

BLOCK: T

DATE: 11/09/2020

**GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1**

WITH



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 1-1A AND ANY AMENDMENTS AND SHOW ONLY SOME OF THE COMMENTS DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS COVERED ON A SCHEDULE OR ANY OTHER ITEMS, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER EXISTING OR NEW, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

UNIT #5101

UNIT #5102

UNIT #5103

UNIT #5104

UNIT #5105

UNIT #5106

UNIT #5107

UNIT #5108

UNIT #5109

UNIT #5110

UNIT #5111

UNIT #5112

UNIT #5113

UNIT #5114

UNIT #5115

UNIT #5116

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UNIT #5358

UNIT #5359

UNIT #5360

UNIT #5361

UNIT #5362

UNIT #5363

UNIT #5364

UNIT #5365



ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER ORDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER AND P.ENG. IN OTHER CASE.

NOTE:

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.

BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-1A AND ANY AMENDMENTS AND SHOW ONLY ONE OF THE COMMENTS DETAILED ON THIS DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS COVERED ON A SCHEDULE OR ANY OTHER ITEMS, THEREFORE, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = 1 80x8x6
S2 = 1 80x8x8
S3 = 1 100x10x8
S4 = 1 120x10x8
S5 = 1 120x12x10
S6 = 1 200x10x10
S7 = 1 150x10x10 (AT BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1 7/8x5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1 7/8x5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LAMBER.

POST TABLE:

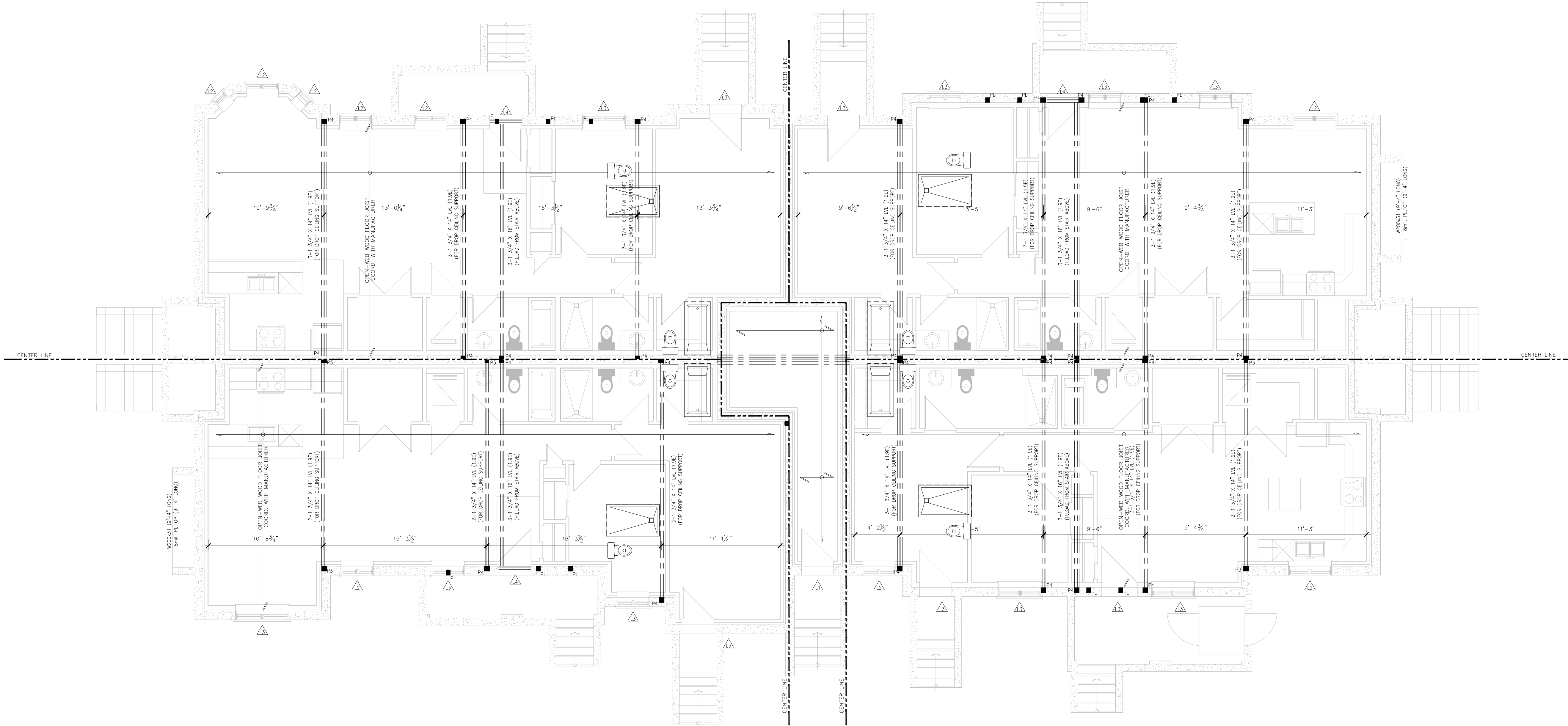
P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
P2 = 2-2x4 OR 3-2x4
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P11 = 105 86x8x8x13.9 + 100x10x12 18B PL (V)
P14 = 105 86x8x8x13.9 + 100x10x12 18B PL (V)
P16 = 105 76x76x24x7.9 + 100x10x12 18B PL (V)
P18 = 105 76x76x24x7.9 + 100x10x12 18B PL (V)
P17 = 105 76x76x24x7.9 + 100x10x12 18B PL (V)
P19 = 130x16x10 TOP PL (V)
P20 = 1 1/8" MICH. (UNDER JACK PL, NOT USED)

* POSTS ARE ALL JACK 1/4" STUD
EX. P2 = 1 JACK + 1 STUD
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

* SMOKE ALARMS AS PER SECTION 9.10.18 OF THE ONTARIO BUILDING CODE
- SHALL HAVE A BATTERY BACKUP SUPPLY
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY A MINIMUM OF 96 HOURS
- ULTIMATE MONITORING ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

* PROVIDE MECHANICAL EXHAUST TO OUTSIDE



2012 O.B.C. DRAWINGS

REV-B	CHANGES FOR U.S. REMAINS	09/09/2021	AB
REV-B	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-B	AS PER STRUCTURAL	02/12/2020	AB
REV-B	1/2" INCREASE ON NEW EXIST FENCES	17/05/2019	AB
REV-B	AS PER DEC. & REMOVED MANGROVES	12/15/2019	AB
REV-B	AS PER STRUCTURAL	06/03/2019	AB
REV-B	ISSUED FOR TENDER	07/09/2018	MAO
REV-B	NEW STANDARD DRAIN MODIFICATION	07/06/2018	MAO
REV-B	NEW STANDARD DRAIN MODIFICATION	18/25/2018	MAO
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT/GROUND FLOOR STRUCTURE

ADDITION: 00 1/2" = 1'-0" 10/06/2020

5000 SERIES - DEERFIELD CONDOS

STANDARD DRAWINGS

3 SHEET

A103

BLOCK: T

DATE: 11/09/2020

Geoff Hodgins Architect

1 Sherbrook Street E
Perth, ON, K7H 1A1

WITH

Valecraft

INCORPORATED

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-1A AND ANY AMENDMENTS AND SHALL ONLY BE USED FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. THE DRAWING SHALL NOT BE USED FOR ANY OTHER PROJECTS OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WITHIN THE SCOPE OF THE SCHEDULE 10-1A AND ANY AMENDMENTS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATIONS FROM THE APPROPRIATE AGENCIES.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT'S OFFICE IMMEDIATELY.

NO DIMENSIONS SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:
S1 = 1. 800x6
S2 = 1. 800x8
S3 = 1. 100x40
S4 = 1. 120x40
S5 = 1. 120x60
S6 = 1. 200x100
S7 = 1. 150x100 (AT BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1 7/8x5 LxL (1.92) + P3 ON BOTH SIDES
L4 = 3-1 7/8x5 LxL (1.92) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER.

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P2 = 2" ADJUSTABLE STEEL COLUMN
P3 = 2-2x4 OR 3-2x4
P4 = 2-2x4 OR 3-2x4
P5 = 2-2x4 OR 3-2x4
P6 = 2-2x4 OR 3-2x4
P7 = 2-2x4 OR 3-2x4
P8 = 2-2x4 OR 3-2x4
P9 = 2-2x4 OR 3-2x4
P10 = 2-2x4 OR 3-2x4
P11 = 2-2x4 OR 3-2x4
P12 = 2-2x4 OR 3-2x4
P13 = 2-2x4 OR 3-2x4
P14 = 2-2x4 OR 3-2x4
P15 = 2-2x4 OR 3-2x4
P16 = 2-2x4 OR 3-2x4
P17 = 2-2x4 OR 3-2x4
P18 = 2-2x4 OR 3-2x4
P19 = 2-2x4 OR 3-2x4
P20 = 2-2x4 OR 3-2x4
P21 = 2-2x4 OR 3-2x4
P22 = 2-2x4 OR 3-2x4
P23 = 2-2x4 OR 3-2x4
P24 = 2-2x4 OR 3-2x4
P25 = 2-2x4 OR 3-2x4
P26 = 2-2x4 OR 3-2x4
P27 = 2-2x4 OR 3-2x4
P28 = 2-2x4 OR 3-2x4
P29 = 2-2x4 OR 3-2x4
P30 = 2-2x4 OR 3-2x4
P31 = 2-2x4 OR 3-2x4
P32 = 2-2x4 OR 3-2x4
P33 = 2-2x4 OR 3-2x4
P34 = 2-2x4 OR 3-2x4
P35 = 2-2x4 OR 3-2x4
P36 = 2-2x4 OR 3-2x4
P37 = 2-2x4 OR 3-2x4
P38 = 2-2x4 OR 3-2x4
P39 = 2-2x4 OR 3-2x4
P40 = 2-2x4 OR 3-2x4
P41 = 2-2x4 OR 3-2x4
P42 = 2-2x4 OR 3-2x4
P43 = 2-2x4 OR 3-2x4
P44 = 2-2x4 OR 3-2x4
P45 = 2-2x4 OR 3-2x4
P46 = 2-2x4 OR 3-2x4
P47 = 2-2x4 OR 3-2x4
P48 = 2-2x4 OR 3-2x4
P49 = 2-2x4 OR 3-2x4
P50 = 2-2x4 OR 3-2x4
P51 = 2-2x4 OR 3-2x4
P52 = 2-2x4 OR 3-2x4
P53 = 2-2x4 OR 3-2x4
P54 = 2-2x4 OR 3-2x4
P55 = 2-2x4 OR 3-2x4
P56 = 2-2x4 OR 3-2x4
P57 = 2-2x4 OR 3-2x4
P58 = 2-2x4 OR 3-2x4
P59 = 2-2x4 OR 3-2x4
P60 = 2-2x4 OR 3-2x4
P61 = 2-2x4 OR 3-2x4
P62 = 2-2x4 OR 3-2x4
P63 = 2-2x4 OR 3-2x4
P64 = 2-2x4 OR 3-2x4
P65 = 2-2x4 OR 3-2x4
P66 = 2-2x4 OR 3-2x4
P67 = 2-2x4 OR 3-2x4
P68 = 2-2x4 OR 3-2x4
P69 = 2-2x4 OR 3-2x4
P70 = 2-2x4 OR 3-2x4
P71 = 2-2x4 OR 3-2x4
P72 = 2-2x4 OR 3-2x4
P73 = 2-2x4 OR 3-2x4
P74 = 2-2x4 OR 3-2x4
P75 = 2-2x4 OR 3-2x4
P76 = 2-2x4 OR 3-2x4
P77 = 2-2x4 OR 3-2x4
P78 = 2-2x4 OR 3-2x4
P79 = 2-2x4 OR 3-2x4
P80 = 2-2x4 OR 3-2x4
P81 = 2-2x4 OR 3-2x4
P82 = 2-2x4 OR 3-2x4
P83 = 2-2x4 OR 3-2x4
P84 = 2-2x4 OR 3-2x4
P85 = 2-2x4 OR 3-2x4
P86 = 2-2x4 OR 3-2x4
P87 = 2-2x4 OR 3-2x4
P88 = 2-2x4 OR 3-2x4
P89 = 2-2x4 OR 3-2x4
P90 = 2-2x4 OR 3-2x4
P91 = 2-2x4 OR 3-2x4
P92 = 2-2x4 OR 3-2x4
P93 = 2-2x4 OR 3-2x4
P94 = 2-2x4 OR 3-2x4
P95 = 2-2x4 OR 3-2x4
P96 = 2-2x4 OR 3-2x4
P97 = 2-2x4 OR 3-2x4
P98 = 2-2x4 OR 3-2x4
P99 = 2-2x4 OR 3-2x4
P100 = 2-2x4 OR 3-2x4

POST: ALL JACK 1/4" STUD
EX. P2 = 1" JACK + 1" STUD
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.18 OF THE OHTM BUILDING CODE:
- SHALL HAVE A BATTERY BACKUP SUPPLY
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY
- ARE REQUIRED ON EACH STOREY INCLUDING BASEMENT
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY A MINIMUM OF 30 DAYS IN EMERGENCY
- LITHIUM BATTERY ALARMS ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4

CHANGES FOR U.S. DETAILS

09/09/2019

AB

REV-3

REVISIONS TO SHEET WALLS

06/04/2020

AB

REV-2

AS PER PROVISIONS

02/12/2020

AB

REV-1

INCREASE IN NEW EXIST PORCHES

17/03/2019

AB

REV-5

AS PER DRC & REMOVED MANGROVES

12/15/2019

AB

REV-4

AS PER STRUCTURAL

06/03/2019

AB

REV-3

ISSUED FOR TENDER

07/09/2018

MAO

REV-2

NEW STANDARD DRWG MODIFICATION

07/08/2018

MAO

REV-1

NEW STANDARD DRWG MODIFICATION

06/25/2018

MAO

NO.

DESCRIPTION

DATE

BY

DRAWN

DATE

BY

ADDRESS:

NO.

SCALE

DATE

5000 SERIES -

DEERFIELD CONDOS

10/06/2020

SHEET:

A104

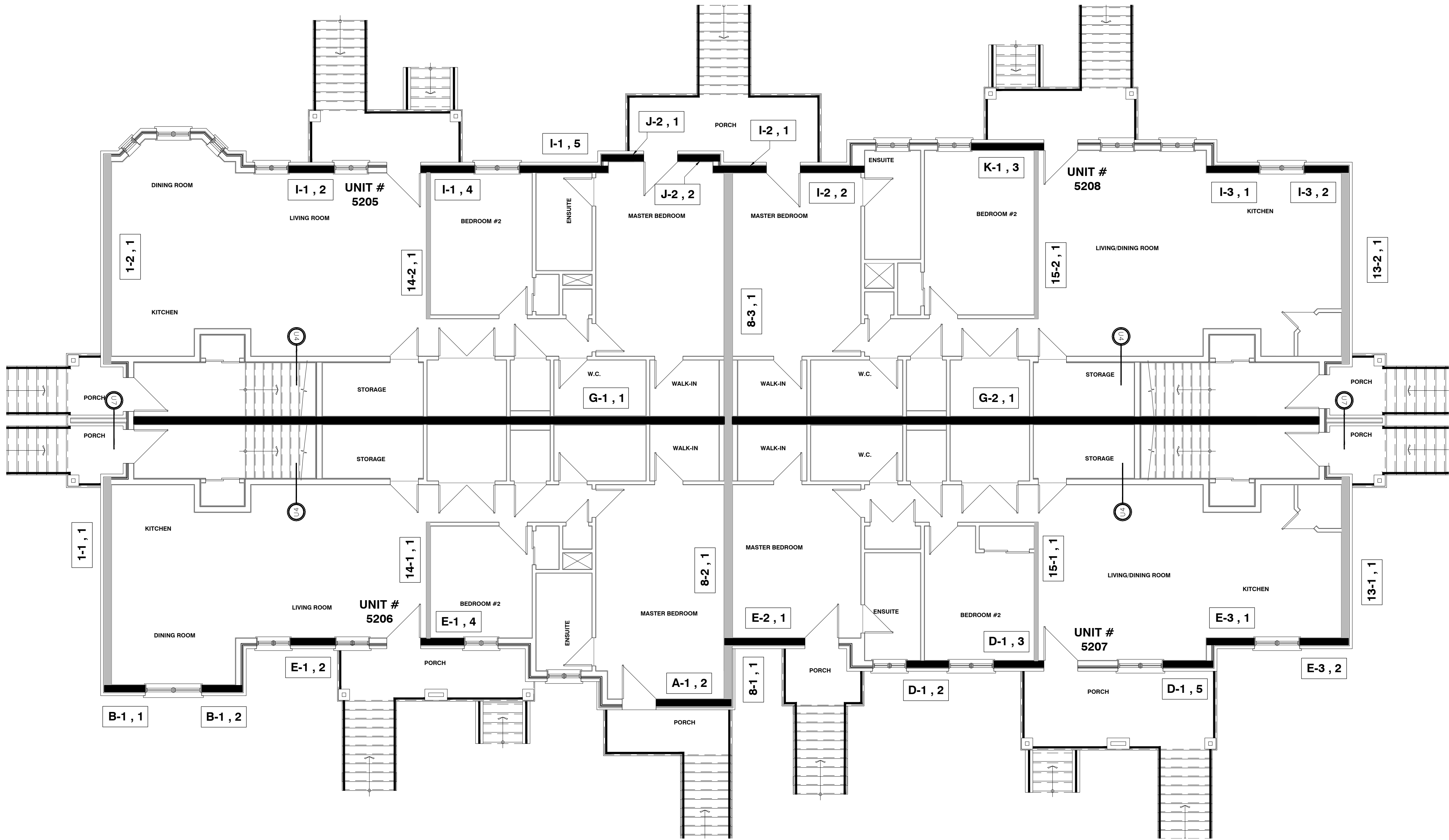
STANDARD DRAWINGS

SOUTH

EAST

WEST

NORTH



SHEAR WALL NOTES:

- 1- SHEAR WALLS ARE HIGHLIGHTED ON PLAN AND NAMES AS "A-1,2" WHERE:
"A" IS THE SHEAR LINE
"1" IS THE SHEAR WALL NUMBER
"2" IS THE SHEAR WALL SEGMENT
- 2- DO NOT USE P-NAILS OR SPIRAL NAILS IN SHEAR WALLS. NAILS SHALL BE COMMON NAILS OR POWER DRIVEN NAILS
- 3- NAILING SHOWN ON SCHEDULE APPLIES TO ALL FREE EDGES OF SHEATHING PANELS. PROVIDE NAILS AT 12" O/C ALONG INTERMEDIATE SUPPORTS.
- 4- BLOCK ALL UNSUPPORTED EDGES WITH 2X4 ON THE FLAT, SEE GENERAL NOTES, TYPICAL SHEAR WALL BLOCKING DETAIL
- 5- PROVIDE DOUBLE BOTTOM SILL PLATES FOR SHEAR WALLS SHEATHED BOTH SIDES
- 6- EXTRA STUDS AT HOLD DOWN LOCATIONS OF SHEAR WALLS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 3½" NAILS @ 6" O/C TYPICAL
- 7- DO NOT LOCATE VERTICAL BUTT JOINTS IN SHEAR WALL SHEATHING WITHIN 24" OF END POST
- 8- REQUIREMENTS OF WOOD FRAME LOAD BEARING WALLS APPLY TO ALL SHEAR WALLS
- 9- PROVIDE HOLD DOWN ANCHORS AS MANUFACTURED BY SIMPSON STRONG-TIE ONLY UNLESS ALTERNATES ARE PRE-APPROVED BY LAMPKIN STRUCTURAL SERVICES
- 10- IF THE HOLDOWN AT THE HIGHER LEVEL DOES NOT LINE UP WITH THE HOLDOWN AT THE LOWER LEVEL, A VERTICAL MEMBER WITH THE SAME TYPE OF HOLDOWN SHALL BE INSTALLED EVERY LOWER LEVEL. REFER TO STRUCTURAL DETAIL
- 11-
- 12- SEE WOOD FRAMING NOTES FOR ADDITIONAL INFORMATION
- 13- NO OPENINGS GREATER THAN 8" DIAMETER ALLOWED THROUGH SHEAR WALL SHEATHING UNLESS PRE-APPROVED BY LAMPKIN STRUCTURAL SERVICES
- 14- ALL EXTERIOR AND INTERIOR SHEAR WALLS TO BE NAILED AS PER SHEAR WALL SCHEDULE

Shown as	Shearwall	Segment	Min. Length	Exterior			Interior			Holdown AT EACH END OF SEAR WALL				Min. Required End studs
				Sheathing	Edge fastener spacing	Interior fastener spacing	Sheathing	Edge fastener spacing	Interior fastener spacing	STRAP	CUT LENGTH (in)	TOTAL FASTENERS (Half at the top and half at the bottom)		
	1-1	1	18'-6"	7/16 OSB	6"	12"	2 x 7/16 OSB	3"	12"	4 x CS16	4x46	4x24-8d	4	
	1-2	1	18'-3"	7/16 OSB	6"	12"	2 x 7/16 OSB	3"	12"	4 x CS16	4x46	4x24-8d	4	
	8-1	1	5'-6"	7/16 OSB	6"	12"	2 x 7/16 OSB	3"	12	4 x CS16	4x46	4x24-8d	4	
	8-2	1	14'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	4 x CS16	4x46	4x24-8d	4	
	8-3	1	17'-2"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	4 x CS16	4x46	4x24-8d	4	
	13-1	1	14'-9"	7/16 OSB	6"	12"	2 x 7/16 OSB	3"	12"	4 x CS16	4x46	4x24-8d	4	
	13-2	1	17'-0"	7/16 OSB	6"	12"	2 x 7/16 OSB	3"	12"	4 x CS16	4x46	4x24-8d	4	
	14-1	1	6'	5/8" GWB	6"	12"	7/16 OSB	6"	12"	-	-	-	2	
	14-2	1	6'	5/8" GWB	6"	12"	7/16 OSB	6"	12"	-	-	-	2	
	15-1	1	6'	5/8" GWB	6"	12"	7/16 OSB	6"	12"	-	-	-	2	
	15-2	1	6'	5/8" GWB	6"	12"	7/16 OSB	6"	12"	-	-	-	2	

Shown as	Shearwall	Segment	Min. Length	Exterior			Interior			Holdown AT EACH END OF SEAR WALL				Min. Required End studs
				Insulated Sheathing	Edge fastener spacing	Interior fastener spacing	Sheathing	Edge fastener spacing	Interior fastener spacing	STRAP		CUT LENGTH (in)		
	A-1	2	6'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	B-1	1	3'-6"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	B-1	2	3'-6"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	D-1	2	4'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	D-1	3	4'-7"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	D-1	5	4'-8"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	E-1	2	4'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	E-1	4	3'-11"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	E-2	1	7'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	E-3	1	4'-2"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	E-3	2	4'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	G-1	1	46'	5/8" GWB	6"	12"	5/8" GWB	6"	12"	2x CS20	2x42	2x18-8d	2	
	G-2	1	46'	5/8" GWB	6"	12"	5/8" GWB	6"	12"	2x CS20	2x42	2x18-8d	2	
	I-1	2	4'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	I-1***	4	5'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	I-1	5	6'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2	
	I-2	1	3'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	I-2	2	3'-5"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	I-3	1	4'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
	I-3	2	3'-8"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	3x CS20	3x42	3x18-8d	3	
J-2	1	3'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2		
J-2	2	3'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2		
K-1	3	7'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	2x CS20	2x42	2x18-8d	2		

* END STUD IS NOT CONTINUOUS AND SHALL BE EXTENDED TO FOUNDATION WALL. SEE THE STRUCTURAL DETAIL FOR MORE INFORMATION.
** END STUD IS LANDING ON TOP OF AN OPENING. SEE THE STRUCTURAL DETAIL FOR MORE INFORMATION.

