

SUMMARY OF PRICING INVESTMENT VH2019				DATE:	
PROJECT: PLACE ST THOMAS 6		LOT NO: B06			
Reg'd Plan #: 50M-352		MODEL: 130 Lewis Reverse			
Name(s): Roger Brunet					
Name(s): Therese Desjardins					
		BASE PRICE:		\$404,900.00	
		ELEVATION:			
		LOT PREMIUM:			
		END LOT PREMIUM:			
		NET TOTAL COST OF UPGRADES:		\$46,980.22	
		CREDITS:		-\$5,000.00	
		SUBTOTAL:		\$41,980.22	
		TOTAL:		\$446,880.22	
		NO TAXES OR REBATE:		\$419,542.52	
		TOTAL INCLUDING ALL APPLICABLE HST (No Rebate):		\$474,083.04	
		PURCHASER OFFER:		\$474,083.04	
		DIFFERENCE:			
D�cor bonus of \$5,000.00 has been applied in full to the purchase price.				-\$5,000.00	
B1A #1 DATED MAY 27/21 (ITEM 1-9) - \$18,493.00					
B1A #2 DATED JUNE 1/21 (ITEM 10-11) - \$3,270.22					
B1A #2 DATED JUNE 14/22 (ITEM 12-39) - \$25,217.00					
PURCHASER OFFER HST BREAKDOWN					
	OFFER PRICE EXCLUDING HST:			\$419,542.52	
	TOTAL INCLUDING ALL APPLICABLE HST:			\$474,083.04	
COMMENTS:					
*EXPECTED DATE OF CLOSING:			January 25, 2022		
1455 YOVILLE DRIVE, #210, ORLEANS, ONT. K1C 6Z7 - TEL: (613) 837-1104 / FAX: (613) 837-5901					

<b><u>PURCHASERS ADDRESS:</u></b>	
PURCHASERS NAME(S)	9080520 Canada Inc.
STREET	4755 Whispering Willow Drive
CITY, PROVINCE	Navan, Ontario
POSTAL CODE	K4B 0K7
HOME PHONE	613-229-4583
WORK PHONE	613-229-4583
Cell Phone Purchaser (1)	613-229-4583
Cell Phone Purchaser (2)	
CIVIC	773 Namur Street
AGREEMENT BLOCK#	
PLAN	50M-352
HCRA Licence Number	47491
LOT (BUILDER'S LOT/UNIT)	B06
MODEL #	130
ELEVATION	
MODEL NAME	Lewis
ORIENTATION	Reverse
DWELLING (MODEL#, ELEV, OPT)	130 Lewis Reverse
PHASE	6
PROJECT	PLACE ST THOMAS 6
SCHEDULES	B1-A, C-1, H, O, M-1, W2
PURCHASER OFFER	\$474,083.04
CLOSING DAY	23rd
CLOSING MONTH, YEAR	June, 2022
CLOSING DATE (MONTH DAY, YEAR)	June 23, 2022
DEPOSIT 1)	15,000
DEPOSIT 2)	15,000
DEPOSIT 3)	
SALES REPRESENTATIVE	Adam Bowman
<b><u>SOLICITORS INFO</u></b>	
SOLICITOR NAME	Sylvie Patenaude, Sicotte Guilbault
STREET	208-4275 Innes Road
CITY, PROVINCE	Ottawa, ON
POSTAL CODE	K1C 1T1
PHONE	613-590-2516
<b><u>SCHEDULE T</u></b>	
PURCHASER 1	Roger Brunet
HOME ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
HOME PHONE	613-229-4583
WORK ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
WORK PHONE	613-229-4583
OCCUPATION	Owner
ID TYPE	Driver's Licence
ID NUMBER	B7668-37956-81105
BIRTH DATE	November 5, 1968
PURCHASER 2	Therese Desjardins
HOME ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
HOME PHONE	613-229-4583
WORK ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
WORK PHONE	613-229-4583
OCCUPATION	Owner
ID TYPE	Driver's Licence
ID NUMBER	D2806-50126-06026
BIRTH DATE	October 26, 1960
PART OF LOT(S)(singles)	B06
PLACE SIGNED	Ottawa
SIGNING DAY	16th
SIGNING MONTH	August
SIGNING YEAR	2021
SIGNING DATE (MONTH DAY, YEAR)	August 16, 2021
EMAIL ADDRESS (1)	rbrunet@valecraft.com
EMAIL ADDRESS (2)	tdesjardins0@gmail.com
DATE: September 17, 2020	





Protected B when completed

Section C – Housing and application Type

Type of housing (tick one box)

☒ House (including condominium unit)

☐ Mobile home (including modular home)

☐ Floating home

☐ Bed and breakfast

☐ Duplex

Application Type (tick one box). See Guide RC4028, GST/HST New Housing Rebate, to verify that you meet the conditions to claim the rebate. In all cases the builder or co-op must complete Section D.

Rebate applications filed by the builder – Where the builder pays the amount of the rebate directly to you or credits it against the total amount payable for a new house (including a mobile home or a floating home). Give the completed application to your builder.

1A ☒ When you buy both the house and land from the same builder or you buy a mobile home. (Do not tick Type 1A if you bought a mobile home and you lease land that is not a site in a residential trailer park from the vendor of the home. Tick Type 1B in this case.) Complete Part I of Section F to calculate the rebate.

1B ☐ When you buy a house and lease the land from the same builder. (Do not tick Type 1B if you bought a mobile home from a vendor that also leases to you a site in a residential trailer park. Tick Type 1A in this case.) The lease must provide you with an option to buy the land, or must be for a term of at least 20 years. Complete Part II of Section F to calculate the rebate.

Rebate applications you file directly with us – Where we pay the rebate directly to you for a new house (including a mobile home or a floating home).

2 ☐ When you buy both the house and land from the same builder or you buy a mobile home. (Do not tick Type 2 if you bought a mobile home and you lease land that is not a site in a residential trailer park from the vendor of the home. Tick Type 5 in this case.) Complete Part I of Section F to calculate the rebate. Attach a copy of your Statement of Adjustments.

