

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

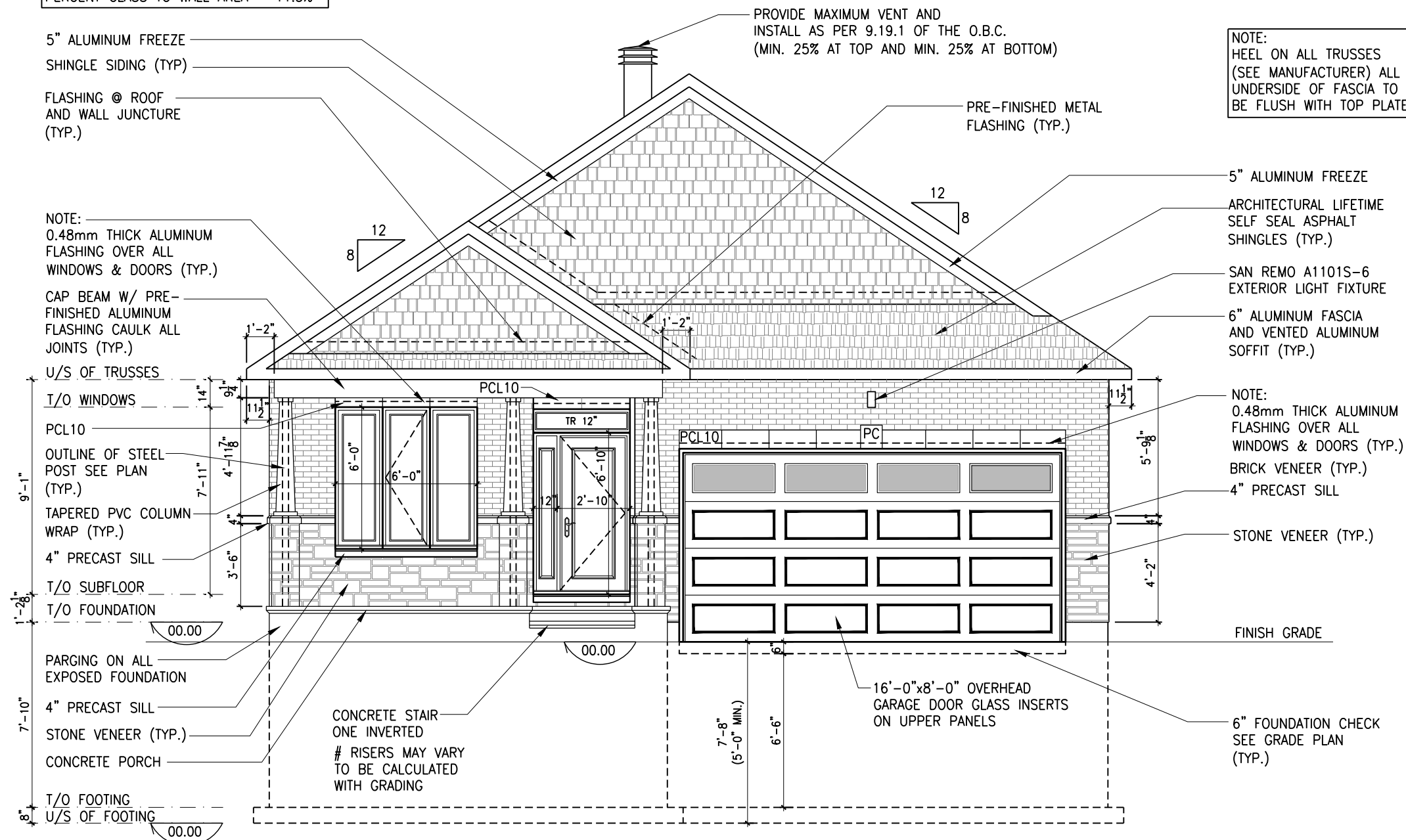
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
 PCL10 - 10" PRECAST LINTEL

STANDARD PLAN:
 GROSS INSULATED = 190.7 M. SQ.
 WALL AREA
 GROSS WINDOW = 21.6 M. SQ.
 AREA
 PERCENT GLASS TO WALL AREA = 11.3%



2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **FRONT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

LOT: XXXX
 DATE: XX/XX/XXXX



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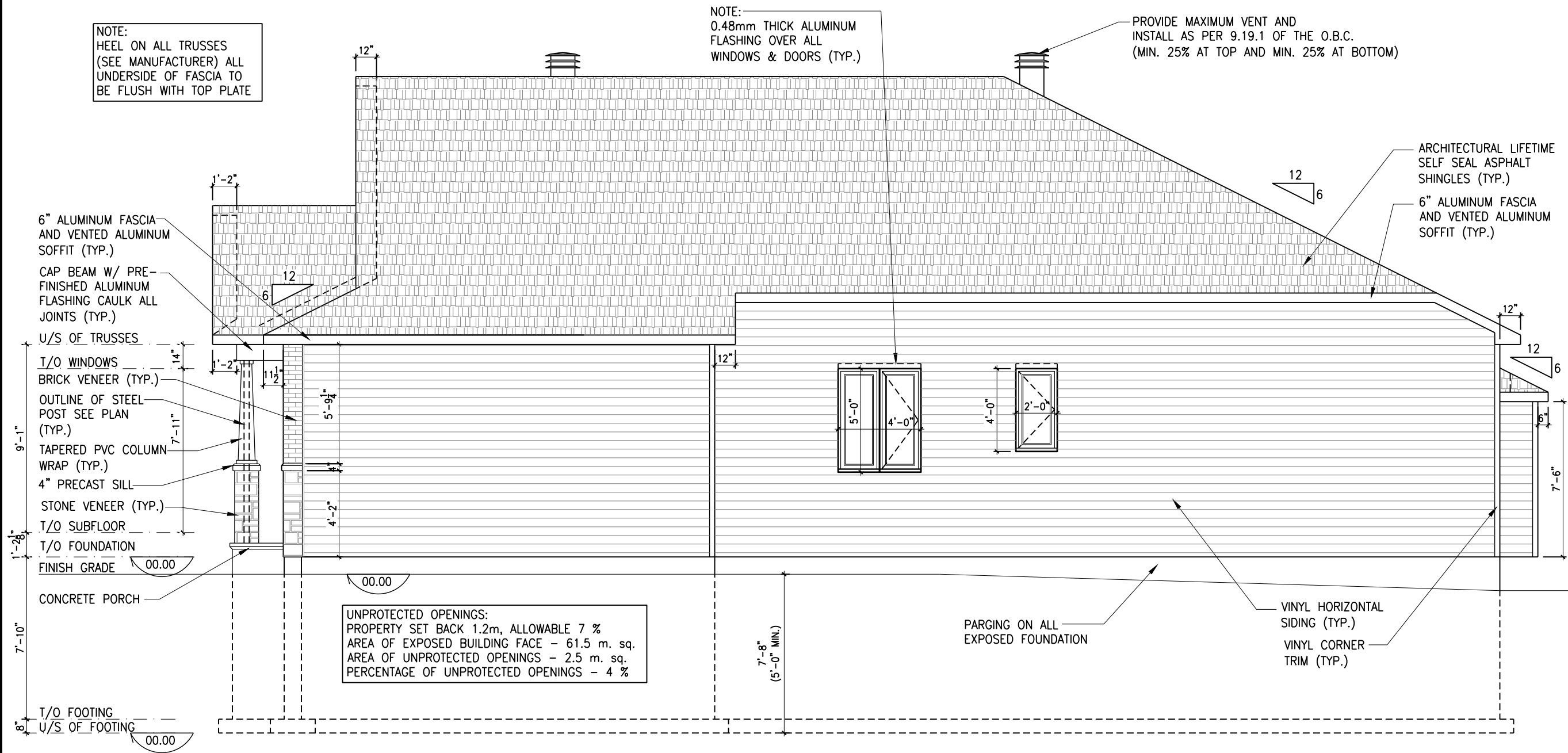
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 PCL10 - 10" PRECAST LINTEL

NOTE:
 HEEL ON ALL TRUSSES
 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE

NOTE:
 0.48mm THICK ALUMINUM
 FLASHING OVER ALL
 WINDOWS & DOORS (TYP.)

PROVIDE MAXIMUM VENT AND
 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 61.5 m. sq.
 AREA OF UNPROTECTED OPENINGS - 2.5 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 4 %

RIGHT ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.2a

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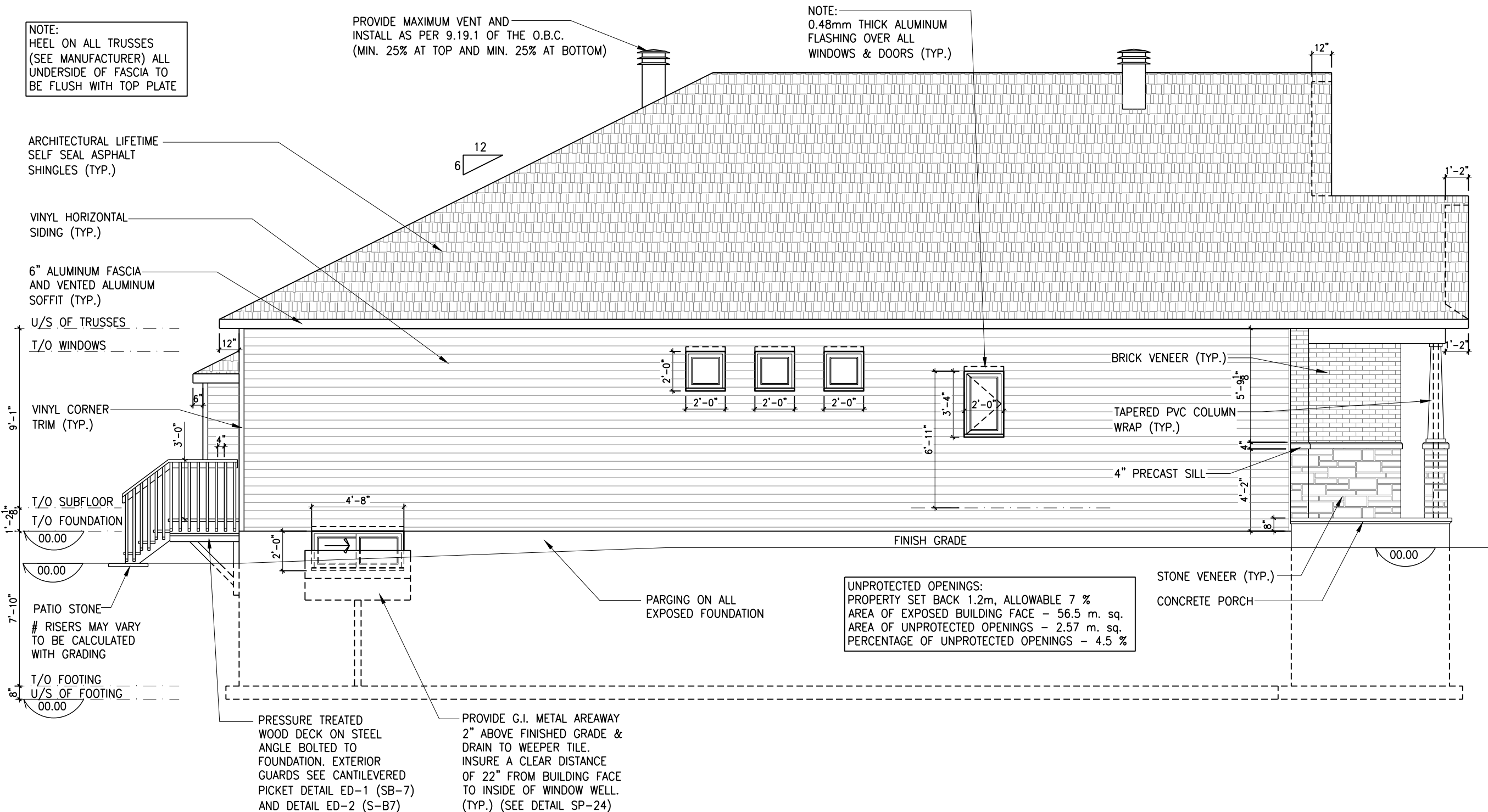
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 (SEE MANUFACTURER) ALL
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 BE FLUSH WITH TOP PLATE

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 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
 0.48mm THICK ALUMINUM
 FLASHING OVER ALL
 WINDOWS & DOORS (TYP.)

ARCHITECTURAL LIFETIME
 SELF SEAL ASPHALT
 SHINGLES (TYP.)

VINYL HORIZONTAL
 SIDING (TYP.)

6" ALUMINUM FASCIA
 AND VENTED ALUMINUM
 SOFFIT (TYP.)

U/S OF TRUSSES
 T/O WINDOWS

VINYL CORNER
 TRIM (TYP.)

T/O SUBFLOOR
 T/O FOUNDATION

PATIO STONE
 # RISERS MAY VARY
 TO BE CALCULATED
 WITH GRADING

T/O FOOTING
 U/S OF FOOTING

PRESSURE TREATED
 WOOD DECK ON STEEL
 ANGLE BOLTED TO
 FOUNDATION. EXTERIOR
 GUARDS SEE CANTILEVERED
 PICKET DETAIL ED-1 (SB-7)
 AND DETAIL ED-2 (S-B7)

PROVIDE G.I. METAL AREAWAY
 2" ABOVE FINISHED GRADE &
 DRAIN TO WEEPER TILE.
 INSURE A CLEAR DISTANCE
 OF 22" FROM BUILDING FACE
 TO INSIDE OF WINDOW WELL.
 (TYP.) (SEE DETAIL SP-24)

PARGING ON ALL
 EXPOSED FOUNDATION

UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 56.5 m. sq.
 AREA OF UNPROTECTED OPENINGS - 2.57 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 4.5 %

BRICK VENEER (TYP.)

TAPERED PVC COLUMN
 WRAP (TYP.)

4" PRECAST SILL

STONE VENEER (TYP.)

CONCRETE PORCH

LEFT ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
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DRAWING: **LEFT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

LOT: XXXX
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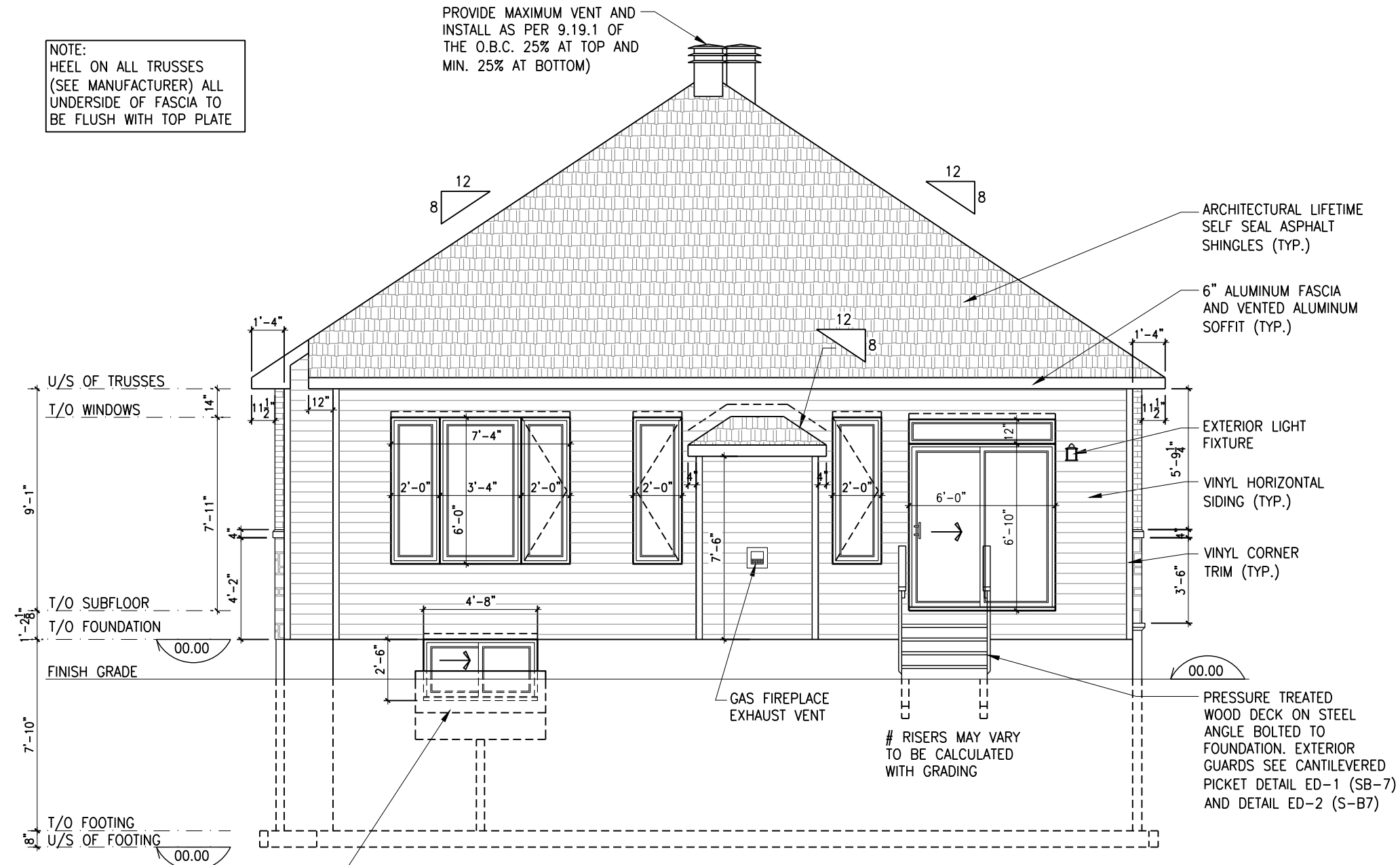
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 2" ABOVE FINISHED GRADE &
 DRAIN TO WEEPER TILE.
 INSURE A CLEAR DISTANCE
 OF 22" FROM BUILDING FACE
 TO INSIDE OF WINDOW WELL.
 (TYP.) (SEE DETAIL SP-24)

REAR ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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1015 - THE MURRY
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SHEET:
A.4a

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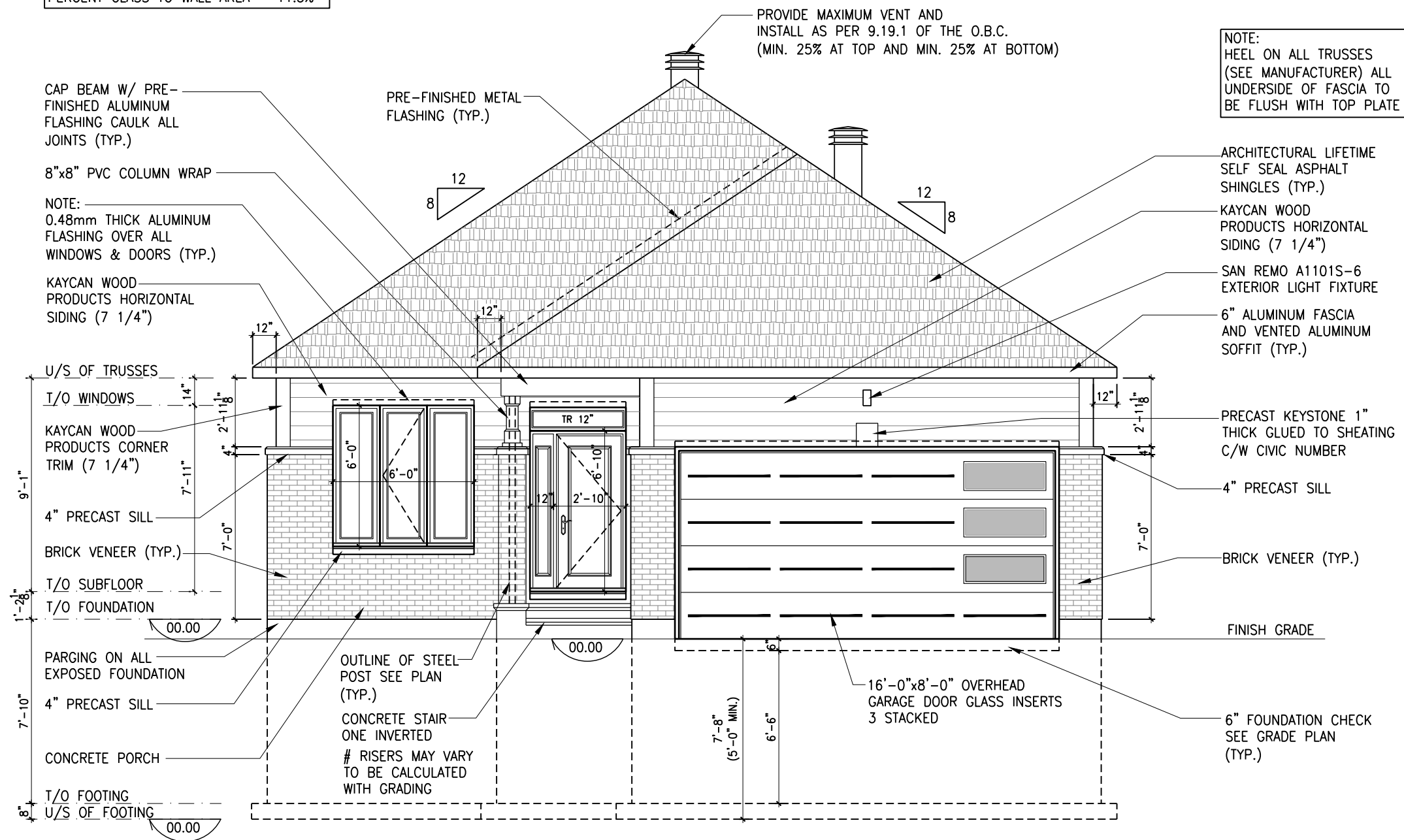
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 AREA
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FRONT ELEVATION B

