

PERCENT GLASS TO WALL AREA = 9.8%

PERCENT GLASS TO WALL AREA = 10.2%

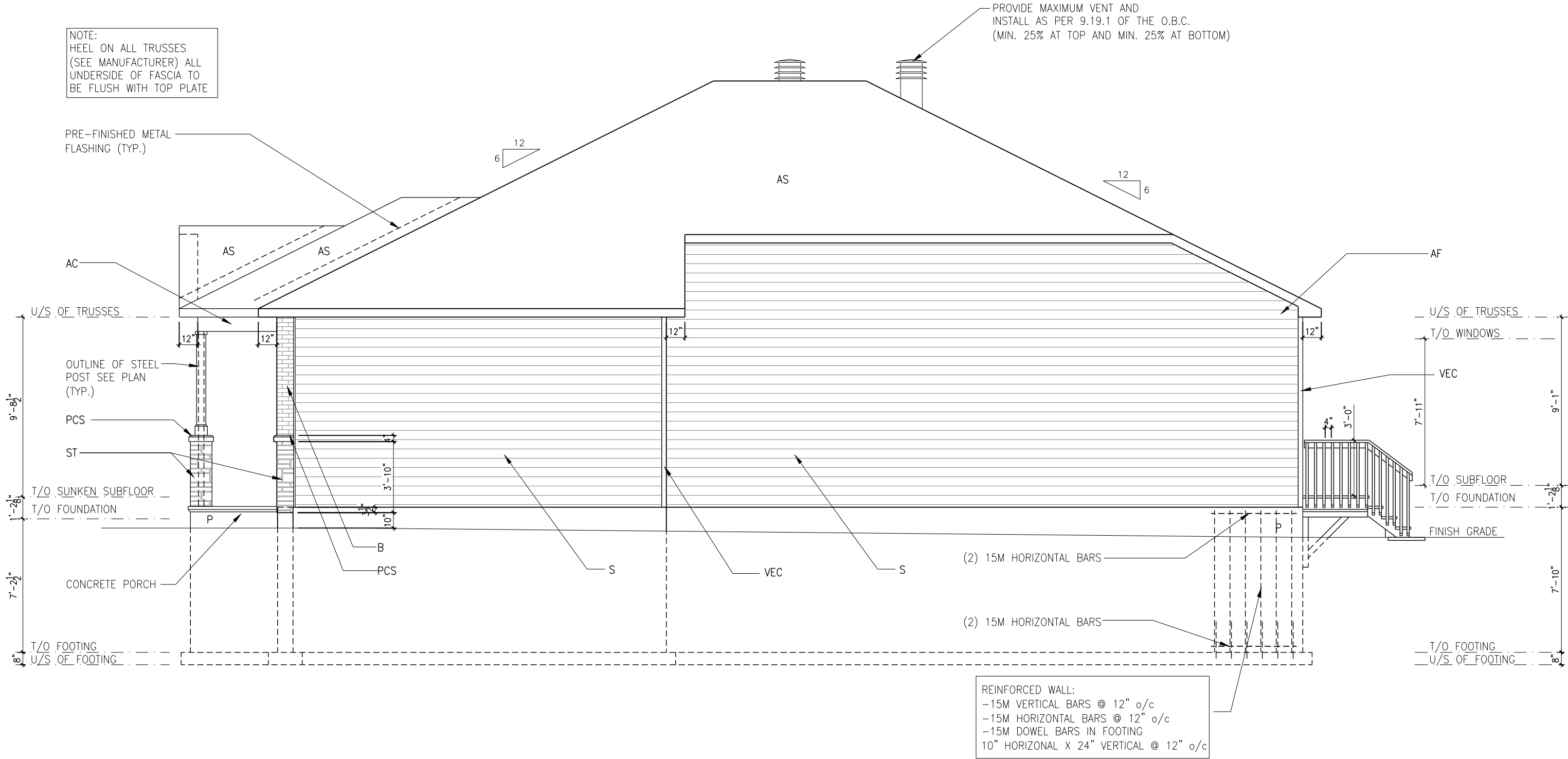
NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

SCALE:  $3/16" = 1'-0"$



(STANDARD DRAWINGS)

**A1**



ELEVATION A - RIGHT - 2 AND 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING:

ELEVATION A - RIGHT

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

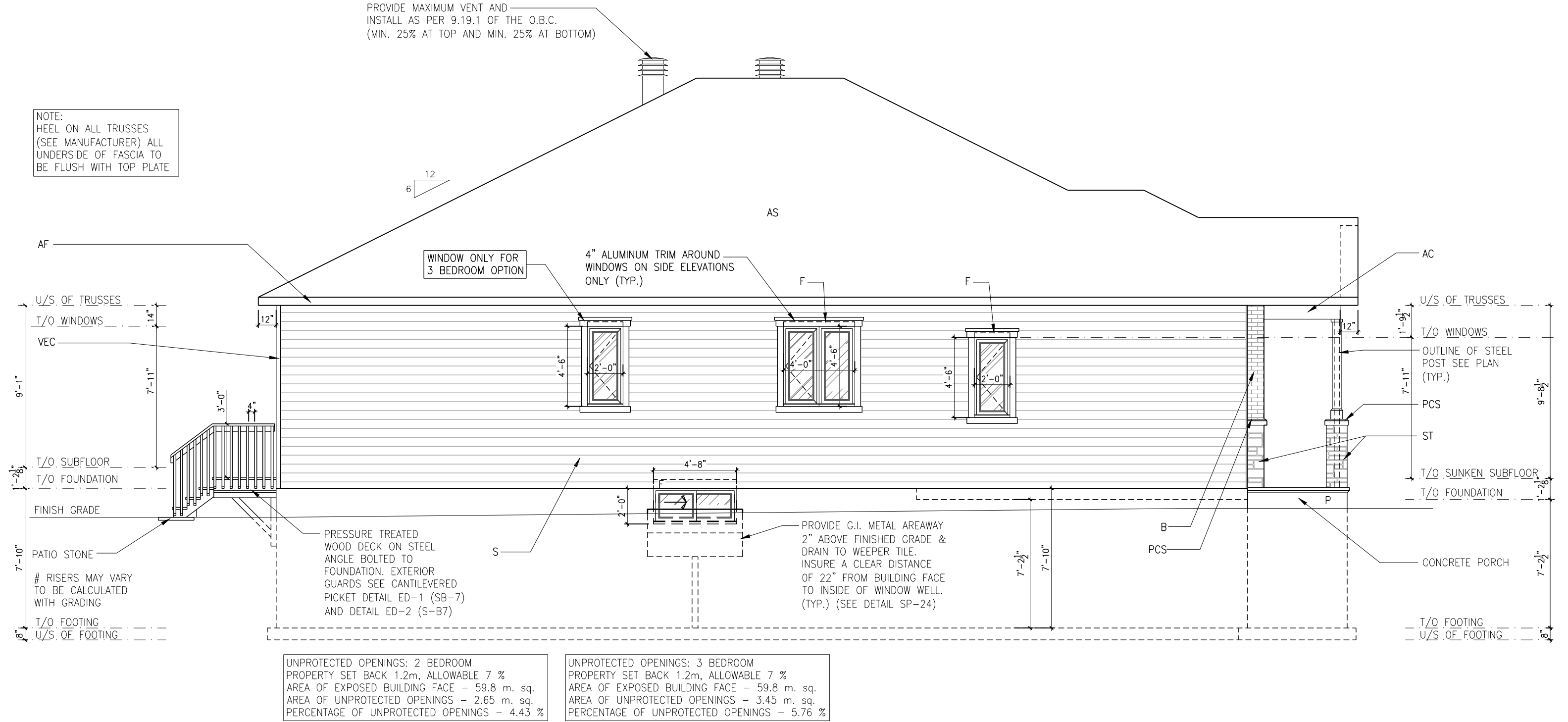
XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2



ELEVATION A - LEFT - 2 AND 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x12  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: ELEVATION A - LEFT