3 ☐ When you buy a share of the capital stock of a co-op. Complete Part III of Section F to calculate the rebate. Attach a copy of your Statement of Adjustments.

5 ☐ When you buy a house and lease the land from the same builder. (Do not tick Type 5 if you bought a mobile home from a vendor that also leases to you a site in a residential trailer park. Tick Type 2 in this case.) The lease must provide you with an option to buy the land, or must be for a term of at least 20 years. Complete Part II of Section F to calculate the rebate. Attach a copy of your Statement of Adjustments (or invoice in the case of a mobile home).

Section D – Builder or co-op information

Builder's or co-op's legal name

Valecraft Homes (2019) Limited

Business number (if applicable)

721010718RT0001

Address (Unit No. – Street No. Street name, PO Box, RR)

210-1455 Youville Dr.

City

Orleans

Province/Territory/State

Ontario

Postal/ZIP code

K1C 6Z7

Country

Canada

Telephone number

613-837-1104

Extension

Did the builder either pay the amount of the rebate directly to the purchaser or credit it against the total amount payable for the house?

☐ Yes☐ No

If yes, the builder has to send this completed form, including any applicable provincial rebate schedule, to us. For more information and instructions, see page 4.

For Type 1A or 1B, enter the reporting period covered by the GST/HST return in which a deduction is taken by the builder. The builder must take the deduction in the reporting period during which the amount of the rebate is paid or credited to the purchaser.

From

Year

Month

Day

to

Year

Month

Day

Signature of builder or authorized official

Name (print)

Year

Month

Day

Section E – Claimant's Certification

I certify that the information given in this application, including any accompanying provincial rebate schedule and all supporting documents, is, to the best of my knowledge, true, correct, and complete in every respect. I have not previously claimed the "Total rebate amount," or any part of that amount, and I am eligible to claim this total rebate amount. I am not filing a second time for additional work or extras done on the house. I also certify that the house is my, or one of my relation's, primary residence and is not intended as a rental property.

DocuSigned by:  
Signature of the claimant

DocuSigned by:  
Name (print)

Year

Month

Day

Page 2







General information

Who should complete this form?

Use this form to claim your new housing rebate if you bought a new house (including a residential condominium unit or a duplex) or a share of the capital stock of a co-operative housing corporation (co-op). The house must be the primary place of residence for you or a relation. If more than one individual owns the house or share, only one individual can claim the rebate. Partnerships (even if all the partners are individuals) and corporations that buy new houses are not entitled to claim this rebate. An individual cannot claim this rebate if a partnership or a corporation is also an owner of the house.

**Do not use** this form if you built or substantially renovated your house or hired someone to do so. Instead, use Form GST191, *GST/HST New Housing Rebate Application for Owner-Built Houses*.

If you purchased this house as a rental property, use *Form GST524, GST/HST New Residential Rental Property Rebate Application*.

For more information on the conditions that apply for each rebate type, see Guide RC4028, *GST/HST New Housing Rebate*.

If the application is signed by someone other than the claimant, you must attach a properly executed power of attorney to this form.

If your house is located in a province that offers a provincial new housing rebate for some of the provincial part of the HST and you qualify for that rebate, you also need to complete the appropriate provincial rebate schedule to claim the provincial new housing rebate.

Note

If you previously purchased a new house and received a new housing rebate you were assigned a business number for tracking purposes (nine digits followed by RT0001). Use the same number for this application.

Documentation required

If your application type is 2, 3, or 5 in Section C, you must send us this form along with the following documents:

- a copy of the statement of adjustments; and
- for a mobile home, a copy of the invoice.

Note

You are not required to submit proof of occupancy with your application. However, you may be asked to provide proof of occupancy later.

**Do not send** us the agreements for the purchase of your house. Keep them for six years in case we ask to see them.

Note

If you choose not to file your application online when claiming a Type 1A or 1B rebate, you must send us a copy of this form. Do not send supporting documents with this form when claiming either of these rebates, but keep them in case we ask to see them later.

When should I file my claim?

Generally, you have two years from the date ownership of the house is transferred to you to claim the rebate.

Where do I send this form?

For an individual claiming this rebate, use the chart below to identify the correct tax centre to send your completed form and any applicable provincial rebate schedule.

If you are a builder and choose **not** to file your application online, use the following chart to find out to which tax centre to send your completed form.

If you are:	Send your form to:
<ul style="list-style-type: none"><li>• an <b>individual</b>, and the property is located in one of the areas indicated below; OR</li><li>• a <b>builder</b> located in one of the areas indicated below, and you have filed your GST/HST return online.</li></ul> <b>Areas:</b> Sudbury/Nickel Belt, Toronto Centre, Toronto East, Toronto West, Toronto North, or Barrie.	Sudbury Tax Centre 1050 Notre Dame Avenue Sudbury ON P3A 5C1
<ul style="list-style-type: none"><li>• an <b>individual</b>, and the property is located anywhere in Canada, other than the areas mentioned above; OR</li><li>• a <b>builder</b> located anywhere in Canada, other than the areas mentioned above, and you have filed your GST/HST return online.</li></ul>	Prince Edward Island Tax Centre 275 Pope Road Summerside PE C1N 6A2
<ul style="list-style-type: none"><li>• a <b>builder</b> who is eligible to file a paper GST/HST return. (In addition to your completed form and any applicable provincial rebate schedule, you have to send your return in which you claimed a deduction.)</li></ul>	The tax centre indicated on your return.

Note

If you are a builder and choose to file your application online, do **not** send us this form.

Definition

**House** – for this rebate, includes a single family home, a residential condominium unit, a duplex, a mobile home, and a floating home. It also includes a bed and breakfast if more than 50% of the house is your primary place of residence. Otherwise, only the part that is your primary place of residence is a house for purposes of this rebate.

What if you need help?

For more information, see Guide RC4028, *GST/HST New Housing Rebate*, go to [canada.ca/gst-hst](https://canada.ca/gst-hst), or call **1-800-959-5525**.

Forms and publications

To get our forms and publications, go to [canada.ca/gst-hst-pub](https://canada.ca/gst-hst-pub).