SCALE: 3/16" = 1'-0"

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DRAWING: **FRONT ELEVATION B**

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SHEET: **A.1b**

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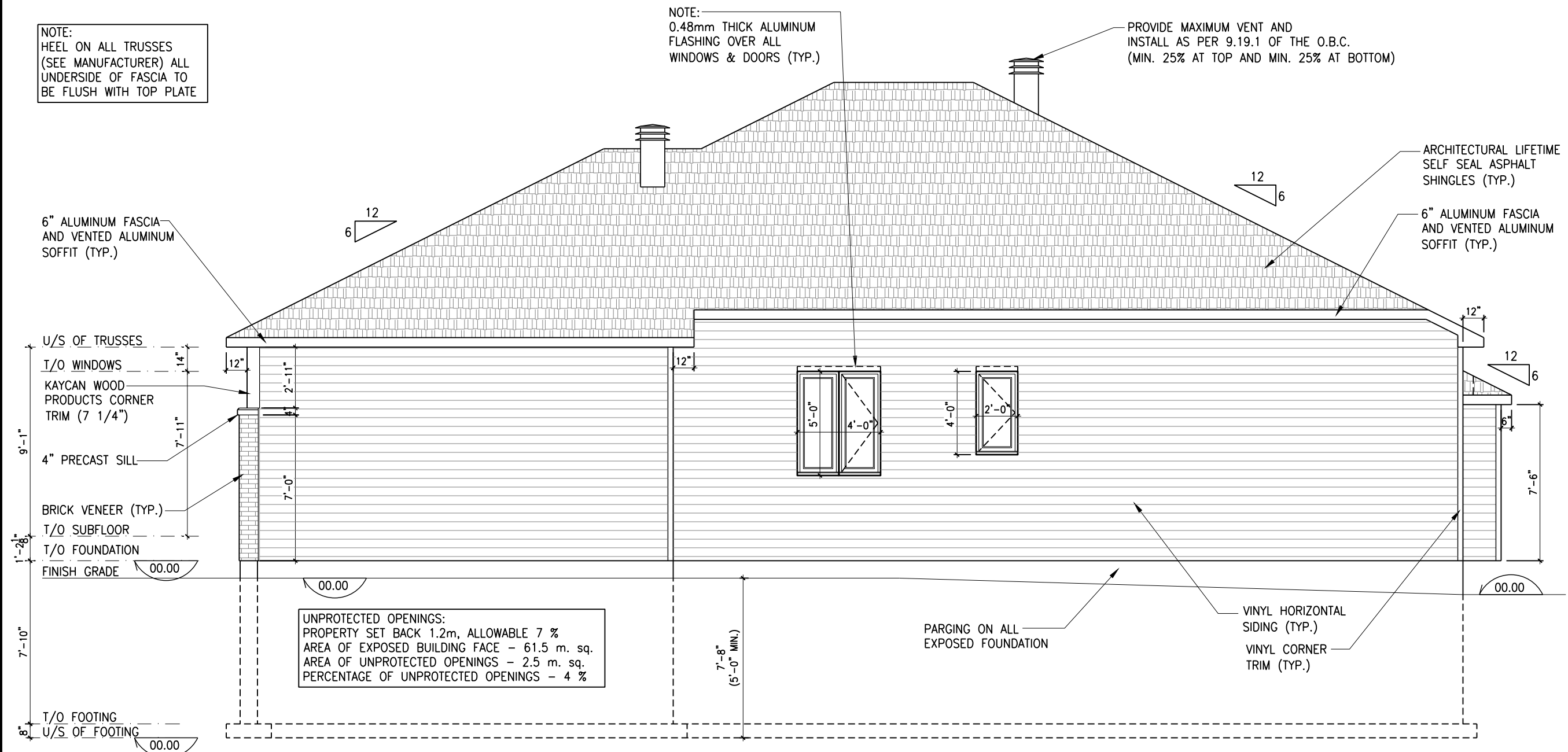
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RIGHT ELEVATION B
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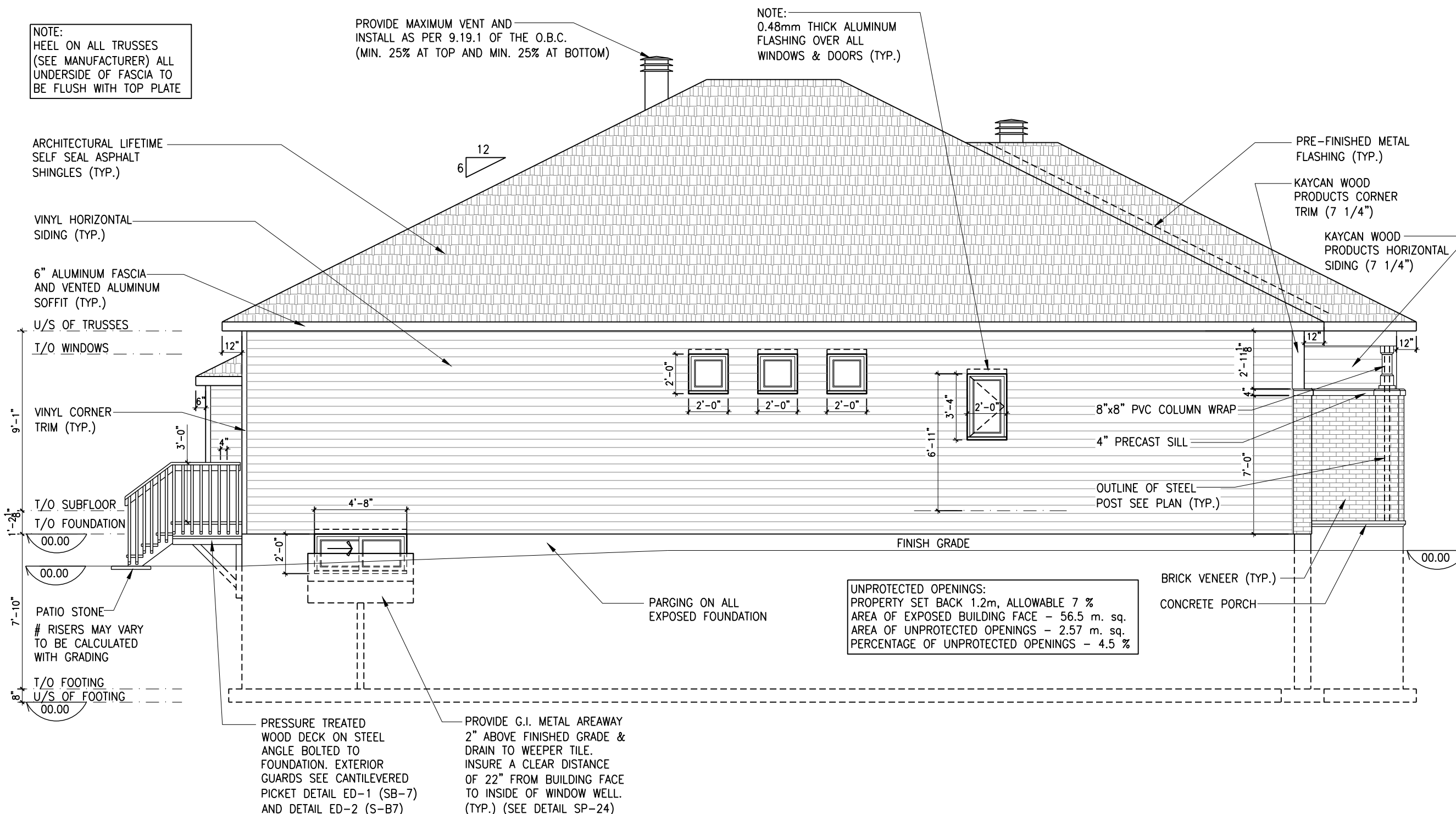
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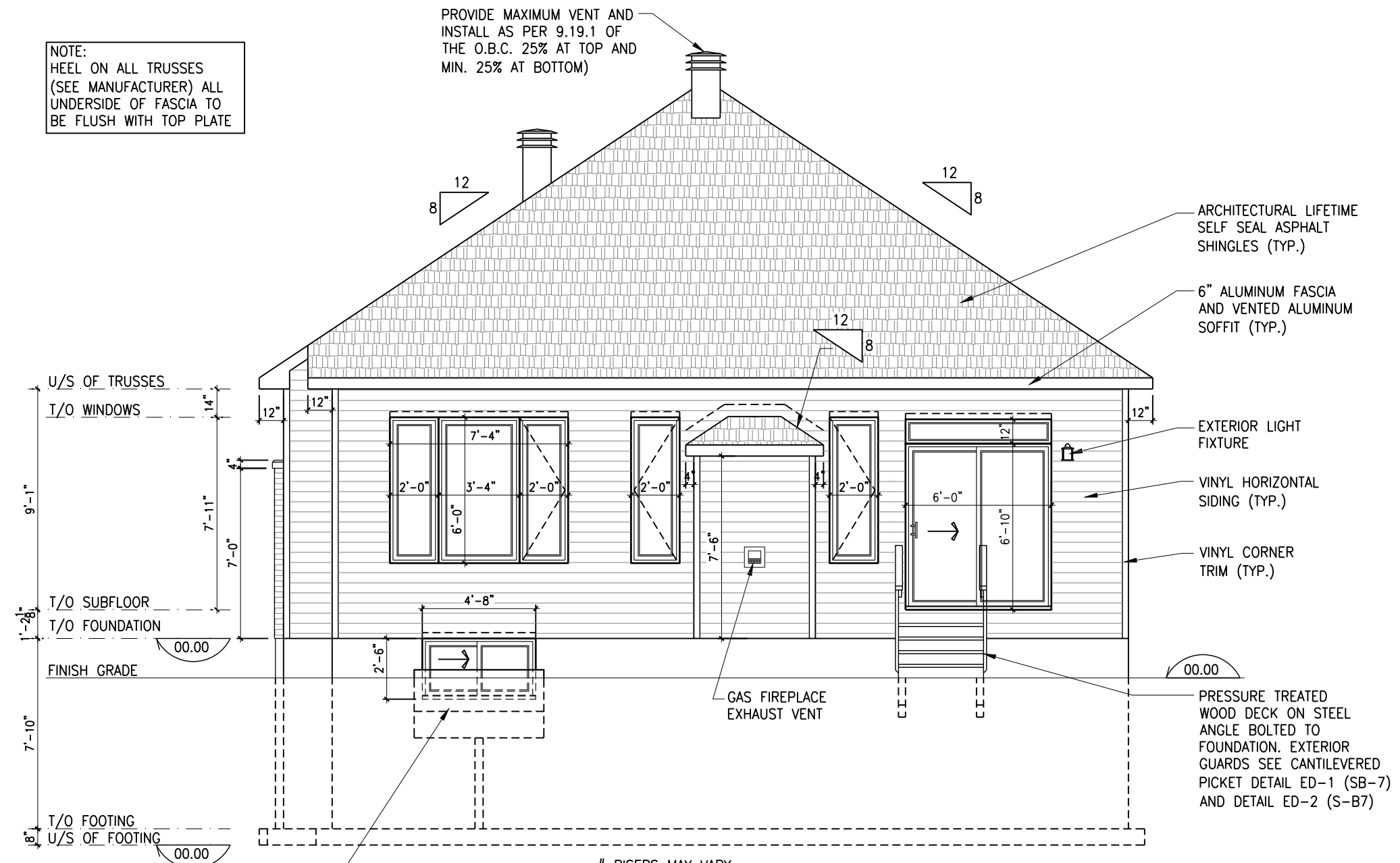
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 INSURE A CLEAR DISTANCE
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 TO INSIDE OF WINDOW WELL.
 (TYP.) (SEE DETAIL SP-24)

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 TO BE CALCULATED
 WITH GRADING

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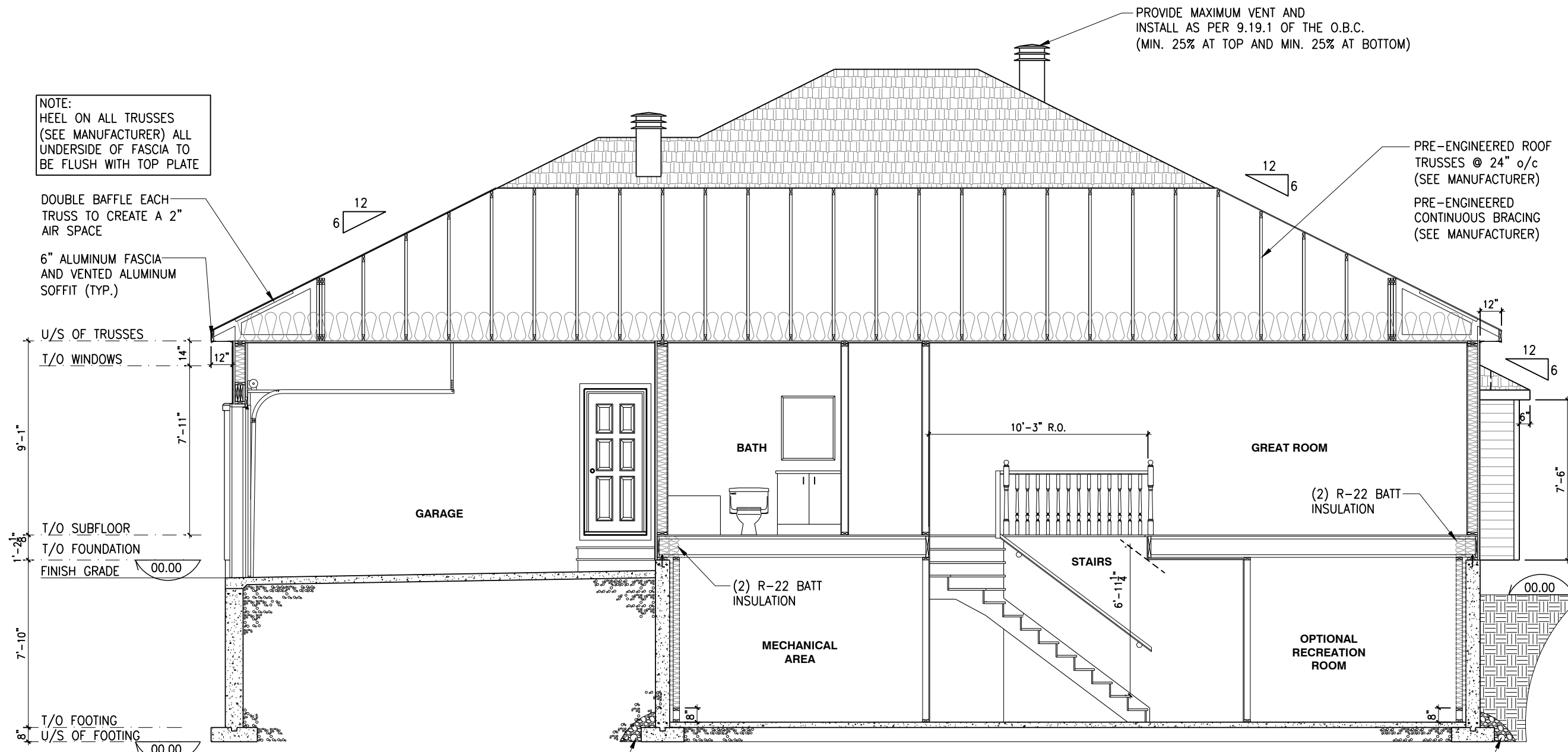
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 BE FLUSH WITH TOP PLATE

DOUBLE BAFFLE EACH
 TRUSS TO CREATE A 2"
 AIR SPACE

6" ALUMINUM FASCIA
 AND VENTED ALUMINUM
 SOFFIT (TYP.)

U/S OF TRUSSES
 T/O WINDOWS

9'-1"
 7'-11"

T/O SUBFLOOR
 T/O FOUNDATION
 FINISH GRADE

7'-10"

T/O FOOTING
 U/S OF FOOTING

PROVIDE MAXIMUM VENT AND
 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

PRE-ENGINEERED ROOF
 TRUSSES @ 24" o/c
 (SEE MANUFACTURER)
 PRE-ENGINEERED
 CONTINUOUS BRACING
 (SEE MANUFACTURER)

GARAGE

BATH

GREAT ROOM

(2) R-22 BATT
 INSULATION

STAIRS

(2) R-22 BATT
 INSULATION

MECHANICAL
 AREA

OPTIONAL
 RECREATION
 ROOM

4" Ø PERFORATED WEEPING
 TILE WITH SOCK C/W 6"
 CRUSHED STONE COVER

SINGLE DWELLING STAIRS:
 RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

4" Ø PERFORATED WEEPING
 TILE WITH SOCK C/W 6"
 CRUSHED STONE COVER

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»

WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.

