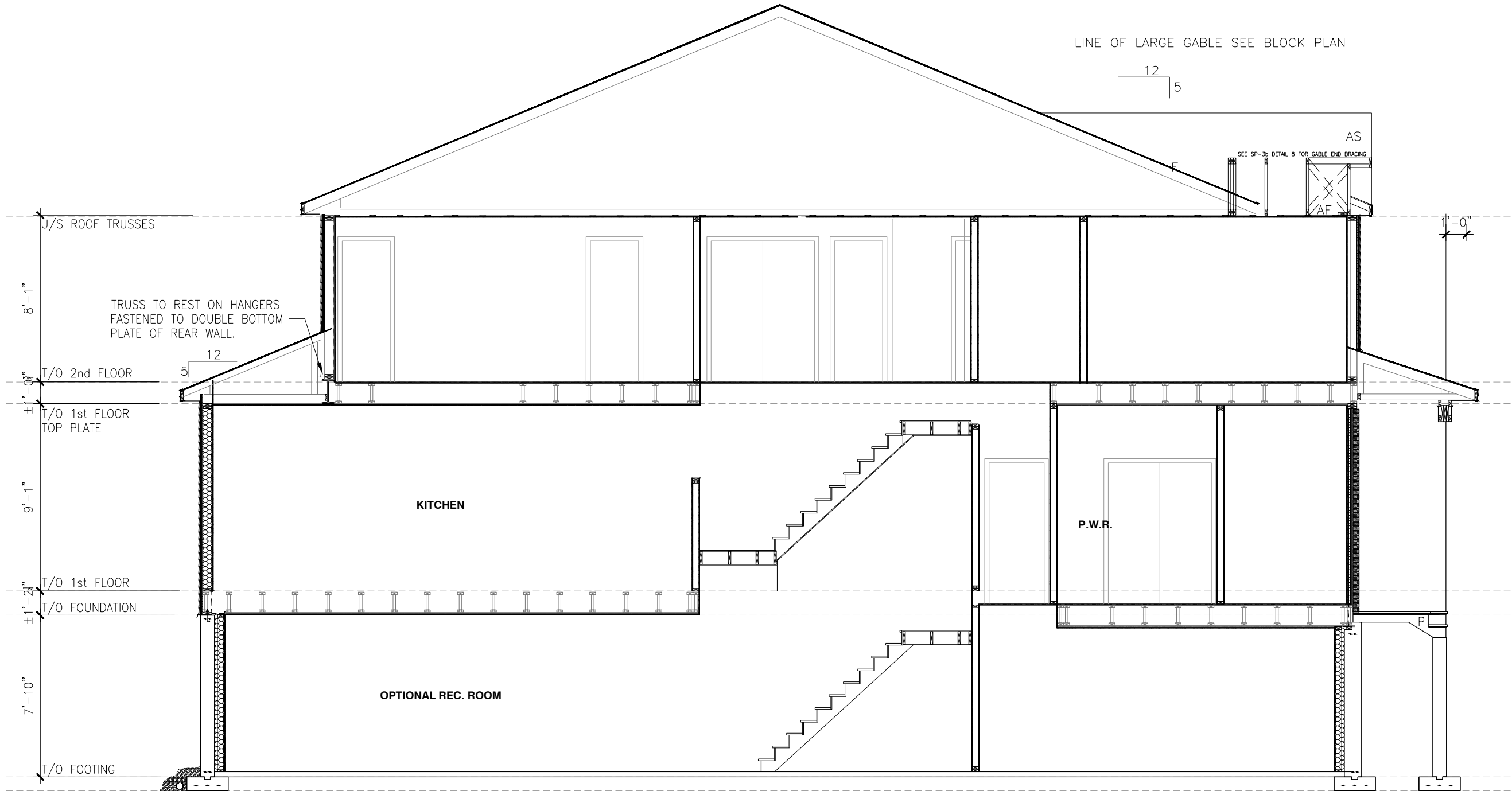
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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120 - THE HUNTLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A8b

SHEET:



BUILDING SECTION

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	DATE	BY

DRAWING:

SECTION

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

**120 - THE HUNTLEY
2018 FOOTPRINT**

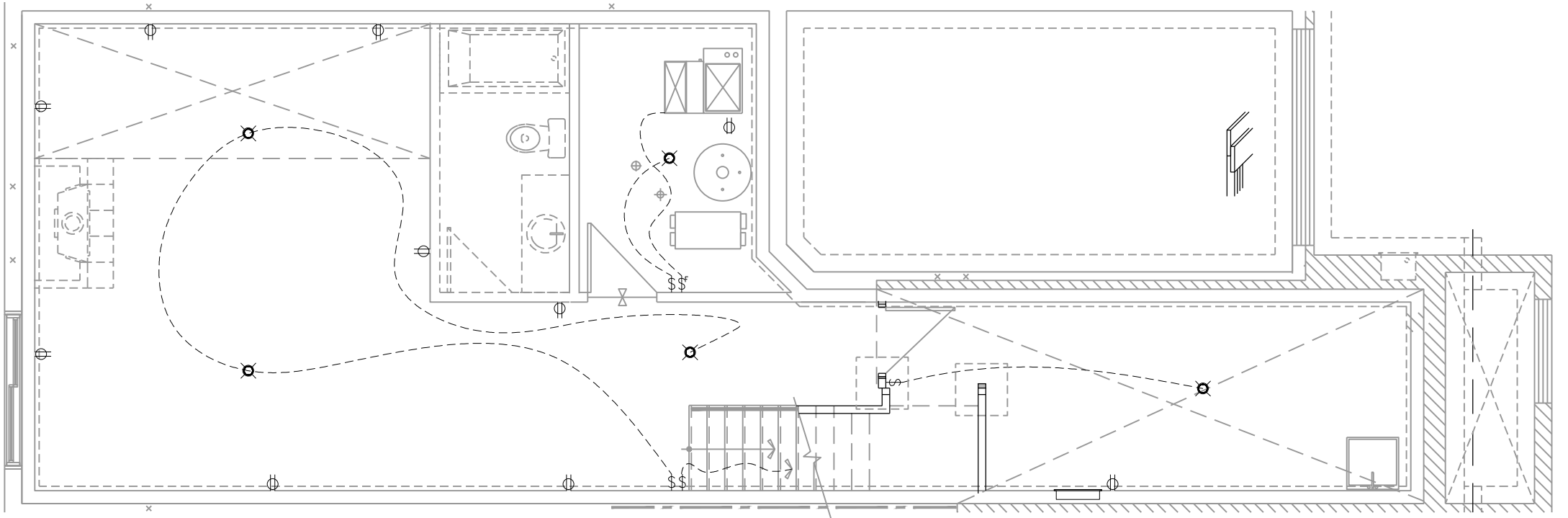
(STANDARD DRAWINGS)

SHEET:

A10

ELECTRICAL FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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ELECTRICAL FOUNDATION PLAN		
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