Internal B1A

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 28-Feb-22 9:12 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	28-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*1 87532  33210	1	- BONUS - DECOR CENTER CREDIT OF \$5, 000.00  Note: Decor bonus has been applied in full to the purchase price.	\$ 0.00	Each
2 90162  33211	1	- KITCHEN - STANDARD - SLEEVE FOR FUTURE WATERLINE TO FRIDGE  Note:	\$ 0.00	Each
3 90161  33212	1	- STANDARD - SOFT CLOSE DOORS AND FULL EXTENSION SOFT CLOSE TRACK ON DRAWERS ON ALL CABINETRY THROUGHOUT HOUSE  Note: Excluding Corner Cabinetry Where Applicable	\$ 0.00	Each
*4 120119  33377	*1	- STAIRS - UPPER - OAK STAIRCASE WITH VENEERED RISERS & STRINGERS AND SOLID TREADS C/W STAINED HARDWOOD ON LANDING  Note: - Main Floor to 2nd Level as per Schedule H dated May 27, 2021 - See item 7 - The Purchaser(s) acknowledge and accept that Engineered hardwood flooring will be installed on the landing (Where applicable). To ensure product stability proper humidity levels are to be maintained.	*\$ 5,884.00	Each
5  33227	1	- POWDER ROOM - UPGRADE BUILDER'S STANDARD PEDESTAL SINK TO WALL TO WALL 2 DOORS VANITY IN BUILDER'S STANDARD FINISHES  Note: - Powder Room as per Schedule H dated May 27, 2021	\$ 1,062.00	Each
*6 115521  33293	1	- ENSUITE BATH - ENSUITE - 4PC ENSUITE WITH 2 SINKS AND SHOWER IN LIEU OF TUB IN BUILDERS STANDARD SELECTIONS  Note: As per Schedule H dated May 27, 2021	*\$ 6,057.00	Each
*7 113380  33292	1	- GREAT ROOM - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT ROOM C/W OPEN STRINGERS  Note: - As per Schedule H dated May 27, 2021 - See item 4	*\$ 1,613.00	Each
*8 113374  33291	1	- UPPER HALL - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY  Note: As per Schedule H dated May 27, 2021	*\$ 2,171.00	Each
*9 837  33404	*2	- GREAT ROOM - WINDOW - ADD C2472-1 CASEMENT WINDOW (OPERATING) LOCATION AS PER SCHEDULE H.  Note: - Great Room, one to be located approximately centered across from Rear Man Door, and the other approximately 30" from the staircase as per Schedule H dated May 27, 2021 - Subject to limiting distance at side yard as per Current Building Code	*\$ 1,706.00	

Sub Total	\$18,493.00
HST	\$0.00
Total	\$18,493.00

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY: Tricia Oliver  
PE 1,552-1  
InvoiceSQL.rpt 05may21

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_

Internal B1A			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 28-Feb-22 9:12 am	
LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS	CLOSING DATE 28-Jan-22
ITEM	QTY	EXTRA / CHANGE	PRICE      INTERNAL USE

Payment Summary	
<u>Paid By</u>	<u>Amount</u>
APS	\$18,493.00
<u>Total Payment:</u>	<u>\$18,493.00</u>

PURCHASER:

Inventory Lot\_B06

28-Feb-22

DATE

VENDOR:

PER: Valecraft Homes (2019) Limited

DATE:

CONSTRUCTION SCHEDULING APPROVAL	
PER:	_____
DATE:	_____



Internal B1A  
Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 28-Feb-22 9:23 am

LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS	CLOSING DATE 28-Jan-22
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ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*10 998	1	- S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 2,997.89	Each
34430		Note: S&S electric estimate No#SS4778 Rev 05 dated 06/01/2021		
*11 999	1	- ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 272.33	Each
34431		Note: Orbital estimate No#OR6097 Rev 04 dated 06/01/2021		

Sub Total	\$3,270.22
HST	\$0.00
Total	\$3,270.22

Payment Summary

<u>Paid By</u>	<u>Amount</u>
<u>Total Payment:</u>	

PURCHASER: \_\_\_\_\_  
Inventory Lot\_B06

28-Feb-22  
DATE

VENDOR: \_\_\_\_\_  
PER: Valecraft Homes (2019) Limited

DATE: \_\_\_\_\_

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_

Internal B1A			
Place St. Thomas - Phase 6			
PURCHASER: 9080520 Canada Inc.		Printed: 3-Mar-22 10:28 am	
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	23-Jun-22
ITEM	QTY	EXTRA / CHANGE	PRICE
12		1 - KITCHEN - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - KITCHEN	\$ 1,490.00
114436			Each
34562		Note: - As per floor plan sketch dated June 14, 2021	
*13		1 - - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - STANDARD AREAS	*\$ 5,664.00
114425			Each
34563		Note: -Standard areas includes Great room, Dining room and Upper Hallway - As per floor plan sketch dated June 14, 2021	
*14		*1 - FOYER - TILE - FLOOR - UPGRADE - BRONZE - - FOYER / POWDER ROOM - BRONZE	*\$ 707.00
8			Each
33590		Note: - As per floor plan sketch dated June 14, 2021 - As per floor tile sketch dated June 14, 2021	
*15		1 - KITCHEN - CABINETRY - ADJUST KITCHEN CABINETRY TO ACCOMMODATE NON-STANDARD REFRIGERATOR SIZE.	*\$ 86.00
871			Each
33591		Note: -Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - As per floor plan sketch dated June 14, 2021 - As per kitchen sketch dated June 14, 2021	
16		1 - KITCHEN - CABINETRY - UPC9-2A - LEVEL 1 CABINETRY - STANDARD LAYOUT. INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD	\$ 647.00
114874			Each
34565		Note: - Purchaser Acknowledges and accepts that Upper Kitchen cabinetry upgraded wood doors will have center style - As per UPC sketch dated June 14, 2021 - As per floor plan sketch dated June 14, 2021 - As per kitchen sketch dated June 14, 2021	
17		1 - KITCHEN - CABINETRY - UPGRADE KITCHEN CABINETRY TO LEVEL 1	\$ 2,117.00
112938			Each
34567		Note: - As per kitchen sketch dated June 14, 2021. See item 25.	
*18		1 - MAIN BATHROOM - VANITY - UPGRADE MAIN BATHROOM VANITY CABINETRY TO LEVEL 1	*\$ 218.00
112955			Each
34569		Note: As per kitchen sketch dated June 14, 2021	
19		1 - POWDER ROOM - CABINETRY- LEVEL 1 CABINETRY IN POWDER ROOM	\$ 218.00
			Each
33599		Note: - See B-1a's # 5 ( upgrade to vanity in powder room) - As per kitchen sketch dated June 14, 2021	
*20		*1 - ENSUITE BATH - VANITY - UPGRADE 4PC ENSUITE VANITY C/W 2 SINKS - CABINETRY - LEVEL 1	*\$ 431.00
120197			Each
34571		Note: - See Item 6 (4pc ensuite bathroom) - As per kitchen sketch dated June 14, 2021	
*21		*1 - KITCHEN - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN STD LAYOUT C/W FLUSH BREAKFAST BAR	*\$ 5,280.00
115141			Each
34573		Note: -Eased edge profile as per countertop edge profile sketch dated June 14, 2021 - As per floor plan sketch dated June 14, 2021 - As per kitchen sketch dated June 14, 2021	