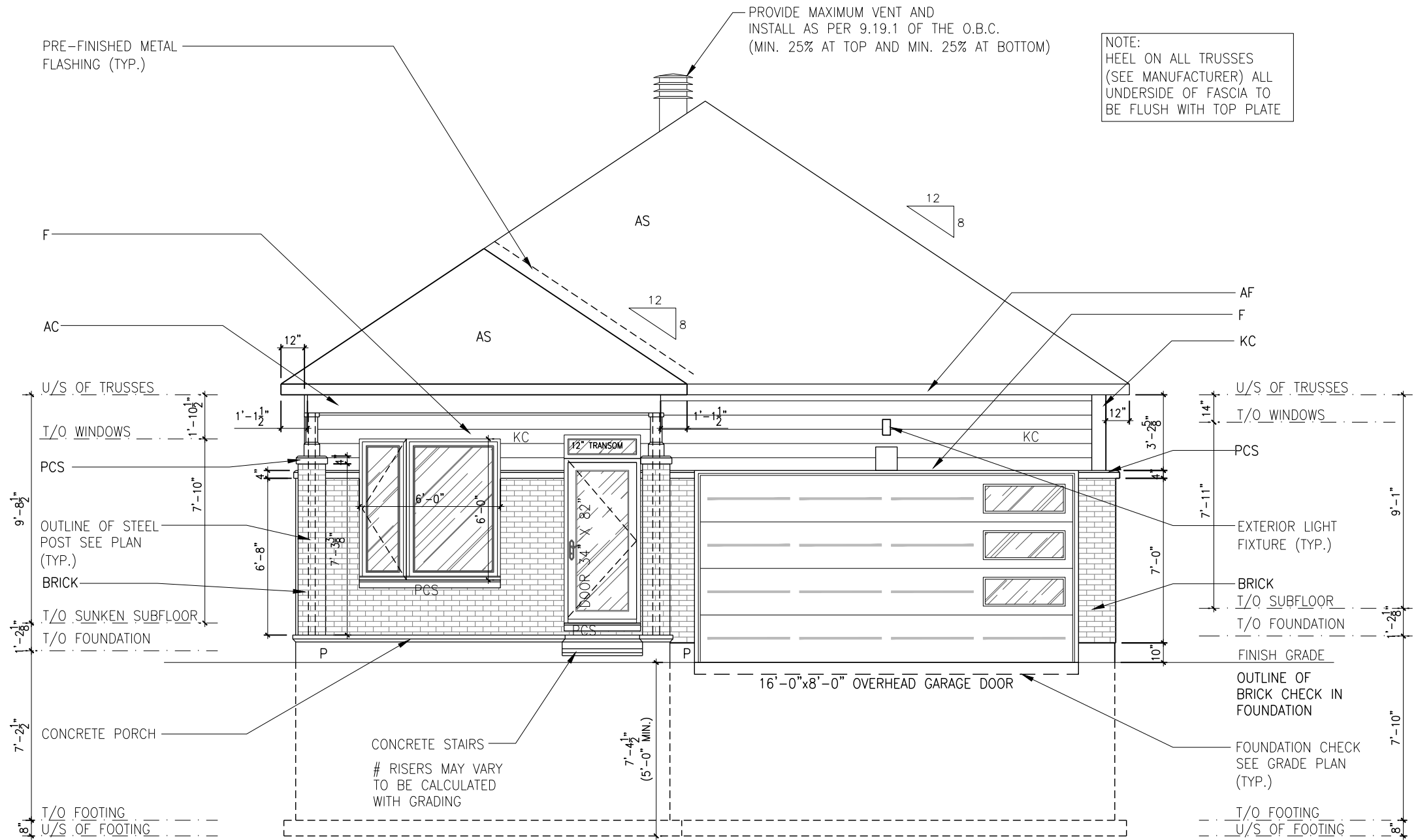
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT

SHEET: A3

(STANDARD DRAWINGS)

STANDARD PLAN: 2 BEDROOM	STANDARD PLAN: 3 BEDROOM
GROSS INSULATED = 182 M. SQ. WALL AREA	GROSS INSULATED = 182 M. SQ. WALL AREA
GROSS WINDOW = 17.87 M. SQ. AREA	GROSS WINDOW = 18.67 M. SQ. AREA
PERCENT GLASS TO WALL AREA = 9.8%	PERCENT GLASS TO WALL AREA = 10.2%



ELEVATION B - FRONT - 2 AND 3 BEDROOM - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)

P17 = HSS 73 0.0x4.8 + 100x180x12 BOTTOM PL. (\*)

+ 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: ELEVATION B - FRONT

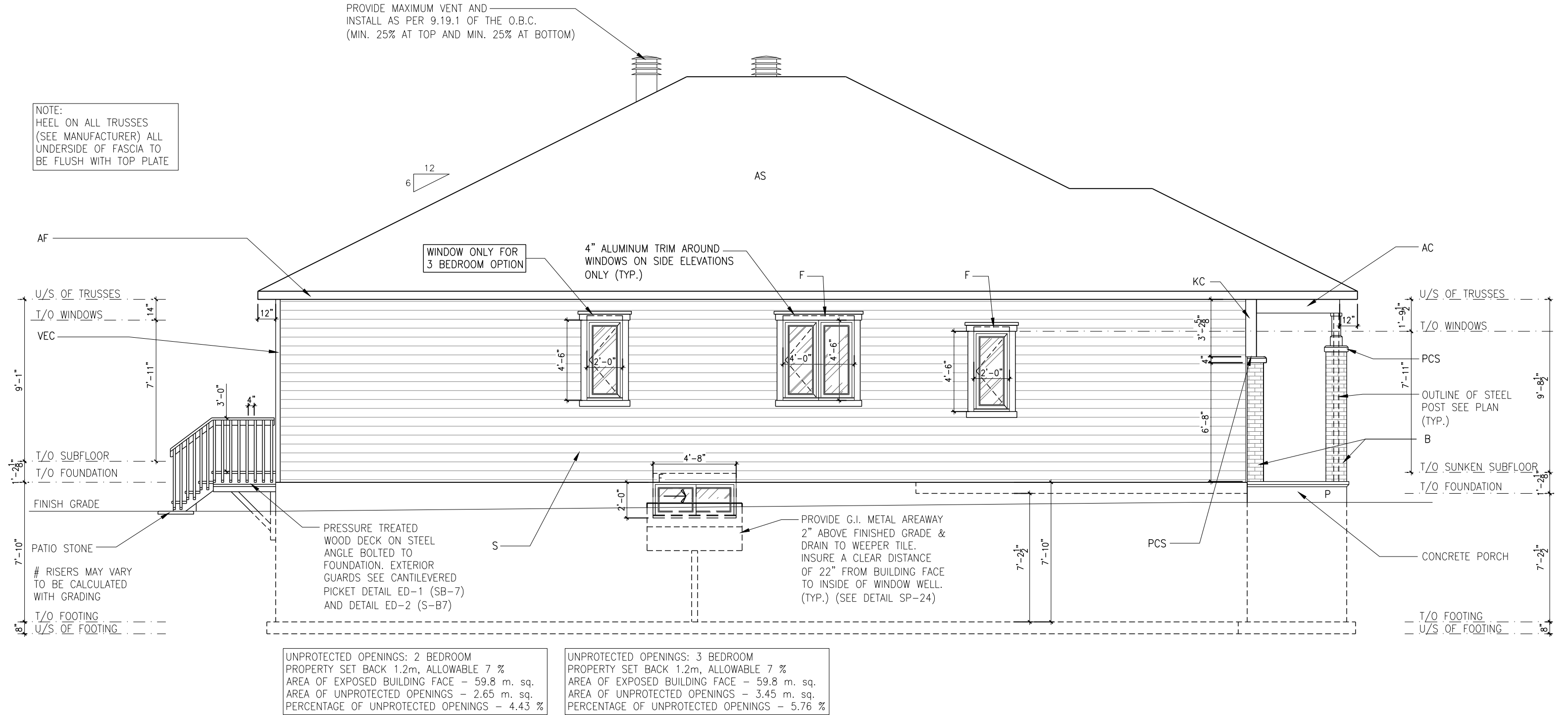
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT

(STANDARD DRAWINGS)

A1b






ELEVATION B - LEFT - 2 AND 3 BEDROOM - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY


NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)


LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

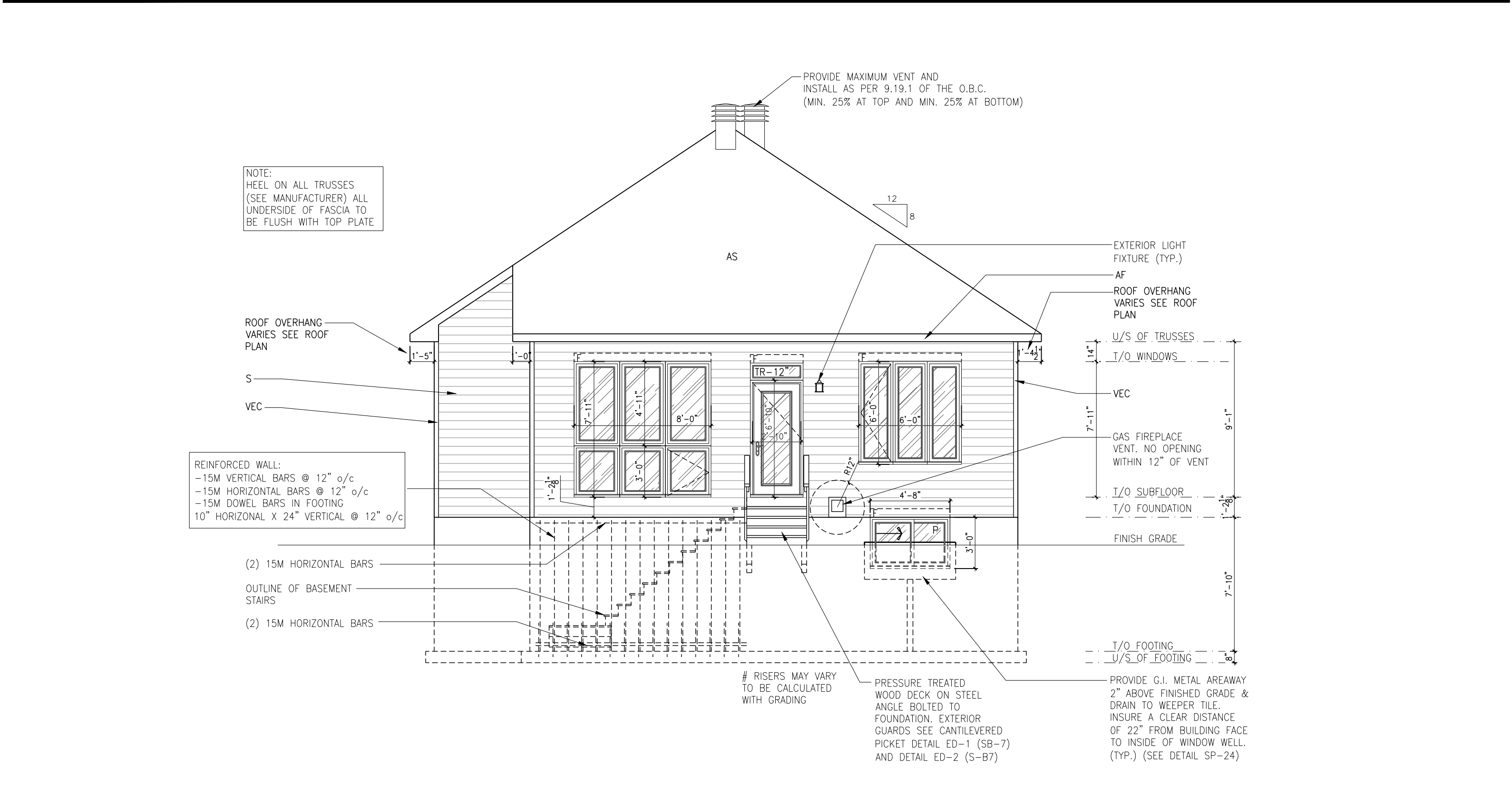
2012 O.B.C. DRAWINGS

DRAWING: ELEVATION B - LEFT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A3b