BLOCK:

T

DATE:

11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E

PERTH, ON, K7H 1A1

WITH

Valecraft

INCORPORATED

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-11 AND ANY EDITIONS AND ANY OTHER DOCUMENTS OF THE CONVEYANCE. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-4

CHANGES FOR U.S.'S DETAILS

09/09/2021

AB

REV-3

REVISIONS TO SHEAR WALLS

05/04/2020

AB

REV-2

AS PER STRUCTURAL

02/12/2020

AB

REV-1

12" INCREASE ON NEW END PORCHES

17/05/2019

AB

REV-5

AS PER DRG. & REMOVED MANGARDS

12/15/2019

AB

REV-4

AS PER STRUCTURAL

06/03/2019

AB

REV-3

ISSUED FOR TENDER

07/09/2018

MAO

REV-2

NEW STANDARD DRWG. MODIFICATION

07/08/2018

MAO

REV-1

NEW STANDARD DRWG. MODIFICATION

06/25/2018

MAO

NO.

DESCRIPTION

DATE

BY

GROUND FLOOR SHEAR WALLS

ADDRESS:

NO.

SCALE

DATE

5000 SERIES -

DEERFIELD CONDOS

10/06/2020

SHEET:

SW2

STANDARD DRAWINGS

BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
 Valecraft
Structural Ltd.

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NO DIMENSIONS SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:
STEEL LINTEL:
S1 = 1 80x6x6
S2 = 1 80x6x8
S3 = 1 100x6x8
S4 = 1 120x6x8
S5 = 1 120x8x10
S6 = 1 200x10x12
S7 = 1 150x10x12 (AT BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1 7/8x5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1 7/8x5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER.

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
P2 = 2-2x4 OR 3-2x4
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P7 = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7a = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7b = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7c = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7d = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7e = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7f = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7g = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7h = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7i = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7j = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7k = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7l = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7m = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7n = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7o = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7p = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7q = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7r = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7s = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7t = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7u = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7v = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7w = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7x = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7y = 100 88x8x8x13.8 + 100x10x12 18B PL (V)
P7z = 100 88x8x8x13.8 + 100x10x12 18B PL (V)

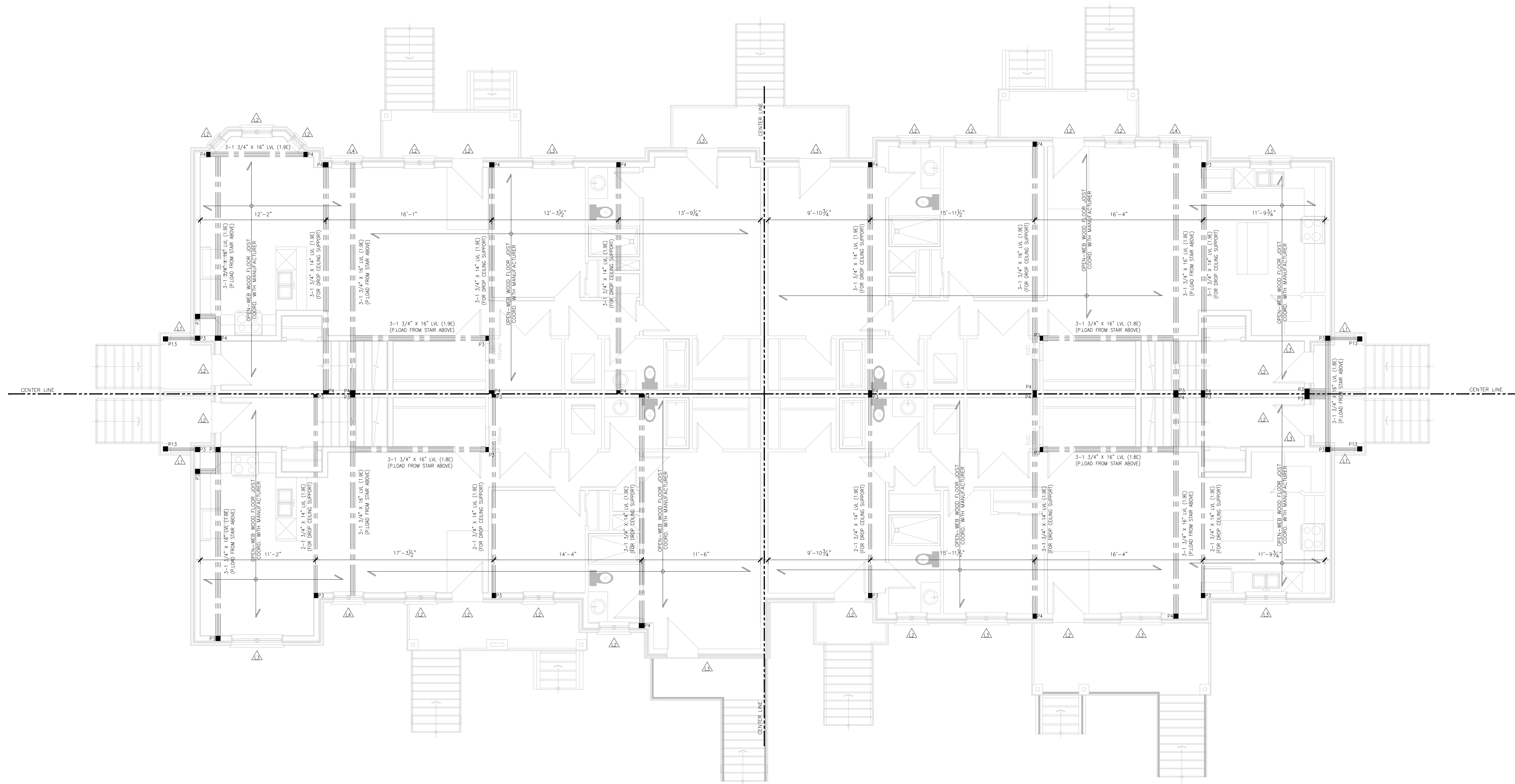
* POSTS ARE ALL JACK 1/4" STUD.

EX. P2 = 1 JACK + 1 STUD.

* IF NO POSTS ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2".

SMOKE ALARMS AS PER SECTION 9.10.18 OF THE BUILDING CODE:
- SHALL HAVE A BATTERY BACKUP SYSTEM.
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY.
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT.
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY IN CASE OF POWER OUTAGE.
- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION.
- PROVIDED BY A MANUFACTURER OF REPUTED BRAND.
- SMOKE MONITORING ALARM SHALL ALSO BE PROVIDED ADJACENT TO EACH SLEEPING AREA.

* PROVIDE MECHANICAL EXHAUST TO OUTSIDE.



2012 O.B.C. DRAWINGS

REV-0	CHANGES FOR I.C.'S DETAILS	09/09/2021	AB
REV-1	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-2	AS PER PERMITS	02/12/2020	AB
REV-3	12" PERMITS ON NEW EXIST. PERMITS	17/10/2019	AB
REV-4	AS PER PERMITS & REMOVED MANGERS	12/15/2019	AB
REV-5	AS PER STRUCTURAL	06/03/2019	AB
REV-6	ISSUED FOR TENDER	07/09/2018	MAO
REV-7	NEW STANDARD DRWG MODIFICATION	07/08/2018	MAO
REV-8	NEW STANDARD DRWG MODIFICATION	10/25/2018	MAO
REV-9	NEW STANDARD DRWG MODIFICATION	10/25/2018	MAO
REV-10	NEW STANDARD DRWG MODIFICATION	10/25/2018	MAO

DRAWING: GROUND / SECOND FLOOR STRUCTURE

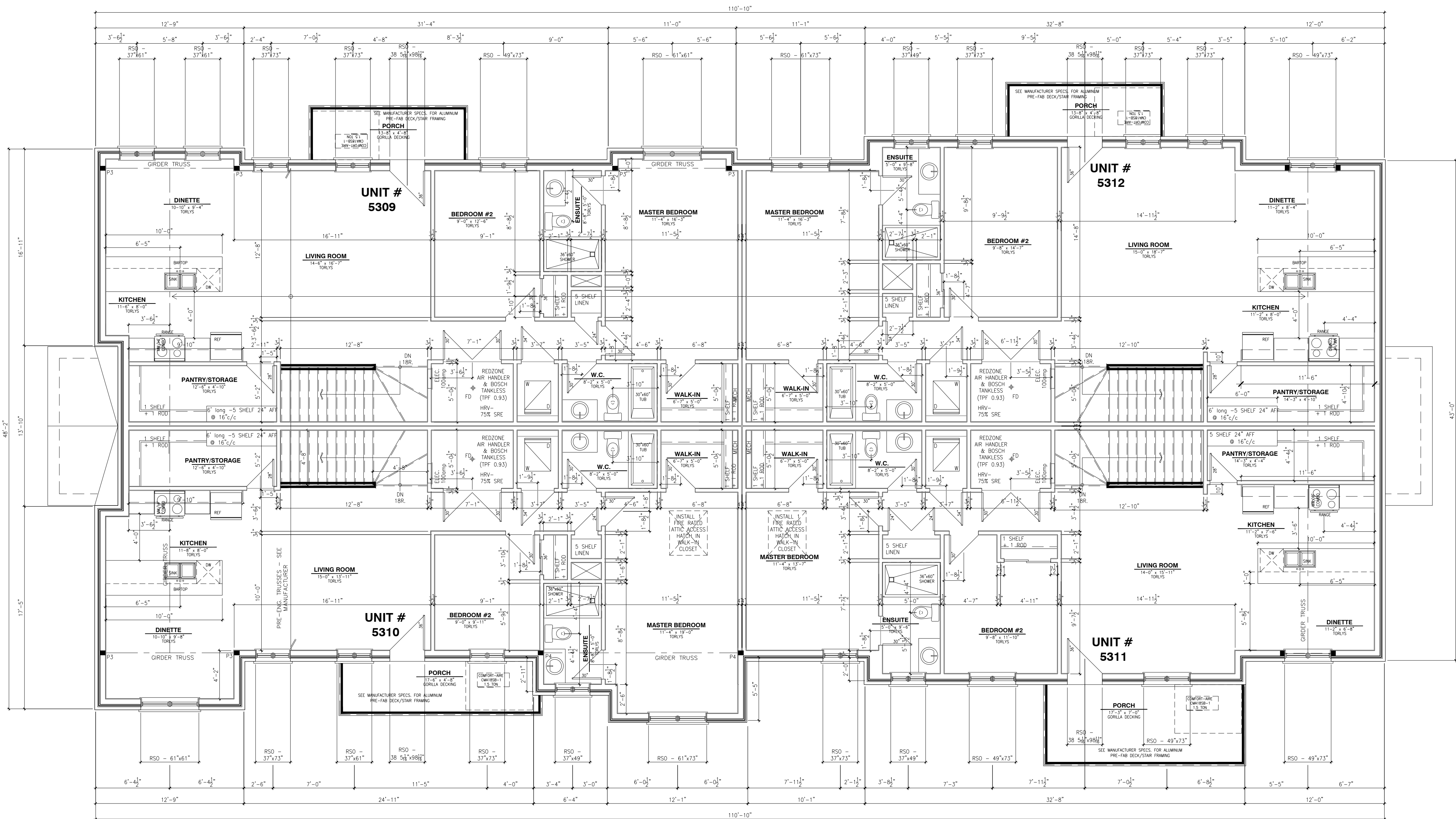
ADDITIONAL: 1/2" = 1'-0"

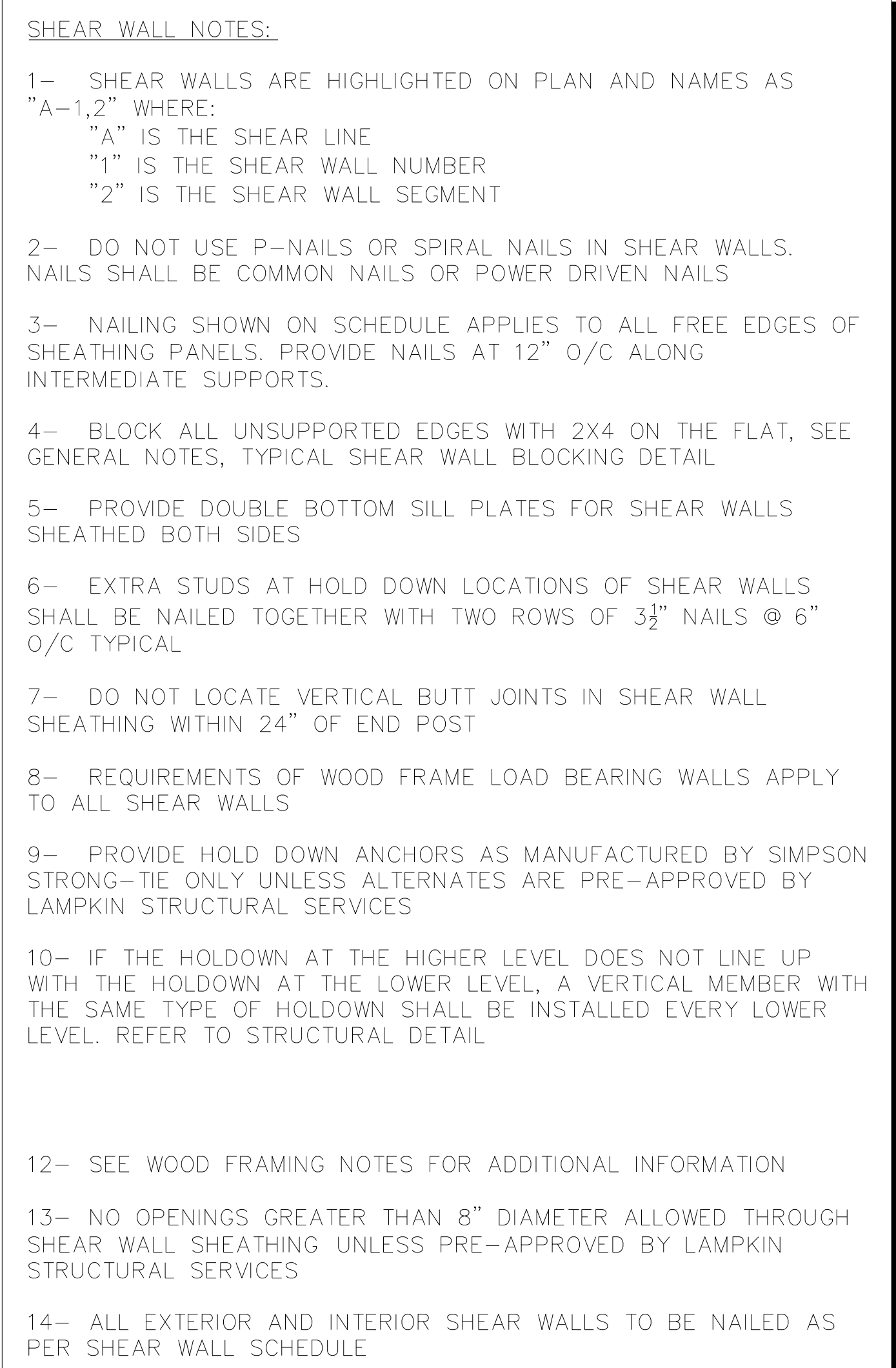
5000 SERIES - DEERFIELD CONDOS

10/26/2020

10/26/2020

10/26/2020





Shown as\	Shearwall			Exterior			Interior			Holdown AT EACH END OF SEAR WALL			Min. Required End studs
		Segment	Min. Length	Insulated Sheathing	Edge fastener spacing	Interior fastener spacing	Sheathing	Edge fastener spacing	Interior fastener spacing	STRAP	CUT LENGTH (in)	TOTAL FASTENERS	
	A-1*	2	3'-1"	7/16 OSB	6"	12"	7/16 OSB	4"	12"	2x CS20	2x42	2x18-8d	2
	B-1	1	3'-6"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	B1	2	3'-6"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	D-1	2	4'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12	CS20	42	18-8d	2
	D-1	3	4'-7"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	D-1	5	4'-8"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	E-1	2	4'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	E-1	4	3'-11"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	E-2	1	7'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	E-3	1	4'-2"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	E-3	2	4'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	G-1	1	46'	5/8" GWB	6"	12"	5/8" GWB	6"	12"	-	-		2
	G-2	1	46'	5/8" GWB	6"	12"	5/8" GWB	6"	12"	-	-		2
	I-1	2	4'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-1	4	5'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-1	5	6'-1"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-2	1	3'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-2	2	3'-5"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-3	1	4'-4"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	I-3	2	3'-8"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	J-2	1	3'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	J-2	2	3'-9"	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2
	K-1	3	7'	7/16 OSB	6"	12"	7/16 OSB	6"	12"	CS20	42	18-8d	2

[illegible]

BLOCK: T
DATE: 11/09/2020

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1



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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES

STEEL LINTEL:

S1 = 1 80x6x6
S2 = 1 80x6x8
S3 = 1 100x6x8
S4 = 1 120x6x8
S5 = 1 120x8x10
S6 = 1 200x10x12
S7 = 1 150x10x12 (AT BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1 7/8x5 Lx (1.92) + P3 ON BOTH SIDES
L4 = 3-1 7/8x5 Lx (1.92) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER.