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron

LOCKED BY: Lisa Ballard

PE 1,559-1

InvoiceSQL.rpt 05may21

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_



Internal B1A				
Place St. Thomas - Phase 6				
PURCHASER: 9080520 Canada Inc.			Printed: 3-Mar-22 10:28 am	
LOT NUMBER		PHASE	HOUSE TYPE	CLOSING DATE
B06		6	130 THE LEWIS	23-Jun-22
ITEM	QTY	EXTRA / CHANGE		PRICE
				INTERNAL USE
22		1 - POWDER ROOM - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM		\$ 664.00
33602		Note: - See B-1a's #5 (upgrade to vanity in powder room) - Eased edge profile as per countertop edge profile dated June 14, 2021 - As per floor plan sketch dated June 14, 2021		Each
23		1 - - PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER COLOUR FOR COMPLETE HOUSE		\$ 1,050.00
1000				Each
33603		Note:		
24		1 - KITCHEN - OTR - BASIC - 1.7 C/F MICROWAVE WITH HOOD - UPGRADE TO STAINLESS STEEL		\$ 75.00
120125				Each
33604		Note: - As per floor plan sketch dated June 14, 2021		
*25		1 - KITCHEN - CABINETRY - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS		*\$ 500.00
90924				Each
34574		Note: - As per floor plan sketch dated June 14, 2021 - As per kitchen sketch dated June 14, 2021 -See Item 17		
*26		*1 - KITCHEN - KITCHEN FAUCET - DELTA MARLEY 986LF - AR ARCTIC STAINLESS		*\$ 357.00
635				Each
33606		Note: - See Item #21 & #27		
27		1 - KITCHEN - KITCHEN SINK - REGINOX ND1831UA/9 DOUBLE BOWL UNDERMOUNT SINK		\$ 143.00
28041				Each
33607		Note: -See Item #21 for solid surface countertop		
*28		*1 - POWDER ROOM - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC LAVATORY FAUCET 559HA - DST		*\$ 296.00
523				Each
33609		Note:		
29		1 - MAIN BATHROOM - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MAIN BATHROOM		\$ 75.00
33633		Note: - As per floor plan sketch dated June 14, 2021		Each
30		1 - ENSUITE BATH - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER ENSUITE BATHROOM		\$ 75.00
33634		Note: - See B-1a's #6 (4pc ensuite bathroom) - As per floor plan sketch dated June 14, 2021		Each
*31		*1 - POWDER ROOM - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT SINK 0315 - 000		\$ 285.00
28052				Each
34154		Note: - See B-1a's #5 (upgrade to vanity in powder room) -See Item #22 for solid surface countertop		
32		2 - - CERAMIC TILE - GROUT COLOR PER COLOUR		\$ 150.00
704				
34159		Note:		
33		1 - KITCHEN - TILE - WALL - BACKSPLASH - UPGRADE - BRONZE - - KITCHEN - BRONZE		\$ 84.00
165				Each
34160		Note: - As per wall tile sketch dated June 14, 2021 -See Item 34		

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY: Lisa Ballard  
PE 1,559-2  
InvoiceSQL.rpt 05may21

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_

Internal B1A			
Place St. Thomas - Phase 6			
PURCHASER: 9080520 Canada Inc.		Printed: 3-Mar-22 10:28 am	
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	23-Jun-22
ITEM	QTY	EXTRA / CHANGE	PRICE
34	162	1 - KITCHEN - TILE - WALL - BACKSPLASH - INSTALLED IN A BRICK PATTERN - INSTALLATION ONLY - - KITCHEN - .	\$ 63.00
34161		Note: - As per wall tile sketch dated June 14, 2021 -See Item 33	Each
35		1 - - DELETE ITEM 7 (RE: RAILING- OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF HALF WALL ON STAIRS ADJACENT TO GREAT ROOM )	-\$1,613.00
34501		Note:	Each
36		1 - - DELETE ITEM 8 (RE: RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAIL & COLONIAL SPINDLES IN LIEU OF HALF WALL IN THE SECOND FLOOR HALLWAY)	-\$2,171.00
34502		Note:	Each
*37	113644	*1 - GREAT ROOM - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE METAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT ROOM C/W OPEN STRINGERS	*\$ 2,192.00
34575		Note: - Posts with Routed Top - As per floor plan sketch dated June 14, 2021	Each
*38	113868	*1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES	*\$ 2,505.00
34576		Note: - In Standard areas including Posts with Routed Top - As per floor plan sketch dated June 14, 2021	Each
*39	113638	*1 - UPPER HALL - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY	*\$ 3,629.00
34577		Note: - Posts with Routed Top - As per floor plan sketch dated June 14, 2021	Each