ELEVATION A & B - REAR - 2 AND 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)  
\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

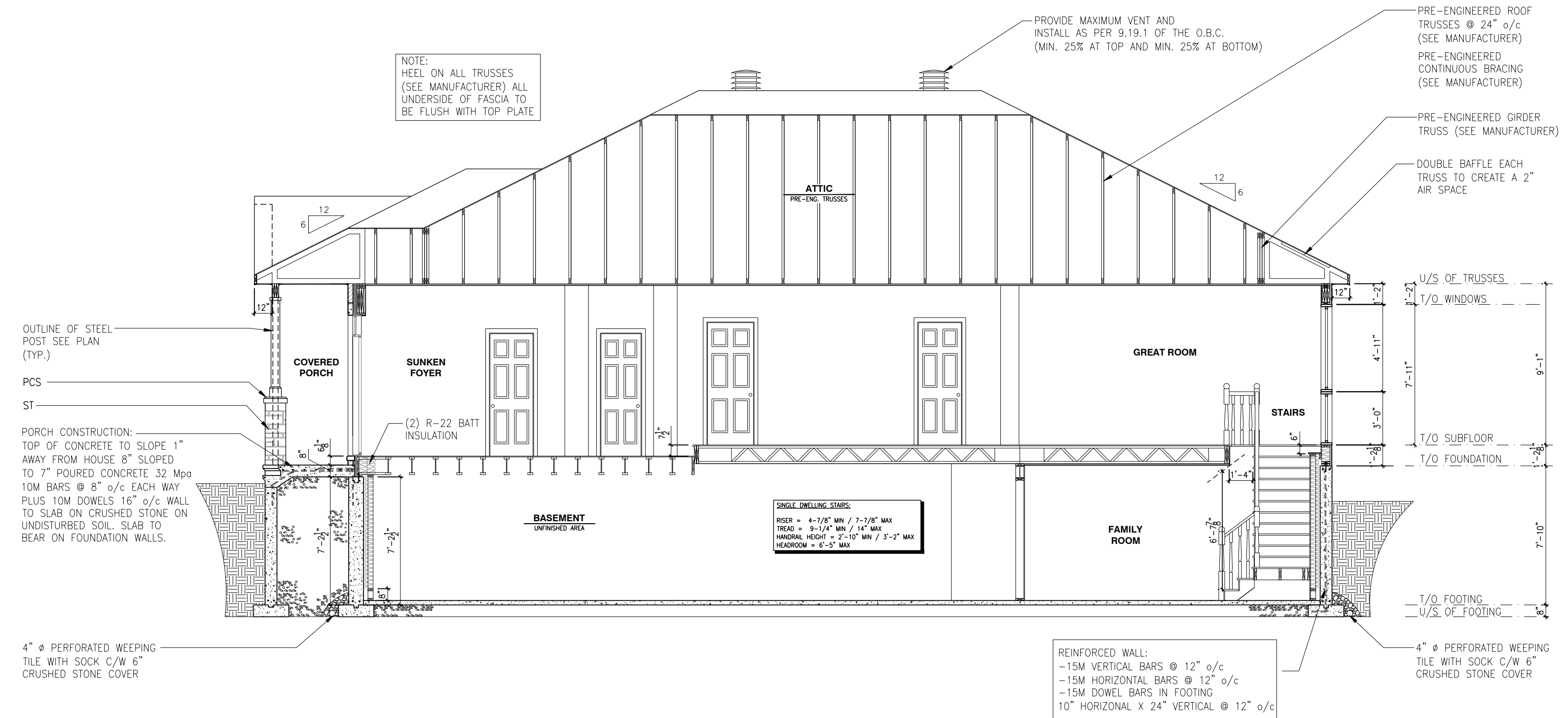
2012 O.B.C. DRAWINGS

DRAWING: ELEVATION A & B - REAR

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A4



ELEVATION A & B BUILDING SECTION - 2 AND 3 BEDROOM (STANDARD)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS' ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
• UNLESS OTHERWISE NOTED  
• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*)  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING:BUILDING SECTION

ADDRESS:XX

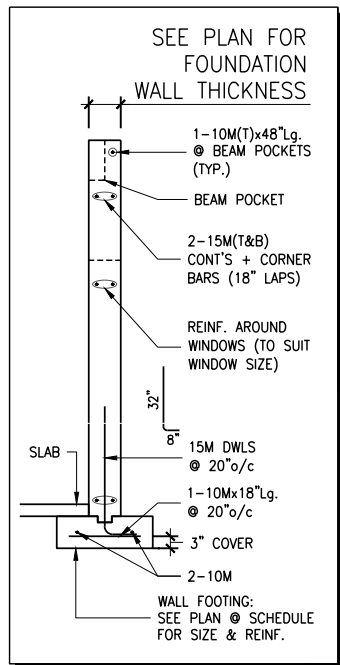
SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

A9

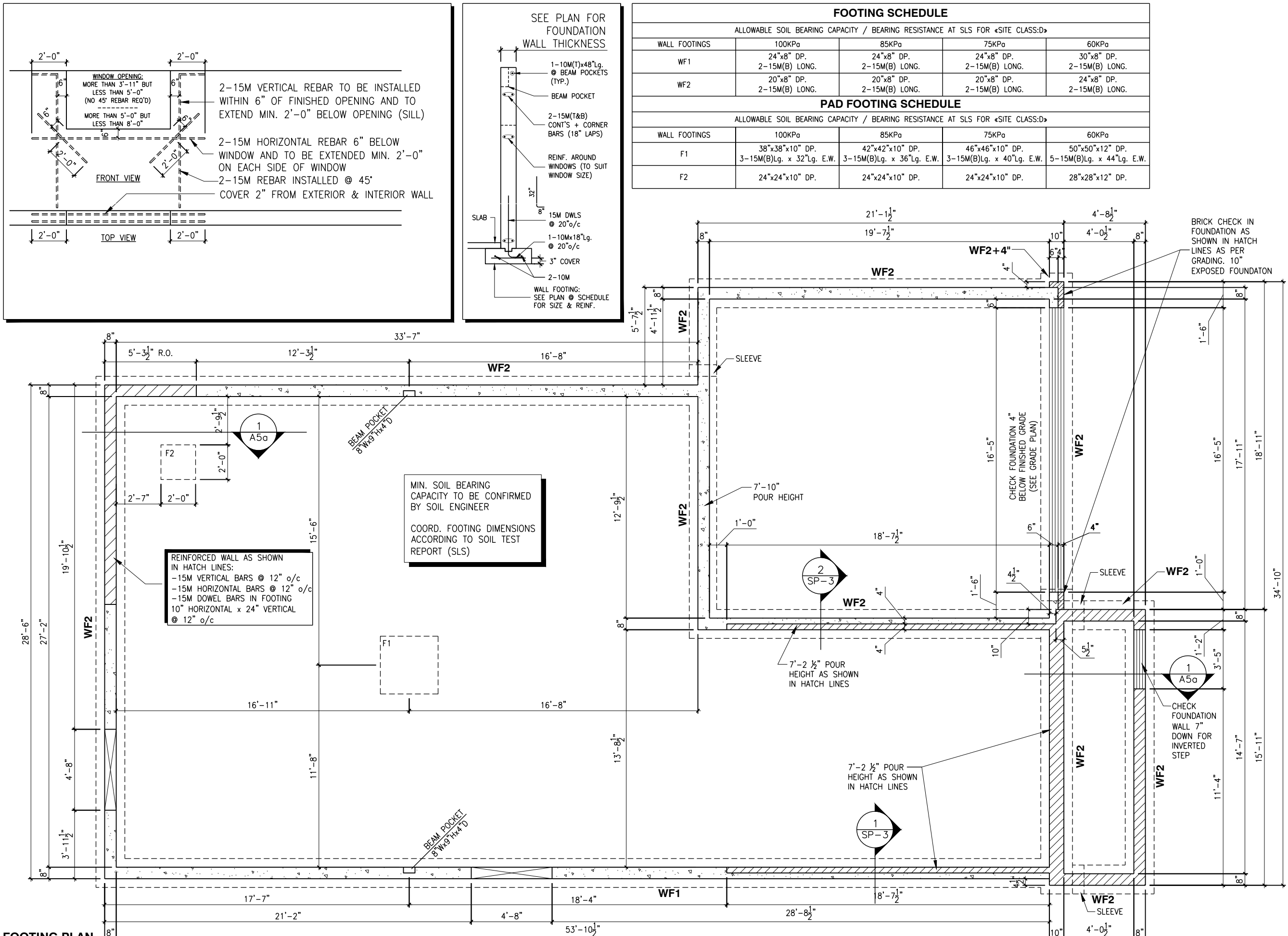




FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF2	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.