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
P2 = 2-2x4 OR 3-2x4
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P7 = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7a = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7b = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7c = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7d = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7e = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7f = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7g = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7h = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7i = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7j = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7k = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7l = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7m = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7n = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7o = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7p = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7q = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7r = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7s = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7t = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7u = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7v = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7w = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7x = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7y = 100 80x8x8x13.18 + 100x10x12 18B PL (V)
P7z = 100 80x8x8x13.18 + 100x10x12 18B PL (V)

* POST ARE ALL JACK 1/4" STUD

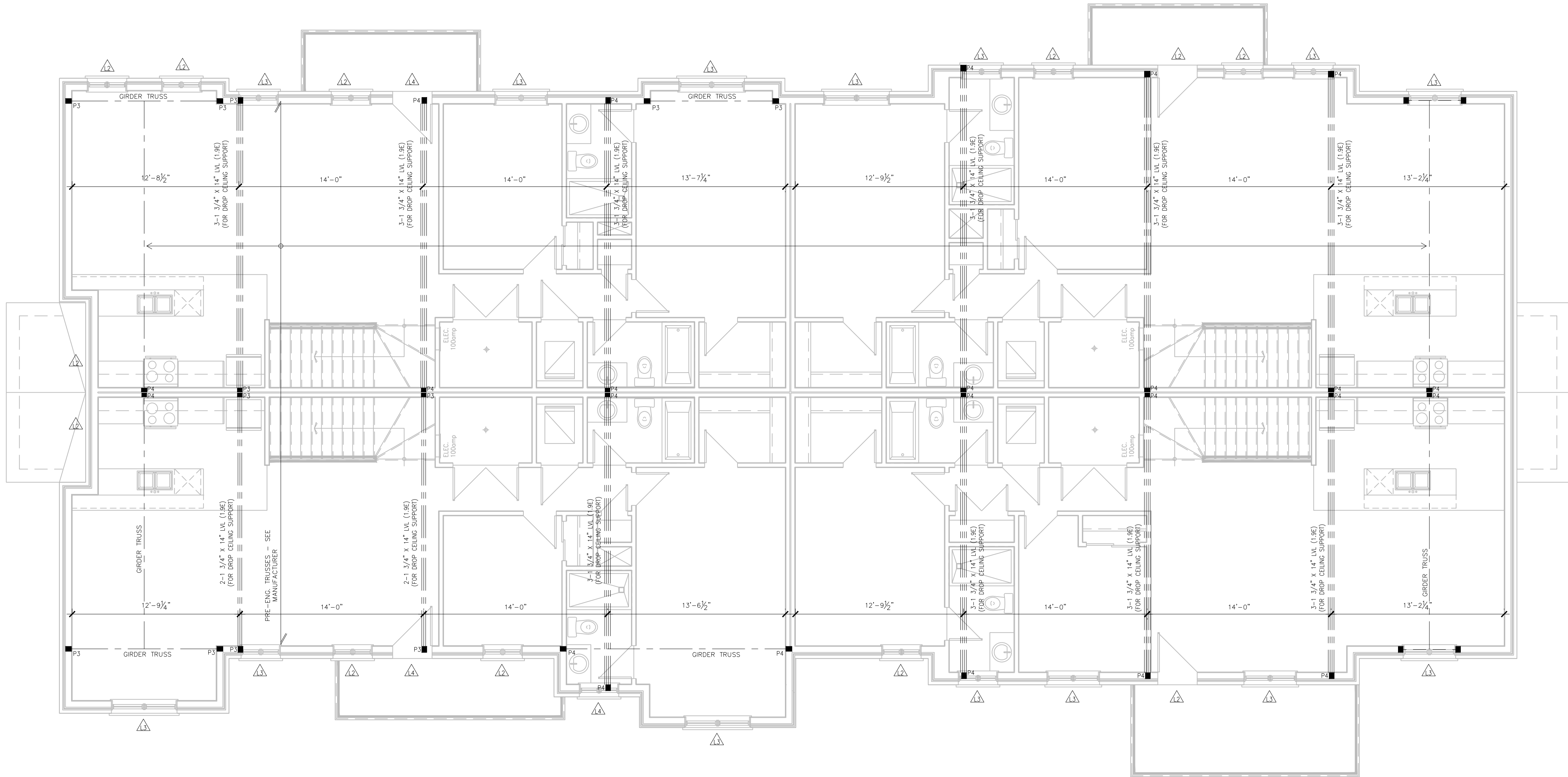
EX: P2 = 1 JACK + 1 STUD

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.18 OF THE ONTARIO BUILDING CODE

- SHALL HAVE A BATTERY BACKUP BATTERY
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY A MINIMUM OF 90 MIN. AND
- ULTIMATE SMOKE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

* PROVIDE MECHANICAL EXHAUST TO OUTSIDE



2012 O.B.C. DRAWINGS

REV-8	CHANGES FOR I.S.'S REMARKS	09/09/2021	AB
REV-7	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-6	AS PER STRUCTURAL	02/12/2020	AB
REV-5	1"2" INCREASE ON NEW EXIST FLOOR SLABS	17/05/2019	AB
REV-4	AS PER DRC & REMOVED MARGINS	12/15/2019	AB
REV-3	AS PER STRUCTURAL	06/03/2019	AB
REV-2	ISSUED FOR TENDER	07/09/2018	MAO
REV-1	NEW STANDARD DRWG MODIFICATION	07/08/2018	MAO
REV-0	NEW STANDARD DRWG MODIFICATION	18/05/2018	MAO
NO.	DESCRIPTION	DATE	BY

SECOND / ROOF STRUCTURE

ADDRESS: 5000 SERIES - DEERFIELD CONDOS

DATE: 10/09/2020

SHEET: A106a

ROOF AND FLOOR LAYOUT NOTES:

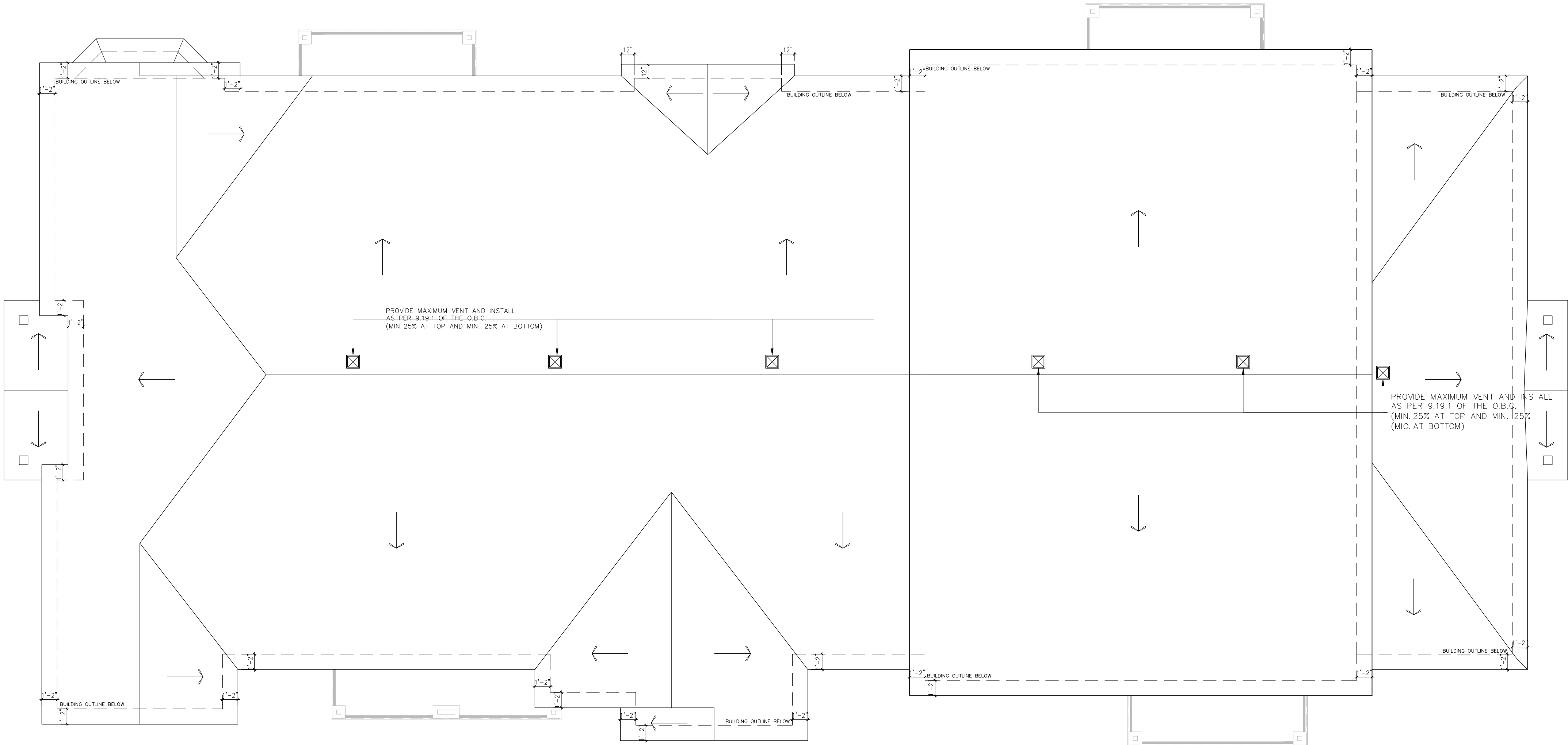
= ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER AND P.E.N.G. IN OTHER CASE.

NOTE:

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.



BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-16 AND ANY AMENDMENTS AND SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS COORDINATED ON A SCHEDULE OR ANY OTHER ITEM, NOTWITHSTANDING THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 80x8x6
- S2 = L 80x8x6
- S3 = L 100x8x8
- S4 = L 120x8x8
- S5 = L 120x8x8
- S6 = L 200x100x12
- S7 = L 150x100x12 (OF BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P3 ON BOTH SIDES
- L2 = 2-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x8.5 Lx (1.92) + P3 ON BOTH SIDES
- L4 = 2-1.75x8.5 Lx (1.92) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER.

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
- P2 = 3-2x4 OR 3-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 3-2x4 OR 3-2x6
- P5 = 3-2x4 OR 3-2x6
- P6 = 3-2x4 OR 3-2x6
- P7 = 100 88.8x88x1.18 + 100x200x12 TAB PL (V)
- P8 = 100 88.8x88x1.18 + 100x200x12 TAB PL (V)
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- P99 = 100 88.8x88x1.18 + 100x200x12 TAB PL (V)
- P100 = 100 88.8x88x1.18 + 100x200x12 TAB PL (V)

* POST ARE ALL JACK 1/4" STUD

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "9"

NOTES:

1. JACK ALARMS AS PER SECTION 9-10.18 OF THE OUTDOOR BUILDING CODE.

- SHALL HAVE A VISIBLE SIGNALING DEVICE
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY
- ARE REQUIRED ON EACH STORY INCLUDING BASEMENT
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY A MINIMUM OF 90 DAYS
- CANNOT BE LOCATED IN A SLEEPING AREA

2. PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

2012 O.B.C. DRAWINGS

2012 O.B.C. DRAWINGS

2012 O.B.C. DRAWINGS

2012 O.B.C. DRAWINGS

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2012 O.B.C. DRAWINGS

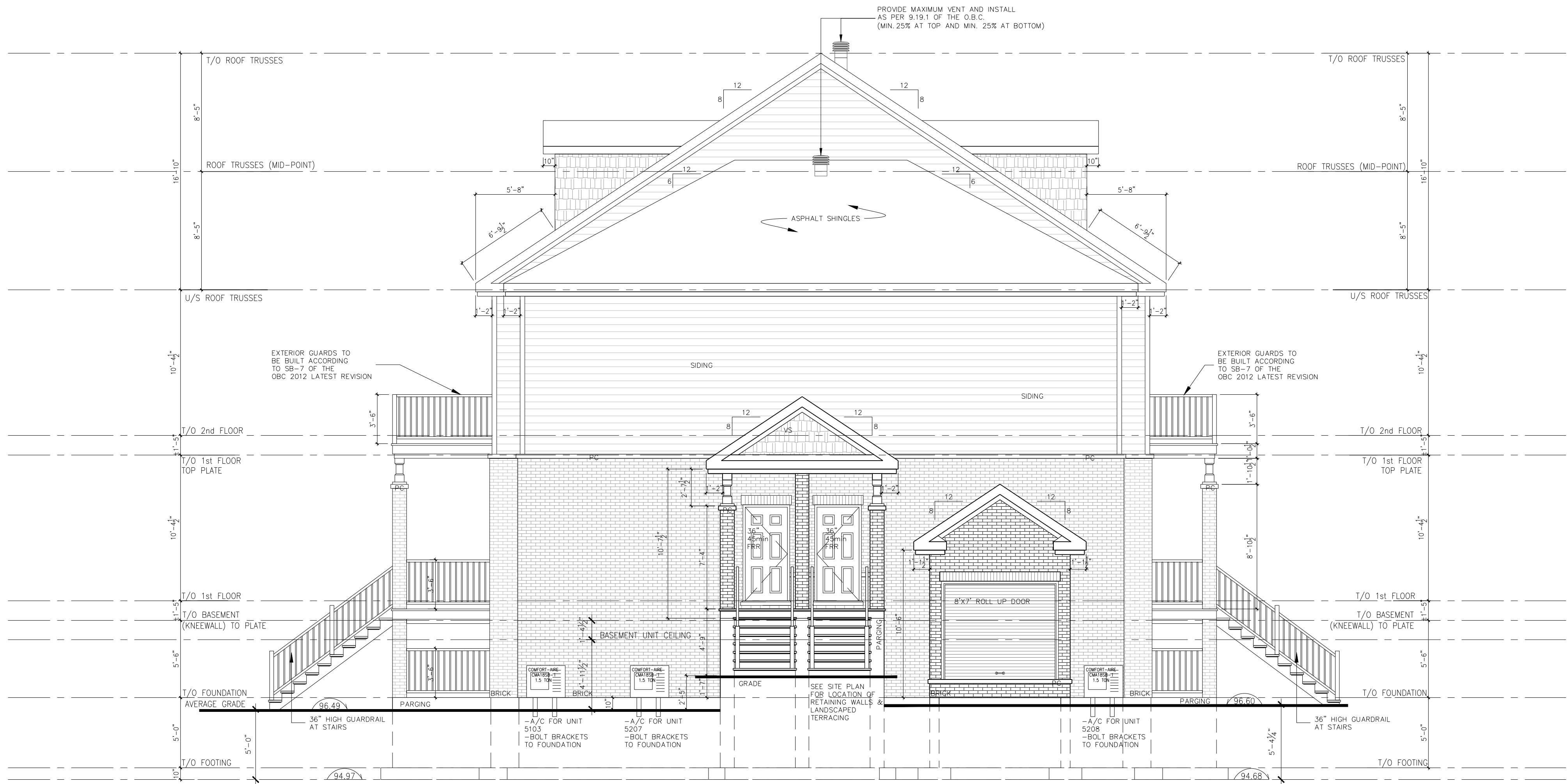
2012 O.B.C. DRAWINGS

NOTE:
COORD. ALL MAN DOORS AND WINDOWS WITH CLIENT. REFER
TO CHOSEN OPTIONS FOR PROPER ROUGH OPENING WIDTHS

NOTE:
COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR
LIGHTING, ETC. WITH CLIENT AND MANUFACTURERS.



EAST



NORTH

BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
Valecraft
INCORPORATED

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. THE DRAWINGS NOT SHOW
ALL ITEMS COVERED ON A SCHEDULE OR ANY OTHER ITEMS
NOT SHOWN ON THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING
CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL
DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-1	CHANGES FOR U.S. DETAILS	09/09/2021	AB
REV-2	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-3	AS PER STRUCTURAL	02/12/2020	AB
REV-4	12" INCREASE ON NEW EXIST. PORCHES	17/08/2019	AB
REV-5	AS PER OBC & REMOVED MANGERS	12/15/2019	AB
REV-6	AS PER STRUCTURAL	06/03/2019	AB
REV-7	ISSUED FOR TENDER	07/09/2018	MAD
REV-8	NEW STANDARD DRWG MODIFICATION	07/08/2018	MAD
REV-9	NEW STANDARD DRWG MODIFICATION	18/05/2018	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELEVATIONS

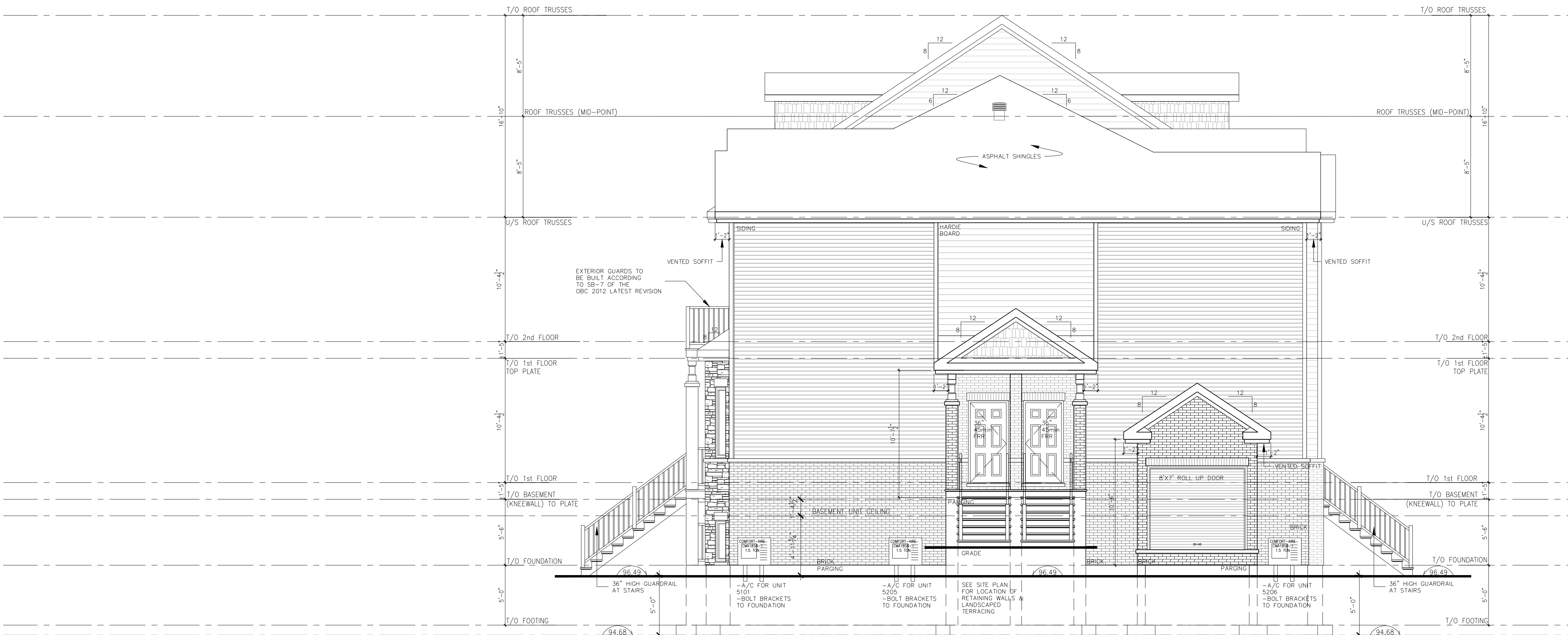
ADDRESS: 00 SCALE: 3/16" = 1'-0" DATE: 10/09/2020

5000 SERIES - DEERFIELD CONDOS

SHEET: A108



WEST



SOUTH

BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
Valecraft
ENGINEERS LTD.