Sub Total	\$25,217.00
HST	\$0.00
Total	\$25,217.00

Payment Summary

<u>Paid By</u>	<u>Amount</u>
Amendment	\$24,671.00
Total Payment:	\$24,671.00

PURCHASER:

03-Mar-22

9080520 Canada Inc.

DATE

VENDOR:

PER: Valecraft Homes (2019) Limited

DATE:

PREPARED BY: Valerie Gendron

LOCKED BY: Lisa Ballard

PE 1,559-3

InvoiceSQL.rpt 05may21

CONSTRUCTION SCHEDULING APPROVAL	
PER:	
DATE:	





QUOTE			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 12-May-21 3:24 pm	
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	
ITEM	QTY	EXTRA / CHANGE	PRICE INTERNAL USE

*9 113374  33291	1 - UPPER HALL - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY  Note:	*\$ 2,171.00	Each
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*10 113228  33290	1 - BASEMENT - FIREPLACE - OPTIONAL DIRECT VENT FIREPLACE IN BASEMENT WITH SURROUND FROM BUILDERS STANDARDS, AND SHELF TOP PAINTED WHITE  Note: As per Schedule H	*\$ 4,112.00	Each
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*11 112930  33289	1 - BASEMENT - BASEMENT BATHROOM - FINISH 3-PC BASEMENT BATHROOM WITH TUB/SHOWER COMBO, VANITY AND CERAMICS FROM BUILDERS STANDARD SELECTIONS. FLOORING ON DITRA.  Note: As per Schedule H	*\$ 11,578.00	Each
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Quote Line

*12 541  33247	1 - BASEMENT BATHROOM - CERAMIC SHOWER - UPGRADE BUILDERS STANDARD TUB & SHOWER COMBINATION TO A APPROX. 5FT X3FT SHOWER BASE WITH BUILDERS STANDARD CERAMIC WALL TILES  Note: Does not include Shower door	*\$ 1,347.00	Each
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13 662  33287	1 - - BATHROOM SINK - AMERICAN STANDARD BOULEVARD PEDESTAL SINK 0641  Note:	\$ 456.00	Each
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*14 837  33404	2 - GREAT ROOM - WINDOW - ADD C2472-1 CASEMENT WINDOW (OPERATING) LOCATION AS PER SCHEDULE H.  Note: Subject to limiting distance at side yard as per Current Building Code  *** EXACT LOCATION TO FOLLOW ***	*\$ 1,706.00	
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Sub Total	\$40,984.00
HST	\$0.00
Total	\$40,984.00



QUOTE			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 3-Jun-21 1:47 pm	

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
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Quote Line

12 114436	1 - KITCHEN - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - KITCHEN	\$ 1,339.00	Each
33588	Note: -As per attached sketch dated		

Quote Line

*13 114425	1 - - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - STANDARD AREAS	*\$ 5,651.00	Each
33589	Note: -As per attached sketch dated		

Quote Line

*14 8	*1 - FOYER - TILE - FLOOR - UPGRADE - BRONZE - - FOYER / POWDER ROOM - BRONZE	*\$ 765.00	Each
33590	Note: -INCLUDES POWDER ROOM -As per attached sketch dated		

Quote Line

15 871	1 - KITCHEN - CABINETY - ADJUST KITCHEN CABINETY TO ACCOMMODATE NON-STANDARD REFRIGERATOR SIZE.	\$ 86.00	Each
33591	Note: -Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - To accomodate a 36" wide x 72" high fridge - As per attached sketch dated		

Quote Line

16 114874	1 - KITCHEN - CABINETY - UPC9-2A - LEVEL 1 CABINETY - STANDARD LAYOUT. INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETY TO STANDARD BULKHEAD	\$ 1,739.00	Each
33592	Note: -As per Sketch. Purchaser Acknowledges and accepts that Upper Kitchen cabinetry upgraded wood doors will have center style -As per attached sketch dated		

Quote Line

17 112938	1 - KITCHEN - CABINETY - UPGRADE KITCHEN CABINETY TO LEVEL 1	\$ 1,844.00	Each
33593	Note: -Standard Layout -As per attached sketch dated		

Quote Line

18	1 - MAIN BATHROOM - CABINETY- LEVEL 1 CABINETY IN MAIN BATHROOM		Each
33598	Note: -As per attached sketch dated		

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY:  
PE 1,559-1  
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_



QUOTE

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 3-Jun-21 1:47 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
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Quote Line

19	1 - <i>POWDER ROOM</i> - CABINETRY- LEVEL 1 CABINETRY IN POWDER ROOM		Each
33599	Note: - See invoice 1552 item 5 ( upgrade to vanity in powder room )		

Quote Line

20	1 - <i>ENSUITE BATH</i> - CABINETRY- LEVEL 1 CABINETRY IN OPTIONAL 4PC ENSUITE WITH 2 SINK		Each
33600	Note: - See invoice 1552 item 6 -As per attached sketch dated		

Quote Line

21	1 - <i>KITCHEN</i> - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN	\$ 3,750.00	Each
112971			
33601	Note: -INCLUDES FLUSH BREAKFAST BAR ON ISLAND -As per attached sketch dated		

Quote Line

22	1 - <i>POWDER ROOM</i> - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM		Each
33602	Note: - See invoice 1552 item 5 - As per attached sketch dated		

Quote Line

23	1 - - PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER COLOUR FOR COMPLETE HOUSE	\$ 1,050.00	Each
1000			
33603	Note:		

Quote Line

24	1 - <i>KITCHEN</i> - OTR - BASIC - 1.7 C/F MICROWAVE WITH HOOD - UPGRADE TO STAINLESS STEEL	\$ 75.00	Each
120125			
33604	Note:		

Quote Line

25	1 - <i>KITCHEN</i> - CABINETRY- TWO TONE KITCHEN CABINETRY		Each
33605	Note: -As per attached sketch dated		

Quote Line

*26	1 - <i>KITCHEN</i> - KITCHEN FAUCET - DELTA MARLEY 986LF - AR ARCTIC STAINLESS	*\$ 357.00	Each
635			
33606	Note:		