  

PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	38"x38"x10" DP. 3-15M(B)Lg. x 32"Lg. E.W.	42"x42"x10" DP. 3-15M(B)Lg. x 36"Lg. E.W.	46"x46"x10" DP. 3-15M(B)Lg. x 40"Lg. E.W.	50"x50"x12" DP. 5-15M(B)Lg. x 44"Lg. E.W.
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.



**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**

---


**Valecraft**  
**Homes (2019) Limited**

\_\_\_\_\_ **DANIEL GUERIN** \_\_\_\_\_, ARCHITECTURAL MANAGER FOR  
 VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENT  
 AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIOR REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE  
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW  
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS  
TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING  
DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER  
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING  
CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL  
DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALCREAF'S  
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
  - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
  - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
  - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
  - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ( $\pm 1\%$ ) AIR ENTRAINMENT;
  - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS		
ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
DESCRIPTION	DATE	BY

**FOOTING PLAN - 2 AND 3 BE  
ELEV. A & B**

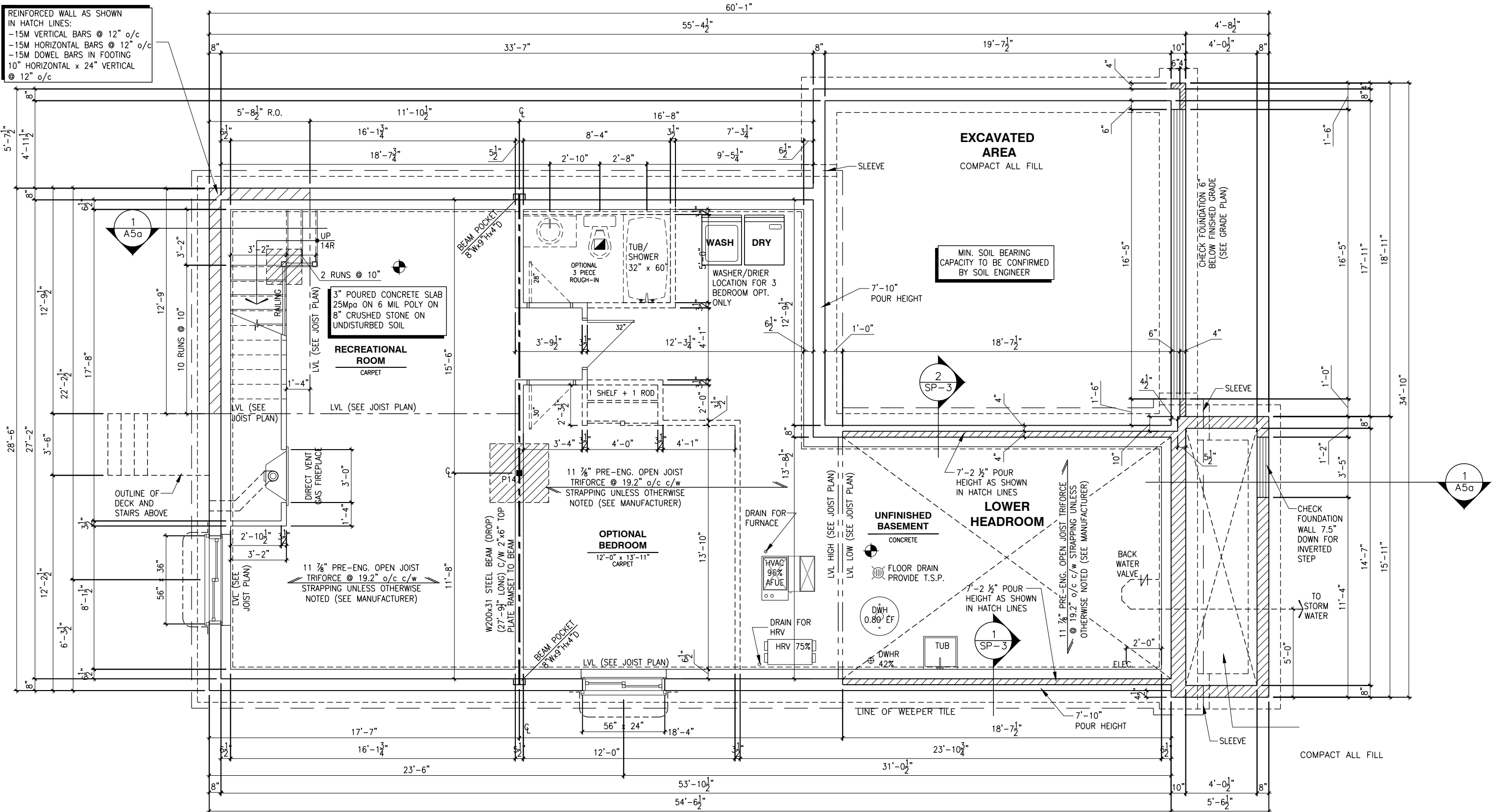
S: PARADE DR.	SCALE: 3/16" = 1'-0"	DATE: 10/31/2018
------------------	-------------------------	---------------------

**- THE MANNING  
2 FOOTPRINT**

(DRAWINGS)

**SHEET:  
A5**

REINFORCED WALL AS SHOWN  
IN HATCH LINES:  
-15M VERTICAL BARS @ 12" o/c  
-15M HORIZONTAL BARS @ 12" o/c  
-15M DOWEL BARS IN FOOTING  
10" HORIZONTAL x 24" VERTICAL  
@ 12" o/c



BASEMENT FLOOR PLAN - 2 AND 3 BEDROOM - ELEVATION A & B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV	DESCRIPTION	DATE	BY
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. (\*) + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

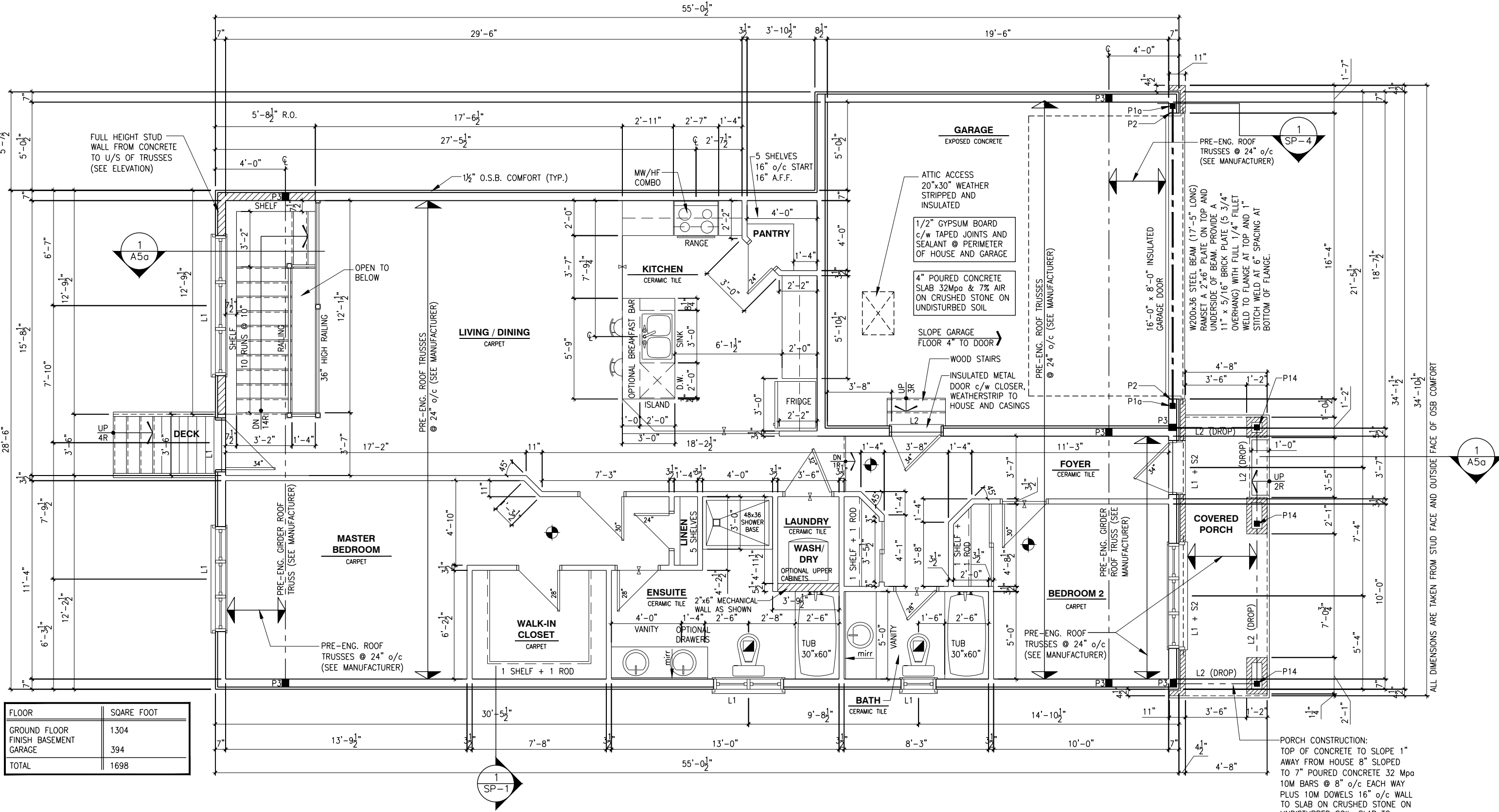
DRAWING: BASEMENT - 2 AND 3 BED.  
ELEV. A & B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A6