PAD FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»

WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	40"x40"x10" W/ 3-15M 34" LG. E/W	44"x44"x10" W/ 3-15M 38" LG E/W	48"x48"x10" W/ 4-15M 42" LG E/W	50"x50"x10" W/ 4-15M 44" LG E/W
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

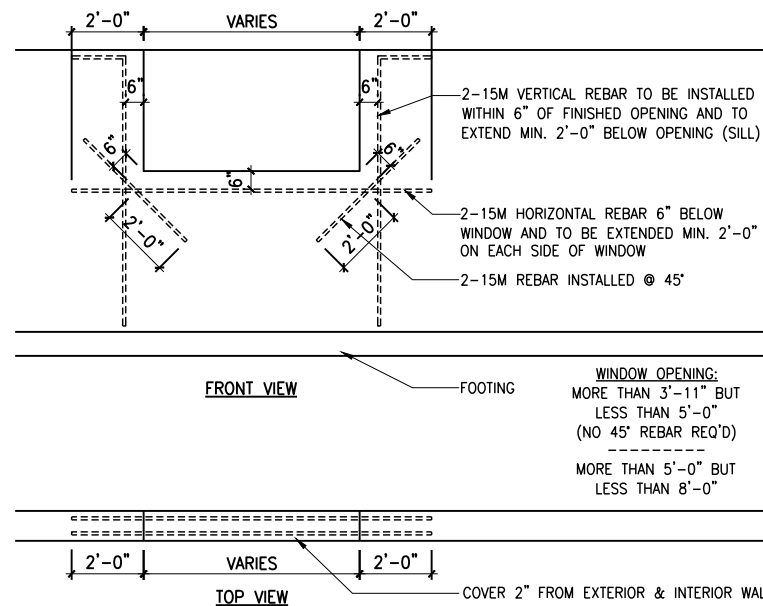
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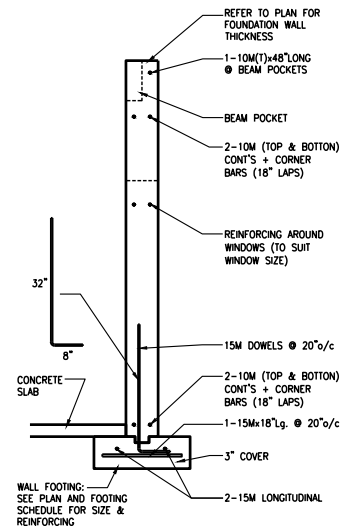
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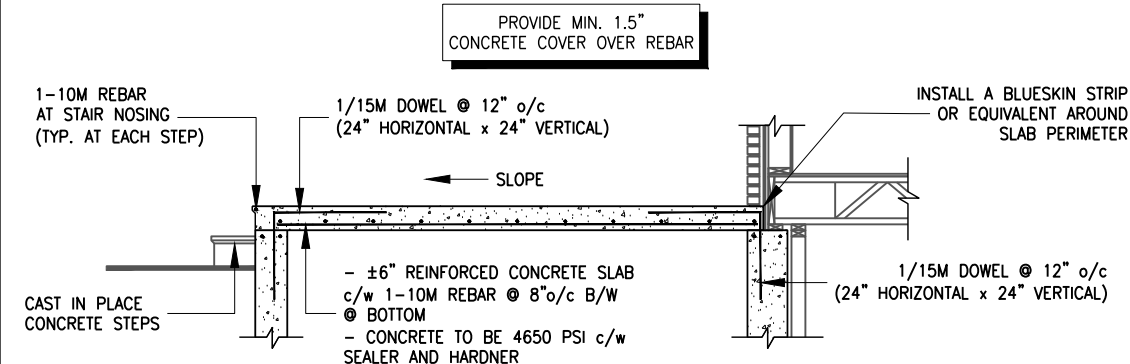
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1 BASEMENT WINDOW REINFORCING
A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING
A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING
A.6 SCALE: 1/4" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **FOOTING SCHEDULE AND CONCRETE DETAILS**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A6**

SEE A6F FOR FOOTING TABLE

LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
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P2 = 2-2x4 OR 2-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

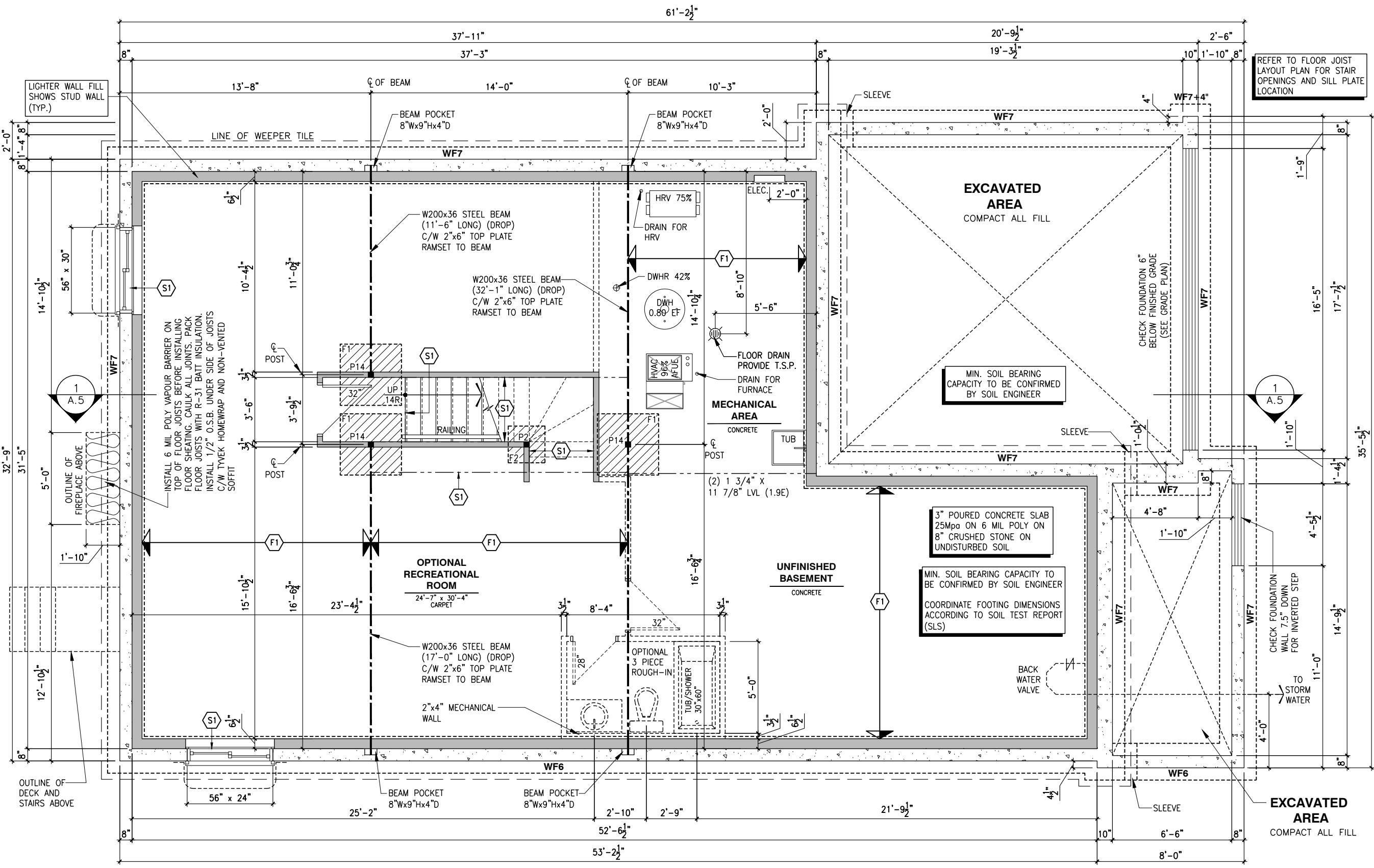
2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION		01/01/2022	DOYON

DRAWING: **BASEMENT FLOOR - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT SHEET: **A6a**
(STANDARD DRAWINGS)



SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR FRAMING:
F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

BASEMENT FLOOR PLAN - ELEVATION A
SCALE: 3/16" = 1'-0"

SEE A6F FOR FOOTING TABLE

LOT: XXXX
DATE: XX/XX/XXXX



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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
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 - S7 = L 150x100x10 (8" BEARING)
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2012 O.B.C. DRAWINGS

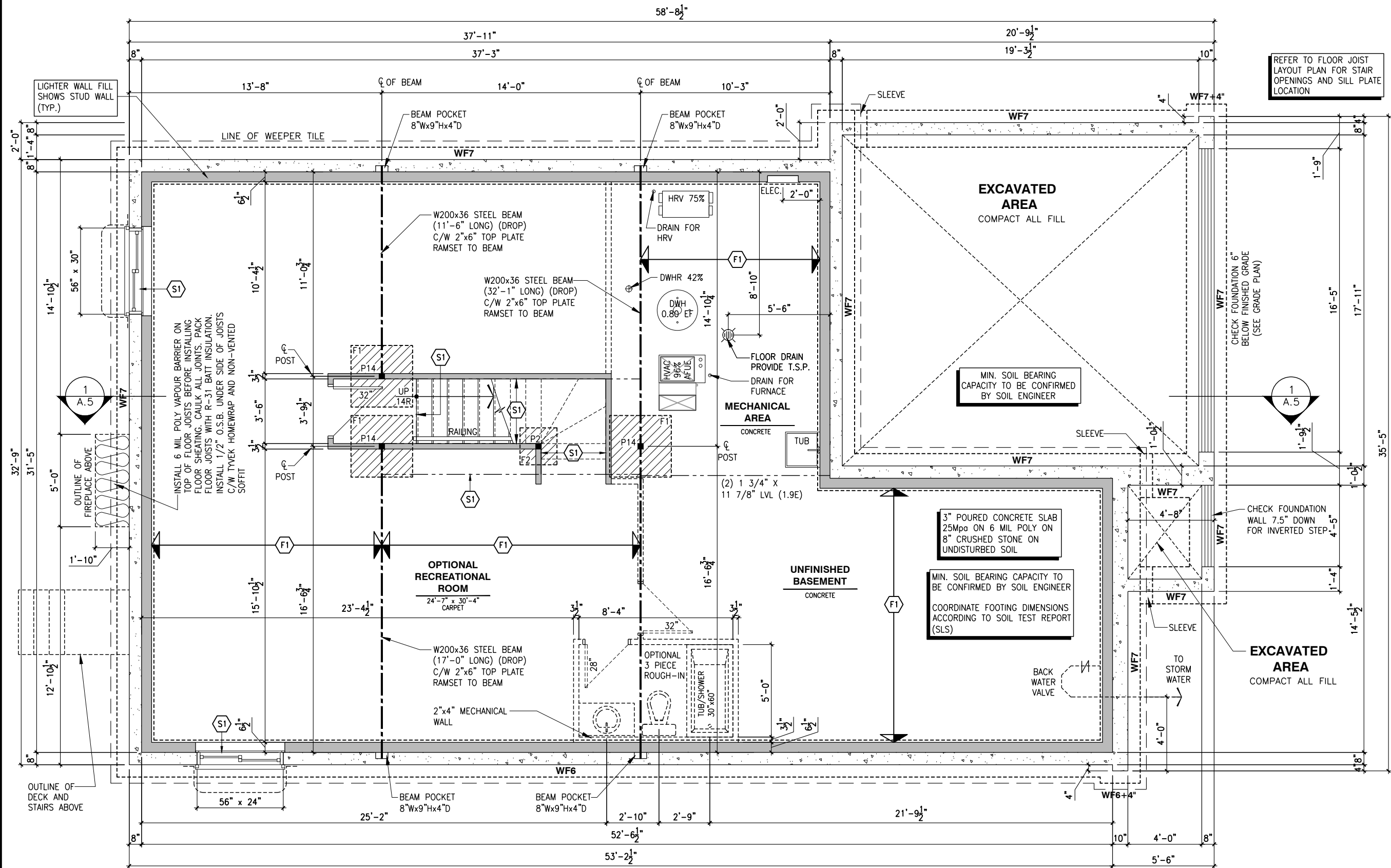
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **BASEMENT FLOOR - ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY
2022 FOOTPRINT
(STANDARD DRAWINGS)

A6b



SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
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- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
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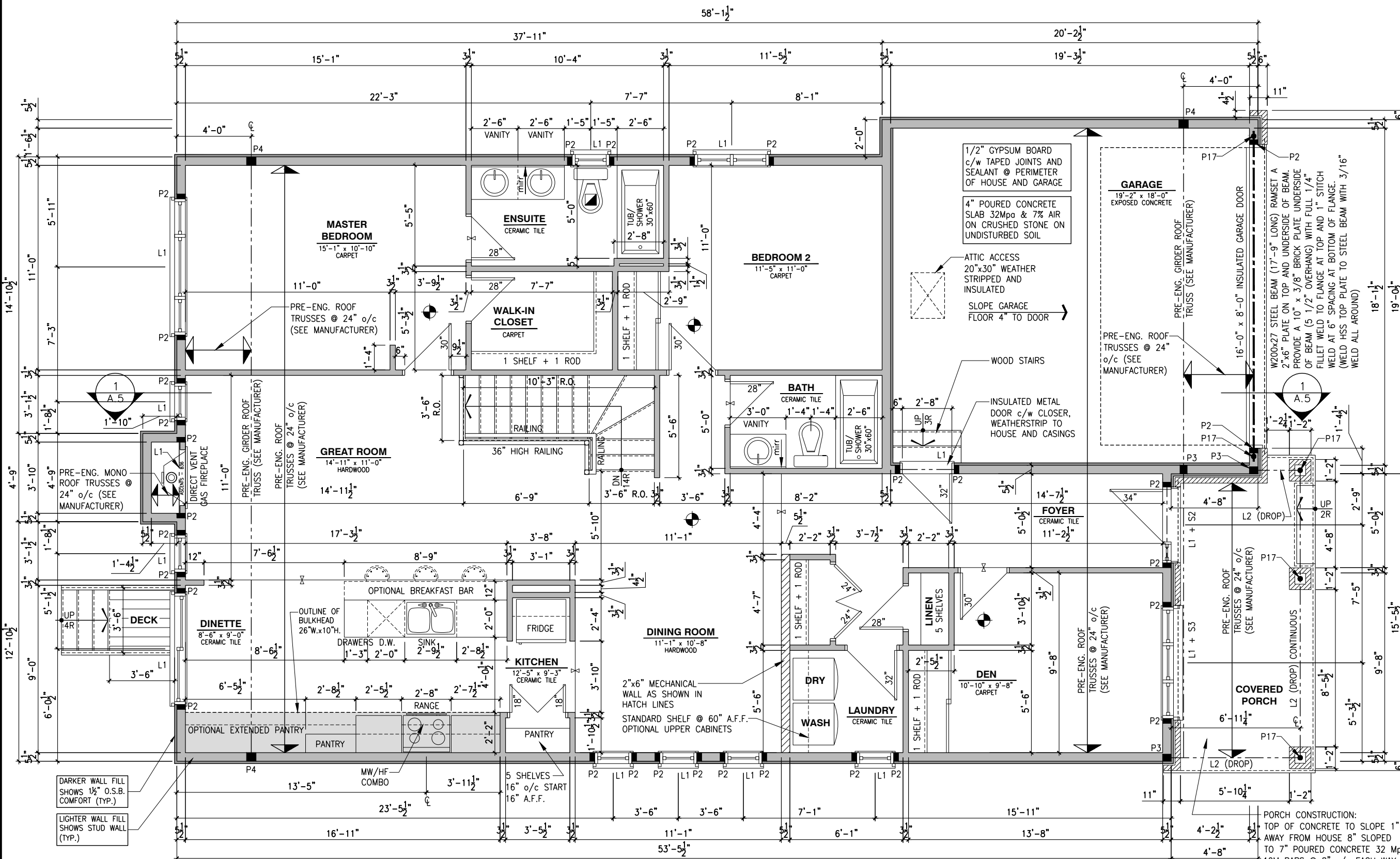
REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

SHEET: **A7b**
 (STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
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 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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GENERAL NOTES:
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GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY

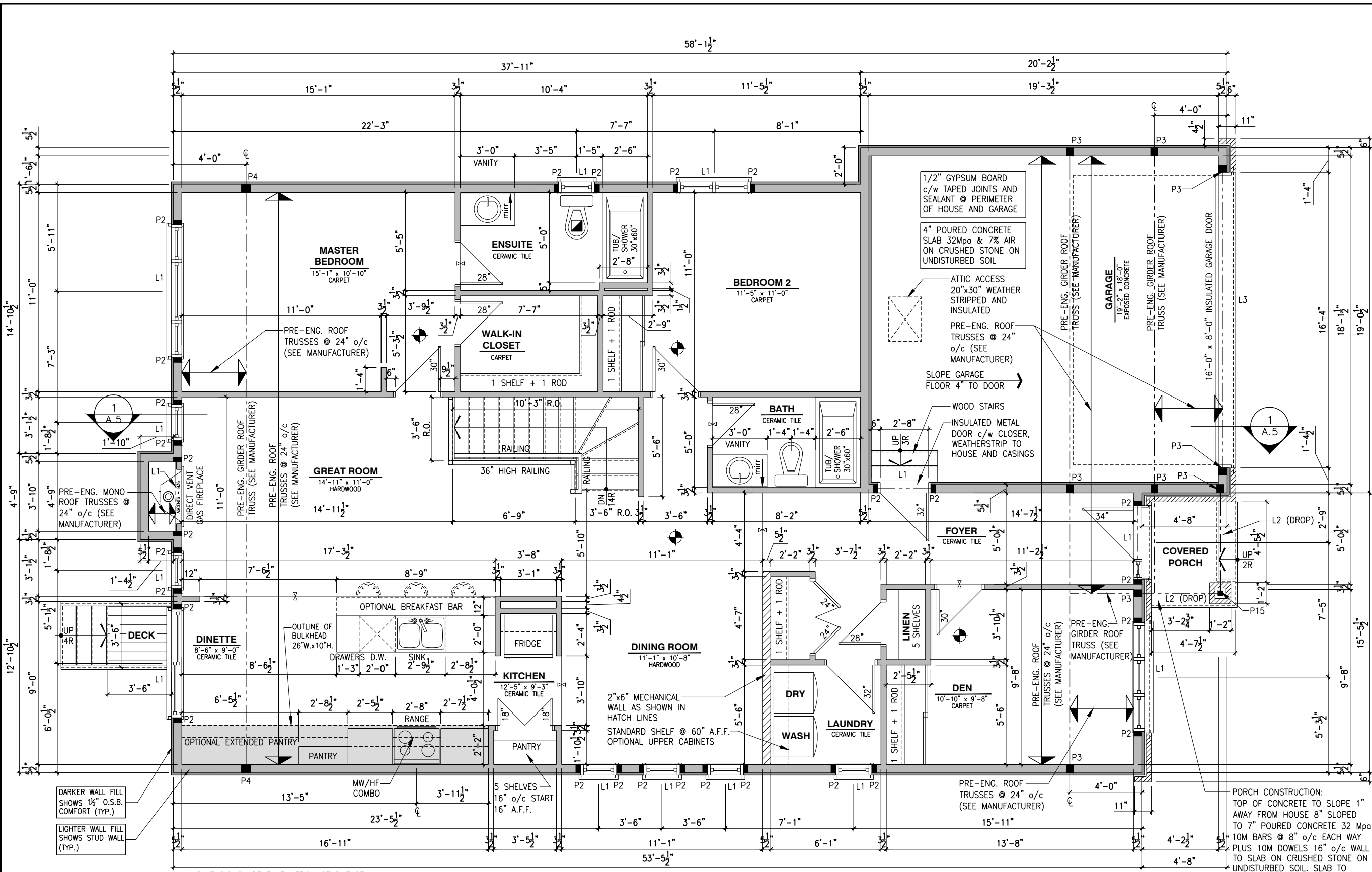
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A7c



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
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GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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(*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

