SUMM	IARY OF PRICING INVESTMENT VH2019 DATE:	
PROJECT:	PLACE ST THOMAS 6 LOT NO:	B06
Reg'd Plan #: Name(s):	MODEL:	130 Lewis Reverse
	Roger Brunet	
Name(s):	Therese Desjardins BASE PRICE	\$404,900.00
	ELEVATION	
	LOT PREMIUM	[:
	END LOT PREMIUM	[:
	NET TOTAL COST OF UPGRADES	\$46,980.22
	CREDITS	-\$5,000.00
	SUBTOTAL	.:\$41,980.22
	TOTAL	
	NO TAXES OR REBATE	
	TOTAL INCLUDING ALL APPLICABLE HST (No Rebate)	
	PURCHASER OFFER DIFFERENCE	
Dácar	bonus of \$5,000.00 has been applied in full to the purchase price.	
Decor	B1A #1 DATED MAY 27/21 (ITEM 1-9) - \$18,493.00	-\$5,000.00
	B1A #2 DATED JUNE 1/21 (ITEM 10-11) - \$3,270.22	
.,,	B1A #2 DATED JUNE 14/22 (ITEM 12-39) - \$25,217.00	
	·	
PURCHASER	OFFER HST BREAKDOWN	
	OFFER PRICE EXCLUDING HST:	\$419,542.52
Т	OTAL INCLUDING ALL APPLICABLE HST:	\$474,083.04
COMPANIE		
COMMENTS		
	DATE OF CLOSING: January 1972 July 1	nuary 25, 2022

PURCHASE	RS ADDRESS:
PURCHASERS NAME(S)	9080520 Canada Inc.
STREET	4755 Whispering Willow Drive
CITY, PROVINCE	Navan, Ontario
POSTAL CODE	K4B 0K7
HOME PHONE	613-229-4583
WORK PHONE	613-229-4583
Cell Phone Purchaser (1)	613-229-4583
Cell Phone Purchaser (2)	010-227-4 383
CIVIC	773 Namur Street
AGREEMENT BLOCK#	7/3 (vallut Street
PLAN	50M 252
HCRA Licence Number	50M-352
LOT (BUILDER'S LOT/UNIT)	47491
MODEL #	B06
ELEVATION	130
MODEL NAME	Lewis
ORIENTATION	Reverse
DWELLING (MODEL#, ELEV, OPT)	130 Lewis Reverse
PHASE	6
PROJECT	PLACE ST THOMAS 6
SCHEDULES	B1-A, C-1, H, O, M-1, W2
PURCHASER OFFER	\$474,083.04
CLOSING DAY	23rd
CLOSING MONTH, YEAR	June, 2022
CLOSING DATE (MONTH DAY, YEAR)	June 23, 2022
DEPOSIT 1)	15,000
DEPOSIT 2)	15,000
DEPOSIT 3)	
SALES REPRESENTATIVE	Adam Bowman
<u>SOLICIT</u>	ORS INFO
SOLICITOR NAME	Sylvie Patenaude, Sicotte Guilbault
STREET	208-4275 Innes Road
CITY, PROVINCE	Ottawa, ON
POSTAL CODE	KIC 1T1
PHONE	613-590-2516
	DULE T
PURCHASER 1	Roger Brunet
HOME ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
HOME PHONE	613-229-4583
WORK ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
WORK PHONE	613-229-4583
OCCUPATION	Owner
ID TYPE	Driver's Licence
ID NUMBER	
BIRTH DATE	B7668-37956-81105
DIKINDALE	November 5, 1968
PURCHASER 2	Therese Desjardins
HOME ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
HOME PHONE	613-229-4583
WORK ADDRESS (STREET, CITY, POSTAL CODE)	4755 Whispering Willow Dr., Navan ON K4B 0K7
WORK PHONE	613-229-4583
OCCUPATION	Owner
D TYPE	Driver's Licence
D NUMBER	D2806-50126-06026
BIRTH DATE	October 26, 1960
PART OF LOT(S)(singles)	B06
	ΔW
PLACE SIGNED	Ottawa
SIGNING DAY	16th
SIGNING MONTH	August
	2021
SIGNING YEAR	and the control of th
	August 16. 2021
SIGNING DATE (MONTH DAY, YEAR)	August 16, 2021 rbrunet@valecraft.com
SIGNING YEAR SIGNING DATE (MONTH DAY, YEAR) EMAIL ADDRESS (1) EMAIL ADDRESS (2)	August 16, 2021 <u>rbrunet@valecraft.com</u> tdesjardins0@gmail.com

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GST/HST New Housing Rebate Application for Houses Purchased from a Builder

Use this form to claim your rebate if you bought a new house (including a residential condominium unit or a duplex) or a share of the capital stock of a co-operative housing corporation (co-op). **Do not use** this form if you built your house or hired someone to build it or purchased it as a rental property. Instead, use Form GST191, GST/HST New Housing Rebate Application for Owner-Built Houses, or Form GST524, GST/HST New Residential Rental Property Rebate Application.

Note

GST/HST registered builders claiming a Type 1A or 1B rebate can choose to file their application online along with their GST/HST return using GST/HST NETFILE at canada.ca/gst-hst-netfile or by using the "File a return" online service in My Business Account at canada.ca/my-cra-business-account. The rebate can also be filed online on its own using the "File a rebate" online service in My Business Account. Representatives can access these online services in Represent a Client at canada.ca/taxes-representatives. If you choose to file your application online, do not send us this form.

For more information, including instructions, required documentation for rebate application Types 2, 3, and 5, and the definition of a house, see "General information" on page 4 of this form. Your claim may be delayed or denied if this form is not completed in full, the rebate calculation is not correct, or the required documentation is not submitted with your application.

Section A – Claimant information				
Claimant's legal name (one name only, ev	ven if the house is purchased by seve	ral individuals) Busines	ss number (if applicable)	
Last name, first name, and initial(s)				
9080520 Canada Inc.				R T
If more than one individual purchased the h	house, list all of the other purchaser(s). Attach a separate shee	et if you need more space	9.
Last name, first name, and initial(s) of othe	er purchaser	Last name, first name, a	and initial(s) of other purc	haser
Address of the house you purchased (Unit 773 Namur Street	No. – Street No. Street name, RR)			
City		Prov	vince or territory	Postal code
Embrun		Onta	ario	K 0 A 1 W 0
	Daytime telephone number Extension 613-229-4583	Language preference	ce English	French
Mailing address of claimant As above or	Unit No – Street No Street name, PO	Box, RR		
City	Province/Territory/State	Postal/ZIP code	Country	
Section B – House information				
Did you purchase the house for use as you or your relation's, primary place of residence of you purchased this house as a rental profit this rebate. You may qualify for the New Reinstead. To apply for that rebate, you (not the GST/HST New Residential Rental Property Date ownership of the house or the share in the co-op was transferred to you: Legal description of property — Lot, plan, contained a property of the house of the share in the co-op was transferred to you: Legal description of property — Lot, plan, contained a property of the house or the share in the co-op was transferred to you: Legal description of property — Lot, plan, contained a property of the house or the share in the co-op was transferred to you: Legal description of property — Lot, plan, contained a property of the house of the share in the co-op was transferred to you: Legal description of property — Lot, plan, contained a property of the house of the share in the co-op was transferred to you:	perty, you do not qualify for tesidential Rental Property Rebate the builder) may use Form GST524, y Rebate Application. Year Month Day oncession, range, parcel, section, etc.		r (if the agreement dates, use the house was tion on your deed, or and	Year Month Day Year Month Day Year Month Day L L L L L L L L L L L L L L L L L L L
Manufacturer:	Model:		Serial number:	
FOR INTERNAL USE ONLY				
FOR INTERNAL USE ONLY	NC			