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 10-11 AND ANY AMENDMENTS AND SHALL SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR ANY OTHER ITEM, IT IS TO BE ASSUMED THAT THE SCHEDULE IS CORRECTED TO THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-1	CHANGES FOR I.E.'S DETAILS	09/09/2021	AB
REV-2	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-3	AS PER STRUCTURAL	02/12/2020	AB
REV-4	1"2" INCREASE ON NEW EXIST FLOOR	17/05/2019	AB
REV-5	AS PER OBC & REMOVED MANGROVES	12/15/2019	AB
REV-6	AS PER STRUCTURAL	06/03/2019	AB
REV-7	ISSUED FOR TENDER	07/09/2018	MAO
REV-8	NEW STANDARD DRAIN MODIFICATION	07/08/2018	MAO
REV-9	NEW STANDARD DRAIN MODIFICATION	18/05/2018	MAO
NO.	DESCRIPTION	DATE	BY

ELEVATIONS

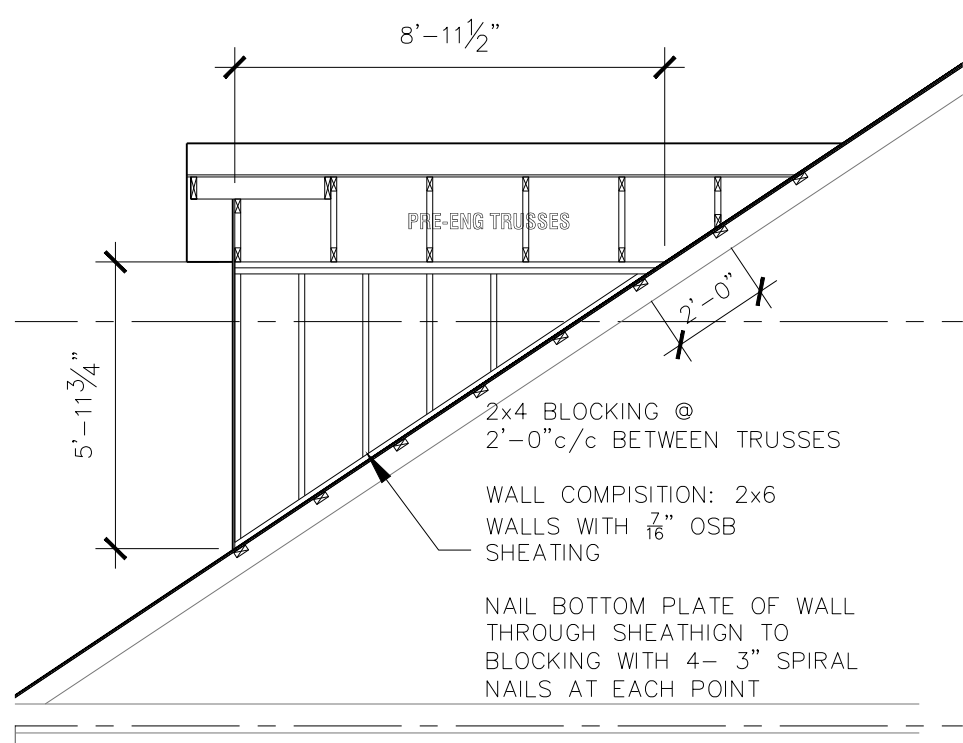
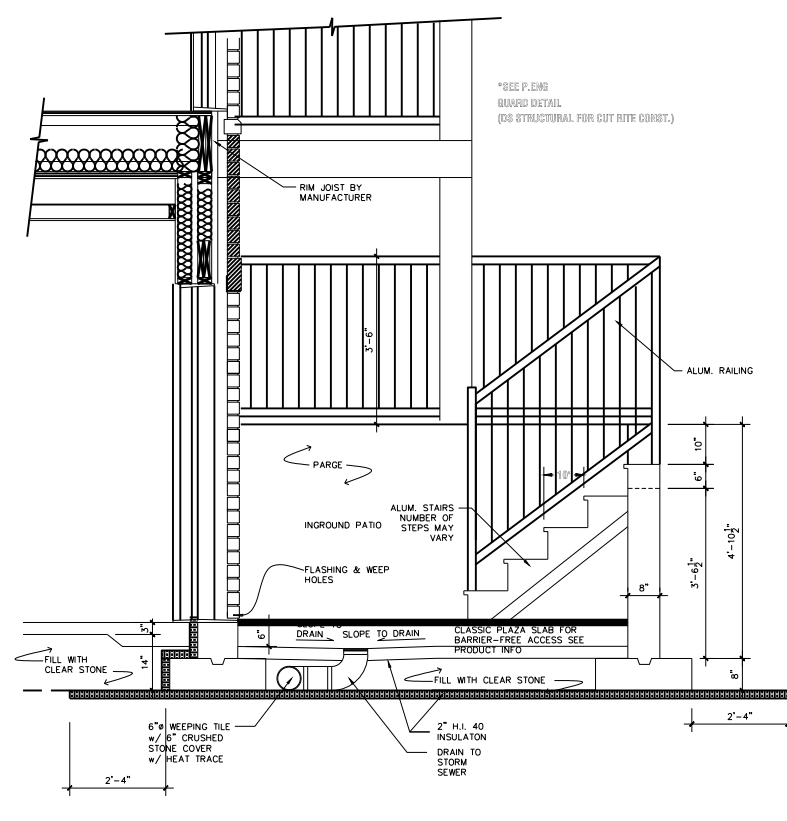
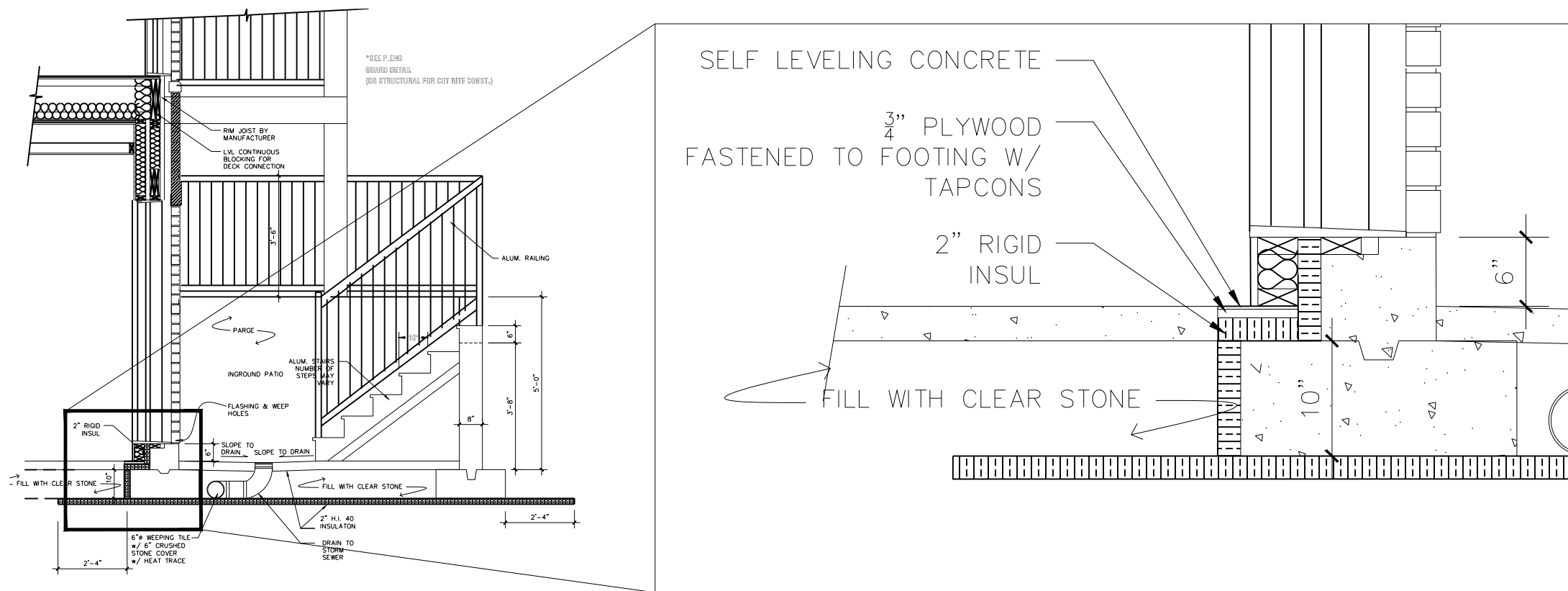
ADDRESS:	SCALE:	DATE:
50	1/2" = 1'-0"	10/09/2020

5000 SERIES -
DEERFIELD CONDOS

A109

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

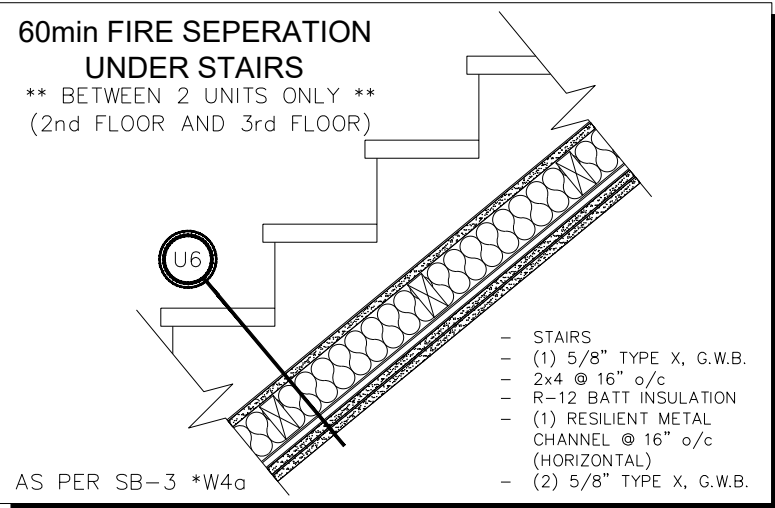
NOTE:
COORD. FLOOR JOIST, LINTEL, ROOF
TRUSS AND POSTS WITH MANUFACTURER
AND P.ENG. IN OTHER CASE.



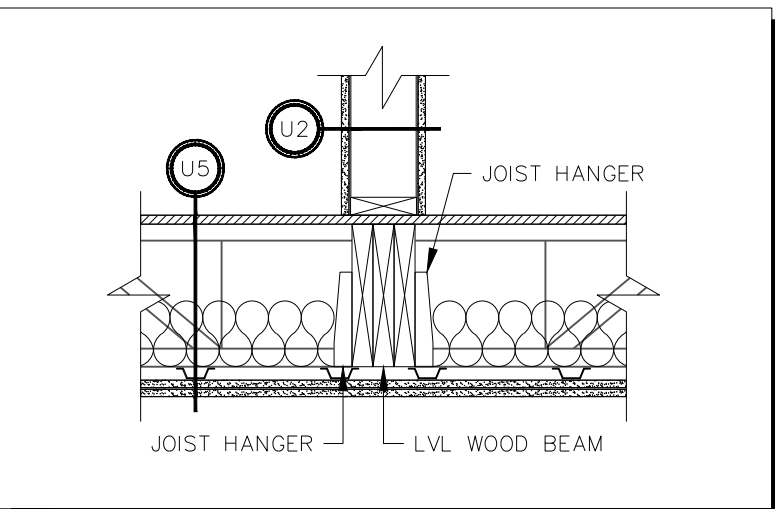
A110 SCALE: 1/4" = 1'-0"

A110 SCALE: 1/4" = 1'-0"

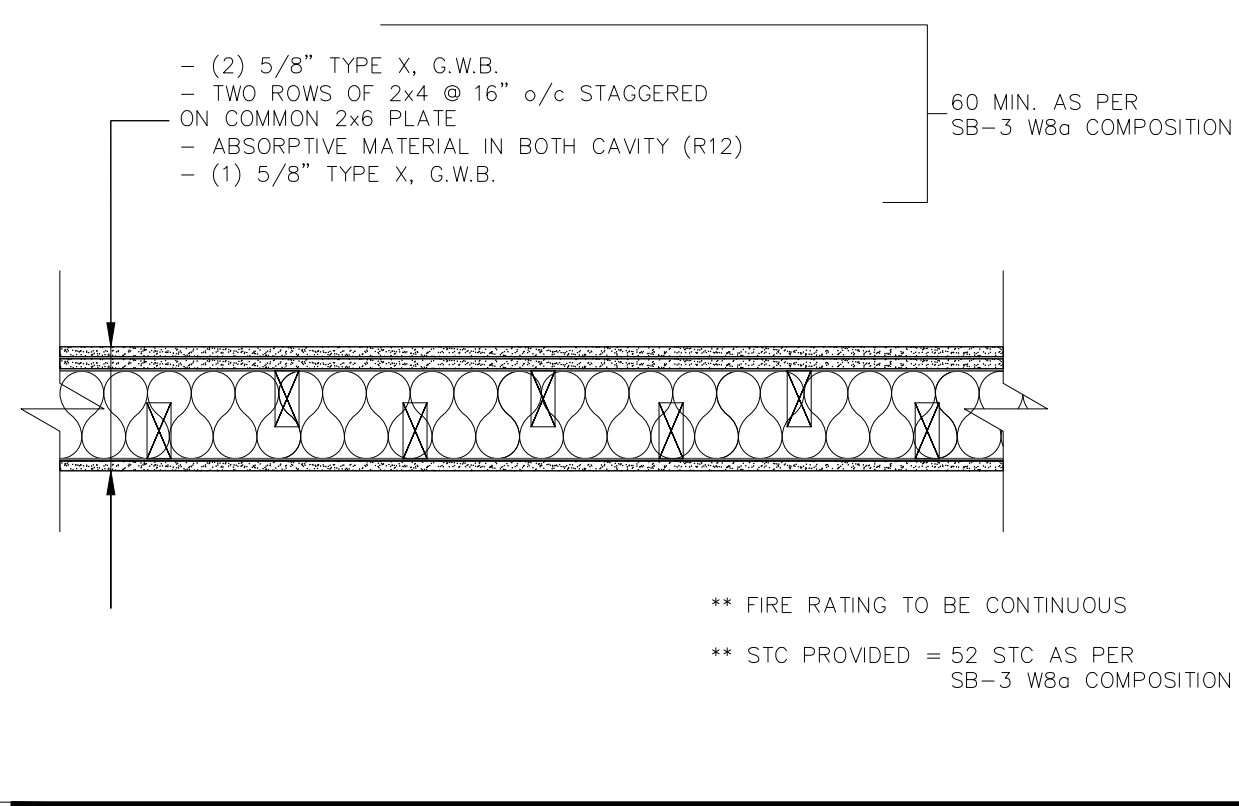
A110 SCALE: 1/4" = 1'-0"



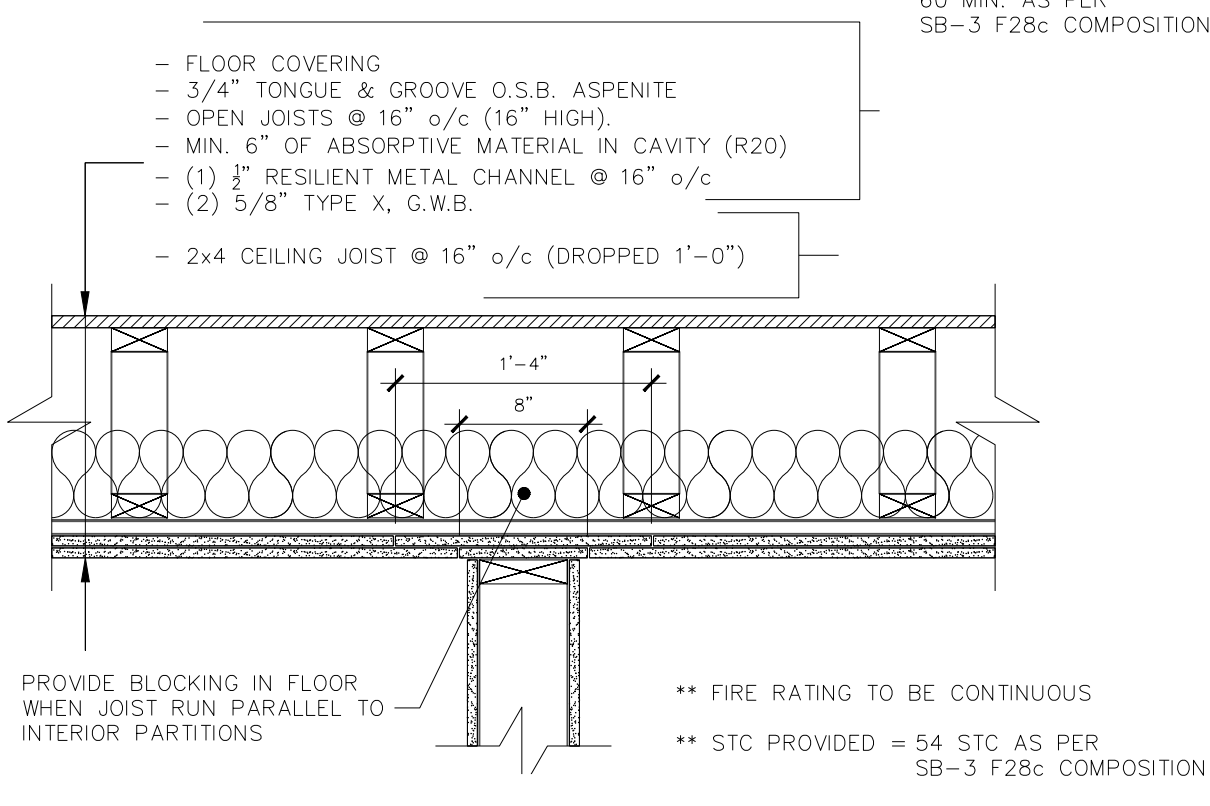
SCALE: $3/4" = 1'-0"$



SCALE: $3/4" = 1'-0"$



SCALE: 1" = 1'-0"



SCALE: 1" = 1'-0"

- ASPHALT SINGLES (30 YEARS) c/w
- EAVE PROTECTION
- #15 ASPHALT SATURATED FELT
- 1/2" T&G ROOF SHEETING c/w "H" CLIPS
- PRE-FAB. ROOF TRUSSES, INSTALLED AT 24" o/c
- BLOWN INSULATION (R-60)
- 6 MIL. VAPOUR BARRIER
- 1x4" WOOD FURRING @ 16" o/c
- 5/8" TYPE 'X' DRYWALL
- 12" DROPPED CEILING - SEE DROPPED CEILING DETAIL
- 1/2" PAINTED REGULAR DRYWALL

- ASPHALT SINGLES (30 YEARS) c/w
- EAVE PROTECTION
- #15 ASPHALT SATURATED FELT
- $\frac{7}{16}$ " T&G ROOF SHEETING c/w "H" CLIPS
- PRE-FAB. ROOF TRUSSES, INSTALLED AT 24"o/c
- VENTED ALUMINIUM SOFFIT

- 1/2" PAINTED REGULAR DRYWALL
- 2x4 @ 16" o/c c/w SOUND INSULATION
(COORD. THE NEED WITH CLIENT)
- 1/2" PAINTED REGULAR DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

- 1/2" PAINTED REGULAR DRYWALL
- 2x6 @ 16" o/c c/w SOUND INSULATION
(COORD. THE NEED WITH CLIENT)
- 1/2" PAINTED REGULAR DRYWALL

* PROVIDE MOLD RESISTANT DRYWALL IN W.C.

- 3" CONCRETE FLOOR SLAB AND 6 MIL. V-B.
- 2" (R10) RIGID INSULATION (BASEMENT ENTRANCE)
- 10" OF 7/8" MINUS MATERIAL
- UNDISTURBED SOIL OR
- COMPACTED SOIL TO 95% PROCTOR

* SOIL TO BE 75KPa, PROVIDE SOIL TEST REPORT

- 3/8" UNDERLAY FOR CERAMIC
- 3/4" FLOOR SHEETING (ASPENITE)
- 6 MIL. VAPOUR BARRIER
- OPEN-WEB WOOD JOIST 16" HIGH @ 16" o/c
- NAILED AND GLUED c/w MID-SPAN BRIDGING
 - * LIVE LOAD 40 * DEAD LOAD 15
- BATT INSULATION (R40)
- 7/16" EXTERIOR SHEETING (ASPENITE)
- 5/8" EXTERIOR FIRE RATED G.W.B. (DENS GLASS)
- TYP. TYVEK OR EQUIVALENT,
- c/w SEALED JOINTS WITH PROPER TAPE
- UN-VENTED ALUMINUM SOFFIT

- 2x6 SILL PLATE c/w SILL GASKET
- 1/2" DIA. ANCHOR BOLTS @ 72" o/c MAX

- 5" POURED CONCRETE FOUNDATION WALL
- 2x4 @ 16" o/c KNEE WALL c/w R-12 BATT INSULATION
- 2x4 @ 16" o/c c/w R-12 BATT INSULATION & 2" CLOSED CELL SPRAY FOAM
- 5/8" PAINTED, TYPE X, DRYWALL - 1hr FRR

- 5/8" PAINTED, TYPE X, DRYWALL
- 2x4 @ 16" o/c c/w BATT INSULATION (R-12)
- 8" POURED CONCRETE FOUNDATION WALL
- 2x4 @ 16" o/c c/w BATT INSULATION (R-12)
- 5/8" PAINTED, TYPE X, DRYWALL

- PARGING (SAND FINISH) ABOVE GRADE
- 8", 10" OR 12" POURED CONCRETE FOUND. WALL

- PARING (SAND FINISH) ABOVE GRADE
- DRAINAGE LAYER, TYP. DELTA-MS OR EQUIVALENT
- 2 COATS OF DAMPROOFING BELOW GRADE
- 8", 10" OR 12" POURED CONCRETE FOUNDATION WALL
- 2x4 @ 16" o/c c/w R-12 BATT INSULATION & 2" CLOSED CELL SPRAY FOAM
- 5/8" PAINTED, TYPE X, DRYWALL - 1 hr FRR

* PROVIDE MOIST RESISTANT DRYWALL IN W.C.

- STONE/BRICK, COORD. COLOR WITH CLIENT
- 1" AIR SPACE c/w WEEPHOLES @ 2'-7" o/c MAX.
- TYP. TYVEK OR EQUIVALENT,
- c/w SEALED JOINTS WITH PROPER TAPE
- R5.6 WALL SHEETING = 1-9/16" THICKNESS (R-5)
- (7/16") ASPENITE + 1-1/8" RIGID INSULATION)
- 2x6 @ 16" o/c c/w BATT INSULATION (R-20)
- 6 MIL. VAPOUR BARRIER
- 5/8" PAINTED, TYPE X, DRYWALL - 1hr FRR

- EXTERIOR HORIZONTAL SIDING c/w
PROPER FURRING AS PER MANUFACTURER
(SEE LOCATION ON ELEVATIONS)
- TYP. TYPEK OR EQUIVALENT,
c/w SEALED JOINTS WITH PROPER TAPE
- R-5.6 WALL SHEETING = 1-9/16" THICKNESS (R-5)
(7/16" ASPENITE + 1-1/8" RIGID INSULATION)
- 2x6 @ 16" o/c c/w BATT INSULATION (R-20)
- 6 MIL. VAPOUR BARRIER
- 5/8" PAINTED, TYPE X, DRYWALL

- PROVIDE MOLD RESISTANT DRYWALL IN W.C.