FLOOR	SQARE FOOT
GROUND FLOOR	1304
FINISH BASEMENT	394
GARAGE	
TOTAL	1698

GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
• UNLESS OTHERWISE NOTED  
• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)  
• POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

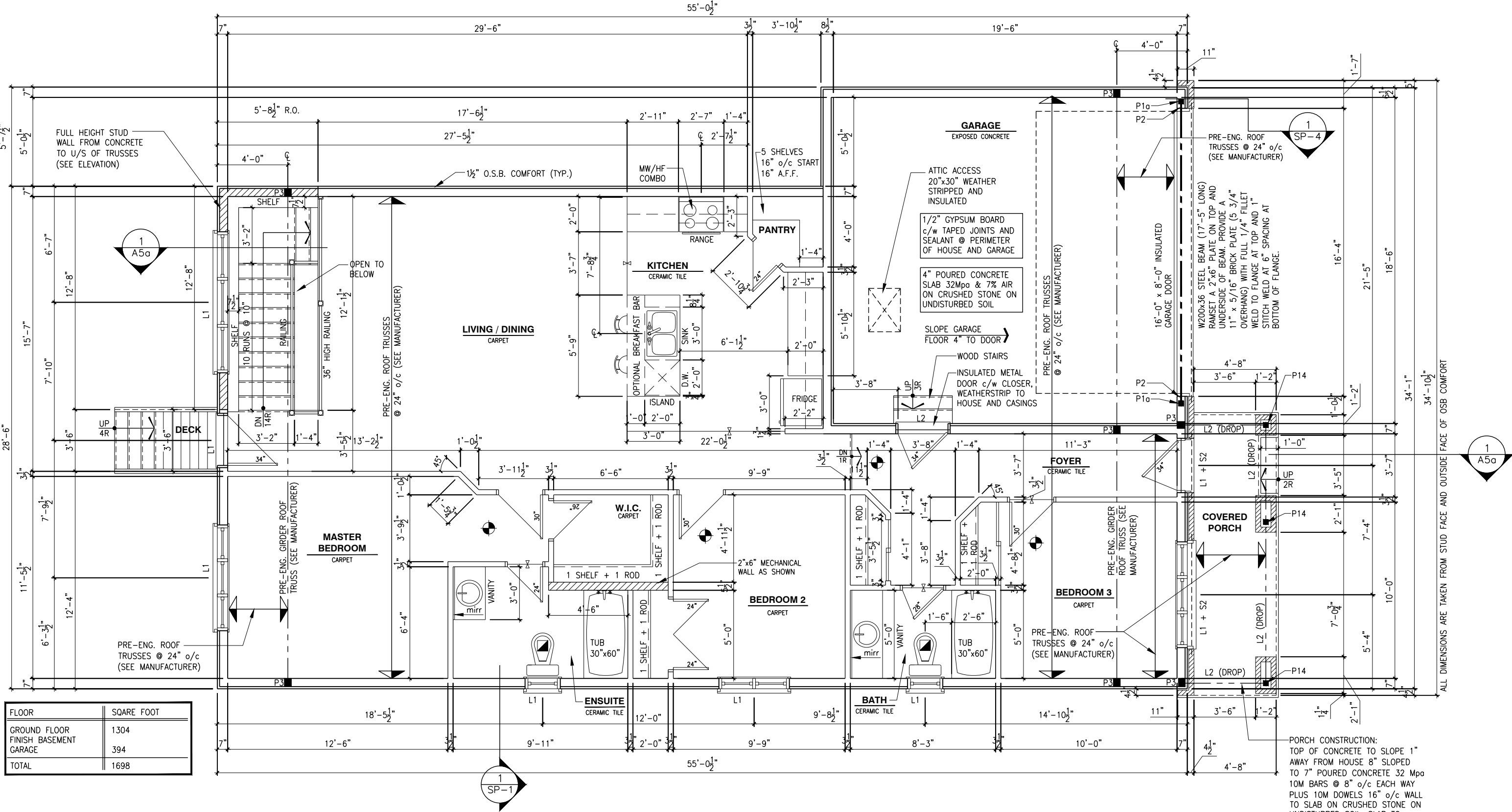
2012 O.B.C. DRAWINGS

GROUND FLOOR PLAN  
2 BED - ELEV. A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

A7



GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS, ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

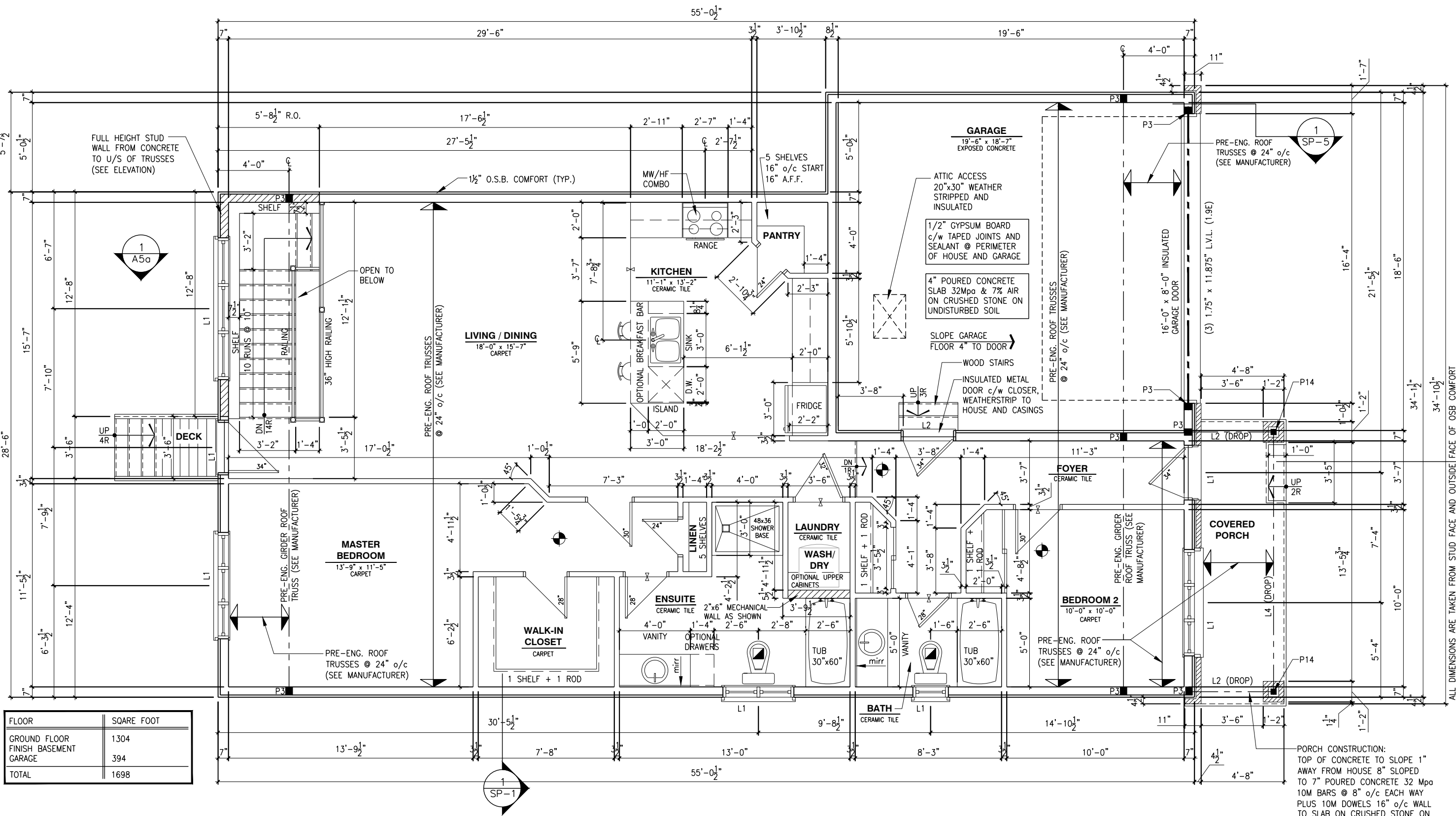
DRAWING: GROUND FLOOR PLAN  
3 BED - ELEV. A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

SHEET: A7a

(STANDARD DRAWINGS)



GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*) + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