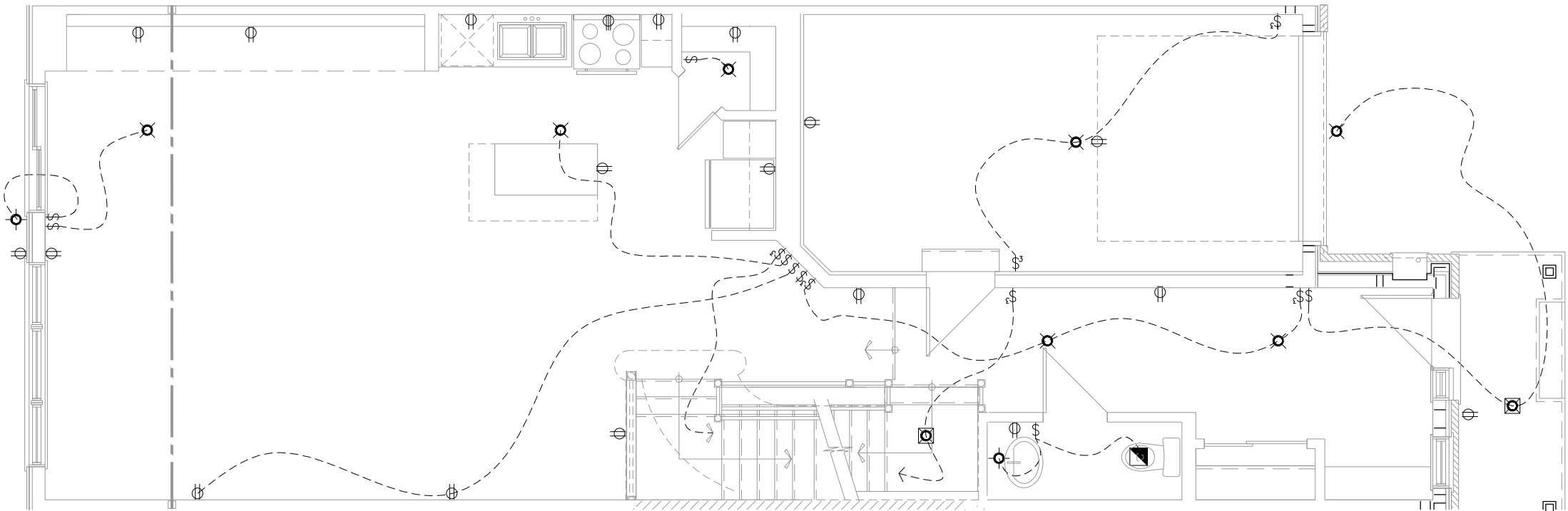
(STANDARD DRAWINGS)

SHEET:

E1a

ELECTRICAL GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

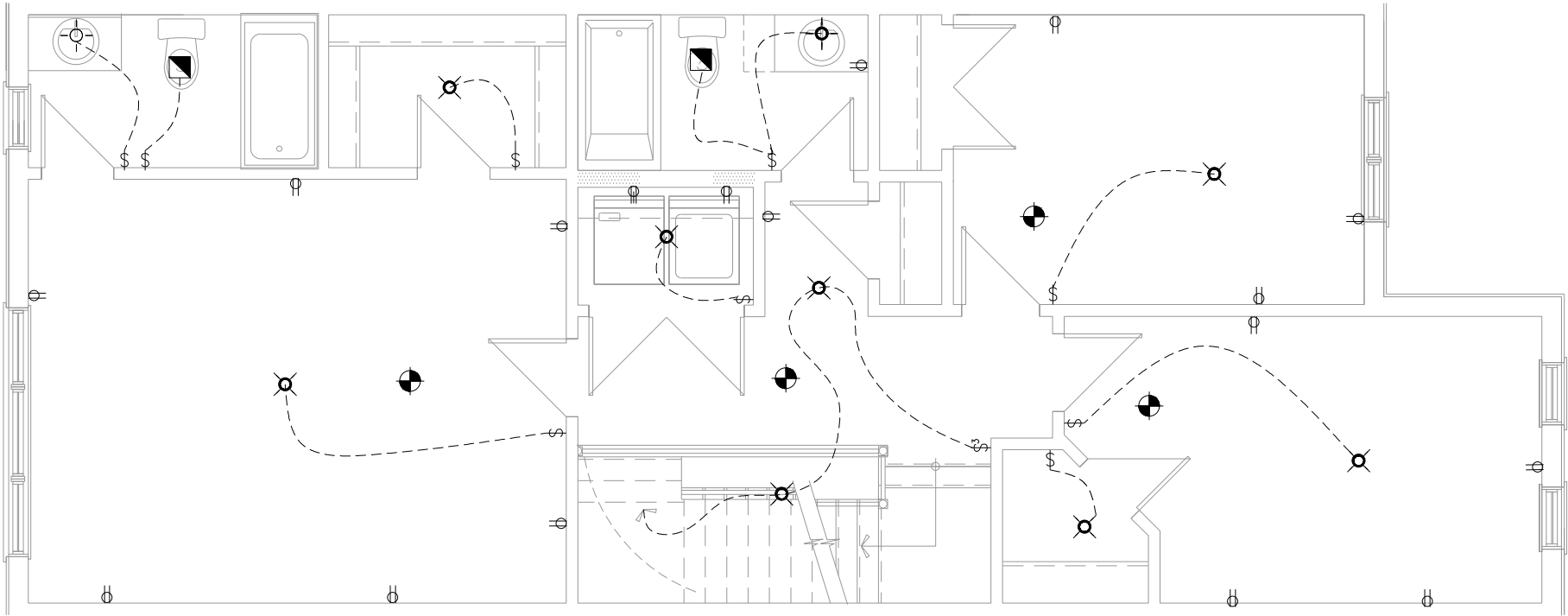
(STANDARD DRAWINGS)