- 1/2" DRYWALL
- 2x4 @ 16" o/c
- 1/2" PAINTED DRYWALL
- * PROVIDE MOLD RESISTANT DRYWALL IN W.C.

- 1/2" DRYWALL
- 2x6 @ 16" o/c
- 1/2" DRYWALL
- * PROVIDE MOLD RESISTANT DRYWALL IN W.C.

- 5/8" PAINTED, TYPE X DRYWALL
- 2x4 @ 16" o/c ON SEPARATE PLATES (1" APART)
- c/w BATT INSULATION (R-12)
- 5/8" TYPE X DRYWALL
- 2x4 @ 16" o/c ON SEPARATE PLATES (1" APART)
- c/w BATT INSULATION (R-12)
- 5/8" PAINTED, TYPE X DRYWALL
- * WALLS TO BE CONSTRUCTED FROM FOUNDATION WALL TO THE UNDERSIDE OF THE ROOF TRUSSES.
- * AT FLOOR RIMBOARDS, PROVIDE 2x 1/2" TYPE X DRYWALL IN 1" AIR SPACE (2'-0" WIDE MINIMUM)

SEE DETAIL ON DRAWING A-110

| SEE DETAIL ON DRAWING A-110

| SEE DETAIL ON DRAWING A-110

— MASONRY VENEER

- 2x4 STUD WALL
5" x 10" x 10" STUD WALL

| = MASONRY VENEER

[illegible]

NOTE:
STRUCTURAL SHEAR WALL
COMPONENTS TO BE ADDED
TO SPECIFIED WALLS AS
SHOWN ON SHEETS
SW1, SW2 AND SW3

2012 O.B.C. DRAWINGS			
REV-6	CHANGES FOR J.G.'S RENTALS	09/29/2021	AB
REV-8	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-7	AS PER STRUCTURAL	02/12/2020	AB
REV-6	12" INCREASE ON NEW EXT. PORCHES	11/18/2019	AB
REV-5	AS PER AC & REMOVED MANHOLE	10/15/2019	AB
REV-4	AS PER STRUCTURAL	06/03/2019	AB
REV-3	ISSUED FOR TENDER	07/29/2018	MAID
REV-2	NEW STANDARD DRWG MODIFICATION	07/08/2016	MAID
REV-1	NEW STANDARD DRWG MODIFICATION	06/25/2016	MAID
NO	DESCRIPTION	DATE	BY

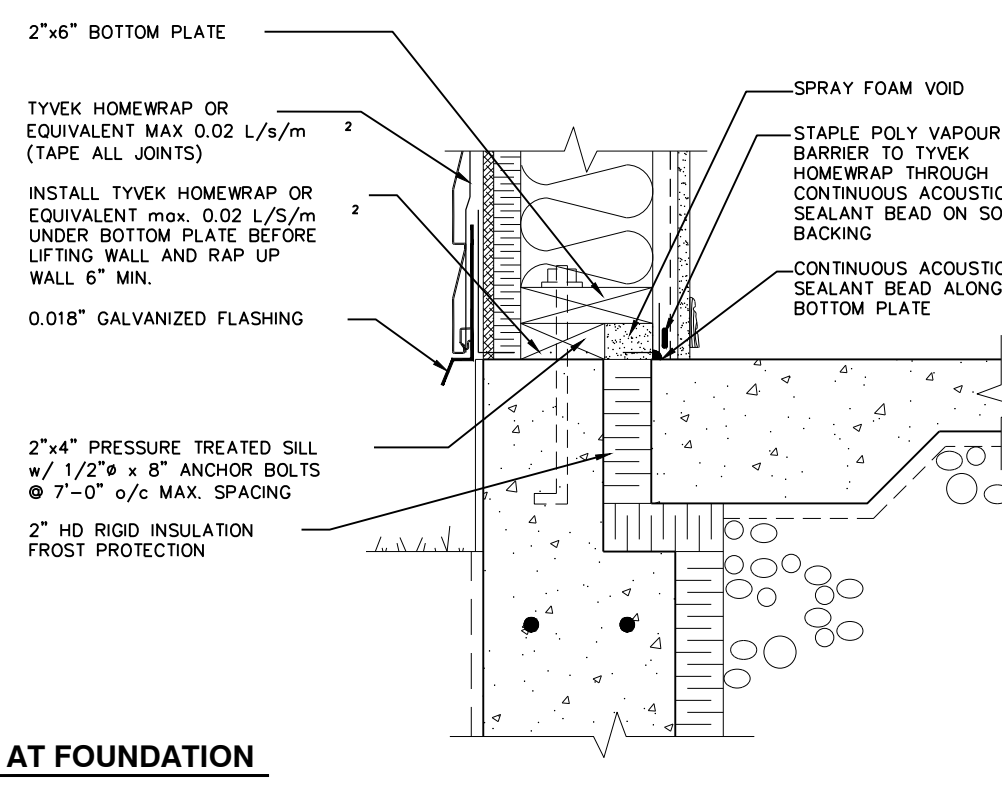
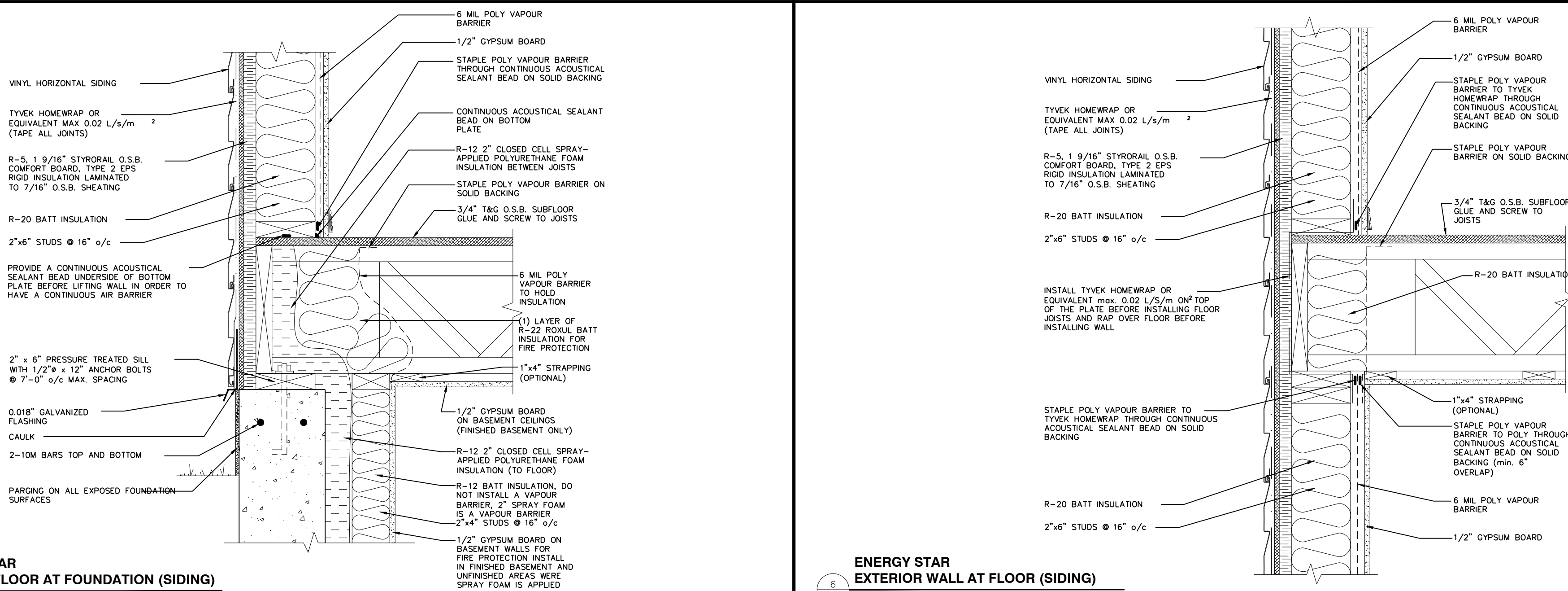
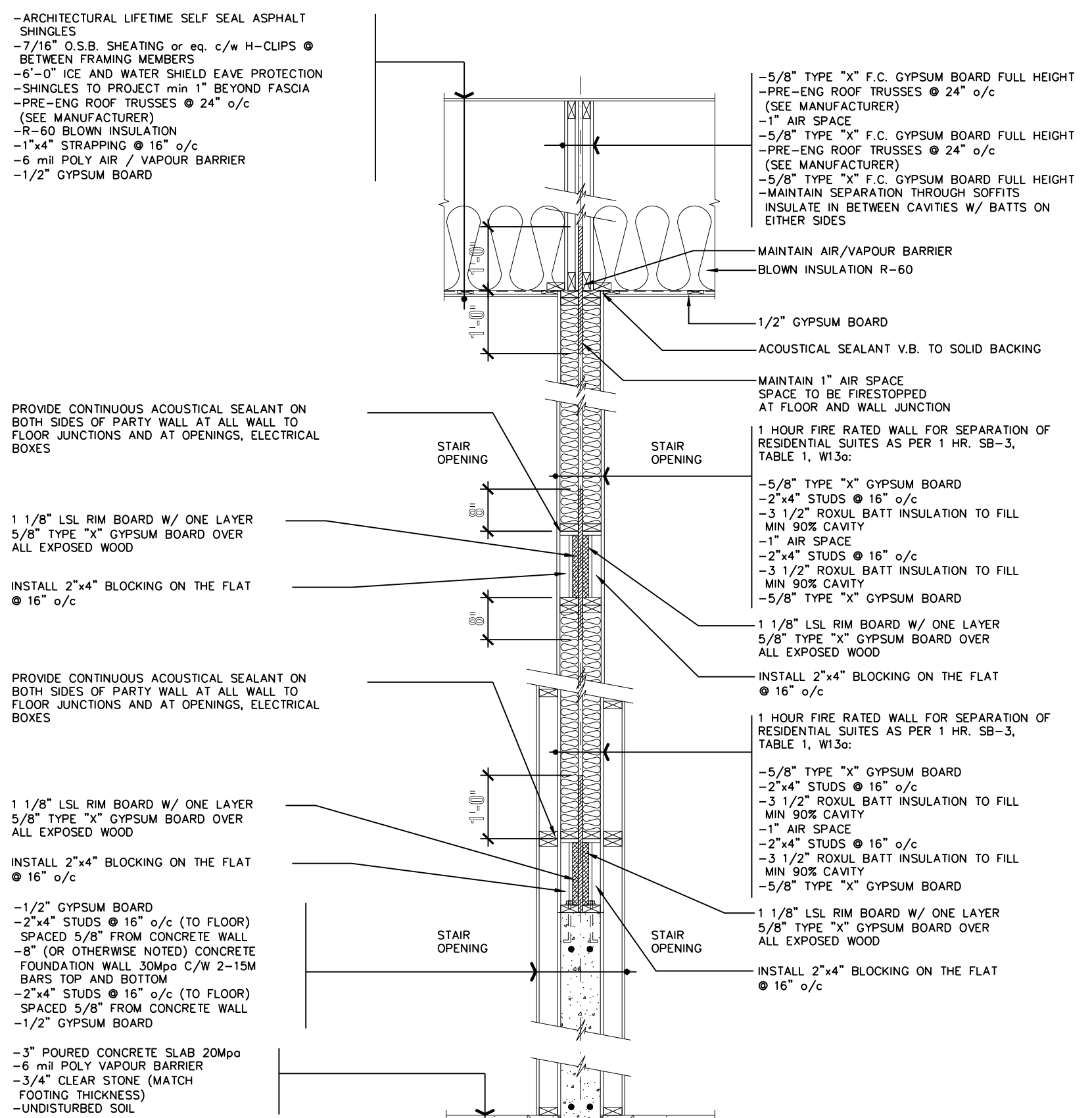
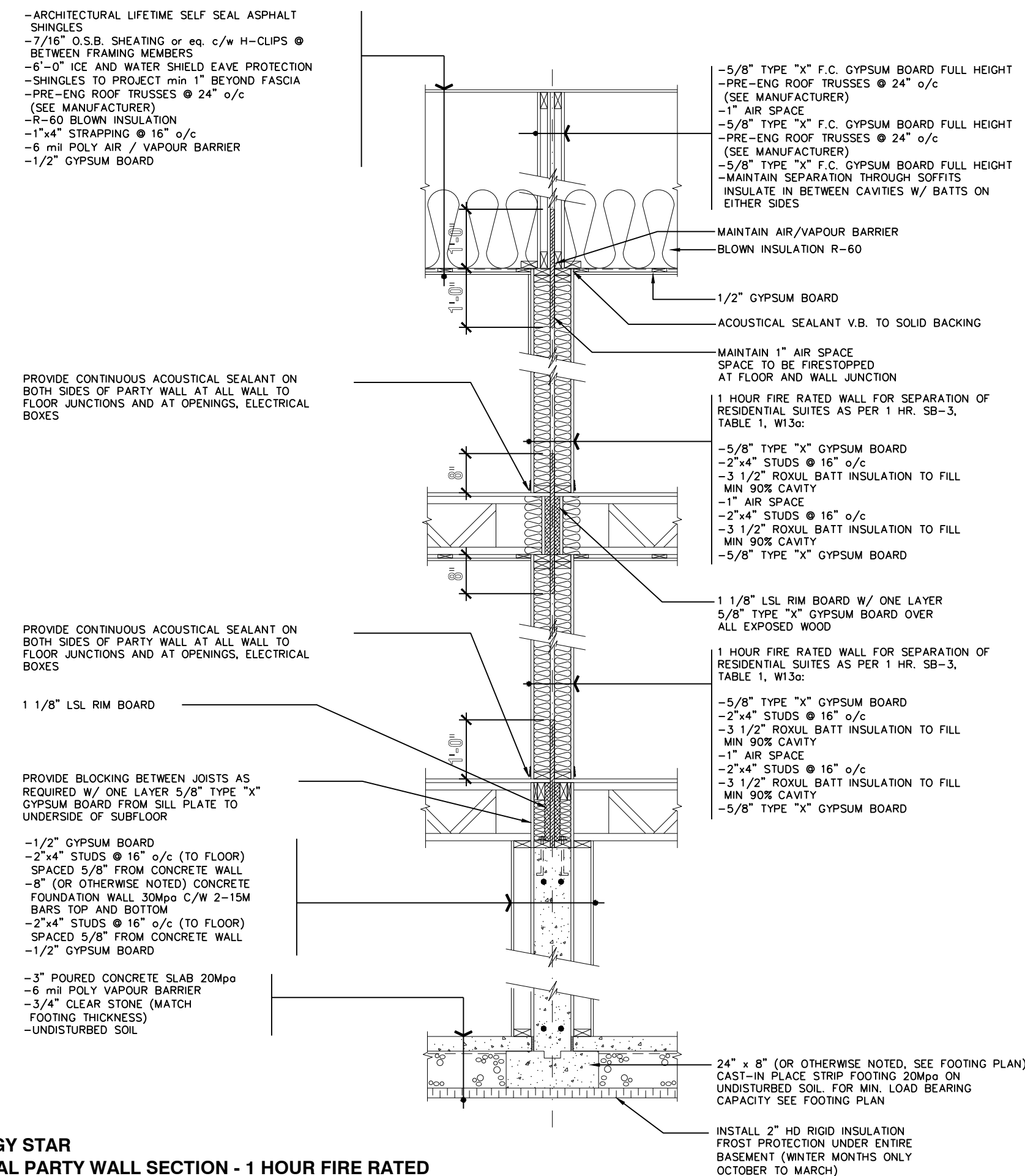
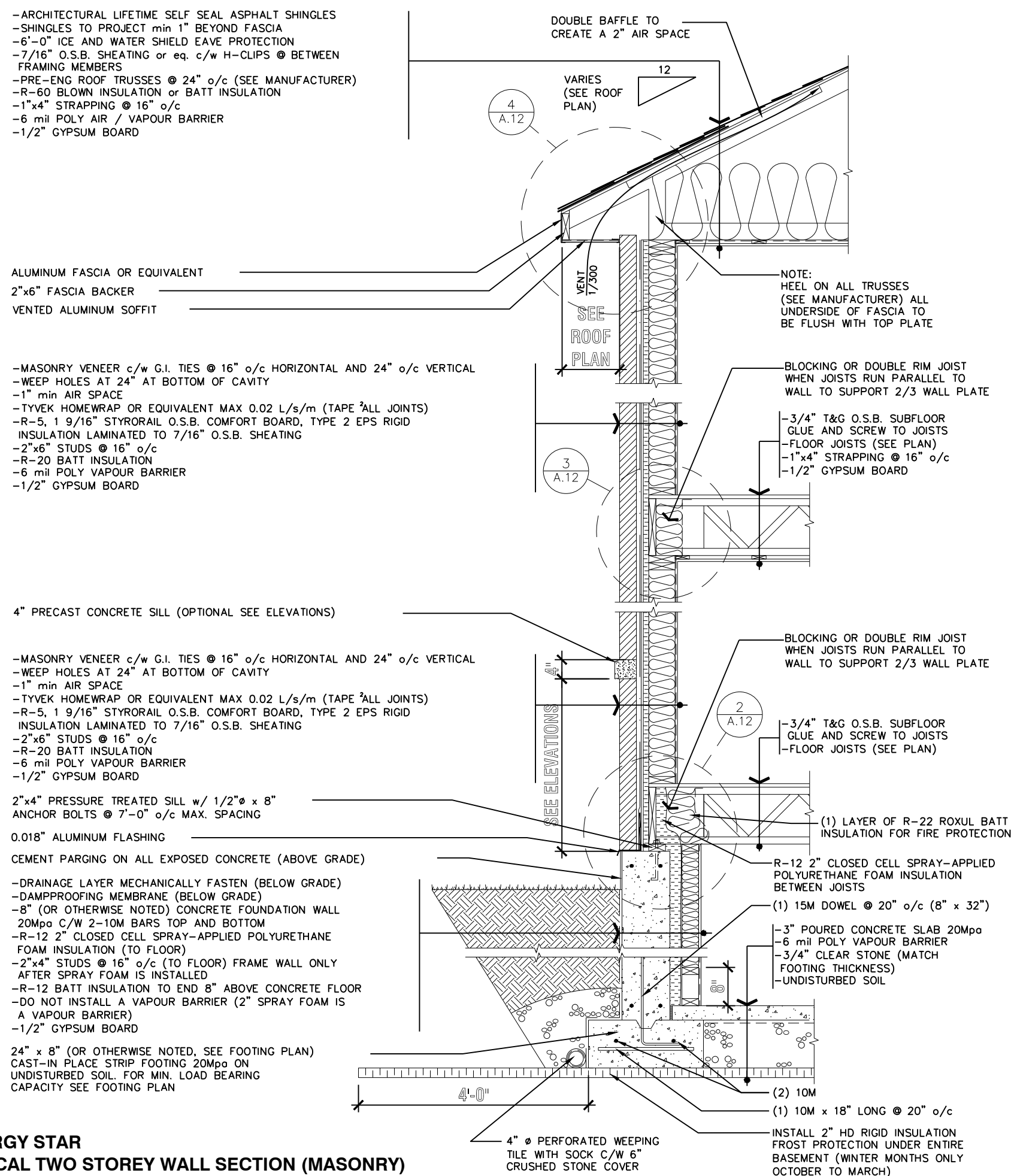
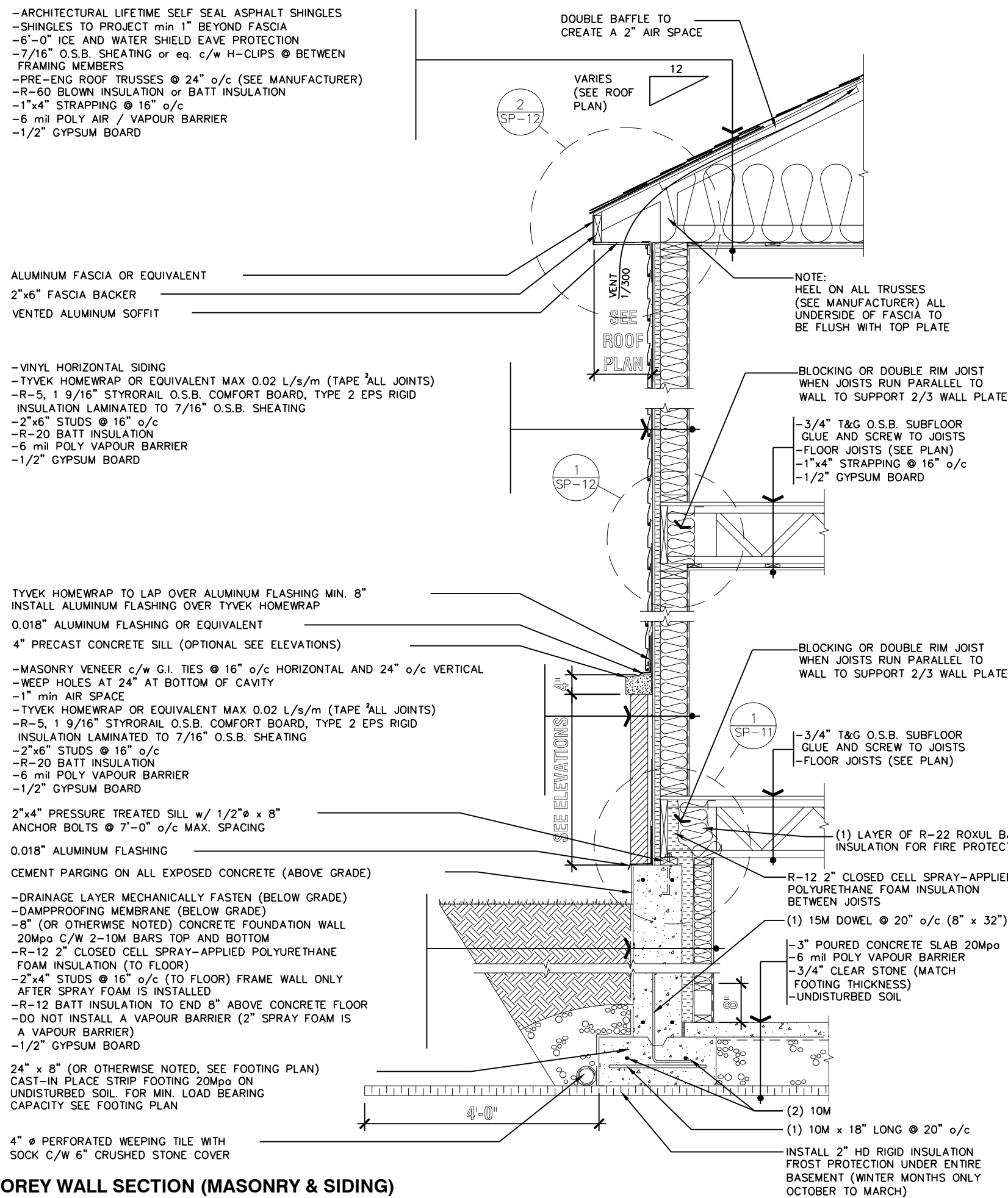
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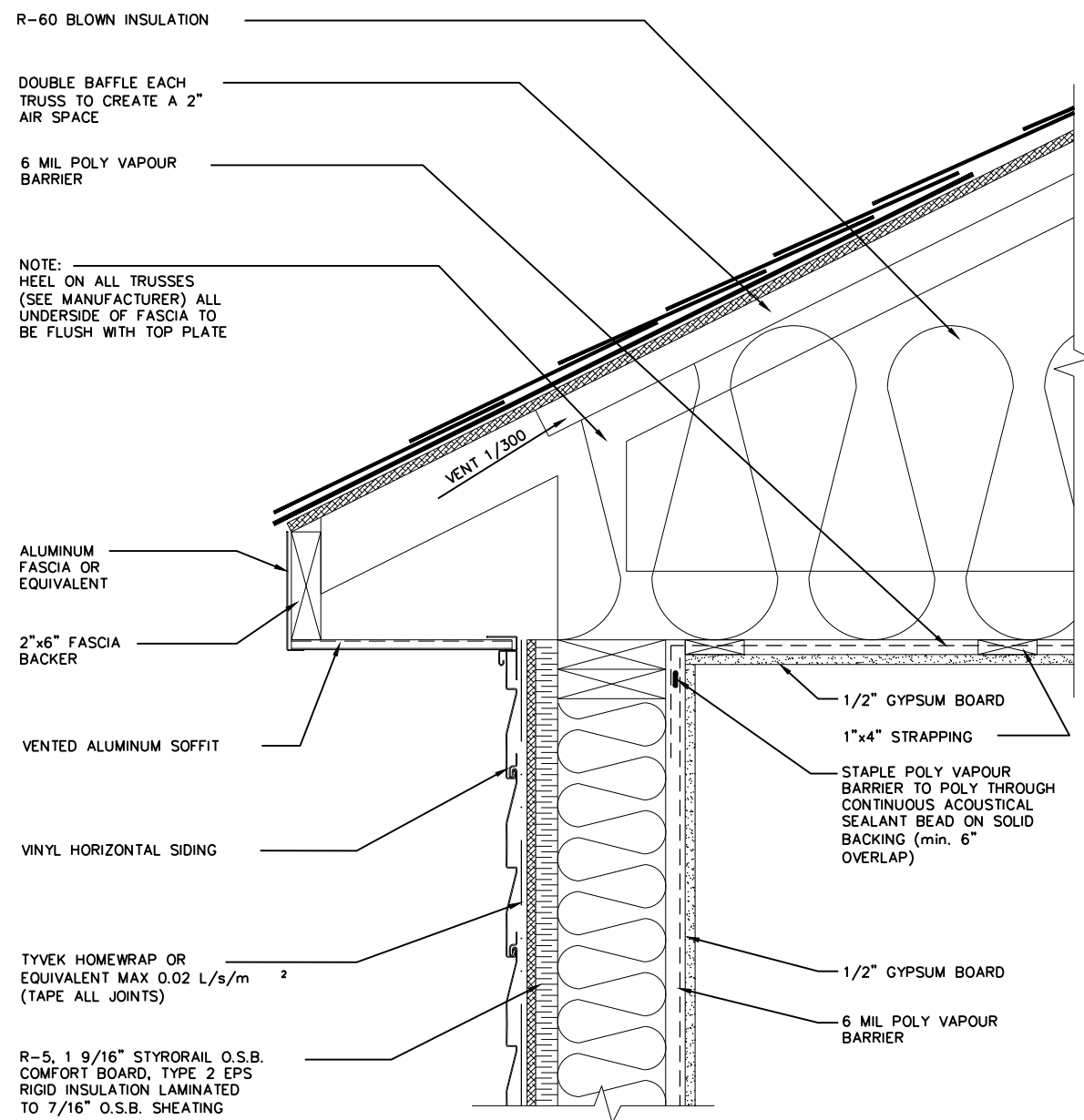
ADDRESS: _____ SCALE: **3/16" = 1'-0"** DATE: **03/26/2020**