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Section C – Housing and application	on Type				H violation	
Type of housing (tick one box)						
House (including condominium unit)	Mobile home (includi	ng modular home)	Floating home	e Bed an	d breakfast	Duplex
Application Type (tick one box). See Gui the builder or co-op must complete Sectio		Housing Rebate, to v	verify that you meet	the conditions to	o claim the reba	ite. In all cases
Rebate applications filed by the builder a new house (including a mobile home or				r credits it agains	st the total amo	unt payable for
When you buy both the house you lease land that is not a site to calculate the rebate.						
When you buy a house and least to you a site in a residential tra of at least 20 years. Complete	iler park. Tick Type 1A in this	s case.) The lease m	ype 1B if you bough ust provide you with	nt a mobile home n an option to bu	e from a vendor uy the land, or m	that also leases nust be for a term
Rebate applications you file directly wit	th us – Where we pay the re	bate directly to you fo	or a new house (inc	cluding a mobile	home or a float	ing home).
When you buy both the house you lease land that is not a site to calculate the rebate. Attach	e in a residential trailer park f	rom the vendor of the				
When you buy a share of the calcada.	apital stock of a co-op. Com	olete Part III of Section	on F to calculate the	e rebate. Attach	a copy of your S	Statement of
When you buy a house and lease the land from the same builder. (Do not tick Type 5 if you bought a mobile home from a vendor that also leases to you a site in a residential trailer park. Tick Type 2 in this case.) The lease must provide you with an option to buy the land, or must be for a term of at least 20 years. Complete Part II of Section F to calculate the rebate. Attach a copy of your Statement of Adjustments (or invoice in the case of a mobile home).						
Section D – Builder or co-op inforn	nation				DE COMPANIE	
Builder's or co-op's legal name			Business nu	mber (if applicat	ole)	
Valecraft Homes (2019) Limted			7,2,1,	0 1 1 0 7	1 8 R	Γ 0 , 0 , 0 , 1
Address (Unit No. – Street No. Street nam 210-1455 Youville Dr.	ne, PO Box, RR)			City Orleans		
Province/Territory/State	Postal/ZIP code	Country			one number	Extension
Ontario	K1C 6Z7	Canada		613-83		
Did the builder either pay the amount of th	e rebate directly to the purch	naser or credit it again	nst the total amoun	t payable for the	house? Y	es No
If yes, the builder has to send this comple	ted form, including any appli	cable provincial reba	te schedule, to us.	For more inform	ation and instru	ctions, see page 4.
For Type 1A or 1B, enter the reporting per return in which a deduction is taken by the the deduction in the reporting period durin is paid or credited to the purchaser.	builder. The builder must ta	ke , ^{Ye}	ar Month	Day to	Year N	Month Day
Signature of builder or authorized official	Nar	me (print)			Year	Month Day
Section E – Claimant's Certification	1					
I certify that the information given in this a of my knowledge, true, correct, and compleligible to claim this total rebate amount. I one of my relation's, primary residence	lete in every respect. I have r am not filing a second time f and is not intended as a re	not previously claime for additional work or	d the "Total rebate	amount," or any	part of that am	ount, and I am
Signature of the claimant	41 (1)	me (print)			Year 2 1 0 1 2 1 1	Month Day
24365AF9B650487	986CFC1C8ECD436					

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Section F - Rebate calculation (complete only one of Parts I, II, or III, whichever applies)

You are **not** entitled to claim a GST/HST new housing rebate for some of the GST or federal part of the HST and you do not complete Section F if any of the following apply to you:

- your application type is 1A or 2 and the purchase price of the house is \$450,000 or more;
- your application type is 1B or 5 and the fair market value of the house (building and land) when possession was transferred to you was \$517,500 or more (in some cases a lower value may apply to restrict the rebate); or
- your application type is 3 and the total amount paid for the share in the co-op is \$517,500 or more (in some cases a lower value may apply to restrict the rebate).

If the above situations **do not apply** and you meet all of the other GST/HST new housing rebate conditions, you may be entitled to claim a GST/HST new housing rebate. Complete Section F. You will need to complete Form RC7190-WS, GST190 Calculation Worksheet, to calculate the amounts you have to enter in Section F.

.. .

If you paid the HST on your purchase of a house located in a province that offers a provincial new housing rebate, you may be entitled to claim a rebate for some of the provincial part of the HST you paid on the purchase. A provincial new housing rebate may be available even if a GST/HST new housing rebate is not. For more information, see the appropriate provincial rebate schedule.

Part I – Rebate calculation for Application Type 1A or 2	
GST paid or the federal part of the HST paid on the purchase of the house (enter the amount from line 1 of Form RC7190-WS). (If the purchase and sale agreement for the house was assigned to you and you paid the GST or the federal part of the HST on assignment, also include that tax paid on line A.)	A
Enter the purchase price of the house (do not include GST or HST). (If the purchase and sale agreement for the house was assigned to you and you paid the GST or the federal part of the HST on the assignment, also include the purchase price for the assignment on line B.)	В
GST/HST new housing rebate amount (enter the amount from line 4 of Form RC7190-WS).	С
Provincial new housing rebate amount – If you are eligible, complete the calculation on the applicable provincial rebate schedule and enter the amount from line C of that schedule.	D
Total rebate amount including any provincial rebate (line C plus line D).	E
Part II – Rebate calculation for Application Type 1B or 5	
Total purchase price for the house (do not include amounts for the lease of the land or the option to purchase the land).	F
Fair market value of the house (including the land and the building) when possession was transferred to you.	G
GST/HST new housing rebate amount (enter the amount from line 8 of Form RC7190-WS).	Н
Provincial new housing rebate amount – If you are eligible, complete the calculation on the applicable provincial rebate schedule and enter the amount from line F of that schedule.	1
Total rebate amount including any provincial rebate (line H plus line I).	J
Part III – Rebate calculation for Application Type 3	
Total purchase price for the share of the capital stock in the co-op. (If you purchased any other interest in the corporation, complex, or unit, also include the purchase price for that interest on line K.)	К
GST/HST new housing rebate amount (enter the amount from line 11 of Form RC7190-WS).	L
Provincial new housing rebate amount – If you are eligible, complete the calculation on the applicable provincial rebate schedule and enter the amount from line H of that schedule.	М
Total rebate amount including any provincial rebate (line L plus line M).	N
Section G – Direct deposit request (complete only if you are filing a Type 2, 3, or 5 rebate application)	
To have your refund deposited directly into your bank account, complete the information area below or attach a blank checit and "VOID" written across the front.	que with the information encoded on
Branch number Institution number Account number	
Name of the account holder	

Personal information is collected under the *Excise Tax Act* to administer tax, rebates, and elections. It may also be used for any purpose related to the administration or enforcement of the Act such as audit, compliance and the payment of debts owed to the Crown. It may be shared or verified with other federal, provincial/territorial government institutions to the extent authorized by law. Failure to provide this information may result in interest payable, penalties or other actions. Under the *Privacy Act*, individuals have the right to access their personal information and request correction if there are errors or omissions. Refer to Info Source at <u>canada.ca/cra-info-source</u>, Personal Information Bank CRA PPU 241.

General information

Who should complete this form?

Use this form to claim your new housing rebate if you bought a new house (including a residential condominium unit or a duplex) or a share of the capital stock of a co-operative housing corporation (co-op). The house must be the primary place of residence for you or a relation. If more than one individual owns the house or share, only one individual can claim the rebate. Partnerships (even if all the partners are individuals) and corporations that buy new houses are not entitled to claim this rebate. An individual cannot claim this rebate if a partnership or a corporation is also an owner of the house.