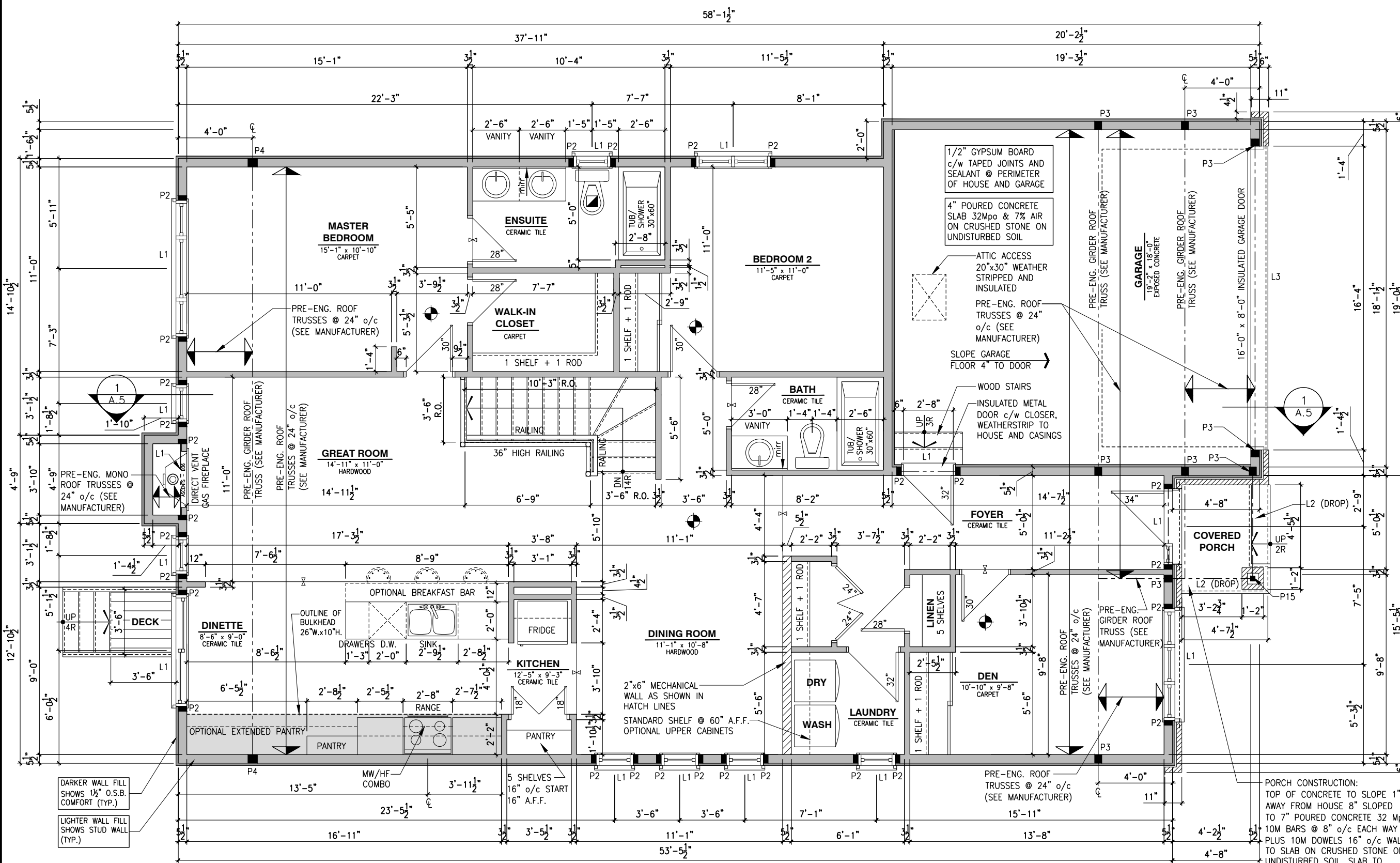
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A7d



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
 RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
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- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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STEEL LINTEL:

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LINTEL TABLE:

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POST TABLE:

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2012 O.B.C. DRAWINGS

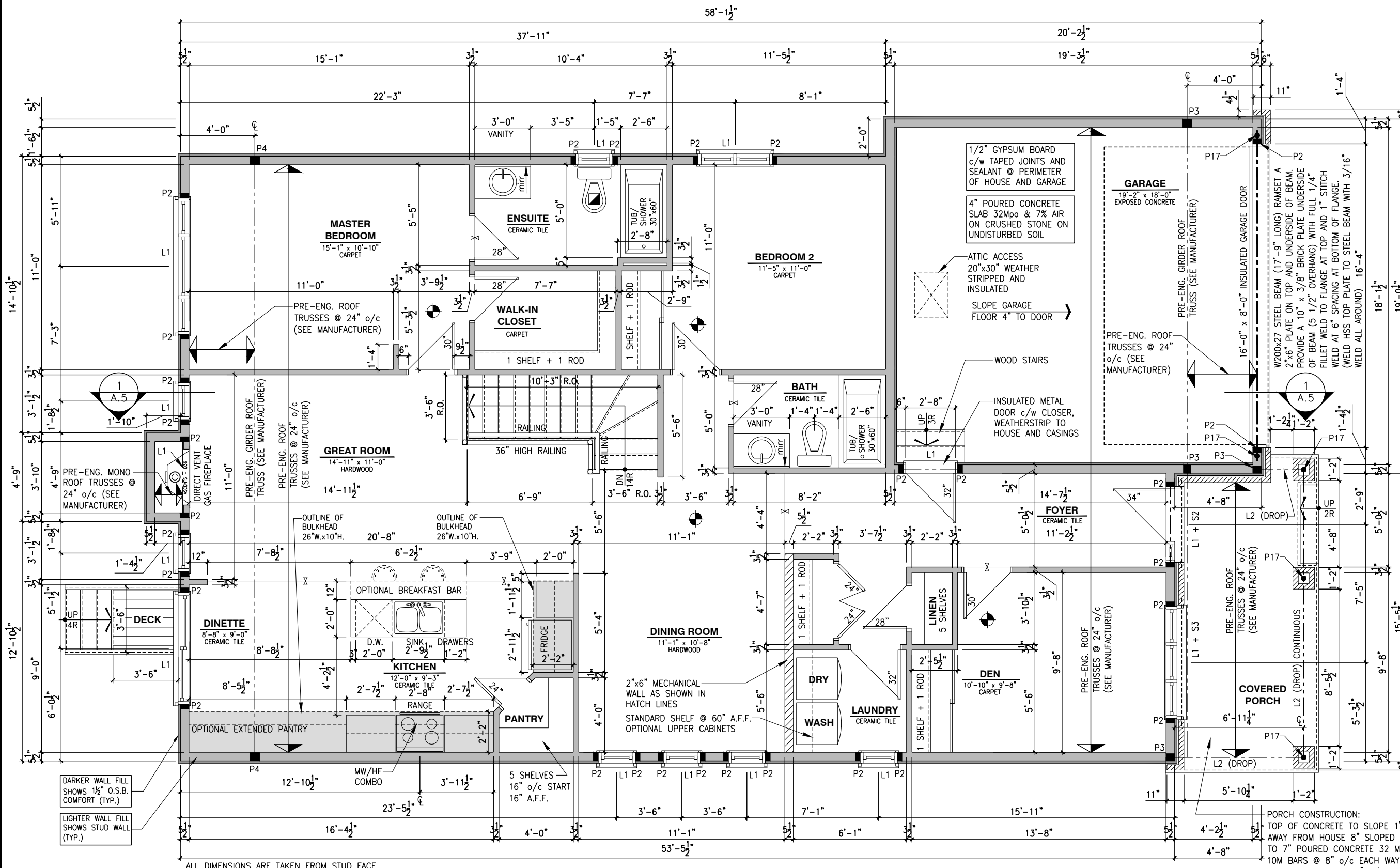
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: A7e



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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POST TABLE:

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

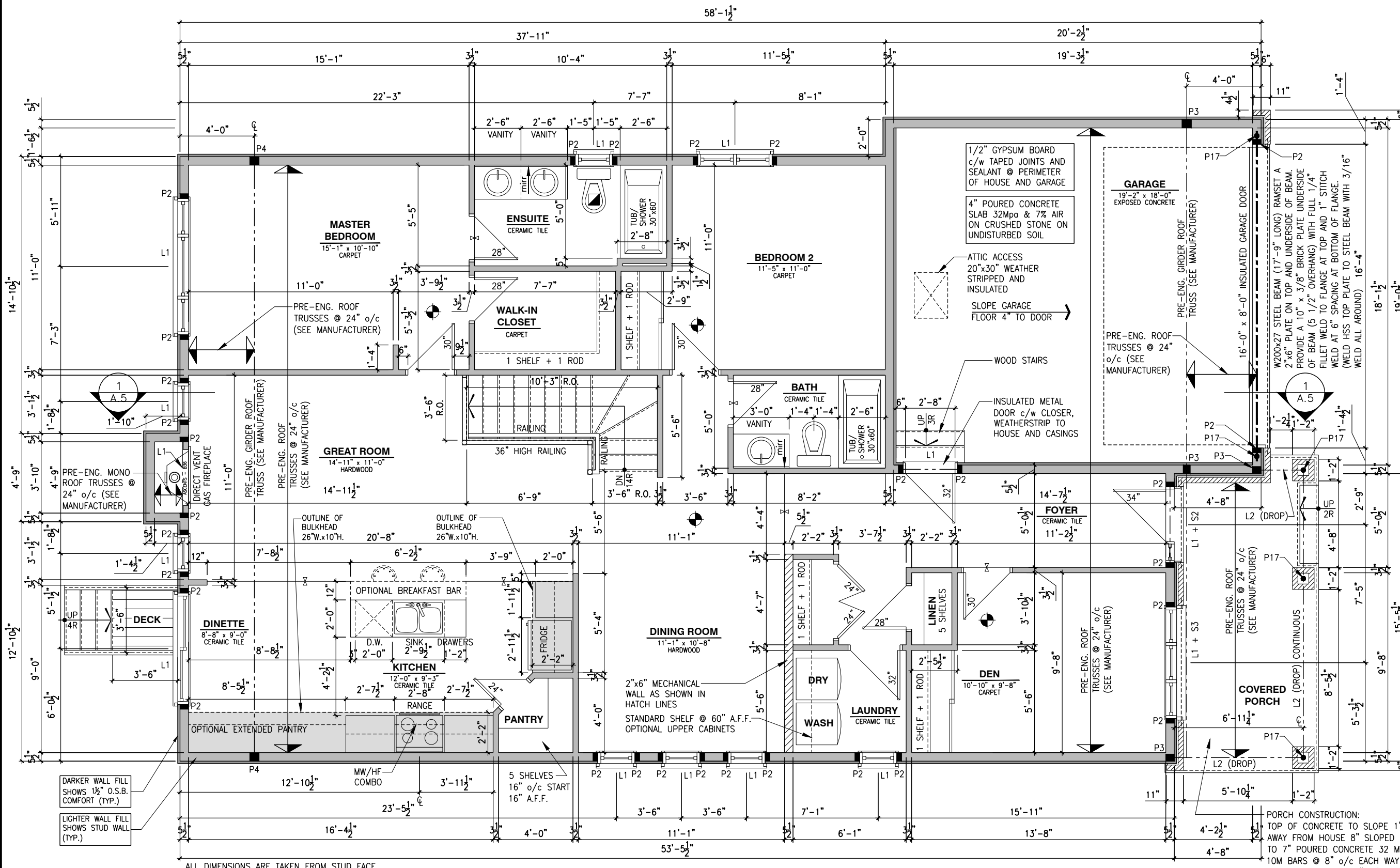
DRAWING:

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7f



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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LINTEL TABLE:
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POST TABLE:
 P10 = 3" ADJUSTABLE STEEL COLUMN
 P11 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USIP
 P2 = 2-2x4 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
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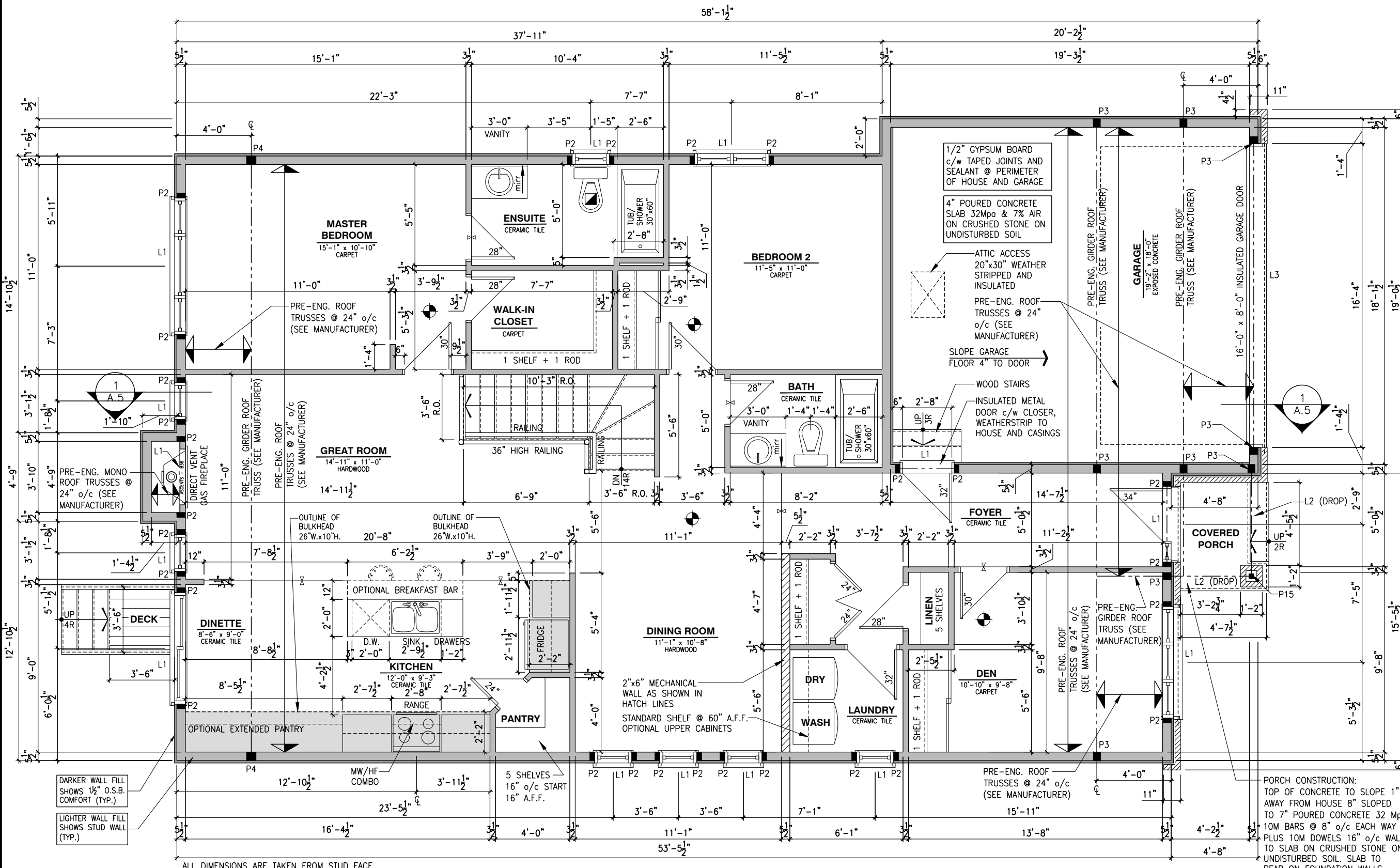
2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
 NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT A7g
 (STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
 LIGHTER WALL FILL SHOWS STUD WALL (TYP.)

1/2" GYPSUM BOARD c/w TAPED JOINTS AND SEALANT @ PERIMETER OF HOUSE AND GARAGE
 4" POURED CONCRETE SLAB 32Mpa & 7% AIR ON CRUSHED STONE ON UNDISTURBED SOIL

ATTIC ACCESS 20"x30" WEATHER STRIPPED AND INSULATED
 PRE-ENG. ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)
 SLOPE GARAGE FLOOR 4" TO DOOR

WOOD STAIRS
 INSULATED METAL DOOR c/w CLOSER, WEATHERSTRIP TO HOUSE AND CASINGS

PRE-ENG. GIRDER ROOF TRUSS (SEE MANUFACTURER)
 GARAGE 10'-2" x 18'-0" EXPOSED CONCRETE
 PRE-ENG. GIRDER ROOF TRUSS (SEE MANUFACTURER)
 16'-0" x 8'-0" INSULATED GARAGE DOOR

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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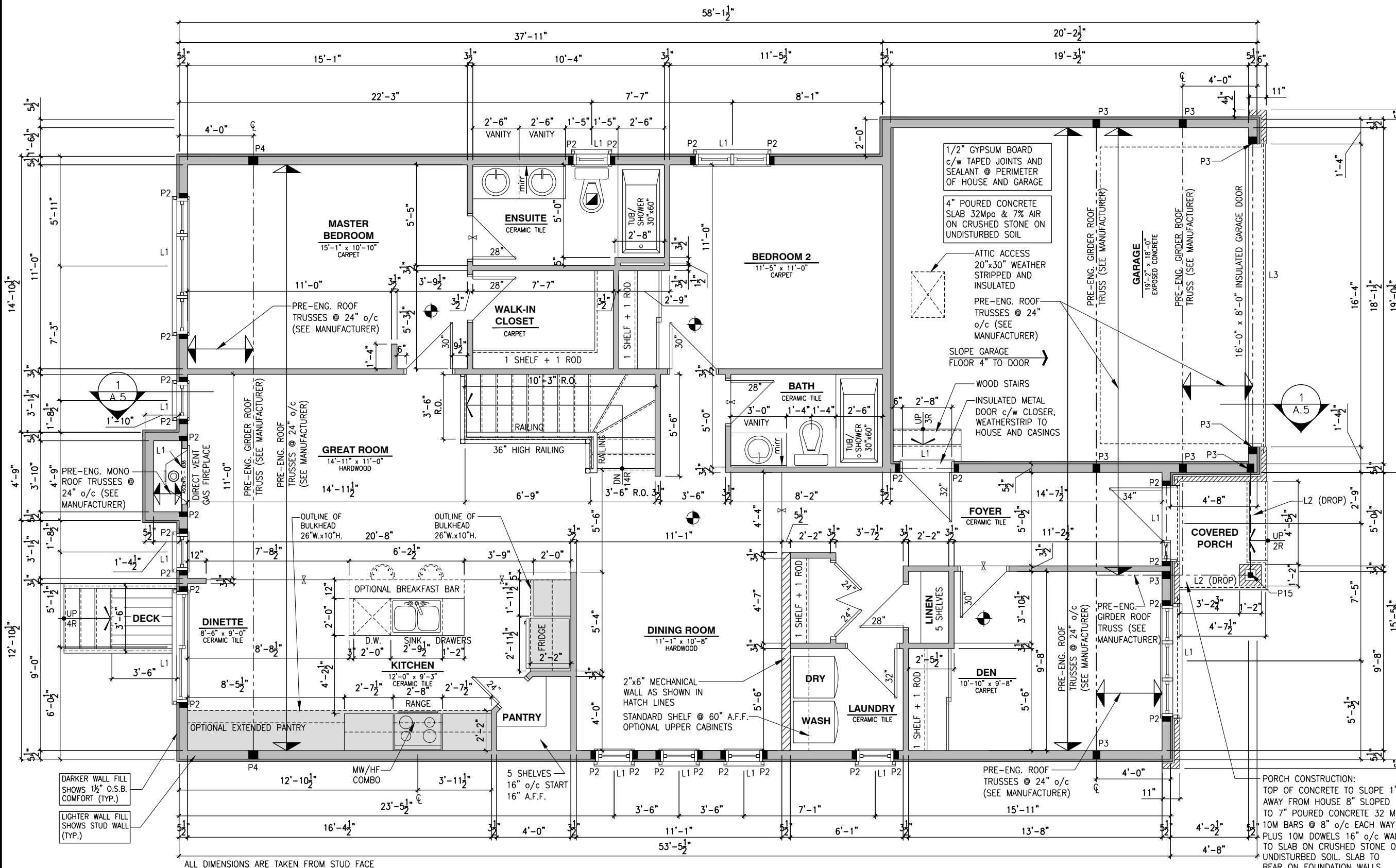
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

SHEET: **A7h**
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B (ENSUITE UPGRADE)

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P16 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P17 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P18 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION DATE BY

DRAWING:

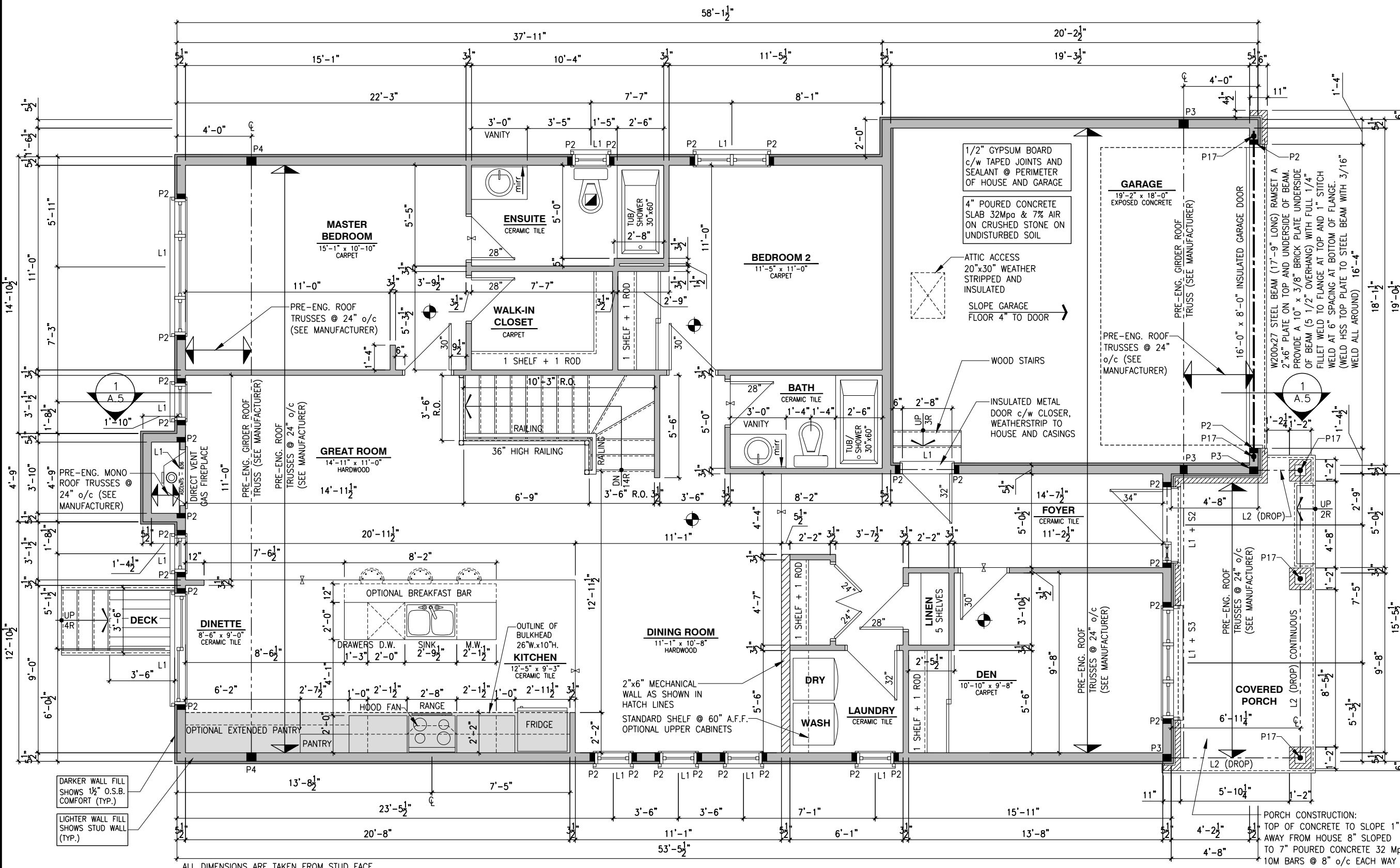
GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7i



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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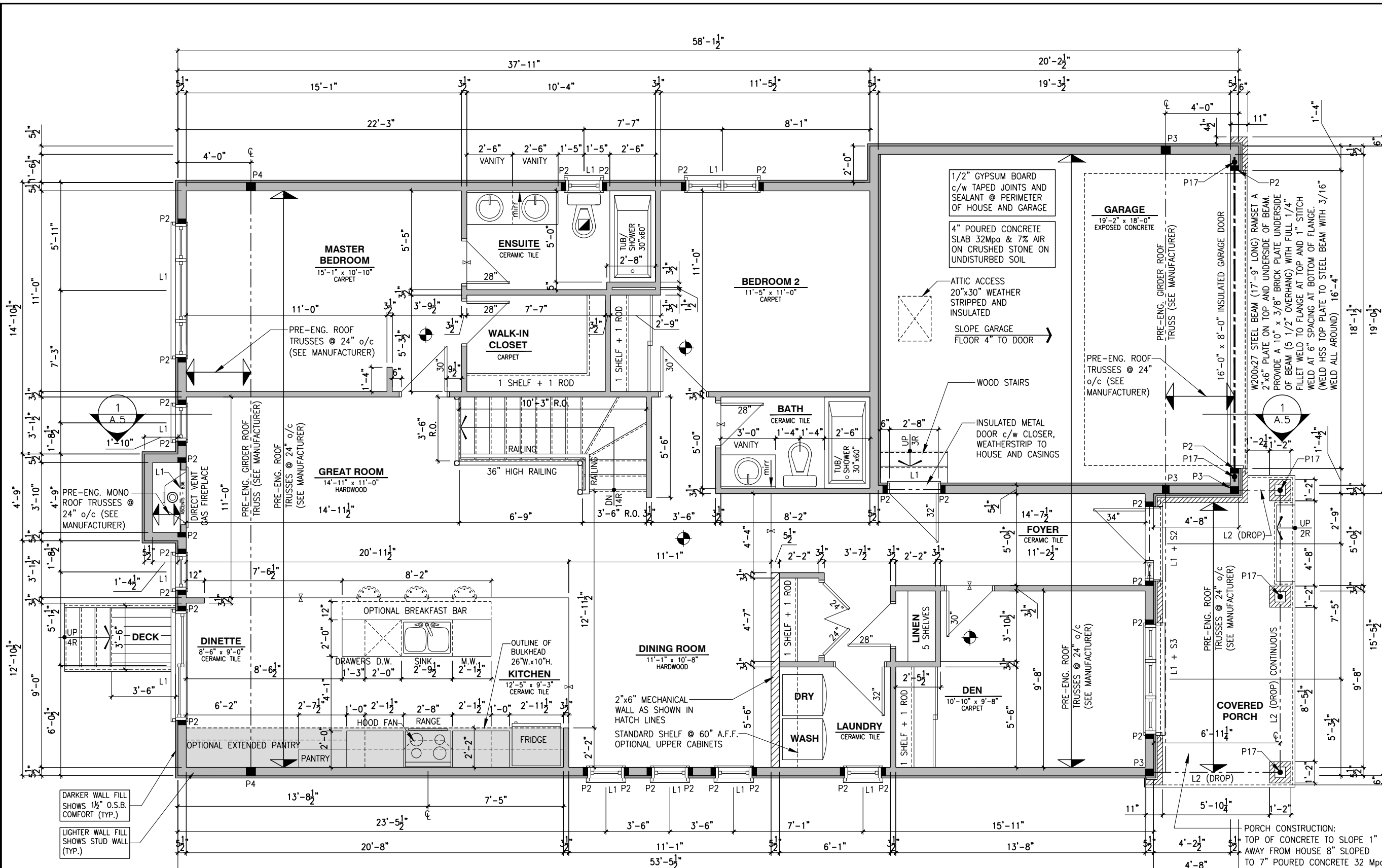
2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1		NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION A

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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1015 - THE MURRY 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7j



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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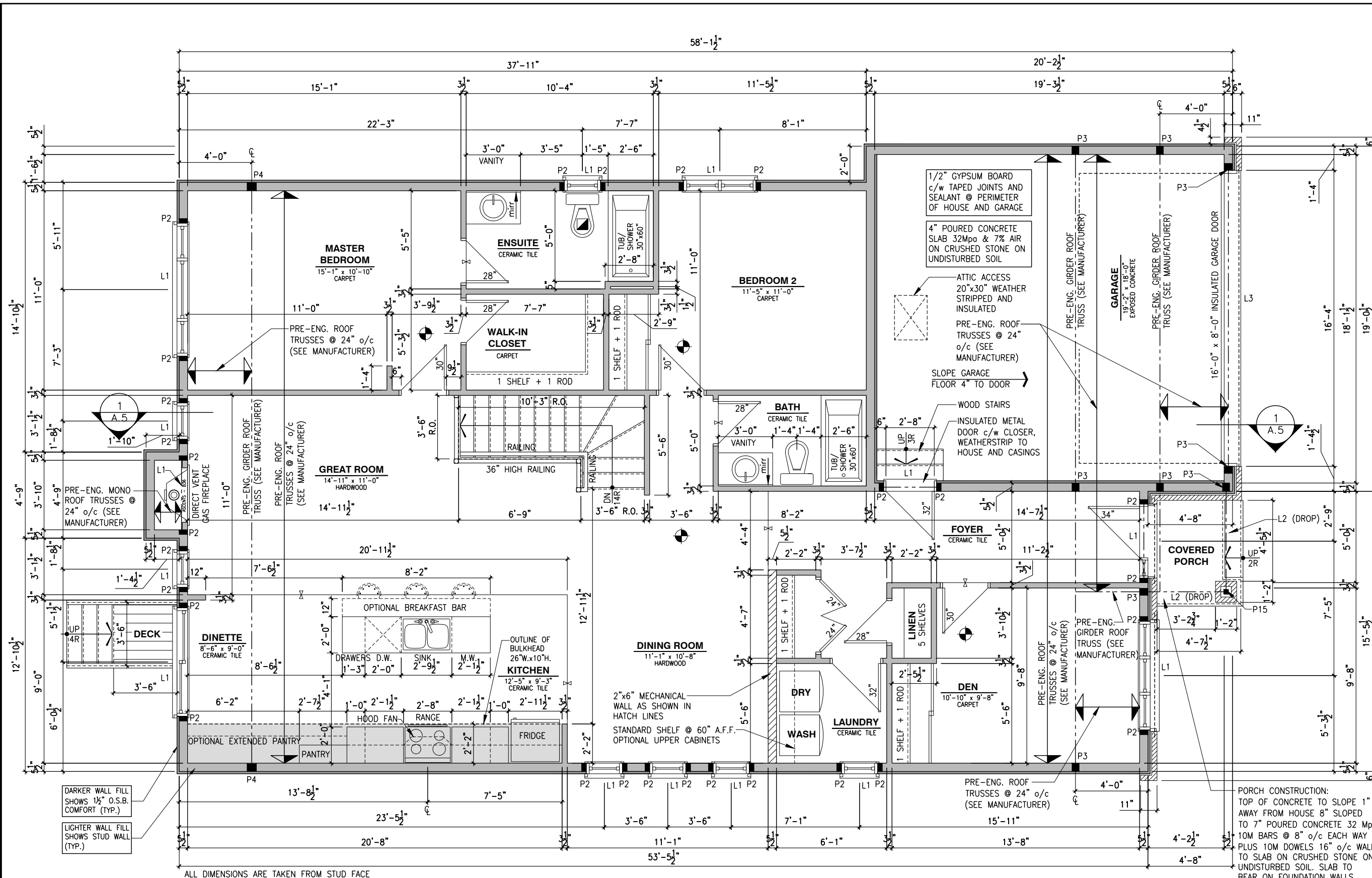
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

A7k



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

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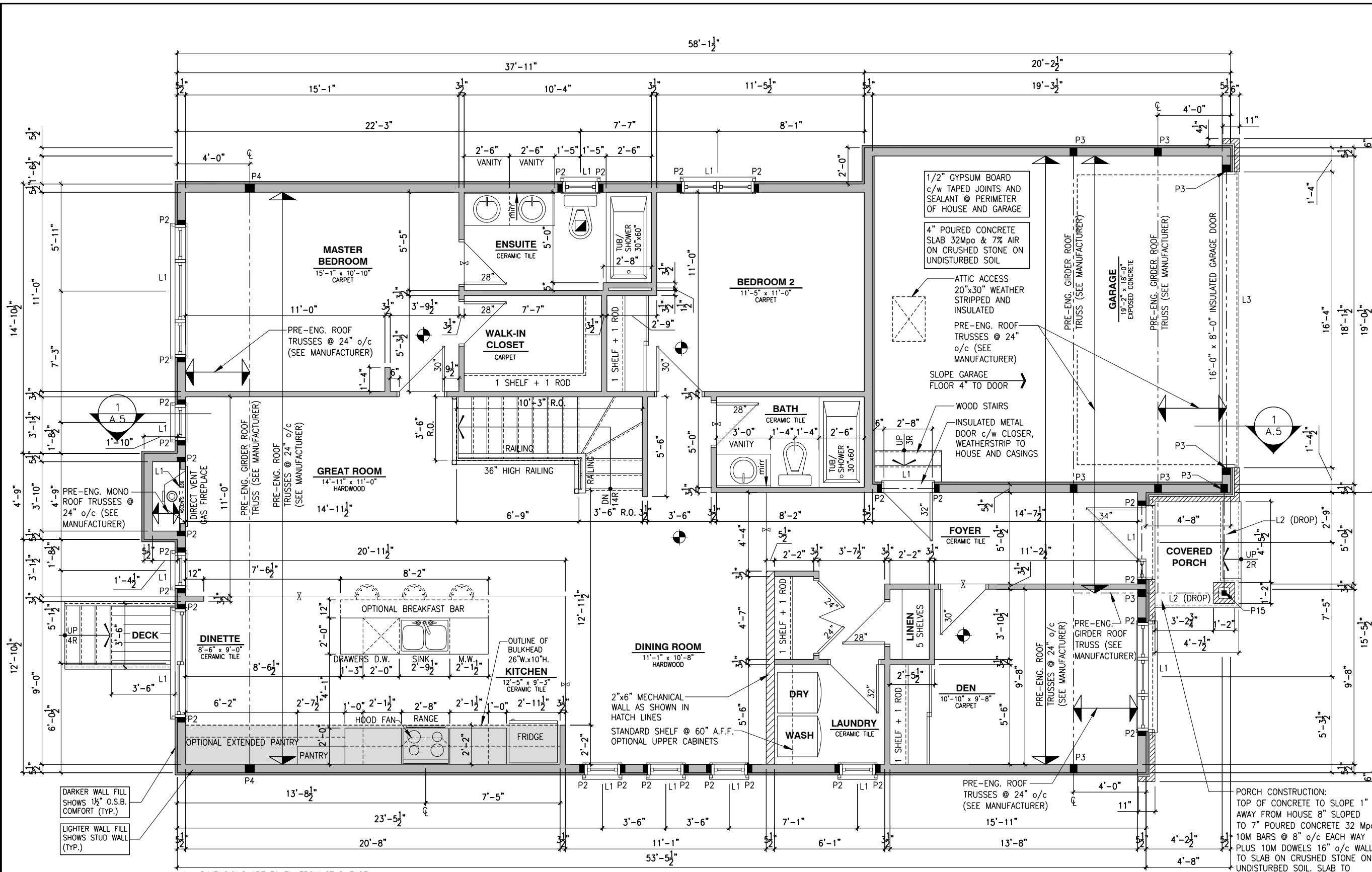
REV.	NO.	DESCRIPTION	DATE	BY
REV-1		NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY
 2022 FOOTPRINT

SHEET:
A71



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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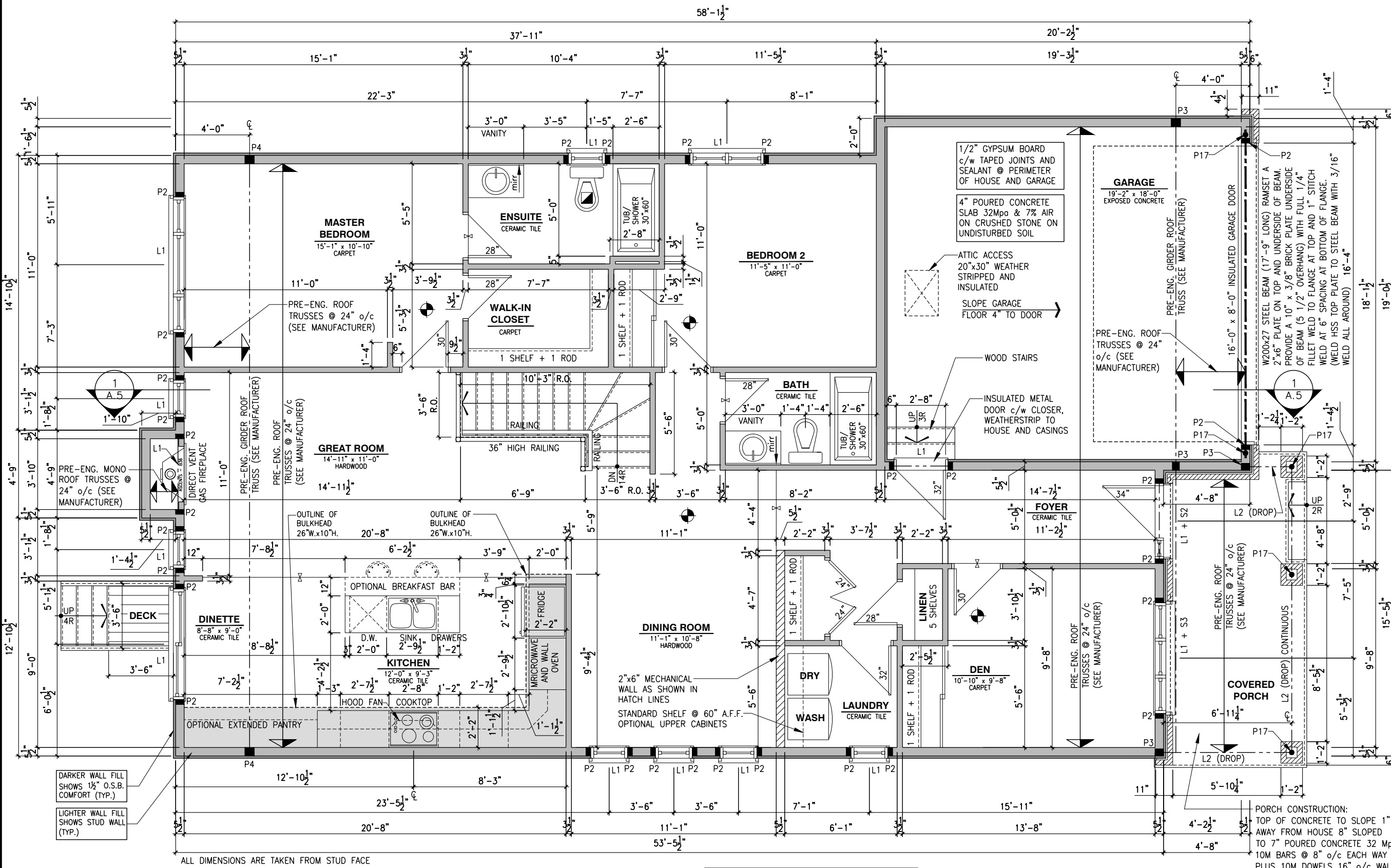
2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7m



SINGLE DWELLING STAIRS:
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CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

PORCH CONSTRUCTION:
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P16 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USIP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

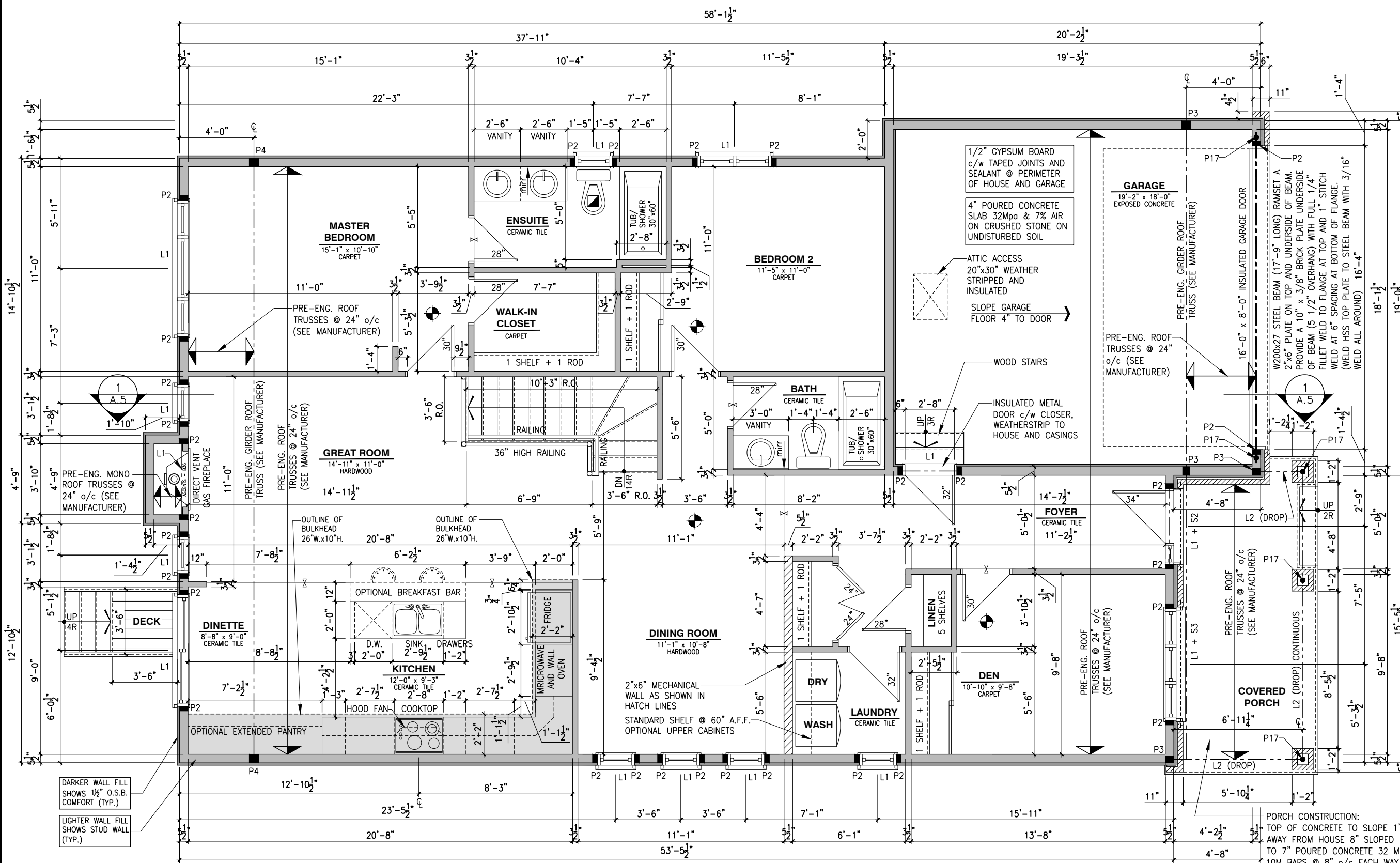
2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT (STANDARD DRAWINGS) **A7n**