5000 SERIES -
DEERFIELD CONDOS

(STANDARD) (FRANCE)

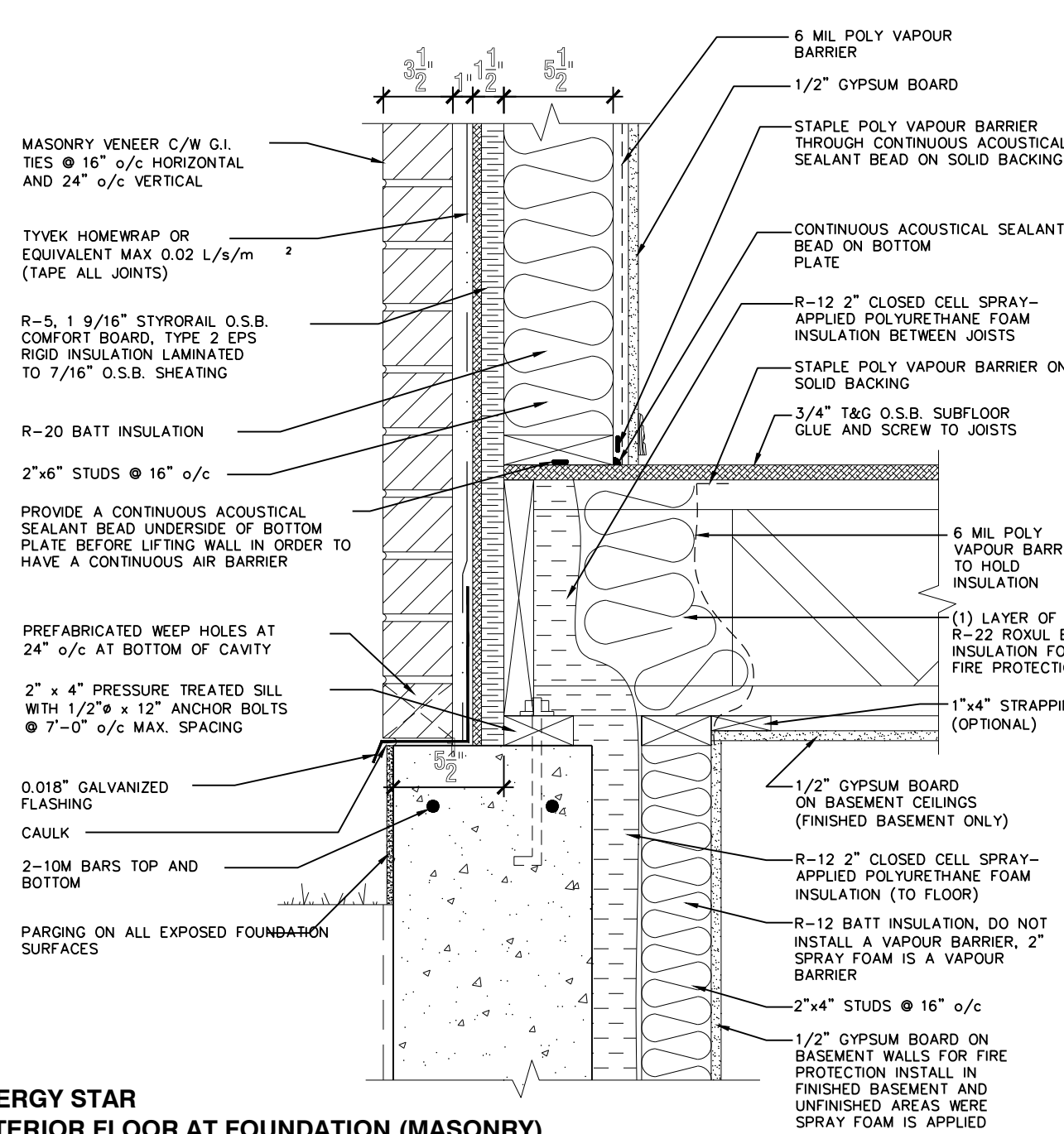
SHEET: **A11**





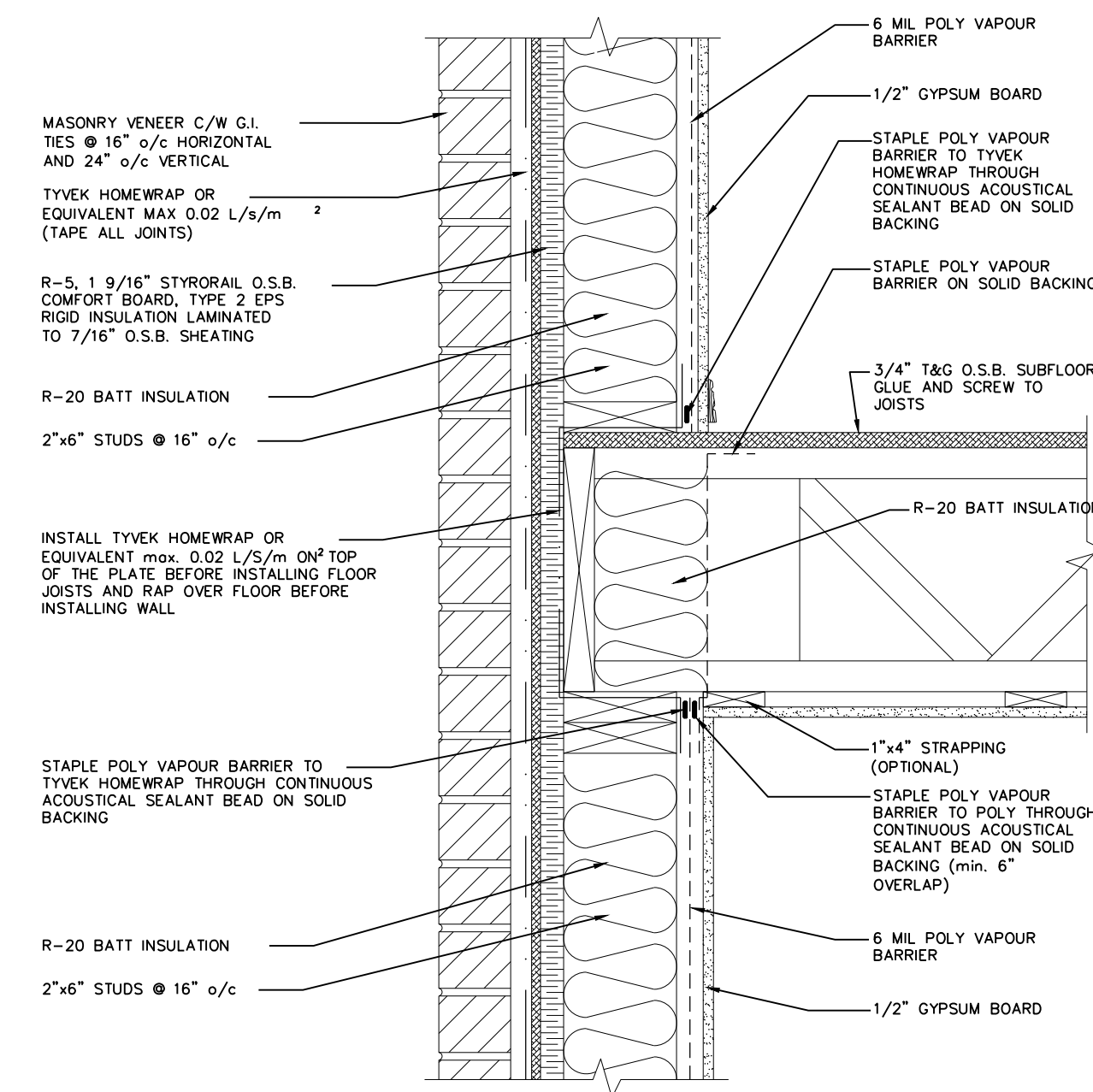
ENERGY STAR
EXTERIOR WALL AT ROOF (SIDING)

1
A.112 SCALE: 1 1/2" = 1'-0"



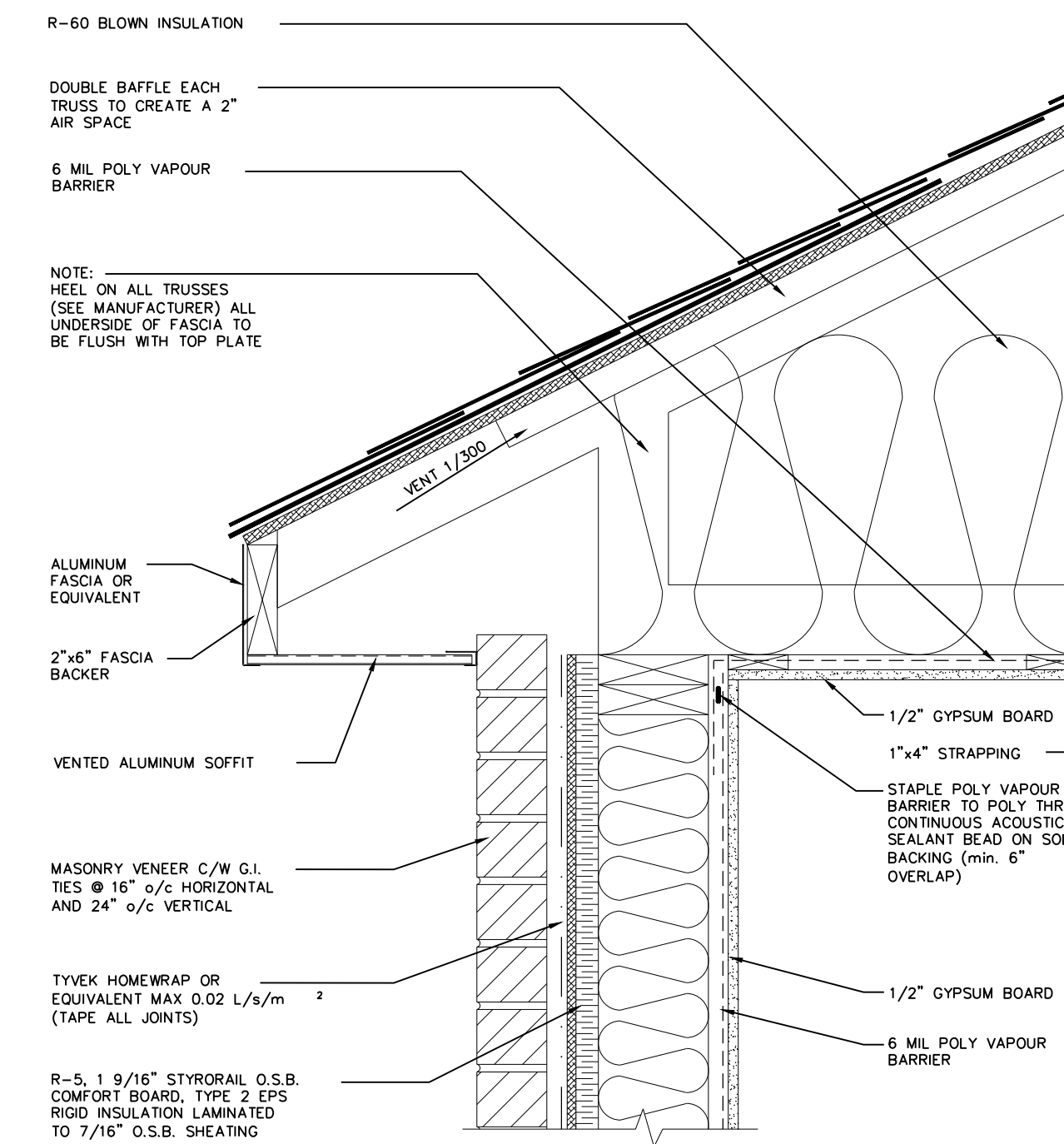
ENERGY STAR
EXTERIOR FLOOR AT FOUNDATION (MASONRY)

2
A.112 SCALE: 1 1/2" = 1'-0"



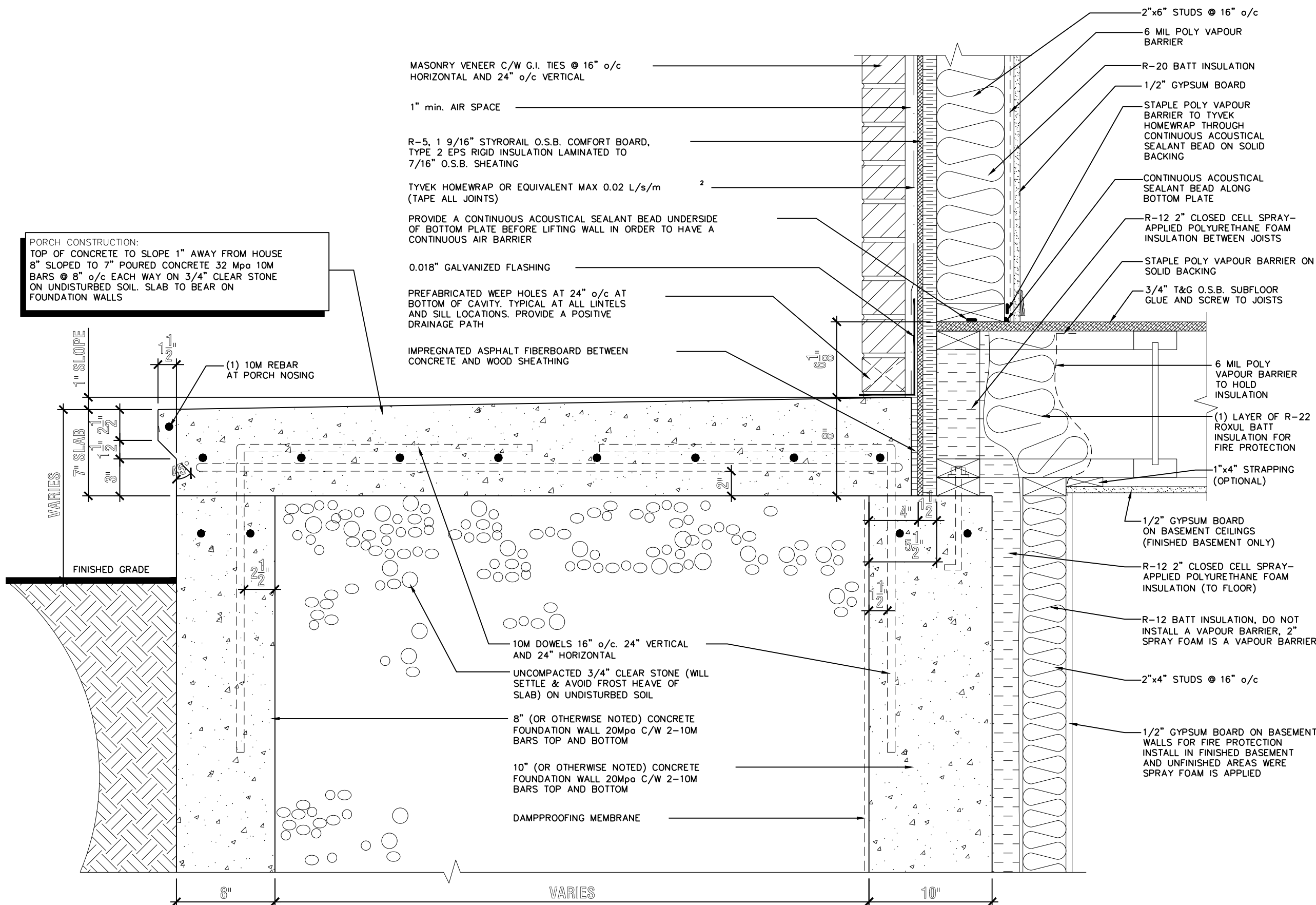
ENERGY STAR
EXTERIOR WALL AT FLOOR (MASONRY)