Do not use this form if you built or substantially renovated your house or hired someone to do so. Instead, use Form GST191, GST/HST New Housing Rebate Application for Owner-Built Houses.

If you purchased this house as a rental property, use Form GST524, GST/HST New Residential Rental Property Rebate Application.

For more information on the conditions that apply for each rebate type, see Guide RC4028, *GST/HST New Housing Rebate*.

If the application is signed by someone other than the claimant, you must attach a properly executed power of attorney to this form.

If your house is located in a province that offers a provincial new housing rebate for some of the provincial part of the HST and you qualify for that rebate, you also need to complete the appropriate provincial rebate schedule to claim the provincial new housing rebate.

Note

If you previously purchased a new house and received a new housing rebate you were assigned a business number for tracking purposes (nine digits followed by RT0001). Use the same number for this application.

Documentation required

If your application type is 2, 3, or 5 in Section C, you must send us this form along with the following documents:

- · a copy of the statement of adjustments; and
- for a mobile home, a copy of the invoice.

Note

You are not required to submit proof of occupancy with your application. However, you may be asked to provide proof of occupancy later.

Do not send us the agreements for the purchase of your house. Keep them for six years in case we ask to see them.

Note

If you choose not to file your application online when claiming a Type 1A or 1B rebate, you must send us a copy of this form. Do not send supporting documents with this form when claiming either of these rebates, but keep them in case we ask to see them later.

When should I file my claim?

Generally, you have two years from the date ownership of the house is transferred to you to claim the rebate.

Where do I send this form?

For an individual claiming this rebate, use the chart below to identify the correct tax centre to send your completed form and any applicable provincial rebate schedule.

If you are a builder and choose **not** to file your application online, use the following chart to find out to which tax centre to send your completed form.

If you are:	Send your form to:
an individual, and the property is located in one of the areas indicated below; OR	
a builder located in one of the areas indicated below, and you have filed your GST/HST return online.	Sudbury Tax Centre 1050 Notre Dame Avenue Sudbury ON P3A 5C1
Areas: Sudbury/Nickel Belt, Toronto Centre, Toronto East, Toronto West, Toronto North, or Barrie.	
an individual, and the property is located anywhere in Canada, other than the areas mentioned above; OR a builder located anywhere in Canada, other than the areas mentioned above, and you have filed your GST/HST return online.	Prince Edward Island Tax Centre 275 Pope Road Summerside PE C1N 6A2
a builder who is eligible to file a paper GST/HST return. (In addition to your completed form and any applicable provincial rebate schedule, you have to send your return in which you claimed a deduction.)	The tax centre indicated on your return.

Note

If you are a builder and choose to file your application online, do **not** send us this form.

Definition

House – for this rebate, includes a single family home, a residential condominium unit, a duplex, a mobile home, and a floating home. It also includes a bed and breakfast if more than 50% of the house is your primary place of residence. Otherwise, only the part that is your primary place of residence is a house for purposes of this rebate.

What if you need help?

For more information, see Guide RC4028, *GST/HST New Housing Rebate*, go to <u>canada.ca/gst-hst</u>, or call **1-800-959-5525**.

Forms and publications

To get our forms and publications, go to <u>canada.ca/gst-hst-pub</u>.



Internal B1A Place St. Thomas - Phase 6

PURCHASER: Inventory Lot_B06

Printed: 28-Feb-22 9:12 am

	LOT NUMBER B06	phase 6	HOUSE TYPE 130 THE LEWIS		CLOSING DATE 28-Jan-22
ITEM	QTY EXTRA/CHANGE			PRICE	INTERNAL USE
*1 87532	1 BONUS - DECOR CE	NTER CREDIT OF \$5, (000.00	\$ 0.00	Each
33210	Note: Decor bonus has been applied in full to the purchase price.				
2 90162	1 - KITCHEN - STANDARD - SLEEVE FOR FUTURE WATERLINE TO FRIDGE			\$ 0.00	Each
33211	1 Note:				
3 90161			ULL EXTENSION SOFT CLOSE TRACK ON I HOUSE	\$ 0.00	Each
33212	Note: Excluding Corner Cabinetry Where Applicable				
* 4 120119	*1 STAIRS - UPPER - C SOLID TREADS C/W STAI		I VENEERED RISERS & STRINGERS AND LANDING	*\$ 5,884.00	Each
33377	Note: - Main Floor to 2nd Le - See item 7	vel as per Schedule H dated	May 27, 2021		

- The Purchaser(s) acknowledge and accept that Engineered hardwood flooring will be installed on the landing (Where applicable). To ensure product stability proper humidity levels are to be maintained.

1 - POWDER ROOM - UPGRADE BUILDER'S STANDARD PEDESTAL SINK TO WALL TO

1 - ENSUITE BATH - ENSUITE - 4PC ENSUITE WITH 2 SINKS AND SHOWER IN LIEU OF TUB

COLONIAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT

1 - UPPER HALL - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL

- Great Room, one to be located approximately centered across from Rear Man Door, and the other

1 - GREAT ROOM - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS &

SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY

approximately 30" from the staircase as per Schedule H dated May 27, 2021 - Subject to limiting distance at side yard as per Current Building Code

*2 - GREAT ROOM - WINDOW - ADD C2472-1 CASEMENT WINDOW (OPERATING)

WALL 2 DOORS VANITY IN BUILDER'S STANDARD FINISHES

Note: - Powder Room as per Schedule H dated May 27, 2021

IN BUILDERS STANDARD SELECTIONS

Note: As per Schedule H dated May 27, 2021

Note: - As per Schedule H dated May 27, 2021

Note: As per Schedule H dated May 27, 2021

LOCATION AS PER SCHEDULE H.

ROOM C/W OPEN STRINGERS

- See item 4

Sub Total	\$18,493.00
HST	\$0.00
Total	\$18,493.00

\$ 1,062.00

*\$ 6,057.00

*\$ 1,613.00

*\$ 2,171.00

*\$ 1,706.00

Each

Each

Each

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron LOCKED BY: Tricia Oliver

PE 1,552-1 InvoiceSQL.rpt 05may21

5

33227

*6

115521

33293

113380

33292

*8

113374

33291

*9

33404

837

CONSTRUCTION SCH	HEDULING APPROVAL
PER:	
DATE:	



Internal B1A

Place St. Thomas - Phase 6

PURCHASER: Inventory Lot_B06

Printed: 28-Feb-22 9:12 am

LOT NUMBER PHASE HOUSE TYPE CLOSING DATE B06 6 130 THE LEWIS 28-Jan-22

ITEM QTY EXTRA/CHANGE PRICE INTERNAL USE

Payment Summary

 Paid By
 Amount

 APS
 \$18,493.00

 Total Payment:
 \$18,493.00

PURCHASER:		28-Feb-22	VENDOR:	
	Inventory Lot_B06	DATE		PER: Valecraft Homes (2019) Limited
			DATE.	

PREPARED BY: Valerie Gendron LOCKED BY: Tricia Oliver

PE 1,552-2 InvoiceSQL.rpt 05may21 CONSTRUCTION SCHEDULING APPROVAL

PER:

DATE:



Internal B1A Place St. Thomas - Phase 6 PURCHASER: Inventory Lot_B06 Printed: 28-Feb-22 9:23 am LOT NUMBER PHASE HOUSE TYPE CLOSING DATE **B**06 6 130 THE LEWIS 28-Jan-22 ITEM QTY EXTRA/CHANGE INTERNAL USE PRICE *10 1 - - S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH. *\$ 2,997.89 Each 998 34430 Note: S&S electric estimate No#SS4778 Rev 05 dated 06/01/2021 *11 1 - - ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH. *\$ 272.33 Each 999 34431 Note: Orbital estimate No#OR6097 Rev 04 dated 06/01/2021 Sub Total \$3,270.22 HST \$0.00 Total \$3,270.22 **Payment Summary** Paid By **Amount Total Payment:**

28-Feb-22

DATE

VENDOR:

DATE: _____

PREPARED BY: Valerie Gendron LOCKED BY: Lisa Ballard

PE 1,590-1 InvoiceSQL.rpt 05may21

PURCHASER:

Inventory Lot_B06

CONSTR	CUCTION SCHEDULING APPROVAL
PER:	
DATE:	

PER: Valecraft Homes (2019) Limited



Internal B1A

Place St. Thomas - Phase 6

PURCHASER: 9080520 Canada Inc.