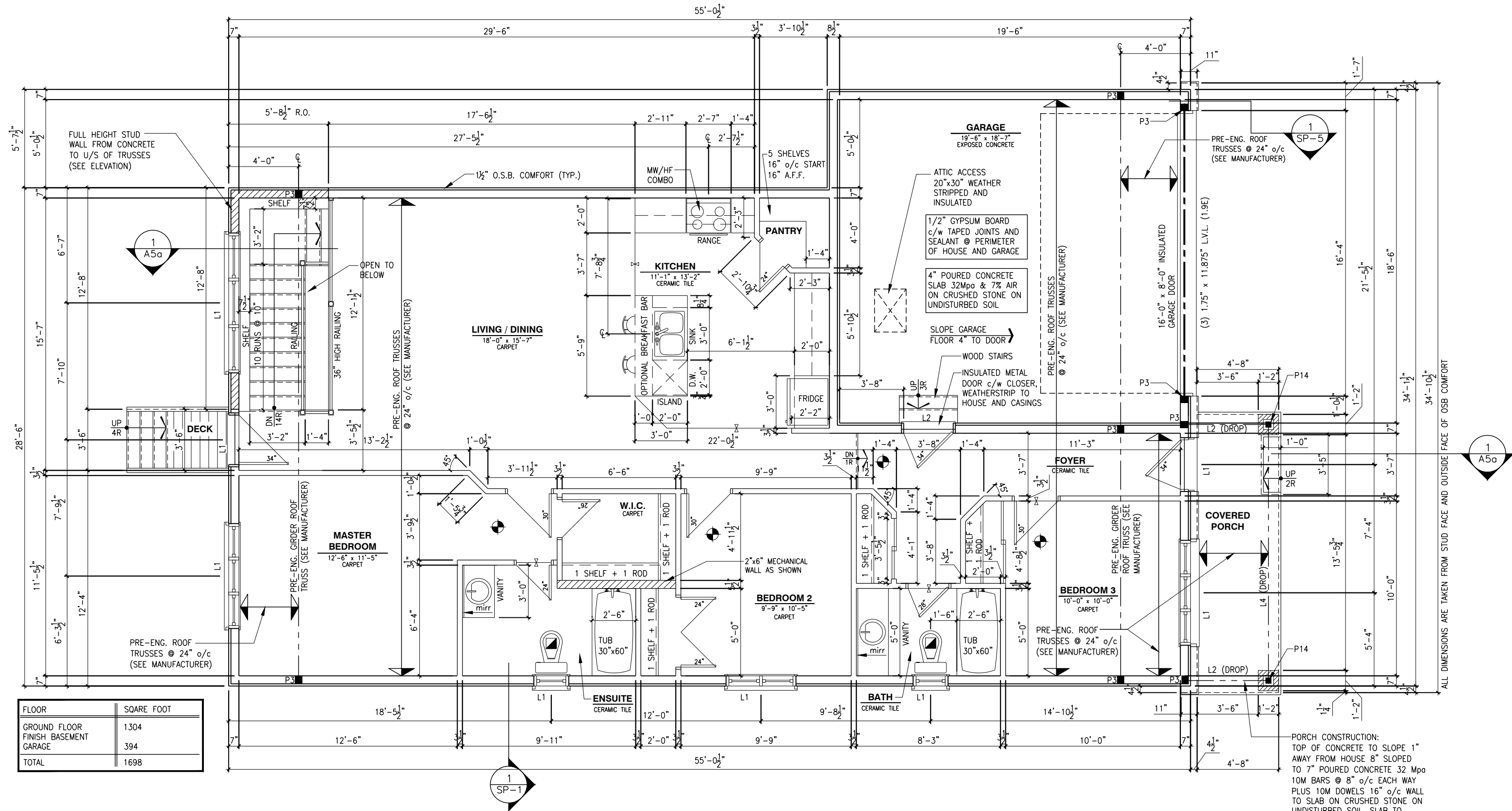
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN  
2 BED - ELEV. B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

SHEET: A7b  
(STANDARD DRAWINGS)



GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STAIRS	04/20/2021	DOYON
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*) + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

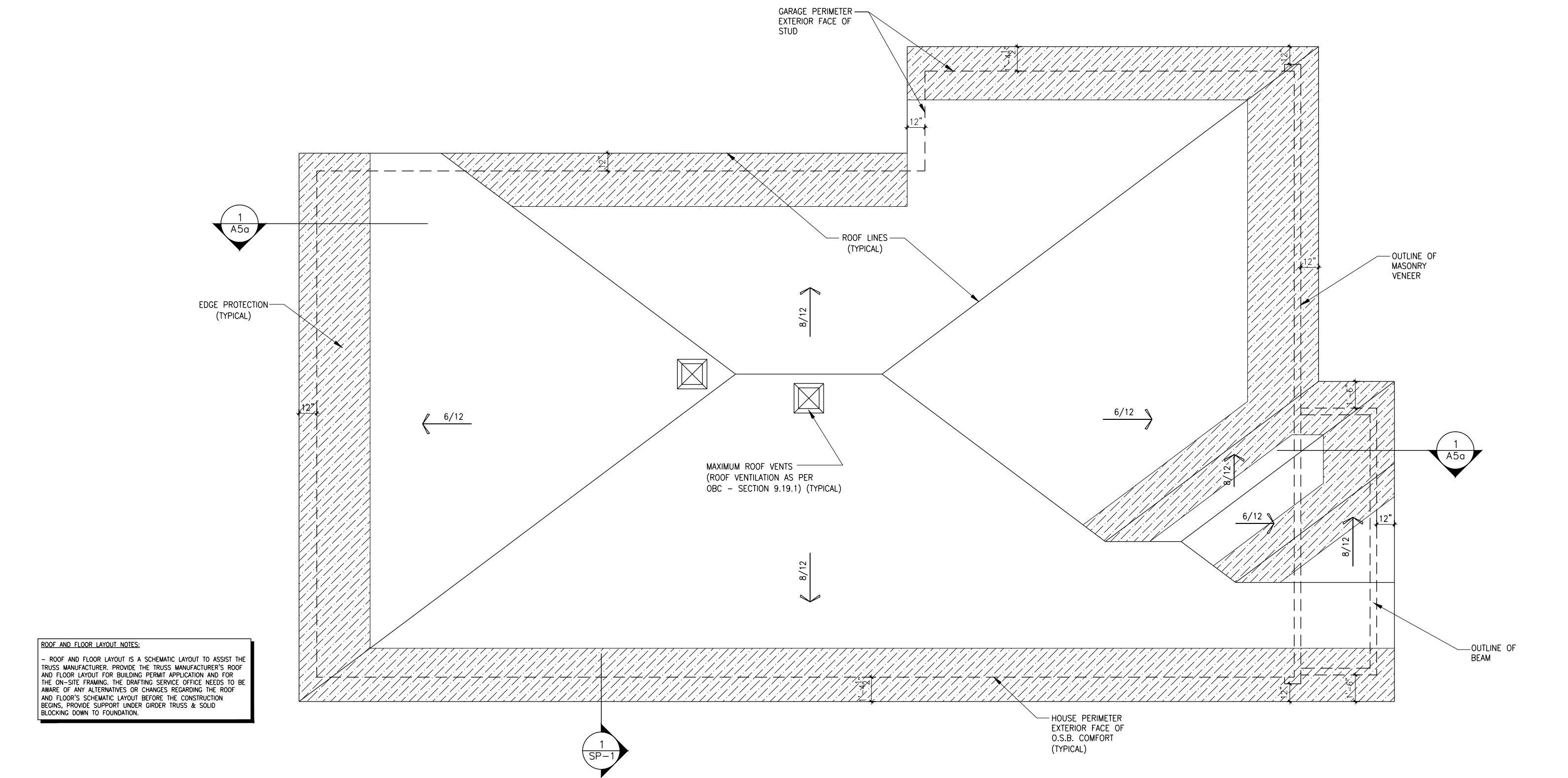
DRAWING: GROUND FLOOR PLAN  
3 BEDROOM - ELEV. B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

SHEET: A7c

(STANDARD DRAWINGS)