3
A.112 SCALE: 1 1/2" = 1'-0"



ENERGY STAR
EXTERIOR WALL AT ROOF (MASONRY)

5
A.112 SCALE: 1 1/2" = 1'-0"

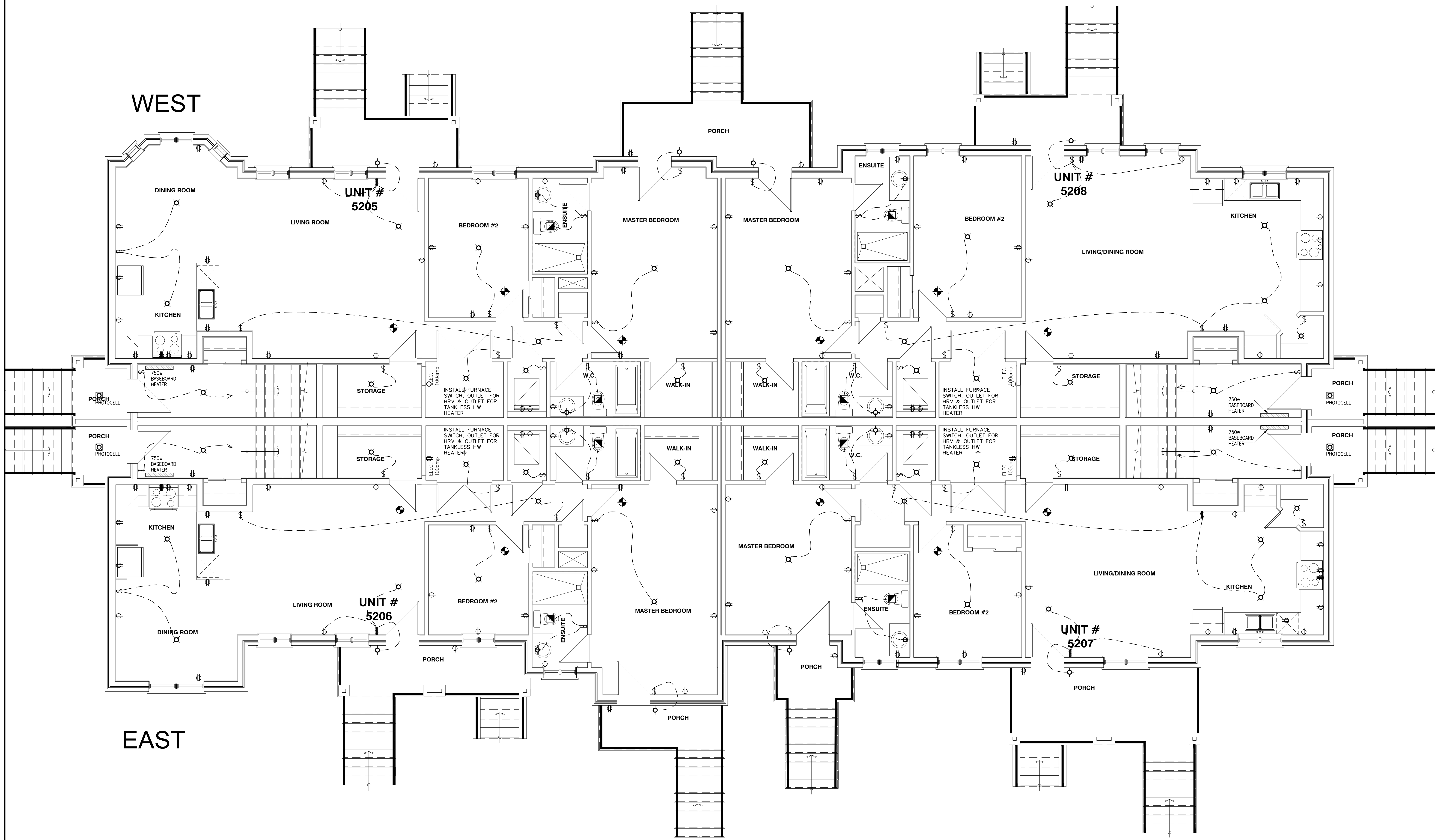


ENERGY STAR
CONCRETE PORCH DETAIL

4
A.112 SCALE: 1 1/2" = 1'-0"

BLOCK: T
DATE: 11/09/2020
GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1
WITH
Valecraft
1300-467-1000
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2012 O.B.C. DRAWINGS			
REV-4	CHANGES FOR I.E.'S REVISIONS	10/09/2021	AB
REV-3	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-2	AS PER STRUCTURAL	02/12/2020	AB
REV-1	12" INCREASE IN NEW EXIST FLOOR/CEILING	17/02/2019	AB
REV-5	AS PER DEC & REMOVED MANGROVES	12/15/2019	AB
REV-4	AS PER STRUCTURAL	06/02/2019	AB
REV-3	ISSUED FOR TENDER	07/09/2018	MAO
REV-2	NEW STANDARD DRAIN MODIFICATION	07/08/2018	MAO
REV-1	PER STANDARD DRAIN MODIFICATION	18/02/2018	MAO
NO.	DESCRIPTION	DATE	BY
TYPICAL ENERGY STAR DETAILS			
ADDRESS:	NO.	SCALE:	DATE:
5000 SERIES - DEERFIELD CONDOS		10/16/2020	
SHEET:			A112
(STANDARD DRAWINGS)			



BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS
ARCHITECT
1 SHERBROOK STREET E
PERTH, ON, K7H 1A1

WITH
 Valecraft
ENGINEERS LTD.

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE BUILDING CODE
 - SHALL HAVE A VISUAL SIGNALING DEVICE.
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY.
 - ARE REQUIRED ON EACH STORY, INCLUDING BASEMENT.
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY A MINUTE OF ALARM AND.
 - CARBON MONOXIDE ALARMS ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE
- ELECTRICAL RECEPTACLE - INSTALL GFI WHERE REQUIRED
- STANDARD CEILING MOUNTED LIGHT FIXTURE
- STANDARD WALL MOUNTED LIGHT FIXTURE
- SINGLE GANG SWITCH
- DOUBLE GANG SWITCH
- TRIPLE GANG SWITCH

2012 O.B.C. DRAWINGS

REV-0	CHANGES FOR I.E.T.'S REMARKS	09/09/2021	AB
REV-1	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-2	AS PER STRUCTURAL	02/12/2020	AB
REV-3	1"2" INCREASE ON NEW EXIST PORCHES	17/05/2019	AB
REV-4	AS PER DRC & REMOVED MANGARDS	12/15/2019	AB
REV-5	AS PER STRUCTURAL	06/03/2019	AB
REV-6	ISSUED FOR TENDER	07/09/2018	MAO
REV-7	NEW STANDARD DRAIN MODIFICATION	07/08/2018	MAO
REV-8	NEW STANDARD DRAIN MODIFICATION	06/25/2018	MAO
NO.	DESCRIPTION	DATE	BY

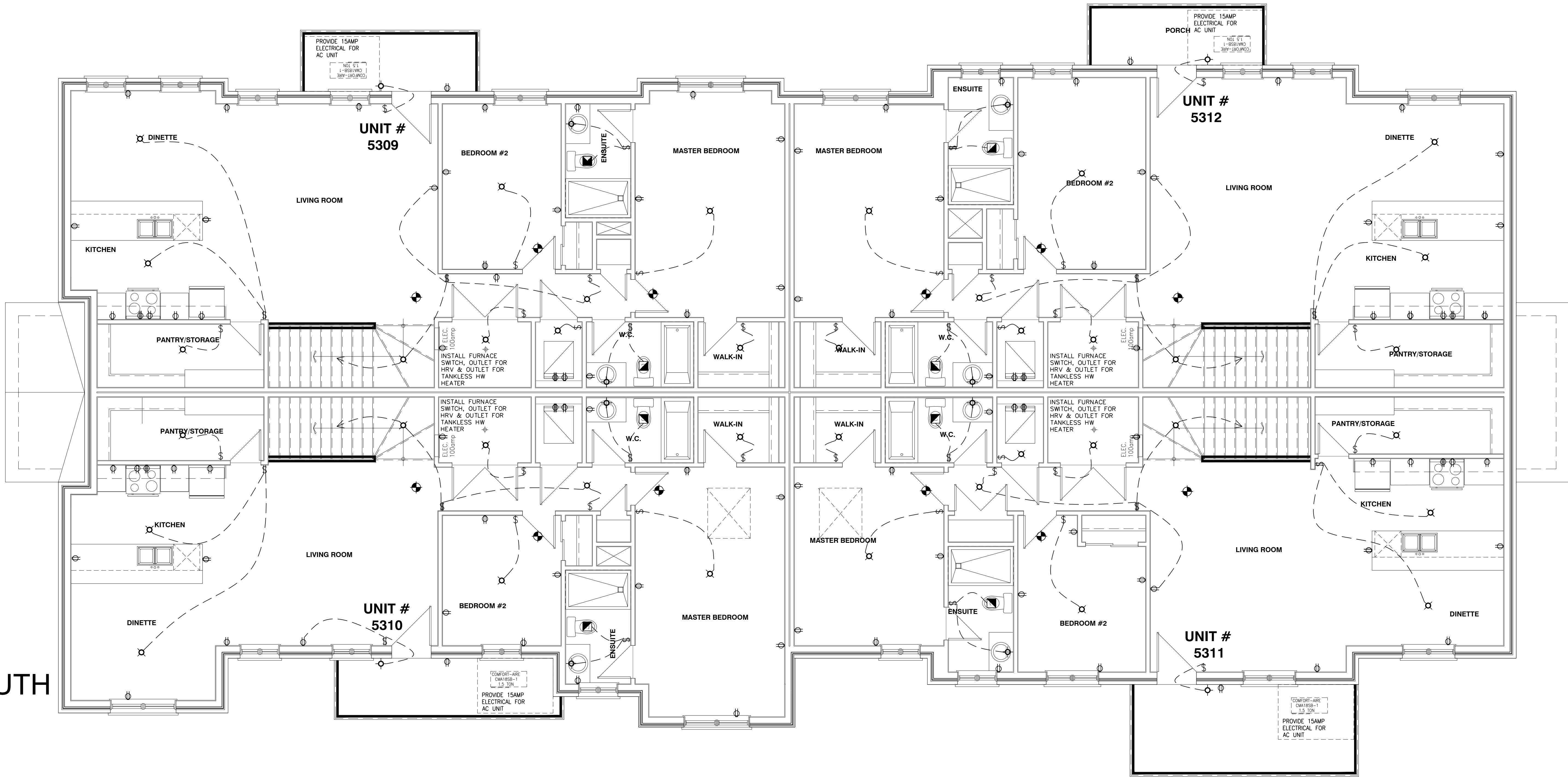
GROUND FLOOR ELECTRICAL

ADDRESS: 101
SCALE: 1/4" = 1'-0"
DATE: 10/09/2020

5000 SERIES -
DEERFIELD CONDOS
(STANDARD DRAWINGS)

E2

OUTH



BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E

PERTH, ON, K7H 1A1

WITH



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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE BUILDING CODE:

SHALL HAVE A VISUAL SIGNALING DEVICE;

ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

ARE REQUIRED ON EACH STORY, INCLUDING BASEMENT;

ALL NEWLY INSTALLED SMOKE ALARMS SHALL BE PROVIDED WITH BATTERIES AND A MINIMUM OF 10 YEARS OF PROTECTION.

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 WEEKS OF ALARM; AND

CARBON MONOXIDE ALARMS ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

ELECTRICAL RECEPTACLE - INSTALL GFI WHERE REQUIRED

STANDARD CEILING MOUNTED LIGHT FIXTURE

STANDARD WALL MOUNTED LIGHT FIXTURE

SINGLE GANG SWITCH

DOUBLE GANG SWITCH

TRIPLE GANG SWITCH

2012 O.B.C. DRAWINGS

REV-0

CHANGES FOR I.E.'S DETAILS

09/09/2021

AB

REV-1

REVISIONS TO SHEAR WALLS

05/04/2020

AB

REV-2

AS PER STRUCTURAL

02/12/2020

AB

REV-3

12" INCREASE ON NEW EXIST PORCHES

17/05/2019

AB

REV-4

AS PER OBC & REMOVED MANGARDS

15/15/2019

AB

REV-5

AS PER STRUCTURAL

06/03/2019

AB

REV-6

ISSUED FOR TENDER

07/09/2018

MAO

REV-7

NEW STANDARD DRWG MODIFICATION

07/08/2018

MAO

REV-8

NEW STANDARD DRWG MODIFICATION

06/25/2018

MAO

REV-9

DESCRIPTION

DATE

BY

SECOND FLOOR ELECTRICAL

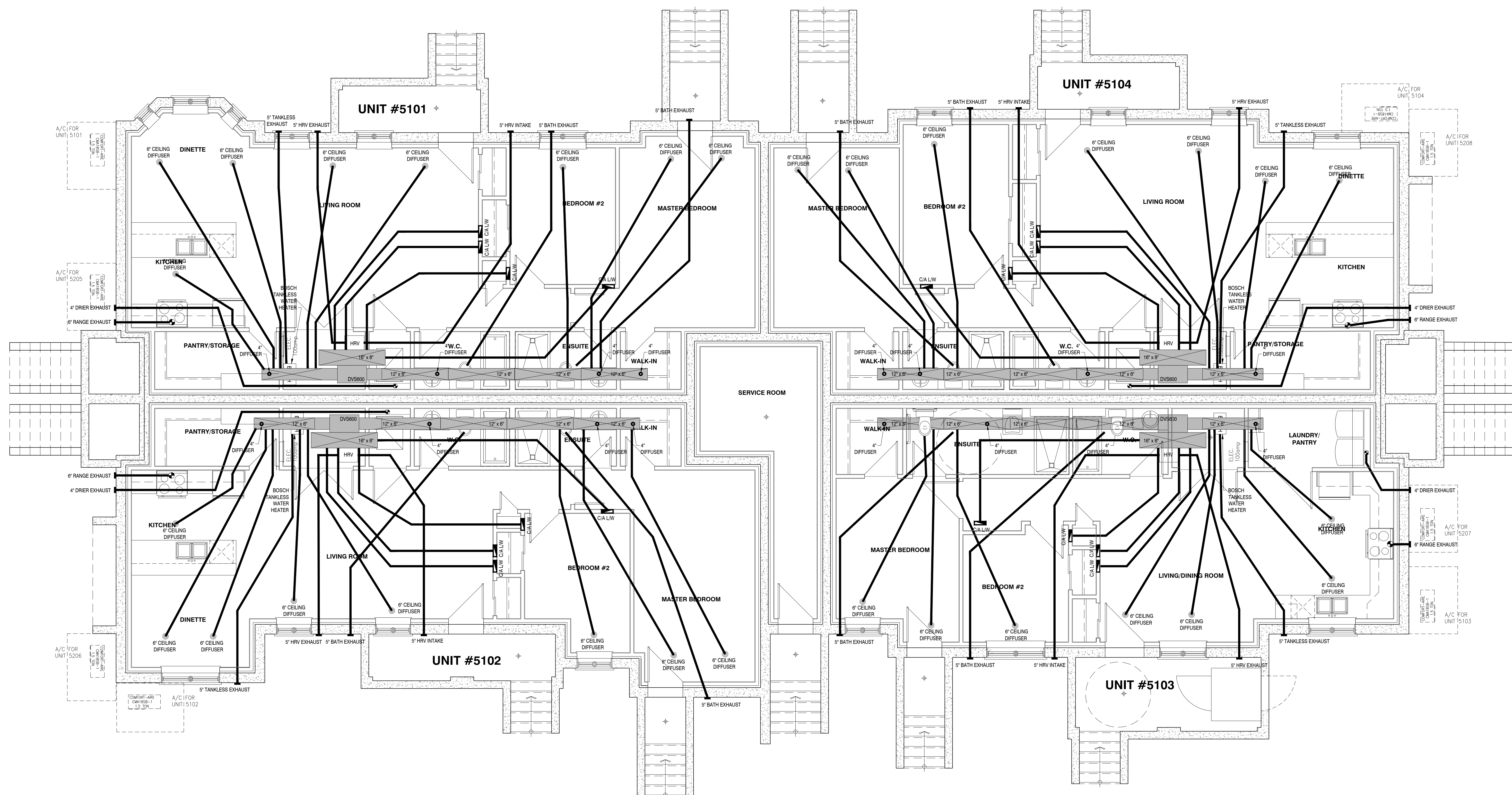
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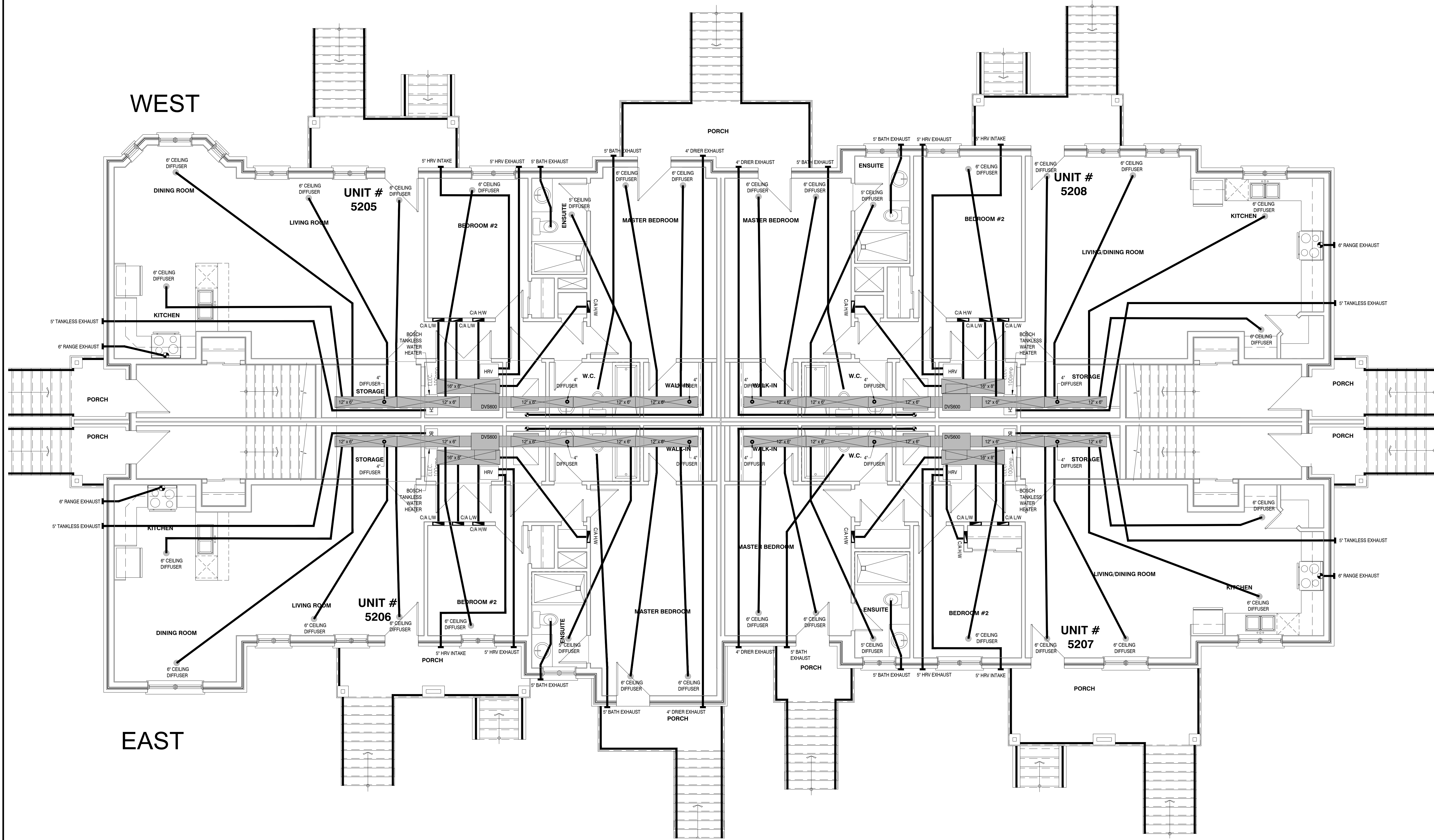
SCALE: 1/4" = 1'-0"