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY:  
PE 1,559-2  
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_

QUOTE

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 3-Jun-21 1:47 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA /CHANGE	PRICE	INTERNAL USE
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Quote Line

27	1 - KITCHEN - KITCHEN SINK - REGINOX ND1831UA/9 DOUBLE BOWL UNDERMOUNT SINK	\$ 143.00	Each
28041			
33607	Note: Only available with Solid Surface Countertops		

Quote Line

*28	1 - POWDER ROOM - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC	*\$ 296.00	Each
523	LAVATORY FAUCET 559HA - DST		
33609	Note:		

Quote Line

29	1 - MAIN BATHROOM - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MAIN BATHROOM		Each
33633	Note:		

Quote Line

30	1 - ENSUITE BATH - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER ENSUITE BATHROOM		Each
33634	Note: - see invoice 1552 item #6		

Quote Line

*31	1 - POWDER ROOM - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT	*\$ 285.00	Each
28052	SINK 0315 - 000		
34154	Note: - See invoice 1552 item 5 - Only available with Solid Surface Countertops		

Quote Line

32	1 - - CERAMIC TILE - GROUT COLOR PER COLOUR	\$ 75.00	Each
704			
34159	Note:		

Quote Line

33	1 - KITCHEN - TILE - WALL - BACKSPLASH - UPGRADE - BRONZE - - KITCHEN - BRONZE	\$ 60.00	Each
165			
34160	Note:		

Quote Line

*34	*1 - KITCHEN - TILE - WALL - BACKSPLASH - INSTALLED IN A BRICK PATTERN -	*\$ 40.00	Each
162	INSTALLATION ONLY - - KITCHEN - .		
34161	Note: - Horizontal 1/2 brick installation		

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY:  
PE 1,559-3  
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_

QUOTE			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 3-Jun-21 1:47 pm	
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22
ITEM	QTY	EXTRA / CHANGE	PRICE
		INTERNAL USE	

Quote Line			
35	136	1 - ENSUITE BATH - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - STANDARD -- SHOWER SURROUND - ENSUITE BATHROOM - OPTIONAL (20) - STANDARD	\$ 155.00
34163		Note: - see invoice 1552 item 6	Each

Quote Line			
36	136	1 - MAIN BATHROOM - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - STANDARD - MAIN BATHROOM - STANDARD	\$ 135.00
34167		Note:	Each

37		1 - - DELETE B-1A'S # 7 ( RAILING- OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF HALF WALL ON STAIRS ADJACENT TO GREAT ROOM )	-\$1,613.00
34501		Note:	Each

38		1 - - DELETE B-1A'S #8 ( RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAIL & COLONIAL SPINDLES IN LIEU OF HALF WALL IN THE SECOND FLOOR HALLWAY)	-\$2,717.00
34502		Note:	Each

Quote Line			
39	113644	1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE METAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT ROOM C/W OPEN STRINGERS	\$ 1,382.00
34503		Note: - Modern routed post - comes with gun metal grey bracket where applicable	Each

Quote Line			
40	113868	1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES	\$ 1,890.00
34504		Note: - Standard areas - Modern routed post - comes with gun metal grey bracket where applicable	Each

Quote Line			
*41	113638	1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY	*\$ 3,133.00
34505		Note: - Modern routed post - comes with gun metal grey bracket where applicable	Each

Sub Total	\$19,920.00
HST	\$0.00
Total	\$19,920.00

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

PREPARED BY: Valerie Gendron  
LOCKED BY:  
PE 1,559-4  
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL  
PER: \_\_\_\_\_  
DATE: \_\_\_\_\_

QUOTE			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 3-Jun-21 1:47 pm	
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22
ITEM	QTY	EXTRA / CHANGE	PRICE
			INTERNAL USE

Payment Summary	
<u>Paid By</u>	<u>Amount</u>
Total Payment:	

NOTE: Quotes are only valid for 60 days from the issue date

CONSTRUCTION SCHEDULING APPROVAL	
PER:	
DATE:	



## Lisa Ballard

---

**From:** Daniel Guerin  
**Sent:** Wednesday, June 9, 2021 3:51 PM  
**To:** Place St Thomas  
**Subject:** RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Documents

\$664 ✓

Dan Guerin  
Purchasing & Estimating Coordinator



**Valecraft**  
Homes Ltd.

1455 Youville Drive, Suite 210  
Orleans, On K1C 6Z7  
Tel: 613-837-1104 Ext. 225  
Fax: 613-837-5901

---

**From:** Place St Thomas  
**Sent:** Wednesday, June 9, 2021 3:47 PM  
**To:** Daniel Guerin ; Place St Thomas  
**Subject:** RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021  
**Importance:** High

Hi Dan ,

You forgot to price #22 ( quartz level 1 in powder room)

Val

---

**From:** Daniel Guerin  
**Sent:** Wednesday, June 09, 2021 3:04 PM  
**To:** Valerie Gendron <[valerie@valecraft.com](mailto:valerie@valecraft.com)>; Place St Thomas <[place-st-thomas@valecraft.com](mailto:place-st-thomas@valecraft.com)>  
**Subject:** RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021  
**Importance:** High

Here you are

Dan Guerin  
Purchasing & Estimating Coordinator



**Valecraft**  
Homes Ltd.

1455 Youville Drive, Suite 210  
Orleans, On K1C 6Z7  
Tel: 613-837-1104 Ext. 225  
Fax: 613-837-5901

---

**From:** Valerie Gendron <[valerie@valecraft.com](mailto:valerie@valecraft.com)>  
**Sent:** Thursday, June 3, 2021 1:55 PM  
**To:** Daniel Guerin <[dguerin@valecraft.com](mailto:dguerin@valecraft.com)>; Tricia Oliver <[toliver@valecraft.com](mailto:toliver@valecraft.com)>  
**Cc:** Place St Thomas <[place-st-thomas@valecraft.com](mailto:place-st-thomas@valecraft.com)>  
**Subject:** PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

Hi again !

After our meeting, I need a few more pricing for B06 as well. Please see revised B06 quote inv 1559 #12-41 .