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
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POST TABLE:

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- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY US9
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
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2012 O.B.C. DRAWINGS

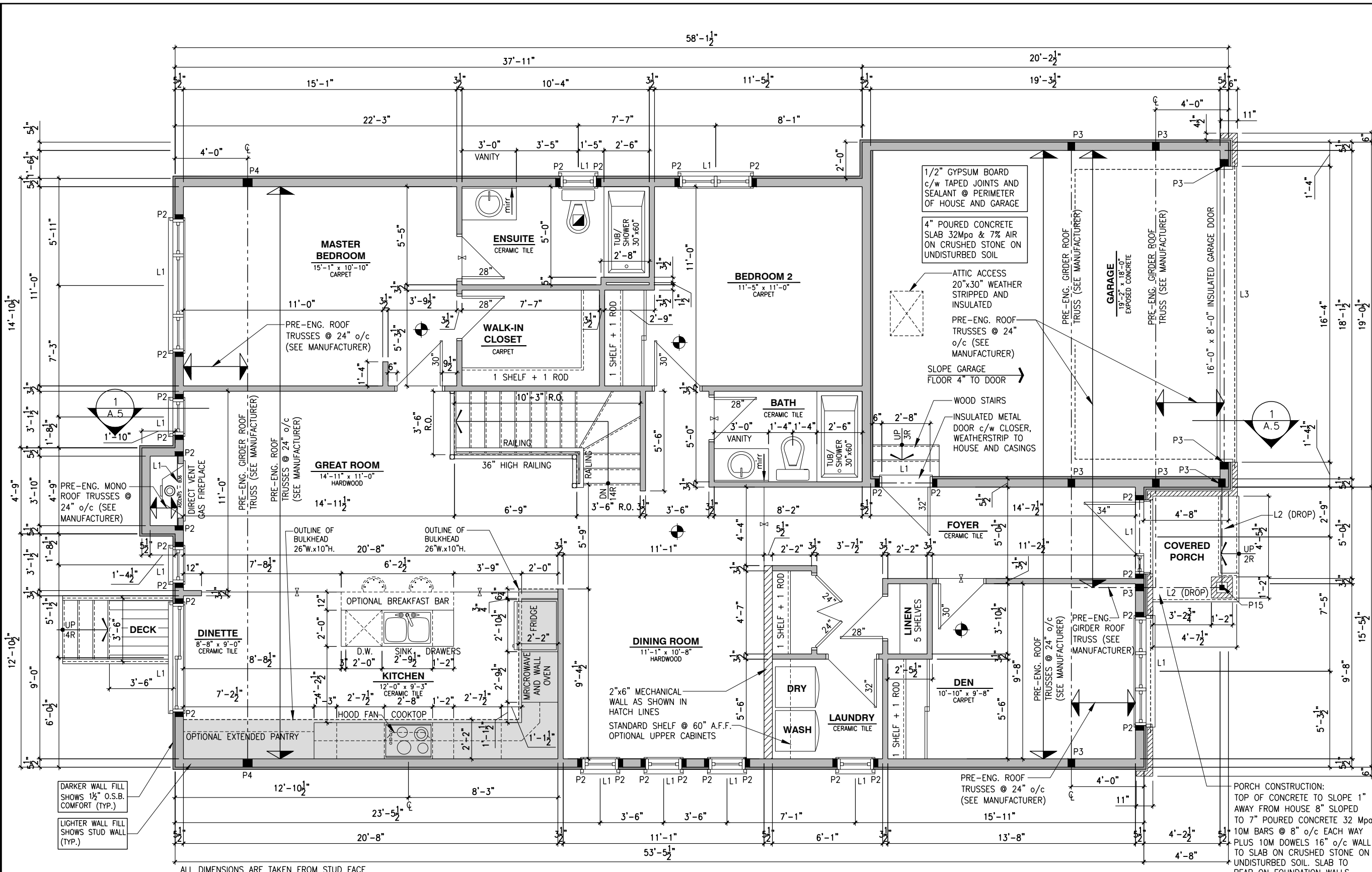
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

SHEET: **A70**
 (STANDARD DRAWINGS)



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

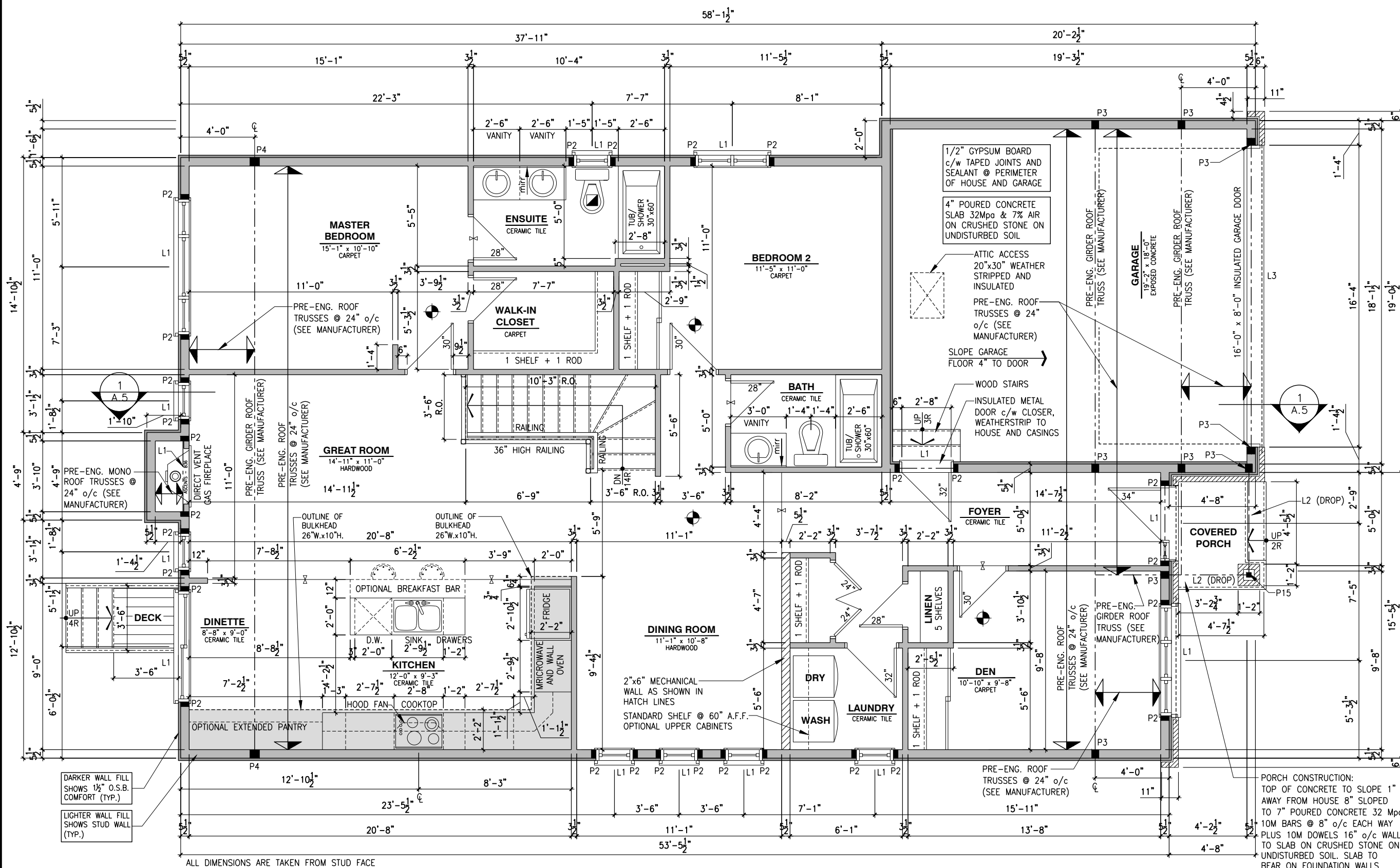
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

A7p



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX
DATE: XX/XX/XXXX



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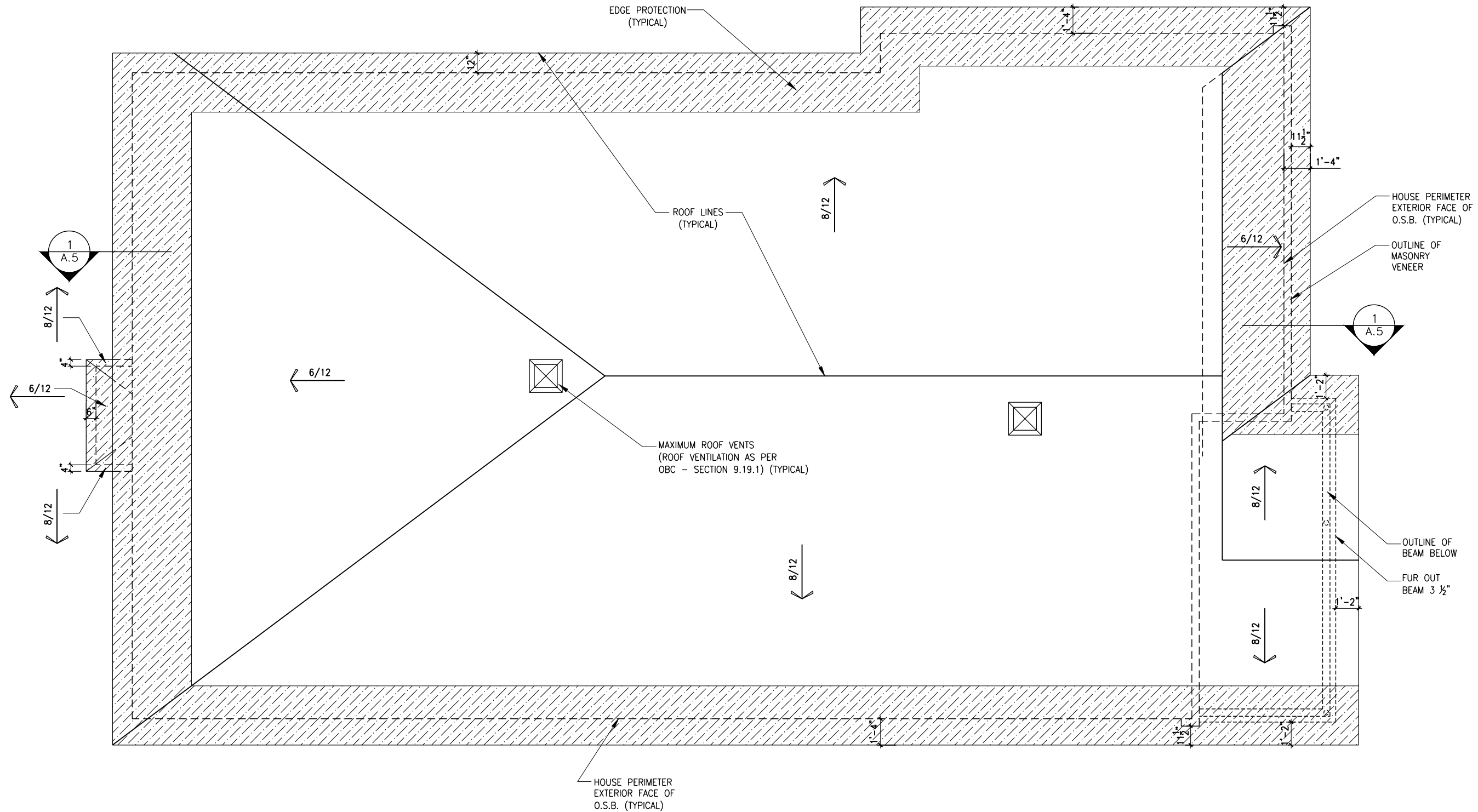
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ROOF PLAN - ELEVATION A
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	

DRAWING: **ROOF PLAN - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

SHEET: **A8a**
(STANDARD DRAWINGS)

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LOT: XXXX
DATE: XX/XX/XXXX
Valecraft Homes (2019) Limited

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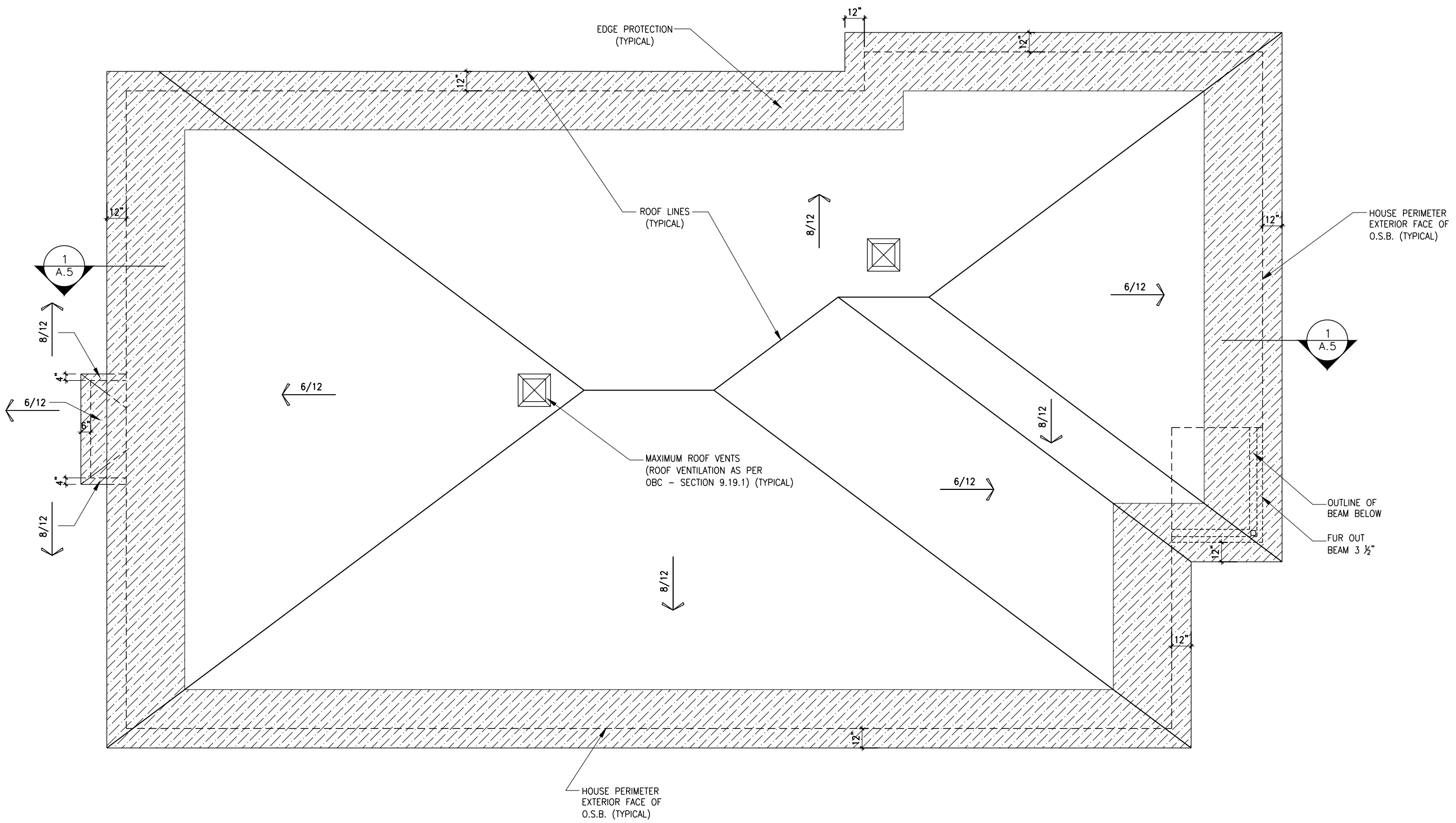
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ROOF PLAN - ELEVATION B
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	

ROOF PLAN - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **A8b**

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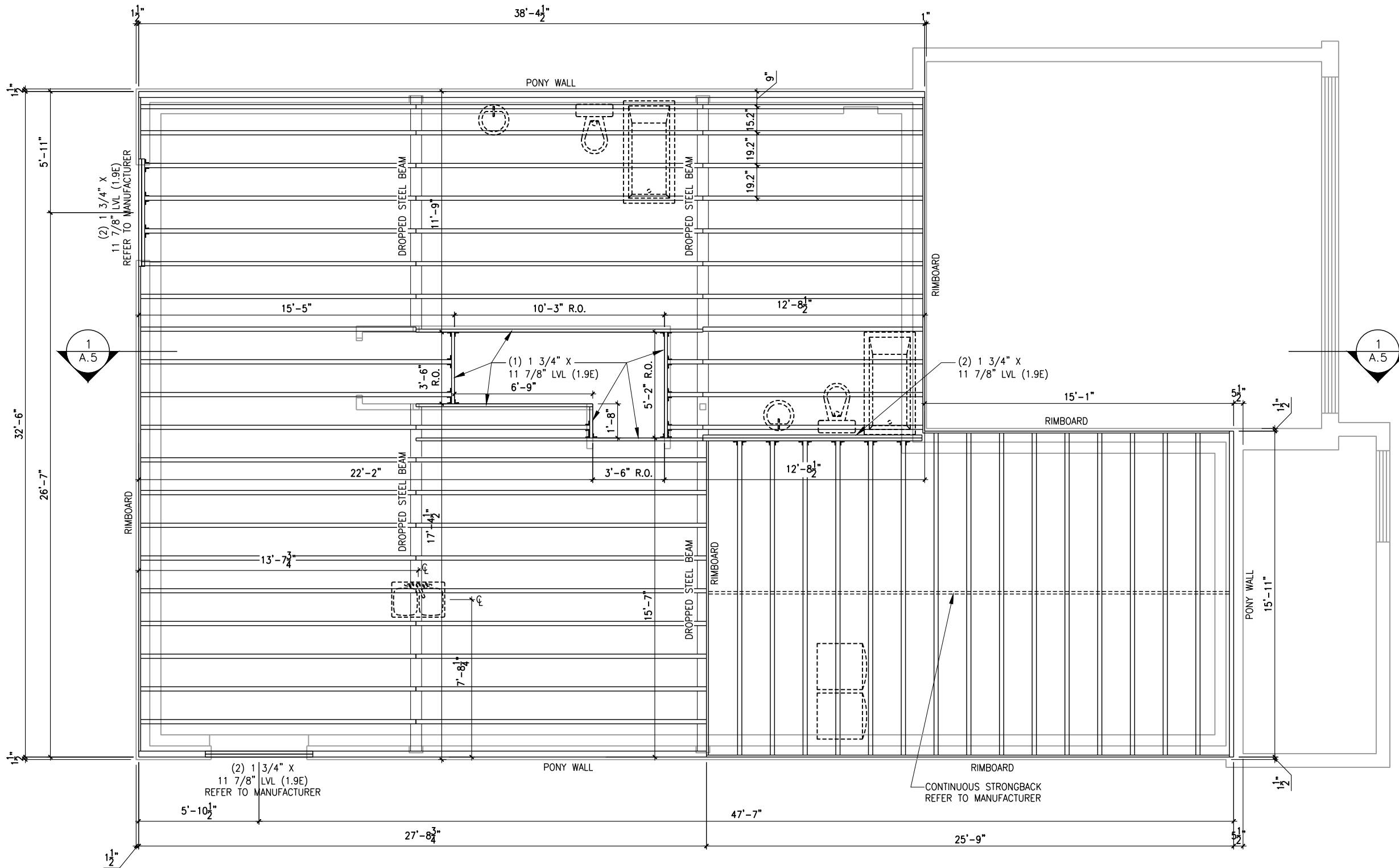
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**GROUND FLOOR PLAN
 FLOOR JOIST FRAMING PLAN - ELEVATION A**