ROOF PLAN - ELEVATION A - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

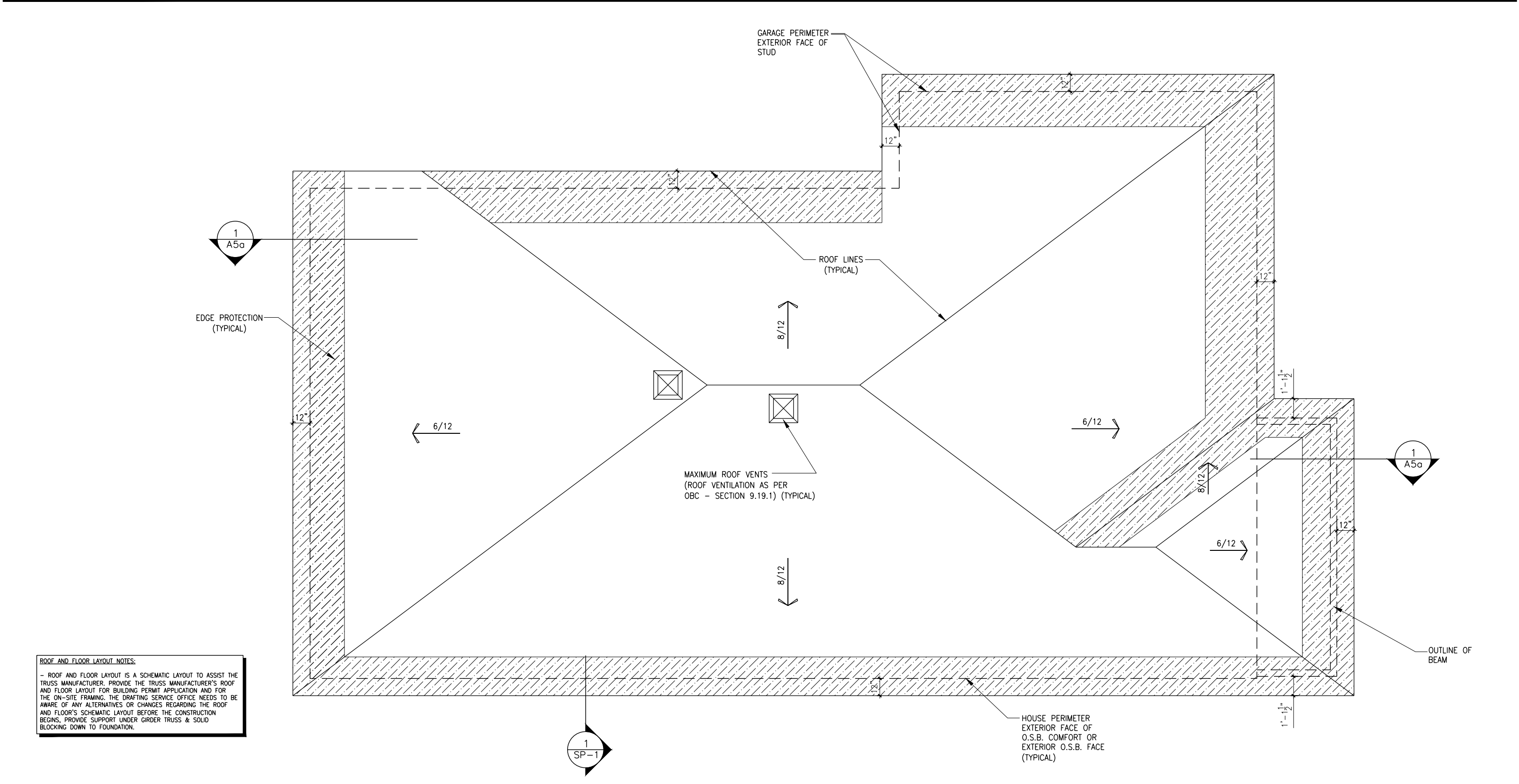
2012 O.B.C. DRAWINGS

DRAWING: ROOF PLAN - ELEVATION A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A8a



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

ROOF PLAN - ELEVATION B - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

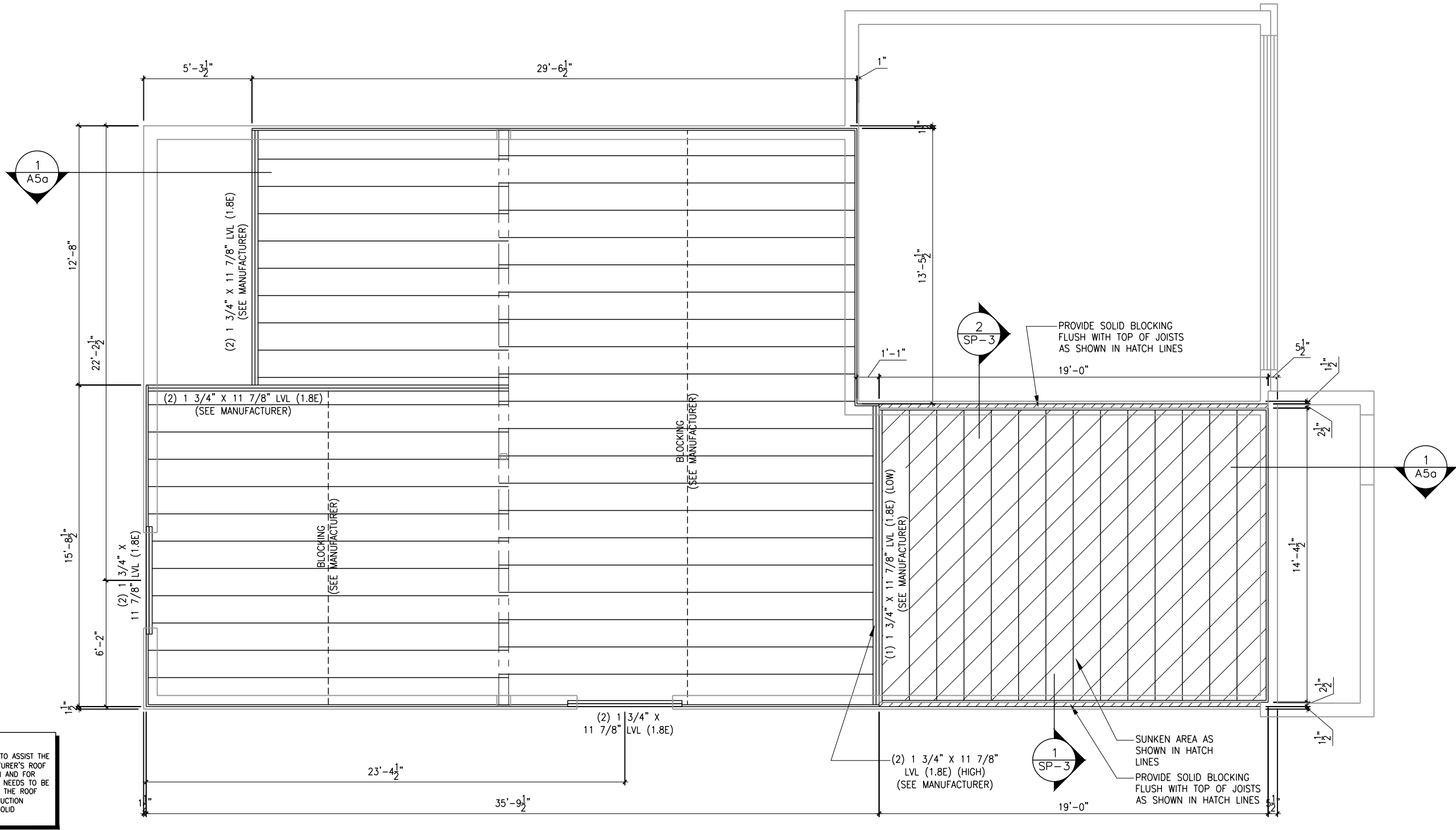


A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS		
DRAWING: ROOF PLAN - ELEVATION B		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A8b





ROOF AND FLOOR LAYOUT NOTES:  
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

SILL PLATE LOCATION PLAN - 2 AND 3 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

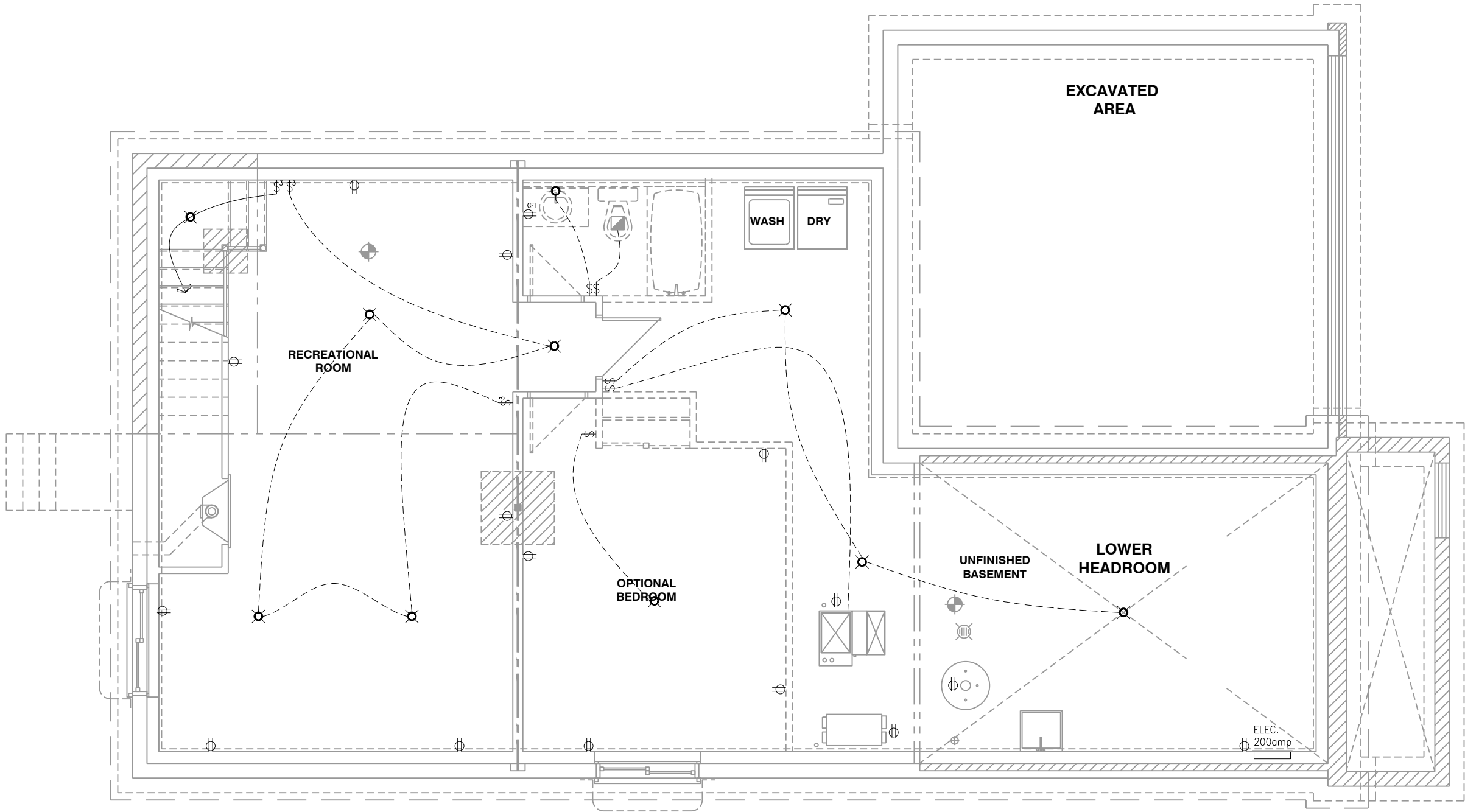
LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	15/01/2018	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS		
DRAWING: SILL PLATE LOCATION PLAN 2 AND 3 BED - ELEVATION A, B, C		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A10