Thanks,

Val

**Valérie Gendron**  
New Home Sales Assistant / Interior Decorator



605 Bruxelles St., Embrun ON K0A 1W0,  
tel (613) 370-0288 | fax (613) 370-0311  
[valecraft.com](http://valecraft.com)

Confidentiality Note: This email may contain confidential and/or private information. If you received this email in error please delete and notify sender.

QUOTE

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 9-Jun-21 2:56 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
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*12 114436	1 - <i>KITCHEN</i> - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - KITCHEN	*\$ 1,490.00	Each
34562	Note:		

*13 114425	1 - - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - STANDARD AREAS	*\$ 5,664.00	Each
34563	Note:		

Quote Line

*14 8	*1 - <i>FOYER</i> - TILE - FLOOR - UPGRADE - BRONZE - - FOYER / POWDER ROOM - BRONZE	*\$ 707.00	Each
33590	Note: -INCLUDES POWDER ROOM -As per attached sketch dated		

15 871	1 - <i>KITCHEN</i> - CABINETRY - ADJUST KITCHEN CABINETRY TO ACCOMMODATE NON-STANDARD REFRIGERATOR SIZE.	\$ 86.00	Each
33591	Note: -Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - To accomodate a 36" wide x 72" high fridge - As per attached sketch dated		

*16 114874	1 - <i>KITCHEN</i> - CABINETRY - UPC9-2A - LEVEL 1 CABINETRY - STANDARD LAYOUT. INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD	*\$ 647.00	Each
34565	Note: -As per Sketch. Purchaser Acknowledges and accepts that Upper Kitchen cabinetry upgraded wood doors will have center style -As per attached sketch dated		

*17 112938	1 - <i>KITCHEN</i> - CABINETRY - UPGRADE KITCHEN CABINETRY TO LEVEL 1	*\$ 2,117.00	Each
34567	Note: Standard Layout		

*18 112955	1 - <i>MAIN BATHROOM</i> - VANITY - UPGRADE MAIN BATHROOM VANITY CABINETRY TO LEVEL 1	*\$ 218.00	Each
34569	Note: Standard Layout		

PREPARED BY: Valerie Gendron


LOCKED BY:


PE 1.559-1

InvoiceSQL.rpt 16May20

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

CONSTRUCTION SCHEDULING APPROVAL

PER: 

DATE: 

QUOTE			
Place St. Thomas - Phase 6			
PURCHASER: Inventory Lot_B06		Printed: 9-Jun-21 2:56 pm	
LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS	CLOSING DATE 25-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
------	-----	----------------	-------	--------------

Quote Line

19	1 - <i>POWDER ROOM</i> - CABINETRY- LEVEL 1 CABINETRY IN POWDER ROOM	\$ 218.00	Each
33599	Note: - See invoice 1552 item 5 ( upgrade to vanity in powder room )		

*20 120197	1 - <i>ENSUITE BATH</i> - VANITY - UPGRADE 4PC ENSUITE VANITY C/W 2 SINKS - CABINETRY - LEVEL 1	*\$ 431.00	Each
34571	Note: - See invoice 1552 item 6 -As per attached sketch dated		

*21 115141	1 - <i>KITCHEN</i> - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN STD LAYOUT C/W FLUSH BREAKFAST BAR	*\$ 5,280.00	Each
34573	Note:		

Quote Line

22	1 - <i>POWDER ROOM</i> - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM		Each
33602	Note: - See invoice 1552 item 5 - As per attached sketch dated		

Quote Line

23 1000	1 - - PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER COLOUR FOR COMPLETE HOUSE	\$ 1,050.00	Each
33603	Note:		

Quote Line

24 120125	1 - <i>KITCHEN</i> - OTR - BASIC - 1.7 C/F MICROWAVE WITH HOOD - UPGRADE TO STAINLESS STEEL	\$ 75.00	Each
33604	Note:		


*25 90924	1 - <i>KITCHEN</i> - CABINETRY - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS	*\$ 500.00	Each
34574	Note: If two colours are in different levels of cabinetry, highest level of cabinetry is to be applied first.		

Quote Line

*26 635	1 - <i>KITCHEN</i> - KITCHEN FAUCET - DELTA MARLEY 986LF - AR ARCTIC STAINLESS	*\$ 357.00	Each
33606	Note:		

PREPARED BY: Valerie Gendron  
LOCKED BY:  
PE 1.559-2  
InvoiceSQL.rpt 16May20

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_

CONSTRUCTION SCHEDULING APPROVAL	
PER:	
DATE:	June 9/21



QUOTE

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 9-Jun-21 2:56 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA	CHANGE	PRICE	INTERNAL USE
------	-----	-------	--------	-------	--------------

Quote Line

27 28041	1 - <i>KITCHEN</i> - KITCHEN SINK - REGINOX ND1831UA/9 DOUBLE BOWL UNDERMOUNT SINK	\$ 143.00	Each
33607	Note: Only available with Solid Surface Countertops		

Quote Line

*28 523	1 - <i>POWDER ROOM</i> - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC LAVATORY FAUCET 559HA - DST	*\$ 296.00	Each
33609	Note:		

Quote Line

29	1 - <i>MAIN BATHROOM</i> - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MAIN BATHROOM	\$ 75.00	Each
33633	Note:		

Quote Line

30	1 - <i>ENSUITE BATH</i> - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER ENSUITE BATHROOM	\$ 75.00	Each
33634	Note: - see invoice 1552 item #6		

Quote Line

31 28052	1 - <i>POWDER ROOM</i> - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT SINK 0315 - 000	\$ 285.00	Each
34154	Note: - See invoice 1552 item 5 - Only available with Solid Surface Countertops		

Quote Line

32 704	1 - - CERAMIC TILE - GROUT COLOR PER COLOUR	\$ 75.00	Each
34159	Note:		

Quote Line

33 165	1 - <i>KITCHEN</i> - TILE - WALL - BACKSPLASH - UPGRADE - BRONZE - - KITCHEN - BRONZE	\$ 84.00	Each
34160	Note:		