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST
 FRAMING PLAN - ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1015 - THE MURRY
 2022 FOOTPRINT**
 (STANDARD DRAWINGS)

SHEET:
A9a

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LOT: XXXX
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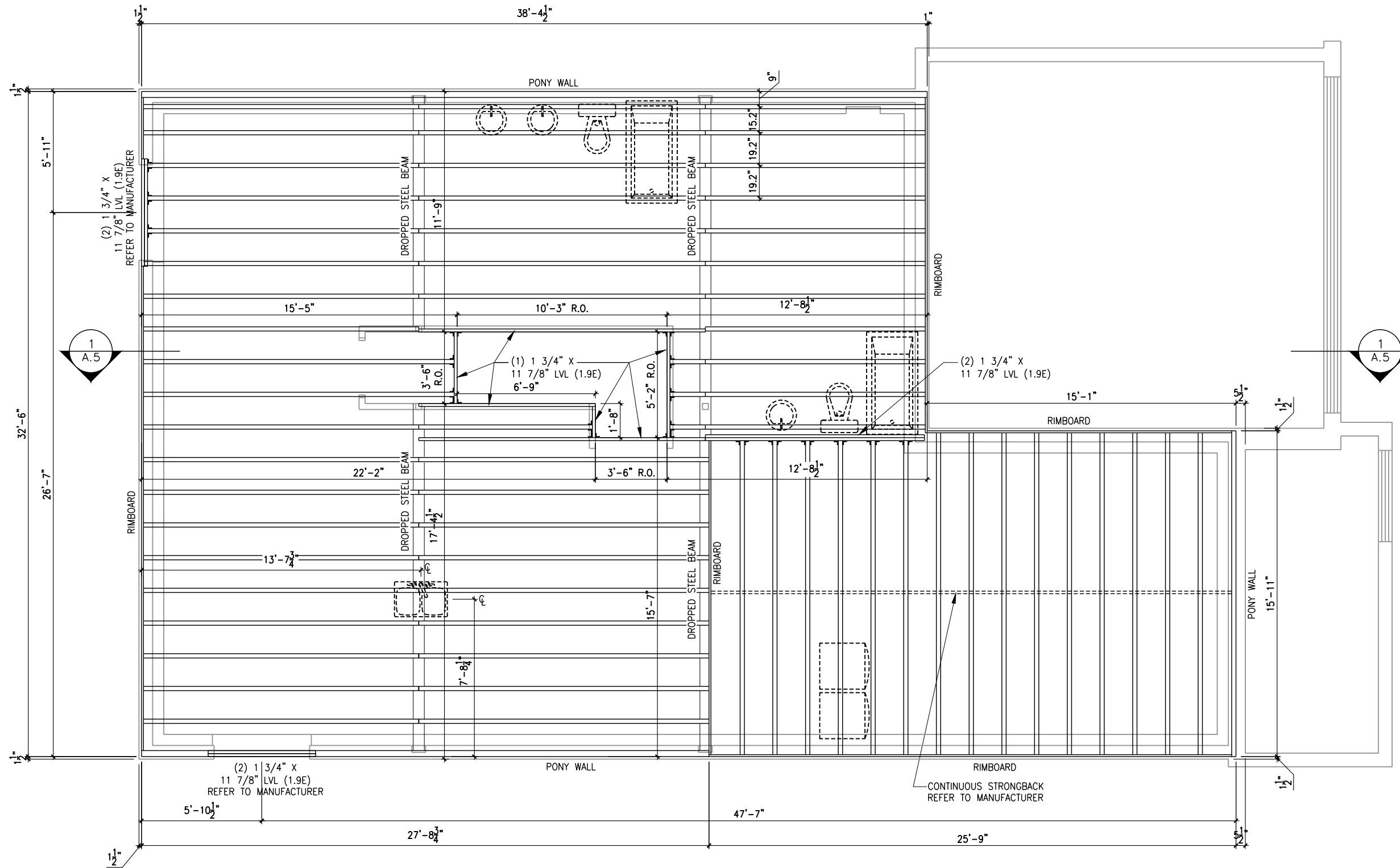
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**GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - ELEVATION A (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST
FRAMING PLAN - ELEVATION A**

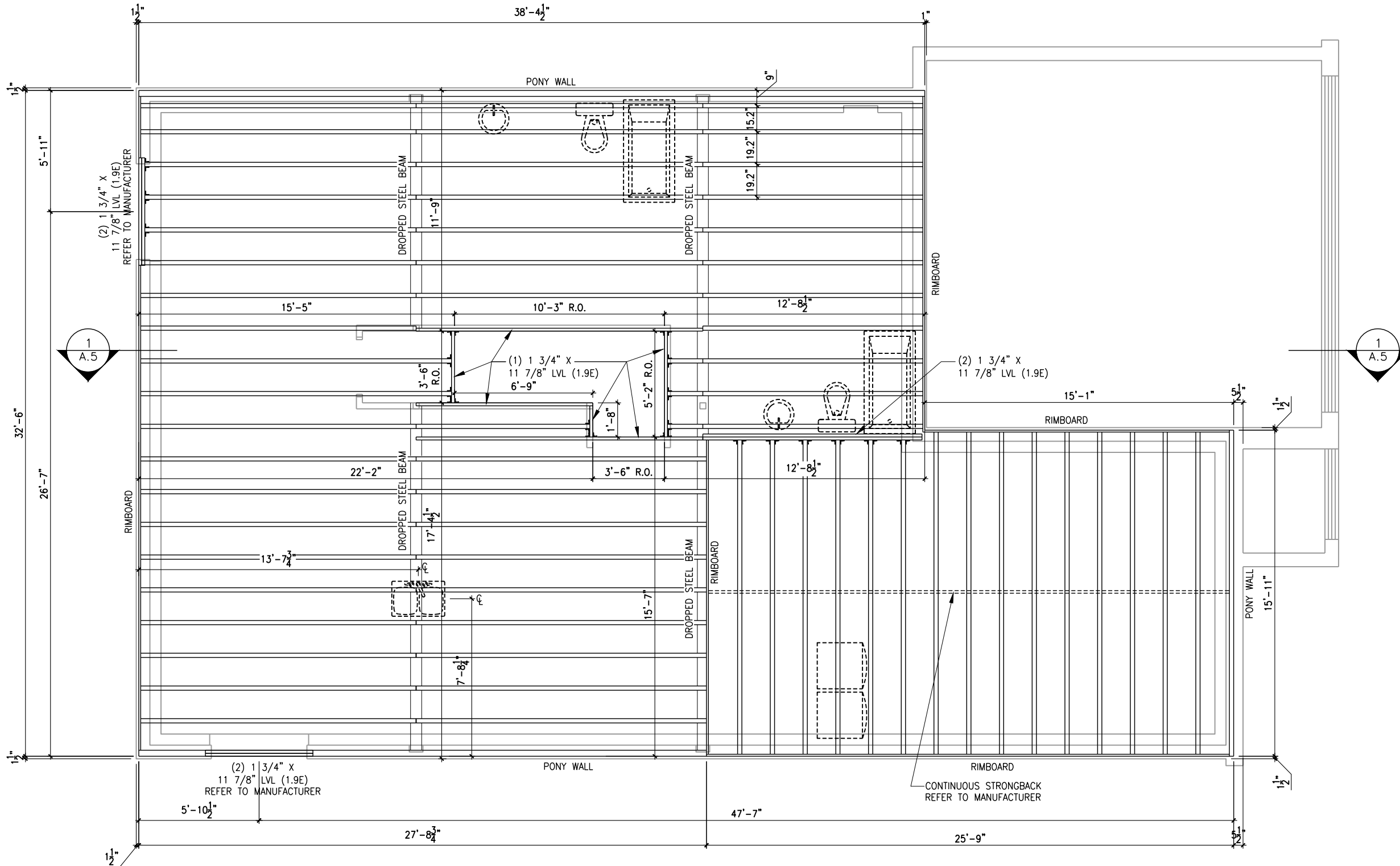
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**1015 - THE MURRY
2022 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A9b

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



**GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - ELEVATION B**

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST
FRAMING PLAN - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1015 - THE MURRY
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A9c

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX
DATE: XX/XX/XXXX



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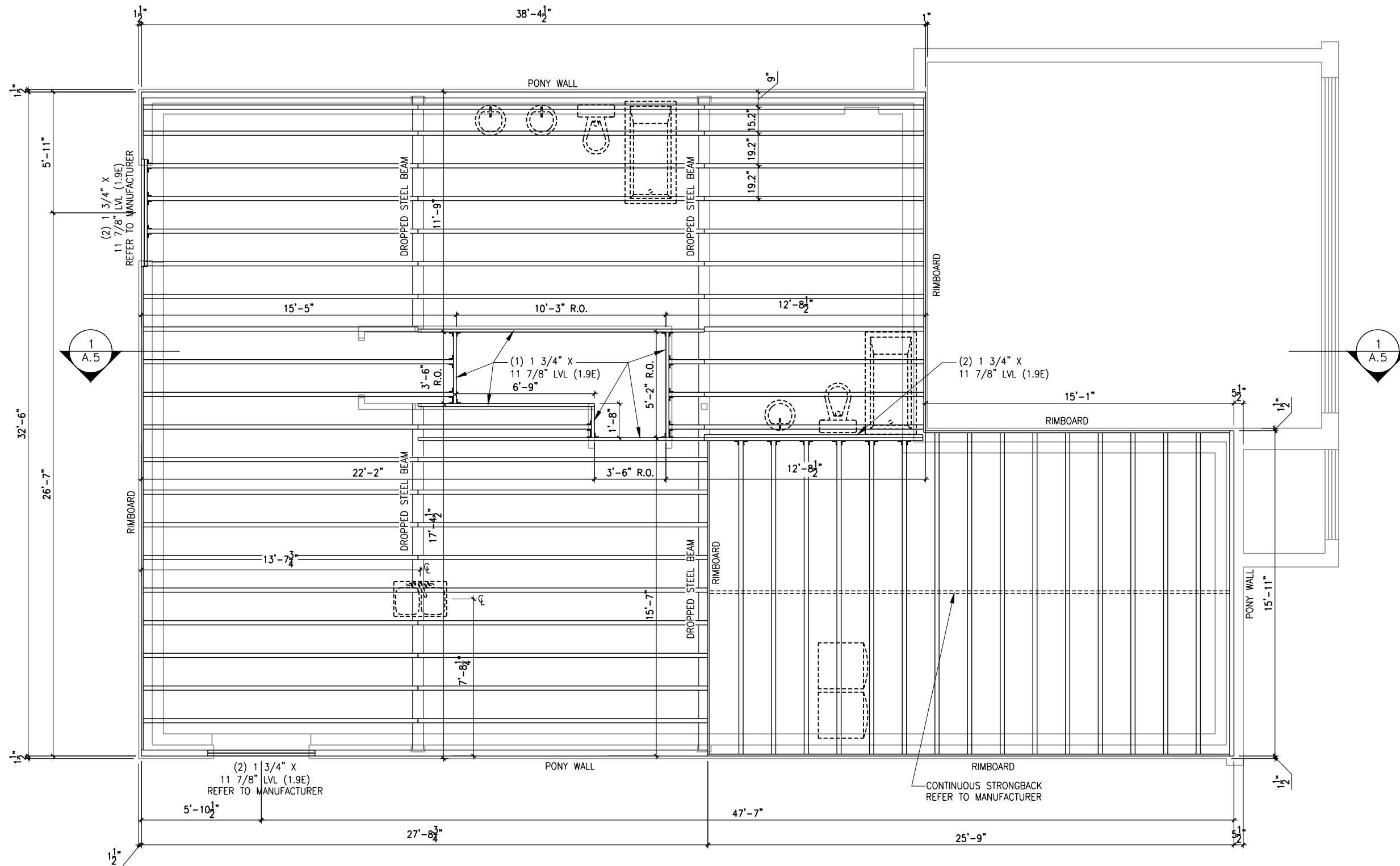
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**GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - ELEVATION B (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST
FRAMING PLAN - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1015 - THE MURRY
2022 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A9b

LOT: XXXX
 DATE: XX/XX/XXXX



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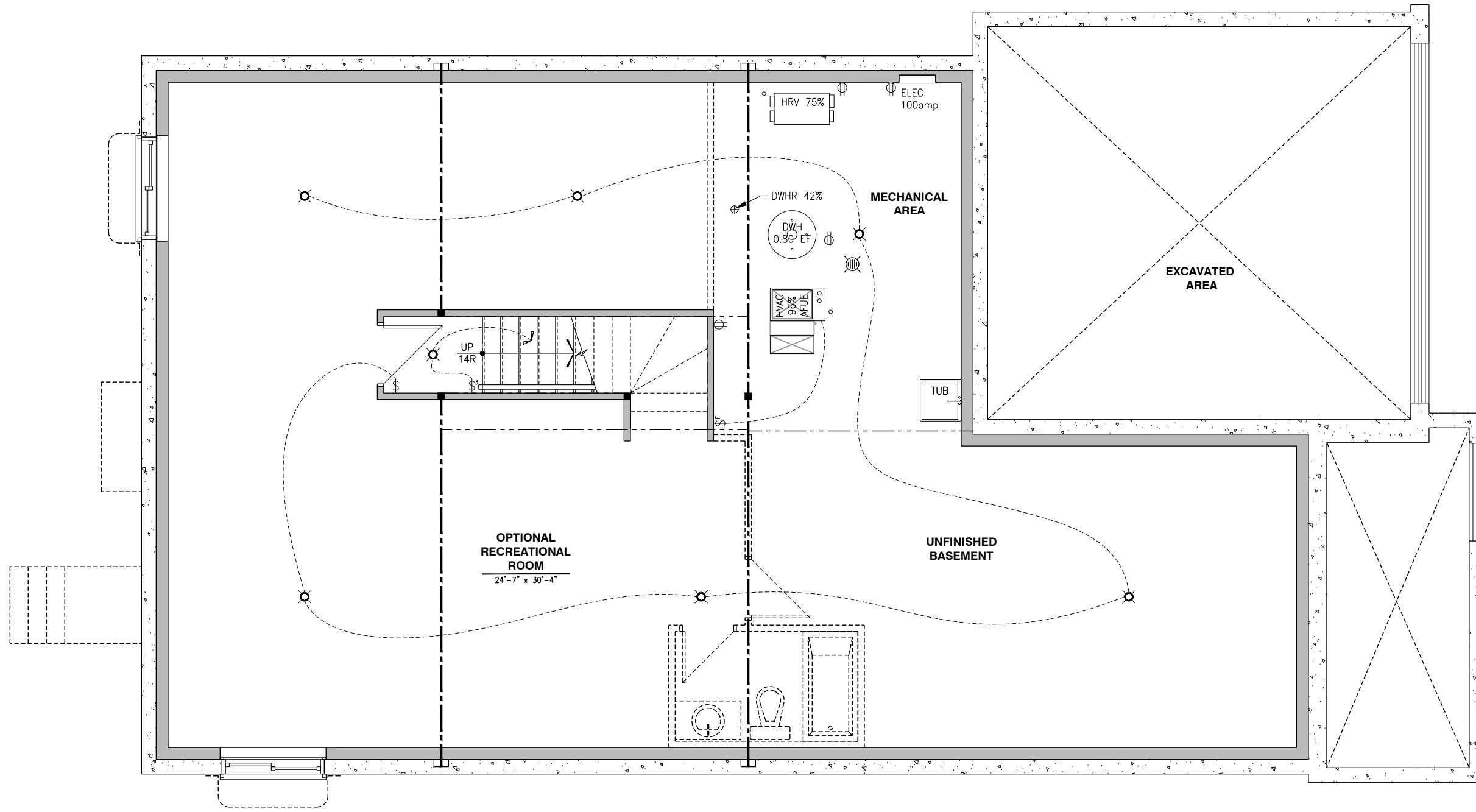
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- \$ FURNACE SWITCH
- FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 BASEMENT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.1

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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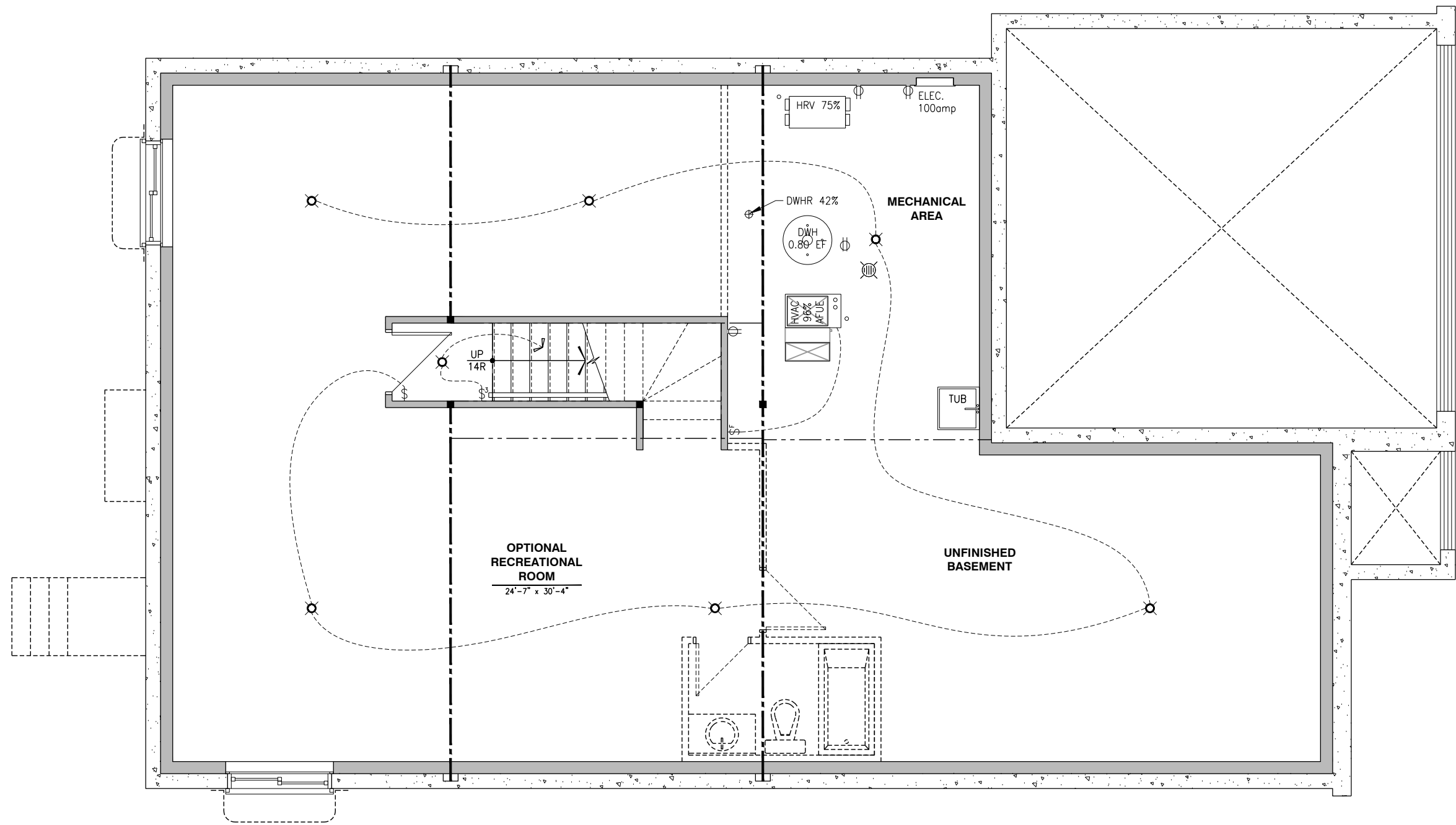
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