Printed: 3-Mar-22 10:28 am

	LOT NUMBER PHASE HOUSE TYPE B06 6 130 THE LEWIS					
ITEM	QTY EXTRA/CHANGE	100 mg/s		PRICE	INTERNAL USE	
12 114436	1 - <i>KITCHEN</i> - HARDWO	\$ 1,490.00	Each			
34562	Note: - As per floor plan sket					
*13 114425		LAUZON - 6 1/4" EST.	ATE STAINED - STANDARD AREAS	*\$ 5,664.00	Each	
34563	Note: -Standard areas include - As per floor plan sket	es Great room, Dining room ch dated June 14, 2021	and Upper Hallway			
*14 8	*1 - FOYER - TILE - FLOO	OR - UPGRADE - BRON	IZE FOYER / POWDER ROOM - BRONZE	*\$ 707.00	Each	
33590	Note: - As per floor plan sket - As per floor tile sketc					
*15 871			N CABINETRY TO ACCOMMODATE	*\$ 86.00	Each	
33591	Note: -Purchaser(s) acknowle accommodate. - As per floor plan sket - As per kitchen sketch	ch dated June 14, 2021	ize of doors may be reduced in the surrounding cabinetry to			
16 114874 34565	INCLUDES UPGRADE TO CABINETRY TO STANDAI	42IN UPPERS WITH FI RD BULKHEAD	1 CABINETRY - STANDARD LAYOUT. ILLER DETAIL ON UPPER KITCHEN Kitchen cabinetry upgraded wood doors will have center	\$ 647.00	Each	
34303	style - As per UPC sketch da - As per floor plan sket - As per kitchen sketch	ted June 14, 2021 ch dated June 14, 2021	Kitchen cabinetry upgraued wood doors will have center			
17 112938		Y - UPGRADE KITCH	EN CABINETRY TO LEVEL 1	\$ 2,117.00	Each	
34567	Note: - As per kitchen sketch	dated June 14, 2021. See it	em 25.			
* 18 112955		'ANITY - UPGRADE M	IAIN BATHROOM VANITY CABINETRY TO	*\$ 218.00	Each	
34569	Note: As per kitchen sketch d	ated June 14, 2021				
19	1 - POWDER ROOM - CA	BINETRY- LEVEL 1 CA	ABINETRY IN POWDER ROOM	\$ 218.00	Each	
33599	Note: - See B-1a's # 5 (upgra - As per kitchen sketch	de to vanity in powder roon dated June 14, 2021	n) ·			
* 20 120197		NITY - UPGRADE 4PC	ENSUITE VANITY C/W 2 SINKS -	*\$ 431.00	Each	
34571	Note: - See Item 6 (4pc ensuite bathroom) - As per kitchen sketch dated June 14, 2021					
* 21 115141	*1 - KITCHEN - COUNTEI BREAKFAST BAR	RTOP - QUARTZ - LEV	EL 1 - KITCHEN STD LAYOUT C/W FLUSH	*\$ 5,280.00	Each	
34573	Note: -Eased edge profile as p - As per floor plan skete - As per kitchen sketch		sketch dated June 14, 2021			

Vendor Initials:____Purchaser Initials:___

PREPARED BY: Valerie Gendron LOCKED BY: Lisa Ballard

PE 1.559-1 InvoiceSQL.rpt 05may21



Internal B1A Place St. Thomas - Phase 6

PURCHASER: 9080520 Canada Inc. Printed: 3-Mar-22 10:28 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	23-Jun-22

	BUO 0 ISU THE LEWIS		23-Jun-22
ITEM	QTY EXTRA/CHANGE	PRICE	INTERNAL USE
22	1 - POWDER ROOM - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM	\$ 664.00	Each
33602	Note: - See B-1a's #5 (upgrade to vanity in powder room) - Eased edge profile as per countertop edge profile dated June 14, 2021 - As per floor plan sketch dated June 14, 2021		
23 1000	1 PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER COLOUR FOR COMPLETE HOUSE	\$ 1,050.00	Each
33603	Note:		
24 120125	1 - KITCHEN - OTR - BASIC - 1.7 C/F MICROWAVE WITH HOOD - UPGRADE TO STAINLESS STEEL	\$ 75.00	Each
33604	Note: - As per floor plan sketch dated June 14, 2021		
* 25 90924	1 - KITCHEN - CABINETRY - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS	*\$ 500.00	Each
34574	Note: - As per floor plan sketch dated June 14, 2021 - As per kitchen sketch dated June 14, 2021 -See Item 17		
* 26 635	*1 - KITCHEN - KITCHEN FAUCET - DELTA MARLEY 986LF - AR ARCTIC STAINLESS	*\$ 357.00	Each
33606	Note: - See Item #21 & #27		
27 28041	1 - KITCHEN - KITCHEN SINK - REGINOX ND1831UA/9 DOUBLE BOWL UNDERMOUNT SINK	\$ 143.00	Each
33607	Note: -See Item #21 for solid surface countertop		
* 28 523	*1 - POWDER ROOM - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC LAVATORY FAUCET 559HA - DST	*\$ 296.00	Each
33609	Note:		
29	1 - MAIN BATHROOM - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MAIN BATHROOM	\$ 75.00	Each
33633	Note: - As per floor plan sketch dated June 14, 2021		
30	1 - ENSUITE BATH - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER ENSUITE BATHROOM	\$ 75.00	Each
33634	Note: - See B-1a's #6 (4pc ensuite bathroom) - As per floor plan sketch dated June 14, 2021		
* 31 28052	*1 - POWDER ROOM - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT	\$ 285.00	Each
34154	Note: - See B-1a's #5 (upgrade to vanity in powder room) -See Item #22 for solid surface countertop		
32 704	2 CERAMIC TILE - GROUT COLOR PER COLOUR	\$ 150.00	
34159	Note:		
33 165	1 - KITCHEN - TILE - WALL - BACKSPLASH - UPGRADE - BRONZE KITCHEN - BRONZE	\$ 84.00	Each
34160	Note: - As per wall tile sketch dated June 14, 2021 -See Item 34		
	Vendor Initials:	Purchase	er Initials:

Vendor Initials: _____Purchaser Initials:

PREPARED BY: Valerie Gendron LOCKED BY: Lisa Ballard

PE 1,559-2 InvoiceSQL.rpt 05may21

CONSTR	UCTION SCHEDULING APPROVAL
PER:	
DATE:	



Internal B1A

Place St. Thomas - Phase 6

PURCHASER: 9080520 Canada Inc.