Quote Line

*34 162	*1 - <i>KITCHEN</i> - TILE - WALL - BACKSPLASH - INSTALLED IN A BRICK PATTERN - INSTALLATION ONLY - - KITCHEN - .	*\$ 63.00	Each
34161	Note: - Horizontal 1/2 brick installation		

QUOTE

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot\_B06

Printed: 9-Jun-21 2:56 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	25-Jan-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
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Quote Line

35	1 - <i>ENSUITE BATH</i> - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - STANDARD	\$ 373.00	Each
136	-- SHOWER SURROUND - ENSUITE BATHROOM - OPTIONAL (20) - STANDARD		
34163	Note: - see invoice 1552 item 6		

Quote Line

36	1 - <i>MAIN BATHROOM</i> - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL -	\$ 312.00	Each
136	STANDARD - MAIN BATHROOM - STANDARD		
34167	Note:		

37	1 - - DELETE B-1A'S # 7 ( RAILING- OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF HALF WALL ON STAIRS ADJACENT TO GREAT ROOM )	-\$1,613.00	Each
34501	Note:		

38	1 - - DELETE B-1A'S #8 ( RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAIL & COLONIAL SPINDLES IN LIEU OF HALF WALL IN THE SECOND FLOOR HALLWAY)	-\$2,717.00	Each
34502	Note:		

*39	1 - <i>GREAT ROOM</i> - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN	*\$ 2,192.00	Each
113644	METAL SQUARE METAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS		
34575	ADJACENT TO GREAT ROOM C/W OPEN STRINGERS		
	Note: - Modern routed post		
	- comes with gun metal grey bracket where applicable		

*40	1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL	*\$ 2,505.00	Each
113868	SQUARE SPINDLES		
34576	Note: - Standard areas		
	- Modern routed post		
	- comes with gun metal grey bracket where applicable		

*41	1 - <i>UPPER HALL</i> - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN	*\$ 3,629.00	Each
113638	METAL SQUARE SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY		
34577	Note: - Modern routed post		
	- comes with gun metal grey bracket where applicable		

Sub Total	\$24,617.00
HST	\$0.00
Total	\$24,617.00

Vendor Initials: \_\_\_\_\_ Purchaser Initials: \_\_\_\_\_


PREPARED BY: Valerie Gendron


LOCKED BY:

PE 1,559-4

InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

PER: 

DATE: 

# Critical Dates Calculator

complete the first page of the Addendum, which is a Statement of Critical Dates, the first step is to select the appropriate type of sales transaction:

Freehold Firm; Freehold Tentative; Condominium Firm; or Condominium Tentative.

Once you have made this selection, in the table below, a new field will appear where you will enter the first Critical Date. Depending on the type of sales transaction, this Critical Date will be one of the following: the First Tentative Closing Date; the Firm Closing Date; the First Tentative Occupancy Date; or the Firm Occupancy Date. For condominiums, you will also enter the Outside Occupancy Date.

Please note that all Closing or Occupancy Dates must be on a business day.

After entering the first Critical Date by clicking on the calendar icon once it has appeared below. After you have selected this date, all of the remaining Critical Dates needed to complete the Statement of Critical Dates document will automatically be determined.

## Critical Dates Calculator

### Type of Transaction

Freehold Firm

+

Freehold Tentative

-

Enter Tentative Closing Date

June 23, 2022



### Freehold Tentative - Critical Dates

First Tentative Date

June 23, 2022

Second Tentative Date

October 21, 2022

Firm Closing Date

February 21, 2023

Outside Closing Date

October 23, 2023

### Notice Period for a Closing Delay

Notice Period for a Closing Delay Notice to set Second Tentative Closing Date

March 25, 2022

Notice to set Firm Closing Date

July 22, 2022

### Purchaser's Termination Period

End of Purchaser's Termination Period

November 22, 2023

To generate and print a Statement of Critical Dates, choose one of the following:





What is a POTL?

Condominium Firm



Condominium Tentative



SCHEDULE T

Poject: Place St. Thomas Phase 6  
Plan No. 50M-352  
Lot No. B06  
Model: #130 Lewis - Rev.  
Date: ~~March 2, 2022~~ Aug 16/21  
Purchaser: Therese Desjardins  
Purchaser: Roger Brunet



Ontario Temporary Driver's Licence OR Class M 1 Licence - Province of Ontario							Effective Date
Permis de conduire temporaire OU de catégorie M 1 – Province de l'Ontario							Date d'entrée en vigueur
Driver's Licence No. N° du permis de conduire	Class Cat.	Cond. Rest.	End. Aut.	Height Taille	Sex Sexe	Date of Birth Date de naissance	Date of Expiry Date d'expiration
B7668-37956-81105	GM**	***	***	185 CM	M/H	1968/11/05 YIA M DJJ	2021/05/03 YIA M DJJ

BRUNET, J.J. ROGER  
4755 WHISPERING WILLOW DR  
NAVAN  
K4B 0K7

Valid with photo licence card  
Valide avec une carte-photo

Licensee's Signature / Signature du titulaire  
This licence must be signed in ink and carried by the driver.  
Le conducteur doit signer le permis à l'encre et le porter sur lui.

Off. No.	Op. No.	Issue Date	Serial No.
430	7 ON	2021/05/03 Y M D	83799864

Minister of Transportation  
Ministre des Transports

SR-LD-053, 2019/09

To avoid a replacement fee, visit or contact ServiceOntario at 1-800-267-8097 if you have not received your card 2 weeks prior to the Date of Expiry on this Temporary Driver's Licence. / Pour éviter de payer des droits de remplacement, rendez-vous à un bureau de ServiceOntario ou téléphonez au 1-800-267-8097 si vous n'avez pas reçu votre carte deux semaines avant la date d'expiration de ce permis de conduire temporaire.



See reverse for M1, M2, G1 and G2 conditions.  
Voir au verso les conditions des catégories M1, M2, G1 et G2.

Mailing Address / Adresse postale

Drinking and Driving Don't Mix - Keep Your Driving Privilege  
La sobriété au volant – protégez votre permis de conduire