ELECTRICAL PLAN  
BASEMENT FLOOR PLAN - 2 AND 3 BEDROOM - ELEVATION A & B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #44555			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

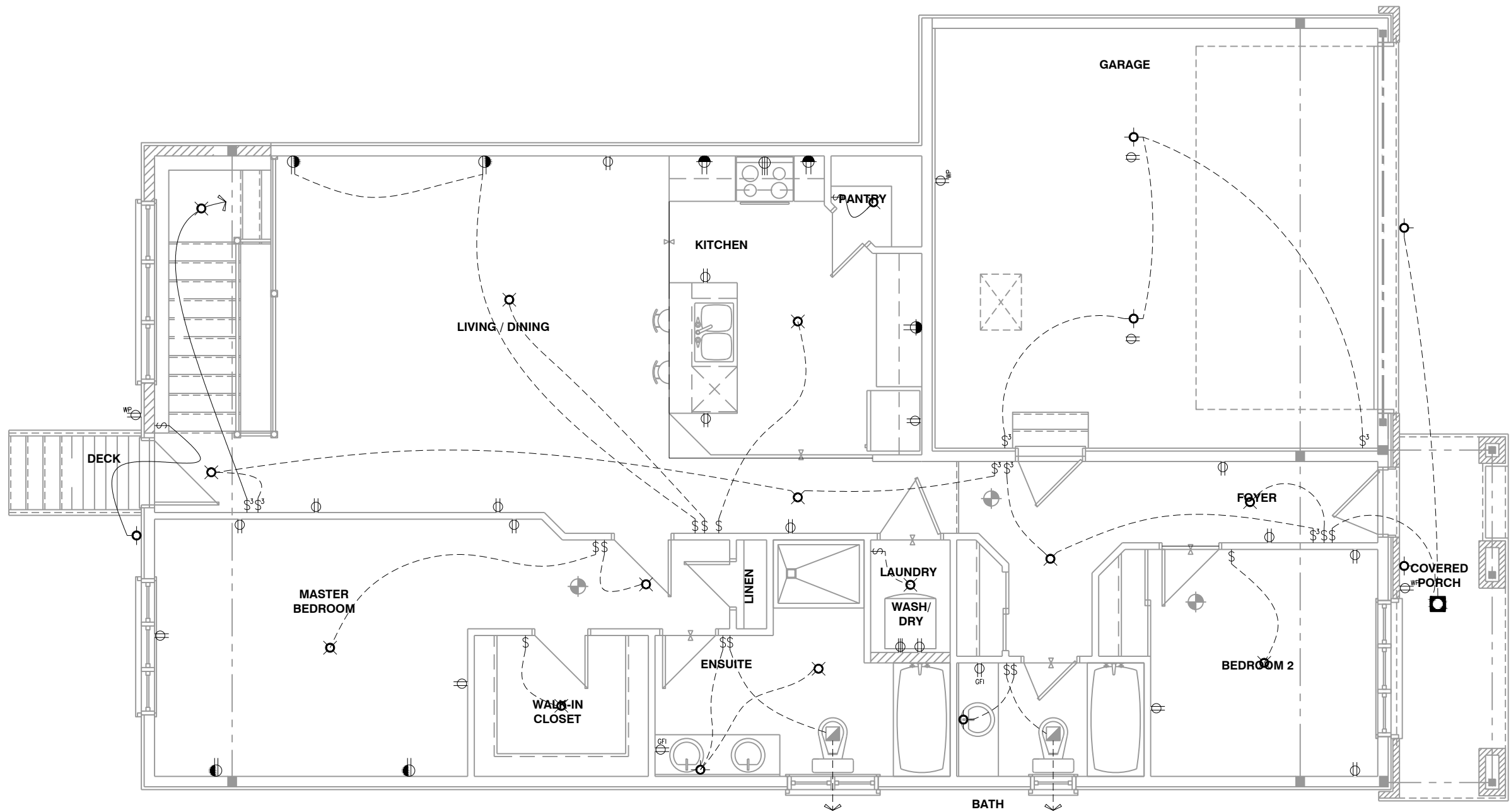
2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - BASEMENT  
2 AND 3 BED. - ELEV. A & B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)


SHEET: E1a



ELECTRICAL PLAN  
GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)



SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT; SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

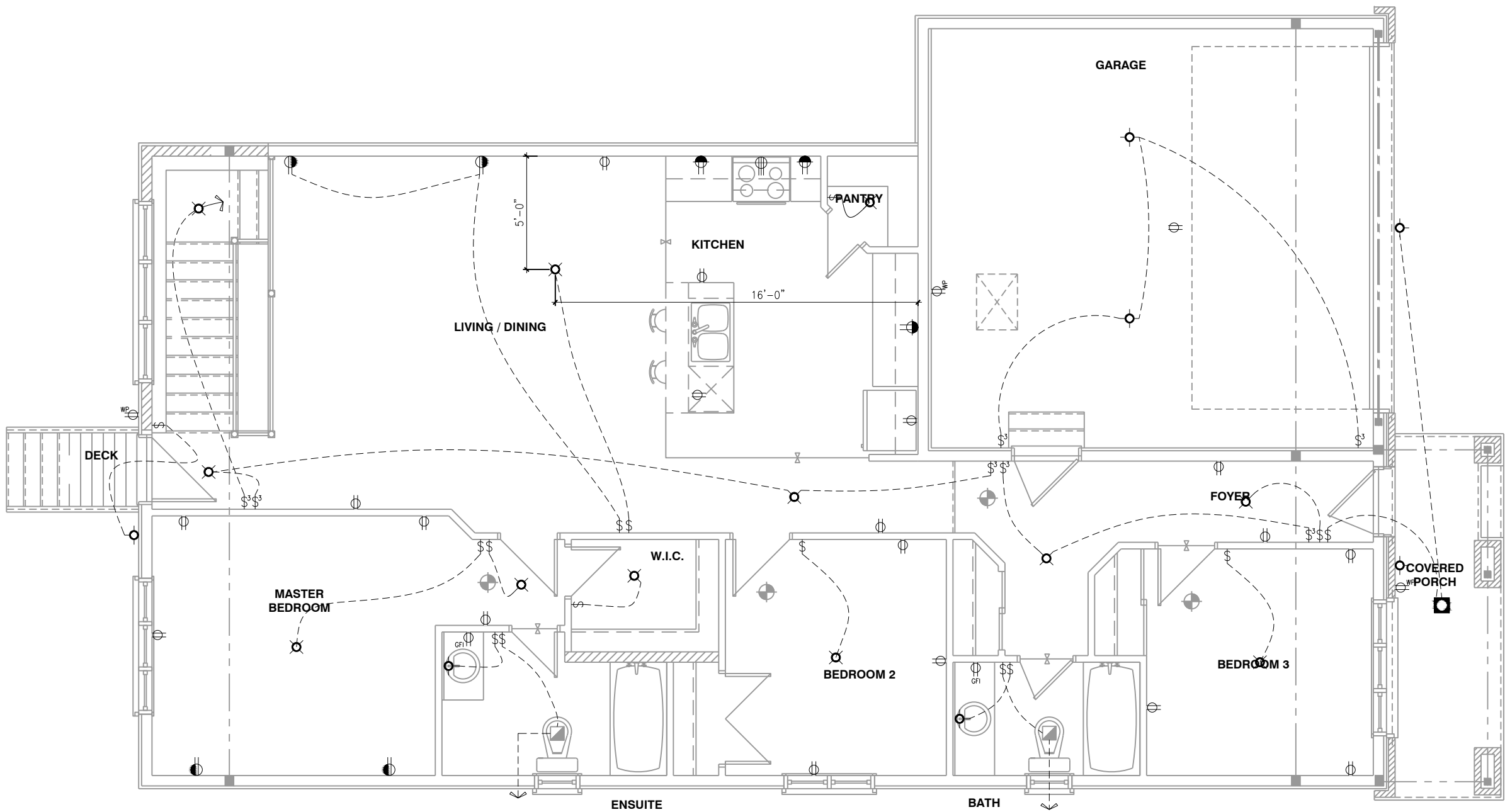
2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - GROUND  
FLOOR - 2 BED - ELEV. A, B, C

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E2a



ELECTRICAL PLAN  
GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT; SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-3	ISSUED FOR BUILDING PERMIT	11/19/2018	DOYON
REV-2	ISSUED FOR STRUCTURAL REVIEW	11/07/2018	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	10/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - GROUND  
FLOOR - 3 BED - ELEV. A, B, C

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E2a