Printed: 3-Mar-22 10:28 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B06	6	130 THE LEWIS	23-Jun-22

ITEM	QTY EXTRA/CHANGE	PRICE	INTERNAL USE
34 162	1 - KITCHEN - TILE - WALL - BACKSPLASH - INSTALLED IN A BRICK PATTERN - INSTALLATION ONLY KITCHEN	\$ 63.00	Each
34161	Note: - As per wall tile sketch dated June 14, 2021 -See Item 33		
35	1 DELETE ITEM 7 (RE: RAILING- OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL SPINDLES IN LIEU OF HALF WALL ON STAIRS ADJACENT TO GREAT ROOM)	-\$1,613.00	Each
34501	Note:		
36	1 DELETE ITEM 8 (RE: RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAIL & COLONIAL SPINDLES IN LIEU OF HALF WALL IN THE SECOND FLOOR HALLWAY)	-\$2,171.00	Each
34502	Note:		
*37 113644 34575	*1 - GREAT ROOM - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE METAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT ROOM C/W OPEN STRINGERS Note: - Posts with Routed Top - As per floor plan sketch dated June 14, 2021	*\$ 2,192.00	Each
* 38 113868	*1 RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES	*\$ 2,505.00	Each
34576	Note: - In Standard areas including Posts with Routed Top - As per floor plan sketch dated June 14, 2021		
* 39 113638	*1 - UPPER HALL - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY	*\$ 3,629.00	Each
34577	Note: - Posts with Routed Top - As per floor plan sketch dated June 14, 2021		

Sub Total	\$25,217.00
HST	\$0.00
Total	\$25,217.00

Payment Summary

 Paid By
 Amount

 Amendment
 \$24,671.00

 Total Payment:
 \$24,671.00

PURCHASER:		03-Mar-22	VENDOR:	
	9080520 Canada Inc.	DATE		PER: Valecraft Homes (2019) Limited
			DATE.	

PREPARED BY: Valerie Gendron

LOCKED BY: Lisa Ballard

PE 1,559-3 InvoiceSQL.rpt 05may21 CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____



QUOTE								
Place St. Thomas - Phase 6 PURCHASER: Inventory Lot B06 Printed: 12-May-21 3:24 pm								
PURCE	HASER: Inventory Lot_B06			Printed: 12-1				
	LOT NUMBER B06	phase 6	HOUSE TYPE 130 THE LEWIS		CLOSING DATE			
TPEN.	OTY EXTRA/CHANCE		and the second second	TERRICE	INTERNAL USE			
<u> </u>				I	T			
* 1 87532	1 BONUS - DECOR CEN	TER CREDIT OF \$5,	000.00	\$ 0.00	Each			
33210	Note: Has been applied in full	. Bonus of \$ has been app	lied to the purchase price					
* 2 90162	1 STANDARD - SLEEVI	E FOR FUTURE WATI	ERLINE TO FRIDGE	\$ 0.00	Each			
33211	Note:							
* 3 90161			ULL EXTENSION SOFT CLOSE TRACK ON T HOUSE	\$ 0.00	Each			
33212	Note: Excluding Corner Cabin	netry Where Applicable						
* 4 120119			VENEERED RISERS & STRINGERS AND N LANDING	*\$ 5,884.00	Each			
33377	Note: The Purchaser(s) acknowledge and accept that Engineered hardwood flooring will be installed on the landing (Where applicable). To ensure product stability proper humidity levels are to be maintained.							
5 120167			H VENEERED RISERS & STRINGERS AND N LANDING	\$ 4,998.00	Each			
33384			gineered hardwood flooring will be installed on the landing oper humidity levels are to be maintained.					
			Quote Line					
6	1 - POWDER ROOM - UPO WALL 2 DOORS VANITY I		TANDARD PEDESTAL SINK TO WALL TO DARD FINISHES	\$ 1,062.00	Each			
33227	Note:							
*7 115521			WITH 2 SINKS AND SHOWER IN LIEU OF TUB	*\$ 6,057.00	Each			
33293	Note: As per Schedule H							
* 8 113380 33292		IEU OF THE HALF W	L POSTS, COLONIAL HANDRAILS & VALL ON THE STAIRS ADJACENT TO GREAT	*\$ 1,613.00	Each			
	<u> </u>		Vandor Initials:	.	ar Initials:			

LOCKED BY: PE 1.552-1 InvoiceSQL.rpt 16May20

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CONSTRUCTION SCHEDULING APPROVAL
PER:



QUOTE Place St. Thomas - Phase 6 PURCHASER: Inventory Lot_B06 Printed: 12-May-21 3:24 pm LOT NUMBER PHASE HOUSE TYPE CLOSING DATE 130 THE LEWIS **B**06 6 NTERNAL USE 1 - UPPER HALL - RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAILS & COLONIAL *\$ 2,171.00 Each 113374 SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY 33291 Note: *10 1 - BASEMENT - FIREPLACE - OPTIONAL DIRECT VENT FIREPLACE IN BASEMENT WITH *\$ 4,112.00 Each 113228 SURROUND FROM BUILDERS STANDARDS, AND SHELF TOP PAINTED WHITE 33290 Note: As per Schedule H *11 *\$ 11,578.00 | Each 1 - BASEMENT - BASEMENT BATHROOM - FINISH 3-PC BASEMENT BATHROOM WITH 112930 TUB/SHOWER COMBO, VANITY AND CERAMICS FROM BUILDERS STANDARD SELECTIONS. FLOORING ON DITRA. Note: As per Schedule H 33289 Quote Line *12 1 - BASEMENT BATHROOM - CERAMIC SHOWER - UPGRADE BUILDERS STANDARD TUB *****\$ 1,347.00 Each 541 & SHOWER COMBINATION TO A APPROX. 5FT X3FT SHOWER BASE WITH BUILDERS STANDARD CERAMIC WALL TILES 33247 Note: Does not include Shower door \$ 456.00 1 - - BATHROOM SINK - AMERICAN STANDARD BOULEVARD PEDESTAL SINK 0641 13 Each 662 33287 Note: *14 2 - GREAT ROOM - WINDOW - ADD C2472-1 CASEMENT WINDOW (OPERATING) LOCATION *\$ 1,706.00 837 AS PER SCHEDULE H. 33404 Note: Subject to limiting distance at side yard as per Current Building Code *** EXACT LOCATION TO FOLLOW *** Sub Total \$40,984.00

 Sub Total
 \$40,984.00

 HST
 \$0.00

 Total
 \$40,984.00

Vendor Initials:__

DATE:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1.552-2
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL
PER:



QUOTE									
Place St. Thomas - Phase 6									
PURCI	PURCHASER: Inventory Lot_B06 Printed: 3-Jun-21 1:47 pm								
	LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS		CLOSING DATE 25-Jan-22				
ITEM	QTY EXTRA/CHANGE			PRICE	INTERNAL USE				
			Quote Line						
12 114436	1 - KITCHEN - HARDWO	OD - OAK - LAUZON -	6 1/4" ESTATE STAINED - KITCHEN	\$ 1,339.00	Each				
33588	Note: -As per attached sketch	n dated							
			Quote Line						
* 13 114425	1 HARDWOOD - OAK	- LAUZON - 6 1/4" EST.	ATE STAINED - STANDARD AREAS	*\$ 5,651.00	Each				
33589	Note: -As per attached sketch	n dated							
			Quote Line						
* 14	*1 - FOYER - TILE - FLOO	OR - UPGRADE - BRON	IZE FOYER / POWDER ROOM - BRONZE	*\$ 765.00	Each				
33590	Note: -INCLUDES POWDER ROOM -As per attached sketch dated								
			Quote Line						
15	1 - KITCHEN - CABINETE	RY - ADJUST KITCHEN	CABINETRY TO ACCOMMODATE	\$ 86.00	Each				
33591	NON-STANDARD REFRIG Note: -Purchaser(s) acknowle		ize of doors may be reduced in the surrounding cabinetry to						
	Note: -Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - To accommodate a 36" wide x 72" high fridge - As per attached sketch dated								
			Quote Line						
16 114874	1 - KITCHEN - CABINETE INCLUDES UPGRADE TO	RY - UPC9-2A - LEVEL 42IN UPPERS WITH FI	1 CABINETRY - STANDARD LAYOUT. ILLER DETAIL ON UPPER KITCHEN	\$ 1,739.00	Each				
33592	CABINETRY TO STANDA	RD BULKHEAD	pts that Upper Kitchen cabinetry upgraded wood doors will						
	-As per attached sketch	ı dated							
· · · · · · · · · · · · · · · · · · ·	***************************************		Quote Line						
17 112938	1 - KITCHEN - CABINETE	RY - UPGRADE KITCH	EN CABINETRY TO LEVEL 1	\$ 1,844.00	Each				
33593	Note: -Standard Layout -As per attached sketch	ı dated							
			Quote Line						
18	1 - MAIN BATHROOM - C	CABINETRY- LEVEL 1	CABINETRY IN MAIN BATHROOM		Each				
33598	Note: -As per attached sketch	dated							