SHEET:

E2a

ELECTRICAL SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: ELECTRICAL
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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2018 FOOTPRINT

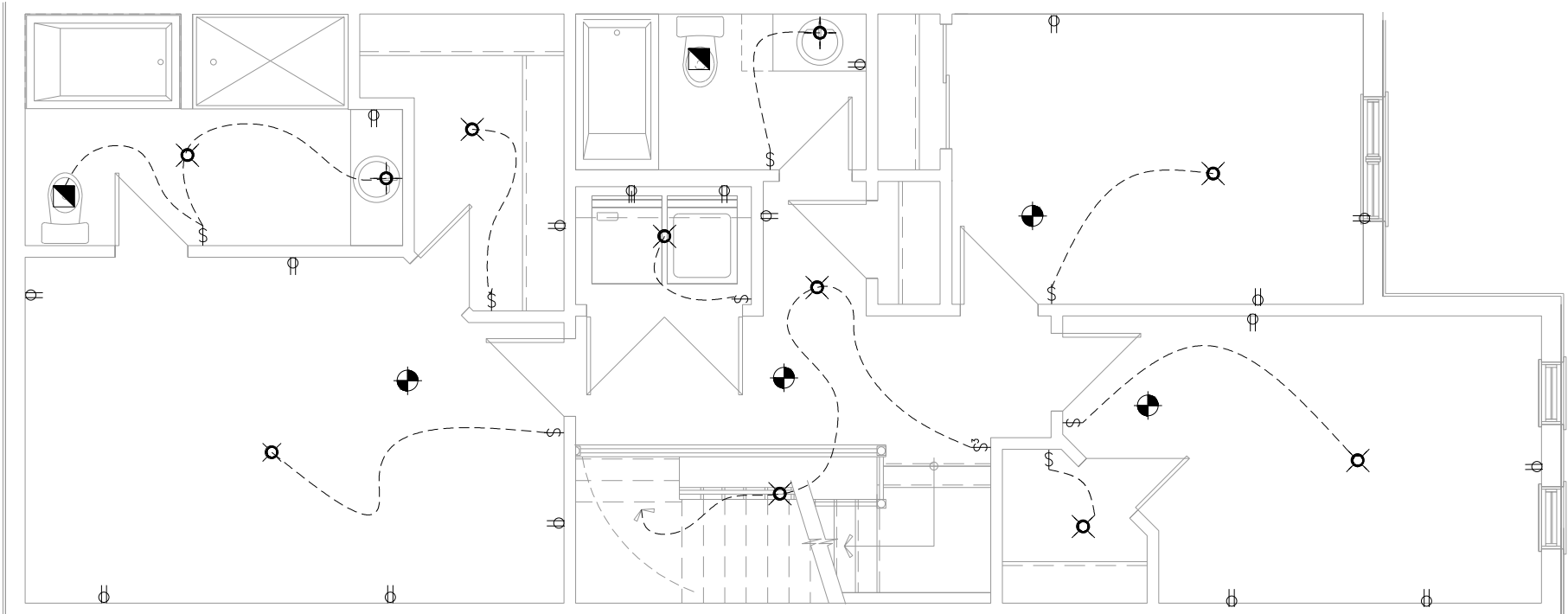
(STANDARD DRAWINGS)

SHEET:

E3a

ELECTRICAL SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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E3a