DATE: 10/09/2020

5000 SERIES - DEERFIELD CONDOS

SHEET: E3





Block: T

Date: 11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E

PERTH, ON, K7H 1A1

WITH

Valecraft

INCORPORATED

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-0 CHANGES FOR U.S.'S DETAILS 09/09/2021 AB

REV-1 REVISIONS TO SHEAR WALLS 05/04/2020 AB

REV-2 AS PER STRUCTURAL 02/12/2020 AB

REV-3 12" INCREASE ON NEW EXIST PORCHES 17/05/2019 AB

REV-4 AS PER DEC & REMOVED MANGARDS 12/15/2019 AB

REV-5 AS PER STRUCTURAL 06/03/2019 AB

REV-6 ISSUED FOR TENDER 07/09/2018 MAD

REV-7 NEW STANDARD DRWG MODIFICATION 07/08/2018 MAD

REV-8 NEW STANDARD DRWG MODIFICATION 18/25/2018 MAD

NO. DESCRIPTION DATE BY

GROUND FLOOR ELECTRICAL

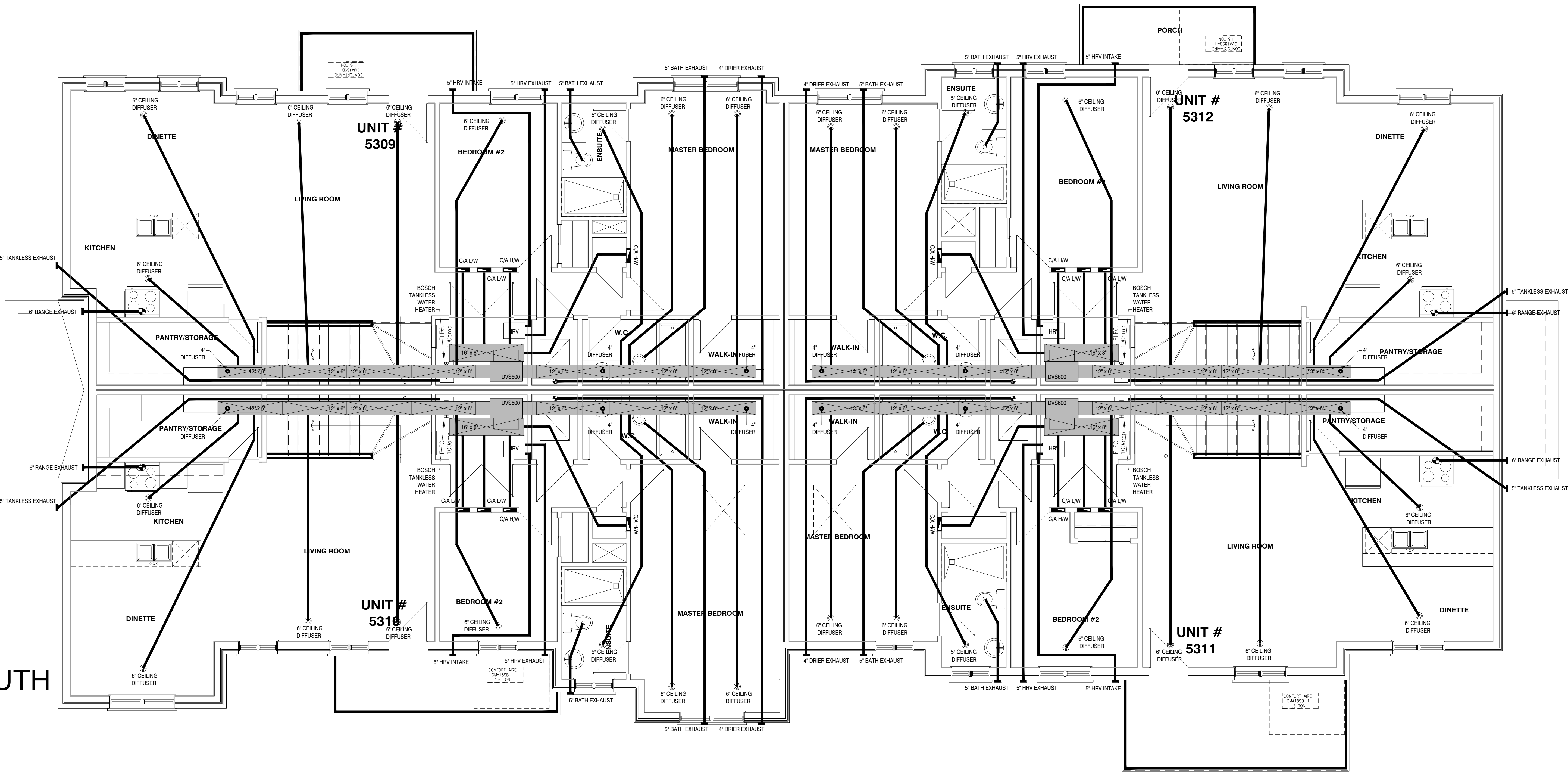
ADDRESS: 101 1/2" = 1'-0"

DATE: 10/09/2020

5000 SERIES - DEERFIELD CONDOS

SHEET: E2

OUTH



BLOCK: T

DATE: 11/09/2020

GEOFF HODGINS

ARCHITECT

1 SHERBROOK STREET E

PERTH, ON, K7H 1A1

WITH

Valecraft

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2012 O.B.C. DRAWINGS

REV-0	CHANGES FOR I.E.'S REMARKS	09/09/2021	AB
REV-1	REVISIONS TO SHEAR WALLS	05/04/2020	AB
REV-2	AS PER STRUCTURAL	02/12/2020	AB
REV-3	1"2" INCREASE ON NEW EXIST PORCHES	17/05/2019	AB
REV-4	AS PER DRC & REMOVED MANGROVES	15/15/2019	AB
REV-5	AS PER STRUCTURAL	06/03/2019	AB
REV-6	ISSUED FOR TENDER	07/09/2018	MAO
REV-7	NEW STANDARD DRWG MODIFICATION	07/08/2018	MAO
REV-8	NEW STANDARD DRWG MODIFICATION	18/03/2018	MAO
REV-9	DESCRIPTION	DATE	BY

SECOND FLOOR ELECTRICAL

ADDRESS: 101

SCALE: 1/4" = 1'-0"

DATE: 10/09/2020

SHEET: 5

5000 SERIES - DEERFIELD CONDOS

STANDARD DRAWINGS

E3

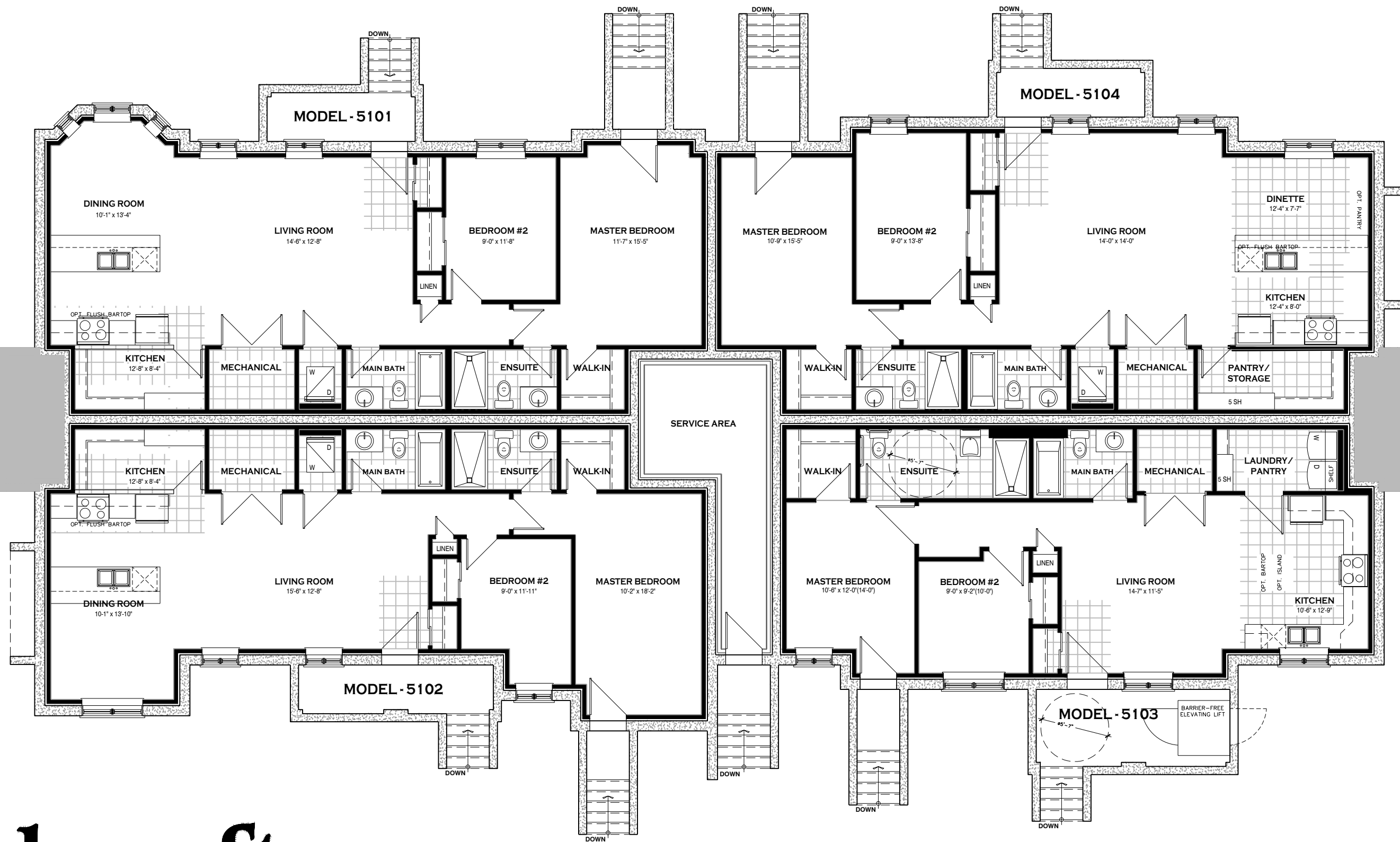
Valecraft



Homes Ltd.

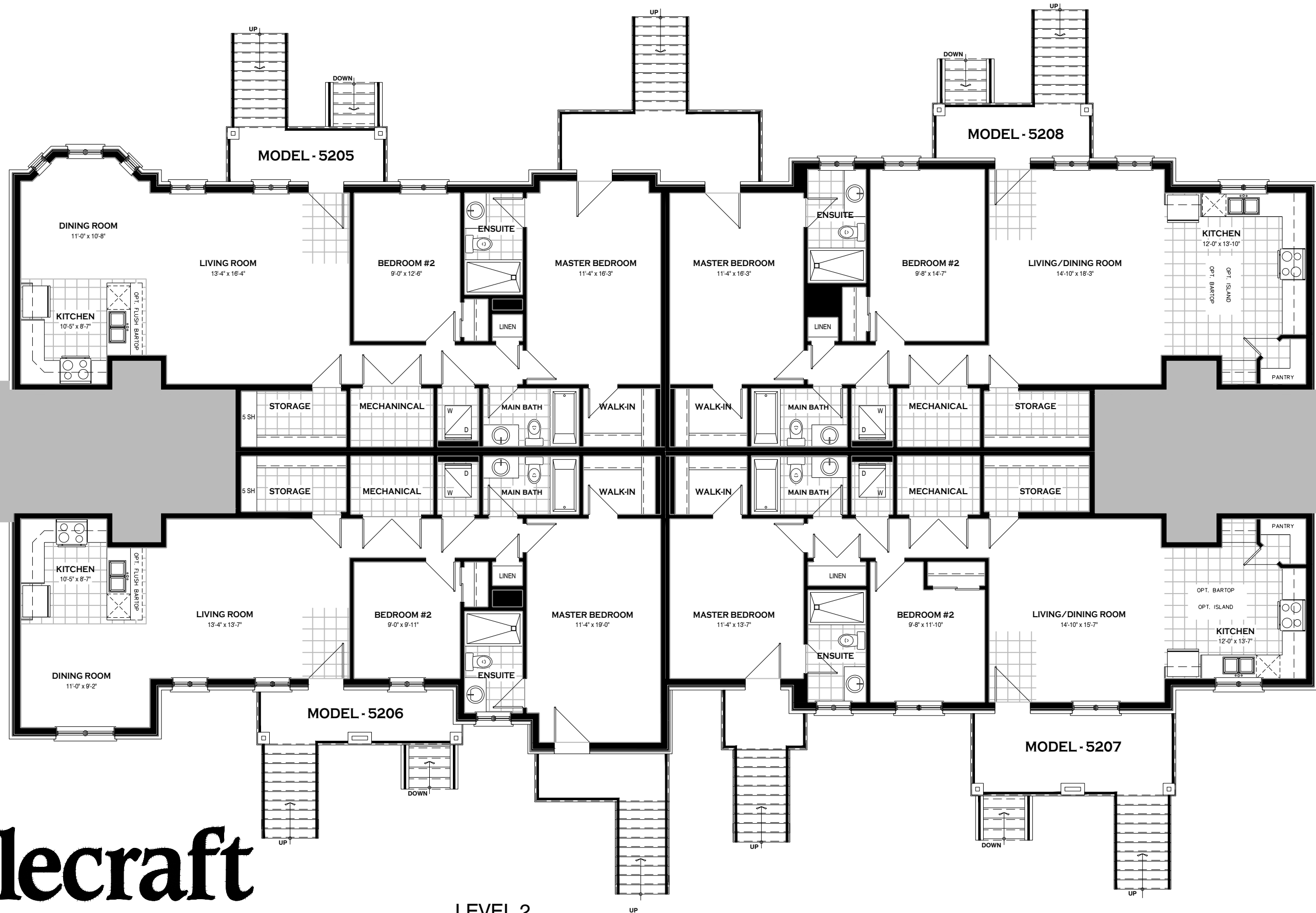
LEVEL 1

5000 SERIES - UNITS	
5101	1262 sq.ft.
5102	1209 sq.ft.
5103	1032 sq.ft.
5104	1258 sq.ft.



All dimensions are approximate
Exterior illustrations are artist concepts only and may not be as shown.
E & OE, plans, materials and specifications are subject to change without notice.
Actual useable floor space may vary from the stated floor area.
NOTE * : Number of steps varies due to site grading.

E. & O.E. 03/04/20



Valecraft



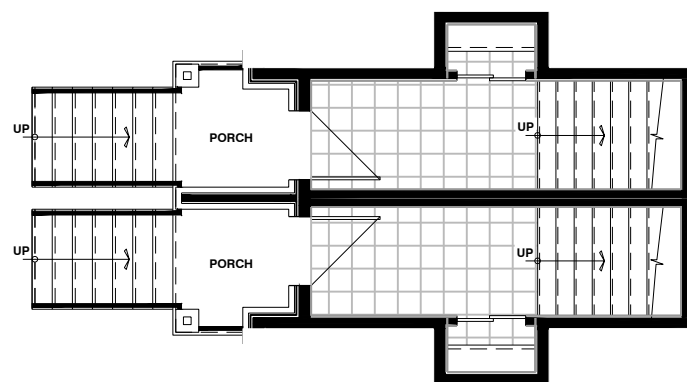
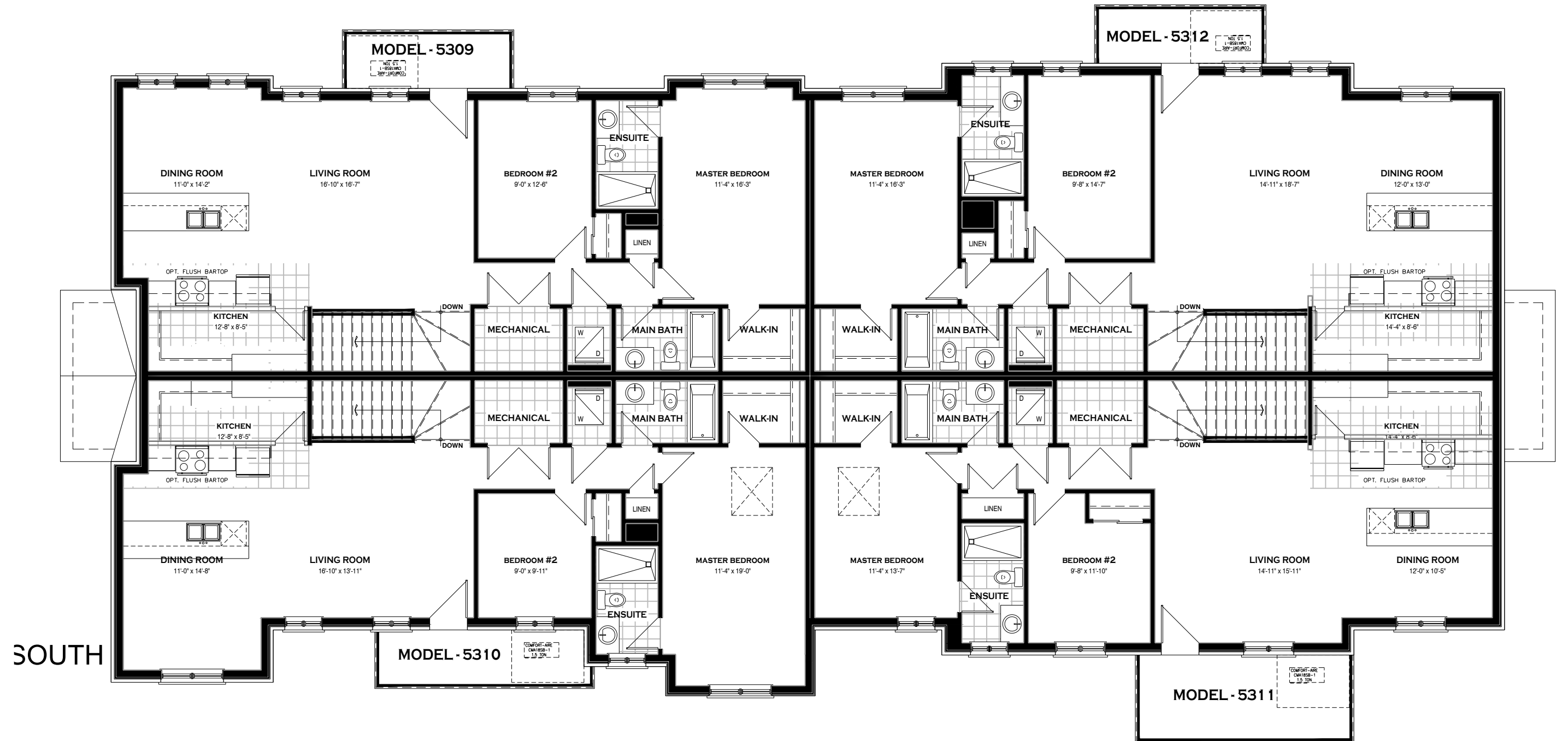
Homes Ltd.

LEVEL 2
5000 SERIES - UNITS

5205	1195 sq.ft.
5206	1145 sq.ft.
5207	1071 sq.ft.
5208	1218 sq.ft.

All dimensions are approximate
 Exterior illustrations are artist concepts only and may not be as shown.
 E & OE, plans, materials and specifications are subject to change without notice.
 Actual useable floor space may vary from the stated floor area.
 NOTE * : Number of steps varies due to site grading.

E. & O.E. 02/06/20



ENTRANCE TO UNIT

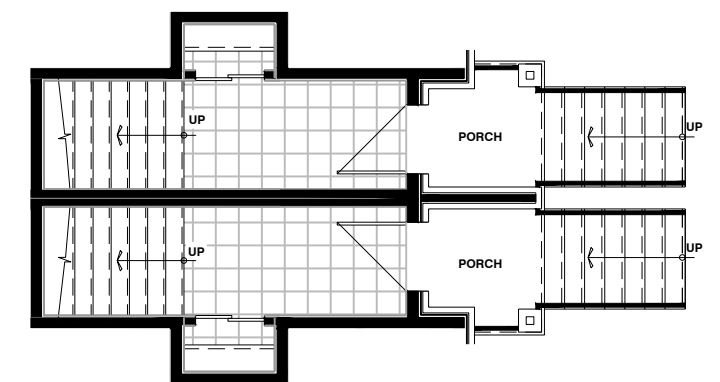
Valecraft



Homes Ltd.

All dimensions are approximate
 Exterior illustrations are artist concepts only and may not be as shown.
 E & OE, plans, materials and specifications are subject to change without notice.
 Actual useable floor space may vary from the stated floor area.
 NOTE * : Number of steps varies due to site grading.

5000 SERIES - UNITS 5309 1383 sq.ft.
 LEVEL 3 5310 1348 sq.ft.
 5311 1253 sq.ft.
 5312 1400 sq.ft.



ENTRANCE TO UNIT