Vendor	Initials	Purchaser	Initials:	
		 •		

LOCKED BY:
PE 1,559-1
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL
PER:
DATE:



QUOTE						
Place St. Thomas - Phase 6						
PURCHASER: Inventory Lot_B06 Printed: 3-Jun-21 1:47 pm						
	LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS		CLOSING DATE 25-Jan-22	
ITEM	QTY EXTRA/CHANGE			PRICE	INTERNAL USE	
			Quote Line	***		
19	1 - POWDER ROOM - CA	BINETRY- LEVEL 1 C	ABINETRY IN POWDER ROOM		Each	
33599	Note: - See invoice 1552 item	5 (upgrade to vanity in po	owder room)			
			Quote Line			
20	1 - ENSUITE BATH - CAB 2 SINK	INETRY- LEVEL 1 CA	BINETRY IN OPTIONAL 4PC ENSUITE WITH		Each	
33600	Note: - See invoice 1552 item -As per attached sketch					
			Quote Line			
21 112971	1 - KITCHEN - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN \$ 3,750.00			Each		
33601	Note: -INCLUDES FLUSH B -As per attached sketch	REAKFAST BAR ON ISL dated	AND			
			Quote Line			
22	22 1 - POWDER ROOM - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM Each				Each	
33602	Note: - See invoice 1552 item 5 - As per attached sketch dated					
			Quote Line			
23 1000	1 PAINT ADDITIONAL COLOUR FOR COMPLETE	COLOUR (NON DEEP HOUSE	BASE) BUILDERS STANDARD PAINT. PER	\$ 1,050.00	Each	
33603	Note:					
			Quote Line			
24 120125	1 - KITCHEN - OTR - BASI STEEL	C - 1.7 C/F MICROWA	VE WITH HOOD - UPGRADE TO STAINLESS	\$ 75.00	Each	
33604	Note:					
Quote Line						
25	1 - KITCHEN - CABINETR	Y- TWO TONE KITCH	EN CABINETRY		Each	
33605	Note: -As per attached sketch	dated				
Quote Line						
* 26 635	1 - KITCHEN - KITCHEN F	AUCET - DELTA MAF	RLEY 986LF - AR ARCTIC STAINLESS	*\$ 357.00	Each	
33606	Note:					

Vendor Initials:	Purchaser Initials:

LOCKED BY:
PE 1,559-2
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL
PER: _____
DATE: ____



	Homes (2019) Limited				
QUOTE					
Place St. Thomas - Phase 6					
PURCI	HASER: Inventory Lot_B06			Printed: 3	-Jun-21 1:47 pm
	LOT NUMBER B06	phase 6	HOUSE TYPE 130 THE LEWIS		CLOSING DATE 25-Jan-22
ITEM	QTY EXTRA/CHANGE			PRICE	INTERNAL USE
			Quote Line		
27 28041	1 - KITCHEN - KITCHEN	SINK - REGINOX ND18	831UA/9 DOUBLE BOWL UNDERMOUNT SINK	\$ 143.00	Each
33607	Note: Only available with So	lid Surface Countertops			:
<			Quote Line		
*28	1 - POWDER ROOM - BA	THROOMS - DELTA TI	RINSIC SINGLE HANDLE HIGH - ARC	*\$ 296.00	Each
	LAVATORY FAUCET 5591	IA - DST	ACCOUNTS OF THE PARTY OF THE PA	\$ 270.00	Each
33609	Note:				
			Quote Line		
29	1 - <i>MAIN BATHROOM</i> - C BATHROOM	OUNTERTOP- REMOV	VE 4" LAMINATE BACKPLASH IN MAIN		Each
33633	Note:				
			Quote Line		
30	1 - ENSUITE BATH - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER ENSUITE BATHROOM				Each
33634	33634 Note: - see invoive 1552 item #6				
			Quote Line		
* 31 28052		ГНROOM SINK - AMEI	RICAN STANDARD BOXE UNDERMOUNT	*\$ 285.00	Each
34154	Note: - See invoice 1552 item 5 - Only available with Solid Surface Countertops				
			Quote Line		
32 704	1 CERAMIC TILE - GRO	OUT COLOR PER COLO	DUR	\$ 75.00	Each
34159	Note:				
Quote Line					
33 165	1 - KITCHEN - TILE - WAI	L - BACKSPLASH - UF	PGRADE - BRONZE KITCHEN - BRONZE	\$ 60.00	Each
34160	Note:				
Quote Line					
* 34 162	*1 - KITCHEN - TILE - WA INSTALLATION ONLY F	LL - BACKSPLASH - II (ITCHEN	NSTALLED IN A BRICK PATTERN -	*\$ 40.00	Each
34161	Note: - Horizontal 1/2 brick in	ıstallation			

Vendor Initia	s:Purchasei	Initials:

LOCKED BY:
PE 1,559-3
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL
PER:
DATE:



			OHOTE		
		Placa	QUOTE St. Thomas - Phase 6		
PURCI	HASER: Inventory Lot_B06	Tiace	St. Thomas - I have 0	Printed: 3	-Jun-21 1:47 pm
	LOT NUMBER B06	PHASE 6	HOUSE TYPE 130 THE LEWIS	Timed. 5	CLOSING DATE 25-Jan-22
ITEM	QTY EXTRA/CHANGE			PRICE	INTERNAL USE
			Quote Line		
35 136	1 - ENSUITE BATH - TILE SHOWER SURROUND -	E - WALL - UPGRADE ENSUITE BATHROOM	- FLOOR TILE IN LIEU OF WALL - STANDARD M - OPTIONAL (20) - STANDARD	\$ 155.00	Each
34163	Note: - see invoice 1552 item	1 6			
			Quote Line		
36 136	1 - MAIN BATHROOM - T STANDARD - MAIN BATH	TLE - WALL - UPGRAI IROOM - STANDARD	DE - FLOOR TILE IN LIEU OF WALL -	\$ 135.00	Each
34167	Note:				
37	1 DELETE B-1A'S # 7 () COLONIAL SPINDLES IN)	RAILING- OAK COLOI LIEU OF HALF WALL	NIAL POSTS, COLONIAL HANDRAILS & ON STAIRS ADJACENT TO GREAT ROOM)	-\$1,613.00	Each
34501	Note:				
38	1 DELETE B-1A'S #8 (F COLONIAL SPINDLES IN I	AILING - OAK COLOI LIEU OF HALF WALL	NIAL POSTS, COLONIAL HANDRAIL & IN THE SECOND FLOOR HALLWAY)	-\$2,717.00	Each
34502	Note:				
			Quote Line		
39 113644	1 RAILING - OAK MOD SQUARE METAL SPINDLE GREAT ROOM C/W OPEN	ES IN LIEU OF THE HA	DLONIAL HANDRAILS & GUNN METAL LF WALL ON THE STAIRS ADJACENT TO	\$ 1,382.00	Each
34503	Note: - Modern routed post - comes with gun metal	grey bracket where applica	ble		
			Quote Line		
40 113868	1 RAILING - OAK MOD SQUARE SPINDLES	ERN 3 1/2" POSTS, CO	LONIAL HANDRAILS & GUNN METAL	\$ 1,890.00	Each
34504	Note: - Standard areas - Modern routed post - comes with gun metal	grey bracket where applica	ble		
			Quote Line		
* 41 113638	1 RAILING - OAK MOD SQUARE SPINDLES IN LIE	ERN 3 1/2" POSTS, CO U OF THE HALF WAL	LONIAL HANDRAILS & GUNN METAL L IN THE SECOND FLOOR HALLWAY	*\$ 3,133.00	Each
34505	Note: - Modern routed post - comes with gun metal	grey bracket where applica	ble		

Vendor Initials:____Purchaser Initials:___

DATE: __

CONSTRUCTION SCHEDULING APPROVAL
PER:

LOCKED BY:
PE 1,559-4
InvoiceSQL.rpt 16May20

PREPARED BY: Valerie Gendron



Place St. Thomas - Phase 6 PURCHASER: Inventory Lot_B06 Printed: 3-Jun-21 1:47 pm LOT NUMBER PHASE HOUSE TYPE CLOSING DATE B06 6 130 THE LEWIS 25-Jan-22 ITEM QTY EXTRA/CHANGE PRICE INTERNAL USE

Payment Summary
Paid By
Amount

Total Payment:

NOTE: Quotes are only valid for 60 days from the issue date

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1,559-5
InvoiceSQL.rpt 16May20

CONST	RUCTION SCHEDULING APPROVAL
PER:	
DATE:	

Lisa Ballard

From: Daniel Guerin

Sent: Wednesday, June 9, 2021 3:51 PM

To: Place St Thomas

Subject: RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

Follow Up Flag: Follow up Flag Status: Completed

Categories: Documents

\$664

Dan Guerin
Purchasing & Estimating Coordinator



1455 Youville Drive, Suite 210 Orleans, On K1C 6Z7 Tel: 613-837-1104 Ext. 225 Fax: 613-837-5901

From: Place St Thomas

Sent: Wednesday, June 9, 2021 3:47 PM **To:** Daniel Guerin; Place St Thomas

Subject: RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

Importance: High

Hi Dan,

You forgot to price #22 (quartz level 1 in powder room)

Val

From: Daniel Guerin

Sent: Wednesday, June 09, 2021 3:04 PM

To: Valerie Gendron < valerie@valecraft.com >; Place St Thomas < place-st-thomas@valecraft.com >

Subject: RE: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

Importance: High

Here you are

Dan Guerin Purchasing & Estimating Coordinator



1455 Youville Drive, Suite 210 Orleans, On K1C 6Z7 Tel: <u>613-837-1104 Ext. 225</u> Fax: <u>613-837-5901</u>

From: Valerie Gendron < valerie@valecraft.com >

Sent: Thursday, June 3, 2021 1:55 PM

To: Daniel Guerin < dguerin@valecraft.com ; Tricia Oliver < toliver@valecraft.com > ;

Cc: Place St Thomas < place-st-thomas@valecraft.com >

Subject: PST PH6 B06 revised quote inv. 1559 item # 12-41 june 03 2021

Hi again!

After our meeting, I need a few more pricing for B06 as well. Please see revised B06 quote inv 1559 #12-41.

Thanks,

Val

Valérie Gendron

New Home Sales Assistant / Interior Decorator



605 Bruxelles St., Embrun ON K0A 1W0, tel (613) 370-0288 | fax (613) 370-0311 valecraft.com

Confidentiality Note: This email may contain confidential and/or private information. If you received this email in error please delete and notify sender.



QUOTE Place St. Thomas - Phase 6 PURCHASER: Inventory Lot B06 Printed: 9-Jun-21 2:56 pm PHASE LOT NUMBER HOUSE TYPE CLOSING DATE 130 THE LEWIS 25-Jan-22 6 B06 OTY EXTRA / CHANG TERNAL USE *12 1 - KITCHEN - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - KITCHEN *\$ 1,490.00 Each 114436 34562 Note: *13 1 - - HARDWOOD - OAK - LAUZON - 6 1/4" ESTATE STAINED - STANDARD AREAS *\$ 5,664.00 Each 114425 34563 **Quote Line** *14 *\$ 707.00 *1 - FOYER - TILE - FLOOR - UPGRADE - BRONZE - - FOYER / POWDER ROOM - BRONZE 33590 Note: -INCLUDES POWDER ROOM As per attached sketch dated 15 1 - KITCHEN - CABINETRY - ADJUST KITCHEN CABINETRY TO ACCOMMODATE \$ 86.00 Each 871 NON-STANDARD REFRIGERATOR SIZE. 33591 Note: -Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - To accomodate a 36" wide x 72" high fridge - As per attached sketch dated *16 1 - KITCHEN - CABINETRY - UPC9-2A - LEVEL 1 CABINETRY - STANDARD LAYOUT. *\$ 647.00 Each 114874 INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD 34565 -As per Sketch. Purchaser Acknowledges and accepts that Upper Kitchen cabinetry upgraded wood doors will have center style -As per attached sketch dated *17 1 - KITCHEN - CABINETRY - UPGRADE KITCHEN CABINETRY TO LEVEL 1 *\$ 2,117.00 Each 112938 34567 Note: Standard Layout *18 1 - MAIN BATHROOM - VANITY - UPGRADE MAIN BATHROOM VANITY CABINETRY TO *\$ 218.00 Each 112955 LEVEL 1 34569 Note: Standard Layout

Vendor Initials: Pr

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1.559-1
InvoiceSQL.rpt 16May20

PER: Jung 14

CONSTRUCTION SCHEDULING APPROVAL



QUOTE Place St. Thomas - Phase 6 PURCHASER: Inventory Lot_B06 Printed: 9-Jun-21 2:56 pm PHASE HOUSE TYPE CLOSING DATE LOT NUMBER 130 THE LEWIS 25-Jan-22 6 **B06** PERNAL US **Ouote Line** \$ 218.00 19 1 - POWDER ROOM - CABINETRY- LEVEL 1 CABINETRY IN POWDER ROOM Each 33599 Note: - See invoice 1552 item 5 (upgrade to vanity in powder room) *20 1 - ENSUITE BATH - VANITY - UPGRADE 4PC ENSUITE VANITY C/W 2 SINKS - CABINETRY *\$ 431.00 120197 - LEVEL 1 34571 Note: - See invoice 1552 item 6 -As per attached sketch dated *21 1 - KITCHEN - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN STD LAYOUT C/W FLUSH *\$ 5,280.00 Each 115141 BREAKFAST BAR 34573 **Ouote Line** 1 - POWDER ROOM - COUNTERTOP -QUARTZ- LEVEL 1- POWDER ROOM Each 22 33602 Note: - See invoice 1552 item 5 - As per attached sketch dated Quote Line \$ 1,050.00 23 1 - - PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER Each 1000 COLOUR FOR COMPLETE HOUSE 33603 Note: Quote Line 1 - KITCHEN - OTR - BASIC - 1.7 C/F MICROWAVE WITH HOOD - UPGRADE TO STAINLESS \$ 75.00 Each 120125 STEEL 33604 *25 *\$ 500.00 1 - KITCHEN - CABINETRY - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS Each 90924 Note: If two colours are in different levels of cabinetry, highest level of cabinetry is to be applied first. 34574 Quote Line *26 *\$ 357.00 1 - KITCHEN - KITCHEN FAUCET - DELTA MARLEY 986LF - AR ARCTIC STAINLESS Each 635 33606 Note:

Vendor Initials: Purchaser Initials:

DATE:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1.559-2
InvoiceSQL.rpt 16May20

PER:



QUOTE Place St. Thomas - Phase 6 PURCHASER: Inventory Lot B06 Printed: 9-Jun-21 2:56 pm LOT NUMBER PHASE HOUSE TYPE CLOSING DATE 130 THE LEWIS 6 **B**06 25-Jan-22 EXTRA INTERNAL USE Quote Line 27 1 - KITCHEN - KITCHEN SINK - REGINOX ND1831UA/9 DOUBLE BOWL UNDERMOUNT SINK \$ 143.00 28041 33607 Note: Only available with Solid Surface Countertops Quote Line *28 1 - POWDER ROOM - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC *\$ 296.00 Each 523 LAVATORY FAUCET 559HA - DST 33609 Note: Quote Line 29 1 - MAIN BATHROOM - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MAIN \$ 75.00 BATHROOM 33633 Note: Quote Line 30 1 - ENSUITE BATH - COUNTERTOP- REMOVE 4" LAMINATE BACKPLASH IN MASTER \$ 75.00 Each ENSUITE BATHROOM Note: - see invoive 1552 item #6 33634 Quote Line 1 - POWDER ROOM - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT \$ 285.00 28052 SINK 0315 - 000 34154 Note: - See invoice 1552 item 5 - Only available with Solid Surface Countertops Quote Line 32 1 - - CERAMIC TILE - GROUT COLOR PER COLOUR \$ 75.00 704 34159 Note: Quote Line 33 \$ 84.00 1 - KITCHEN - TILE - WALL - BACKSPLASH - UPGRADE - BRONZE - - KITCHEN - BRONZE Each 165 Note: 34160 Quote Line *34 *1 - KITCHEN - TILE - WALL - BACKSPLASH - INSTALLED IN A BRICK PATTERN -*\$ 63.00 Each 162 INSTALLATION ONLY - - KITCHEN - . 34161 Note: - Horizontal 1/2 brick installation

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1.559-3
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

DATE: Sinia 9 M



QUOTE Place St. Thomas - Phase 6 PURCHASER: Inventory Lot_B06 Printed: 9-Jun-21 2:56 pm LOT NUMBER PHASE HOUSE TYPE CLOSING DATE 130 THE LEWIS 25-Jan-22 6 **B06** INTERNAL USE **Ouote Line** 1 - ENSUITE BATH - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - STANDARD 35 \$ 373.00 Each 136 -- SHOWER SURROUND - ENSUITE BATHROOM - OPTIONAL (20) - STANDARD Note: - see invoice 1552 item 6 34163 Quote Line 1 - MAIN BATHROOM - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL -\$ 312.00 Each 136 STANDARD - MAIN BATHROOM - STANDARD 34167 Note: 37 1 - - DELETE B-1A'S # 7 (RAILING- OAK COLONIAL POSTS, COLONIAL HANDRAILS & -\$1.613.00 Each COLONIAL SPINDLES IN LIEU OF HALF WALL ON STAIRS ADJACENT TO GREAT ROOM) Note: 34501 38 1 - - DELETE B-1A'S #8 (RAILING - OAK COLONIAL POSTS, COLONIAL HANDRAIL & -\$2,717.00 Each COLONIAL SPINDLES IN LIEU OF HALF WALL IN THE SECOND FLOOR HALLWAY) 34502 Note: *39 *\$ 2,192.00 1 - GREAT ROOM - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN 113644 METAL SQUARE METAL SPINDLES IN LIEU OF THE HALF WALL ON THE STAIRS ADJACENT TO GREAT ROOM C/W OPEN STRINGERS Note: - Modern routed post 34575 - comes with gun metal grey bracket where applicable *40 1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL *\$ 2,505.00 Each 113868 SQUARE SPINDLES 34576 Note: - Standard areas - Modern routed post - comes with gun metal grey bracket where applicable 1 - UPPER HALL - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN *\$ 3.629.00 Each 113638 METAL SQUARE SPINDLES IN LIEU OF THE HALF WALL IN THE SECOND FLOOR HALLWAY 34577 Note: - Modern routed post - comes with gun metal grey bracket where applicable

 Sub Total
 \$24,617.00

 HST
 \$0.00

 Total
 \$24,617.00

Vendor Initials:

PER:

DATE:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1.559-4
InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

ritical Dates Calculator

complete the first page of the Addendum, which is a Statement of Critical Dates, the first step is to select the appropriate be of sales transaction:

eehold Firm; Freehold Tentative; Condominium Firm; or Condominium Tentative.

pending on the type of sales transaction, this Critical Date will be one of the following: the First Tentative Closing Date; the m Closing Date; the First Tentative Occupancy Date; or the Firm Occupancy Date. For condominiums, you will also enter the itside Occupancy Date.

ease note that all Closing or Occupancy Dates must be on a business day.

ter the first Critical Date by clicking on the calendar icon once it has appeared below. After you have selected this date, all o emaining Critical Dates needed to complete the Statement of Critical Dates document will automatically be determined.

ritical Dates Calculator

pe of Transaction	
Freehold Firm	
Freehold Tentative	
Enter Tentative Closing Date June 23, 2022	
Freehold Tentative - Critical Dates	
First Tentative Date June 23, 2022	
Second Tentative Date October 21, 2022	
Firm Closing Date February 21, 2023	
Outside Closing Date October 23, 2023	
Notice Period for a Closing Delay	
Notice Period for a Closing Delay Notice to set Second Tentative Closing Date	March 25, 2022
Notice to set Firm Closing Date July 22, 2022	
Purchaser's Termination Period	
End of Purchaser's Termination Period November 22, 2023	

To generate and print a Statement of Critical Dates, choose one of the following:

. 3 V	What is a POTL?	
Condo	dominium Firm	4
Condo	dominium Tentative	4

SCHEDULE T

Poject: Place St. Thomas Phase 6

Plan No. 50M-352

Lot No. B06

Model: #130 Lewis - Rev.

Date: March 2, 2022 Sug 16/21

Purchaser: Therese Desjardins Purchaser: Roger Brunet





Temporary Driver's Licence Permis de conduire temporaire OU

Class M 1 Licence - Province of Ontario OR de catégorie M 1 - Province de l'Ontario

Effective Date Date d'entrée en vigueur 2021/05/03

Driver's Licence No. N° du permis de conduire B7668-37956-81105

*** M/H 968/11/05

Date of Expiry Date d'expiration 2021/08/01

BRUMET, J, J, ROGER 4755 WHISPERING WILLOW DR NAVAN K48 OK7

Valid with photo licence card Valide avec une carte-photo

Off. No. Op. No. 430 ON

2021/05/03 83799864

To avoid a replacement fee, visit or contact ServiceOntario at 1-800-267-8097 if you have not received your card 2 weeks prior to the Date of Expiry on this Temporary Driver's Licence. / Pour éviter de payer des droits de remplacement, rendez-vous à un bureau de ServiceOntario ou téléphonez au 1-800-267-8097 si vous n'avez pas reçu votre carte deux semaines avant la date d'expiration de ce permis de conduire temporaire.



Sorial No.

See reverse for M1, M2, G1 and G2 conditions. Voir au verso les conditions des catégories M1, M2, G1 et G2.

Mailing Address / Adresse postale

Drinking and Driving Don't Mix - Keep Your Driving Privilege La sobriété au volant – protégez votre permis de conduire

en's Printer for Ontario, 2019 / O Imprimeur de la Reine pour l'Ontario, 2019