BASEMENT - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2

LOT: XXXX
 DATE: XX/XX/XXXX



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 - TARIION REGISTRATION NUMBER #611

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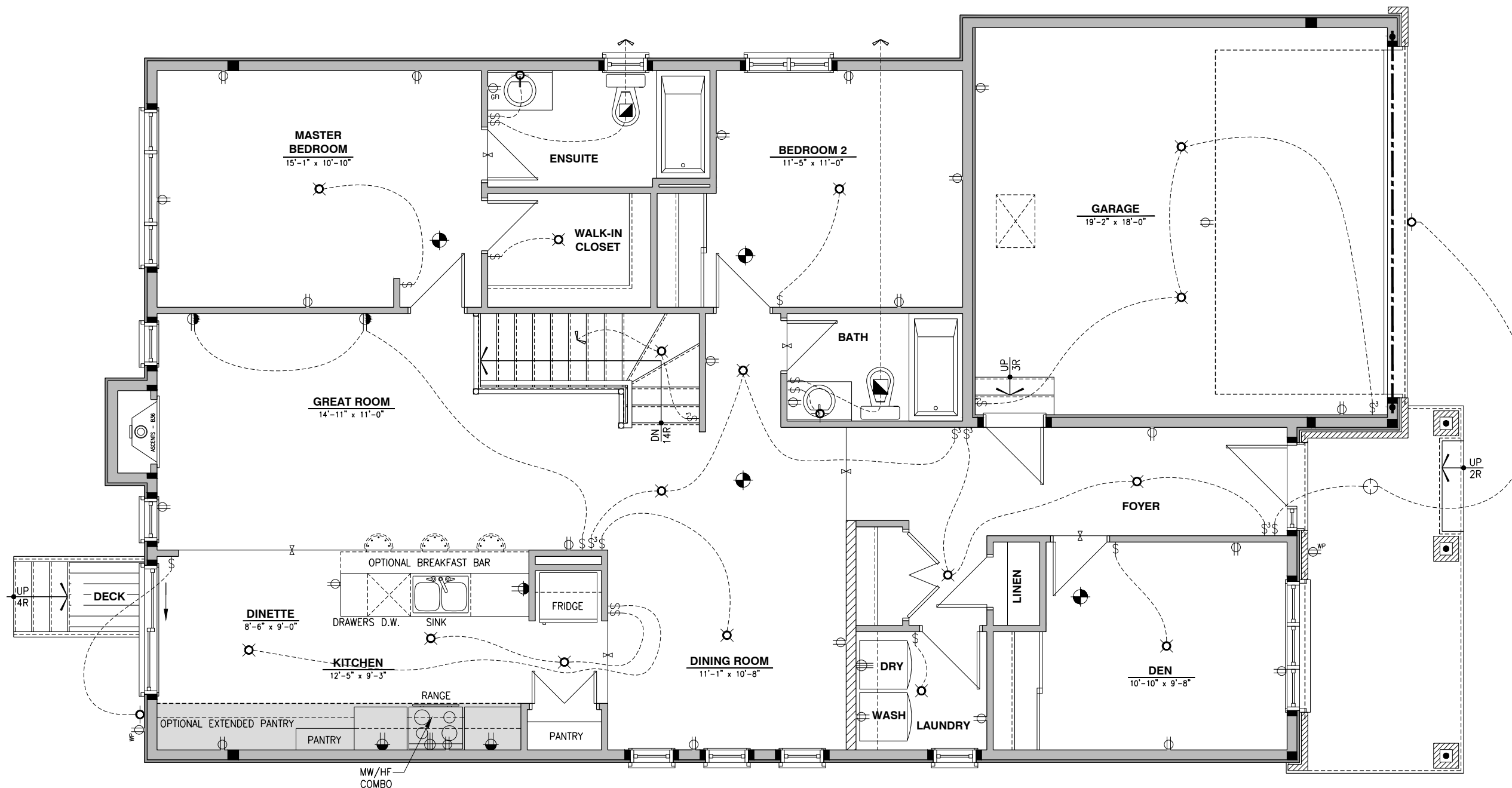
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.3

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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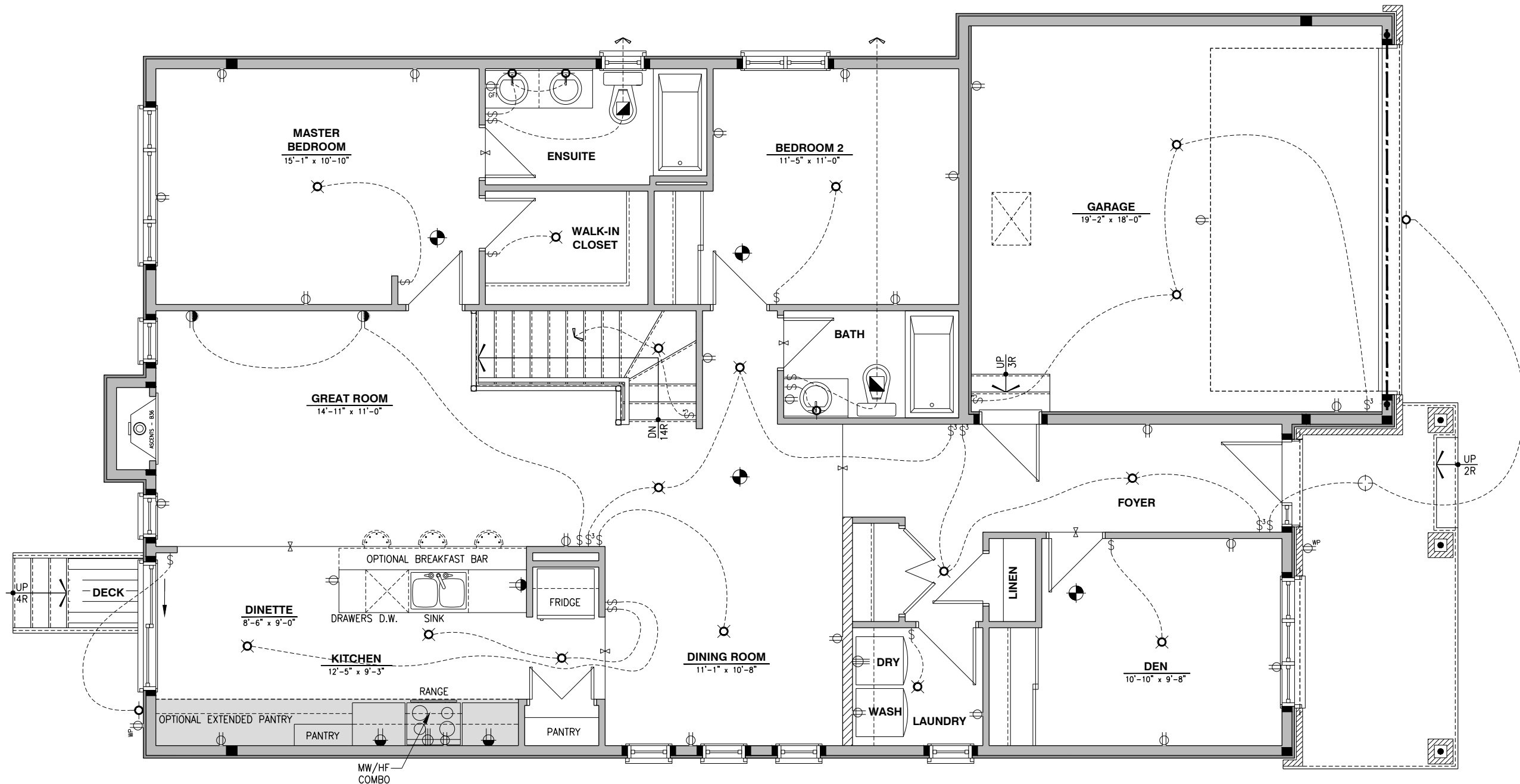
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
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- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

REVISIONS: REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.4

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - TARIION REGISTRATION NUMBER #611

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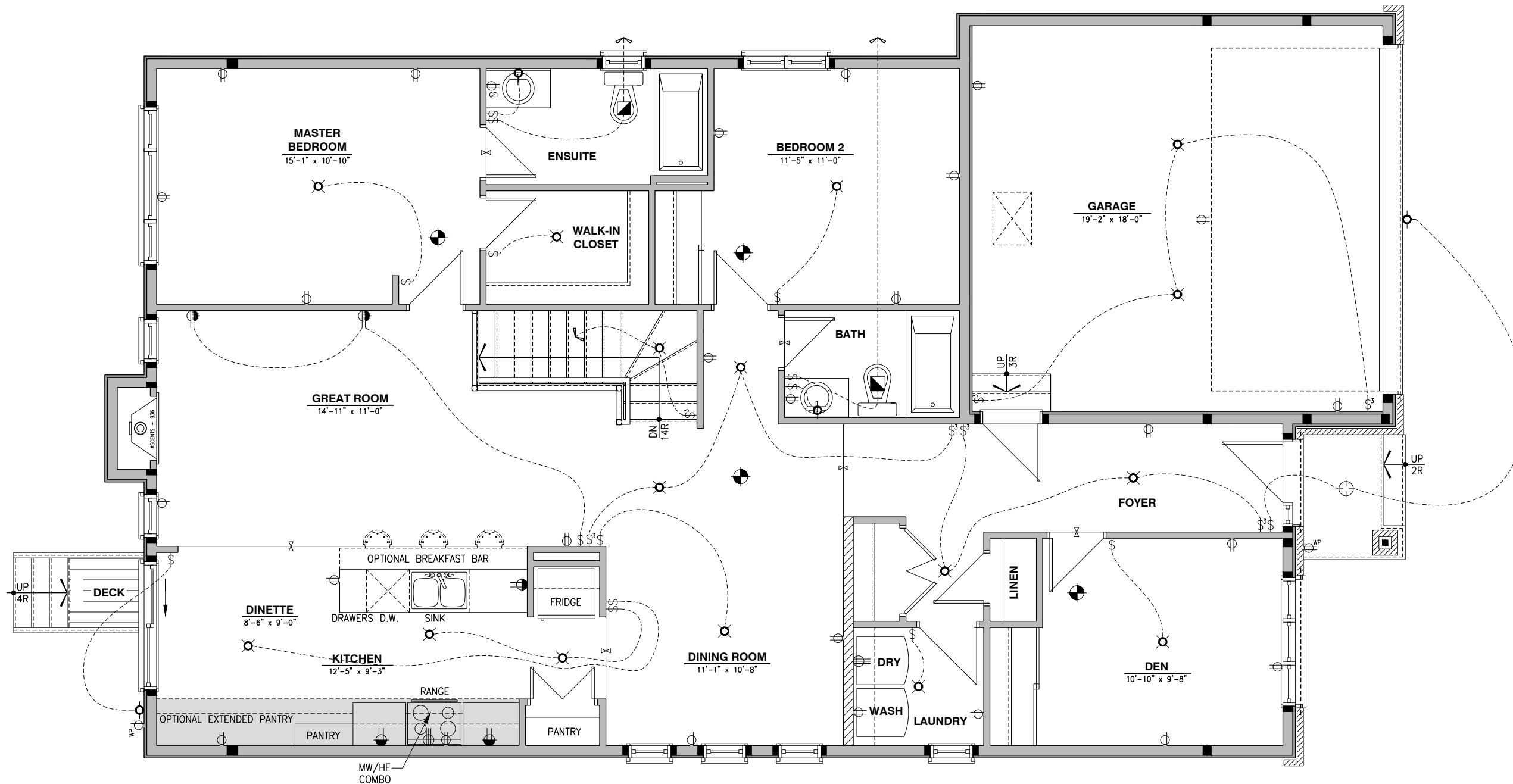
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- ⌘ SINGLE POLE SWITCH
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- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
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- ⌘ SPLIT OUTLET
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- ⌘ POT LIGHT
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- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: E.5

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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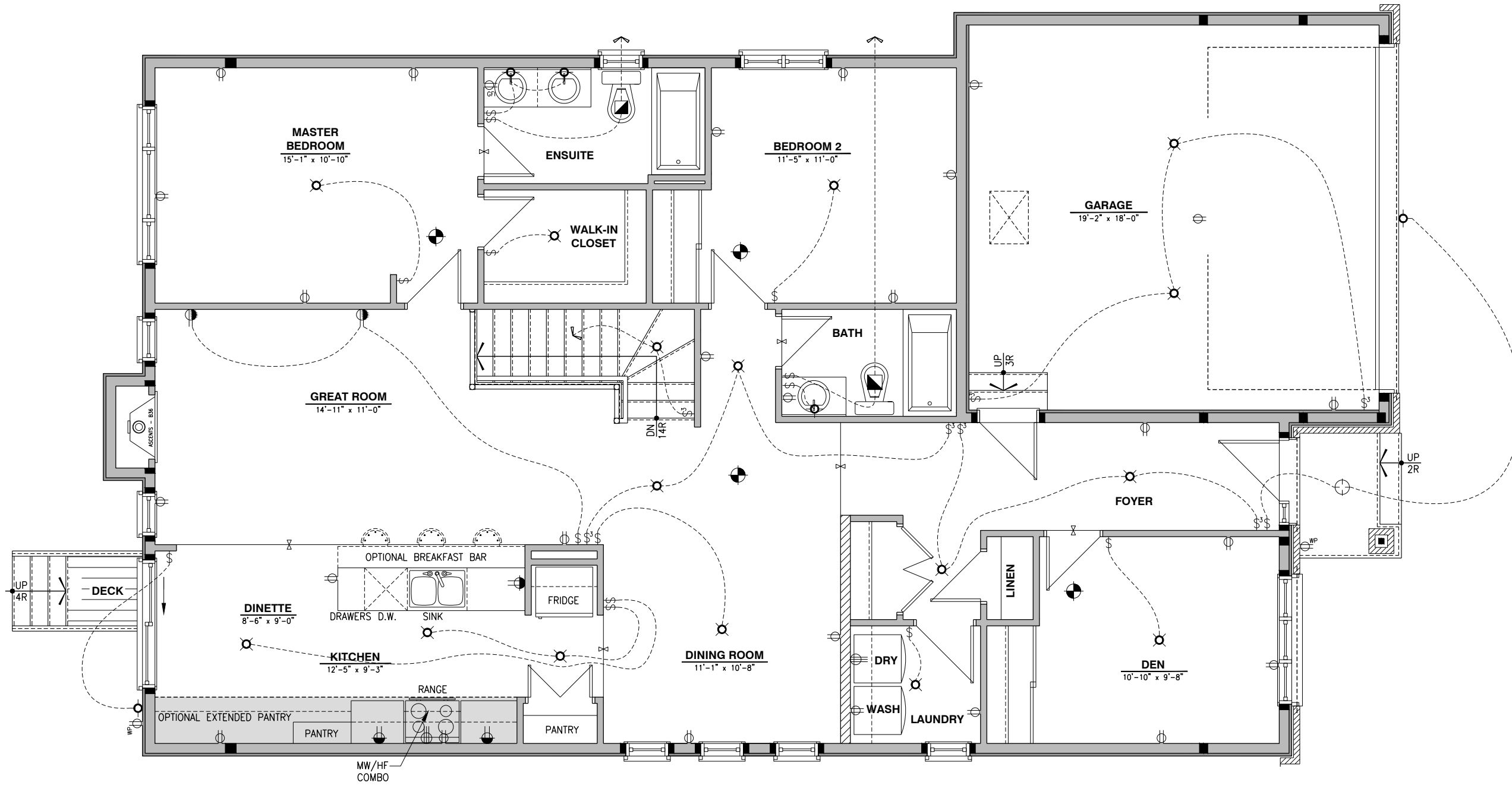
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- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚GFI GROUND FAULT INTERVOLT
- ⌚WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ⌚ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.6

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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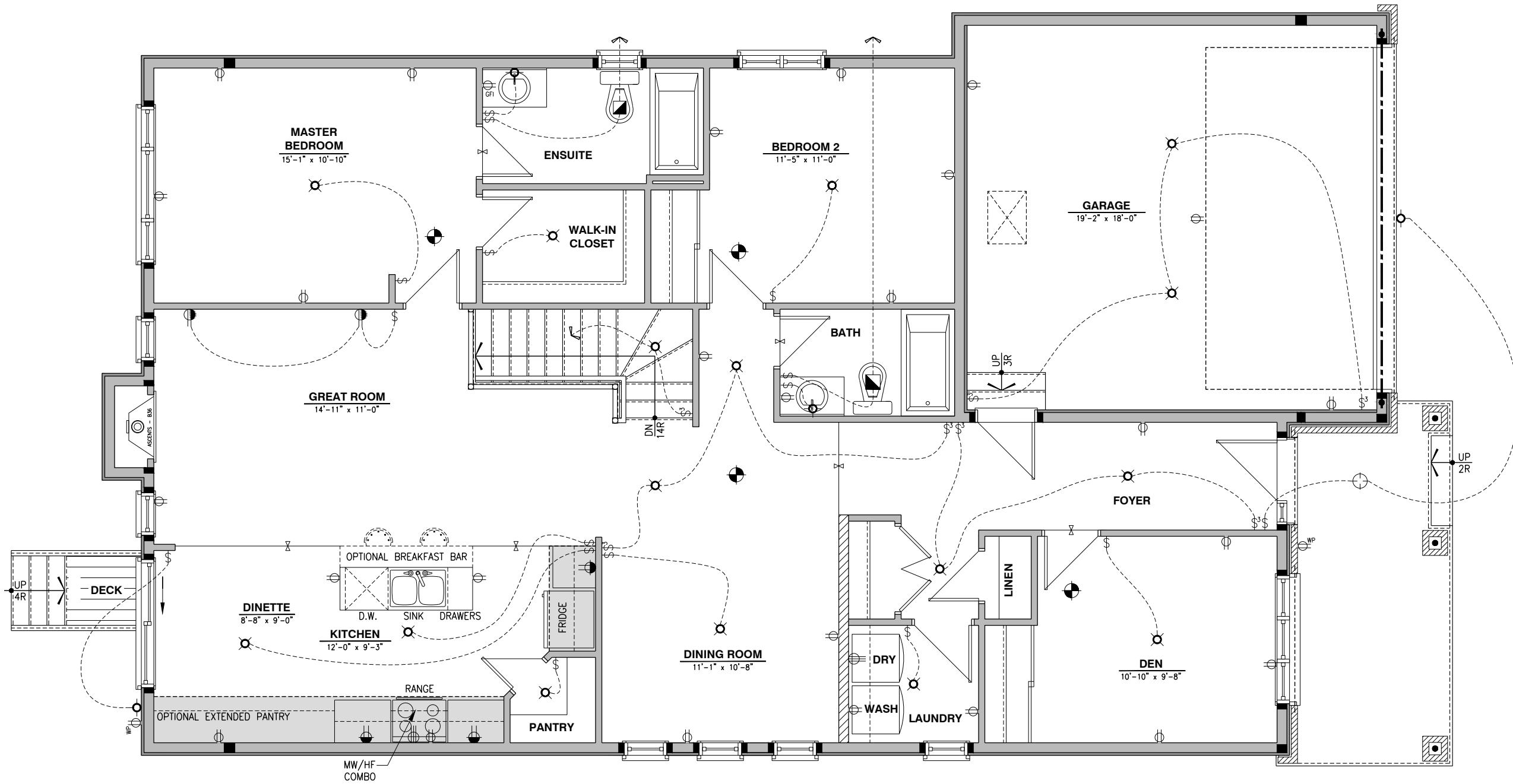
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- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
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- FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.7

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

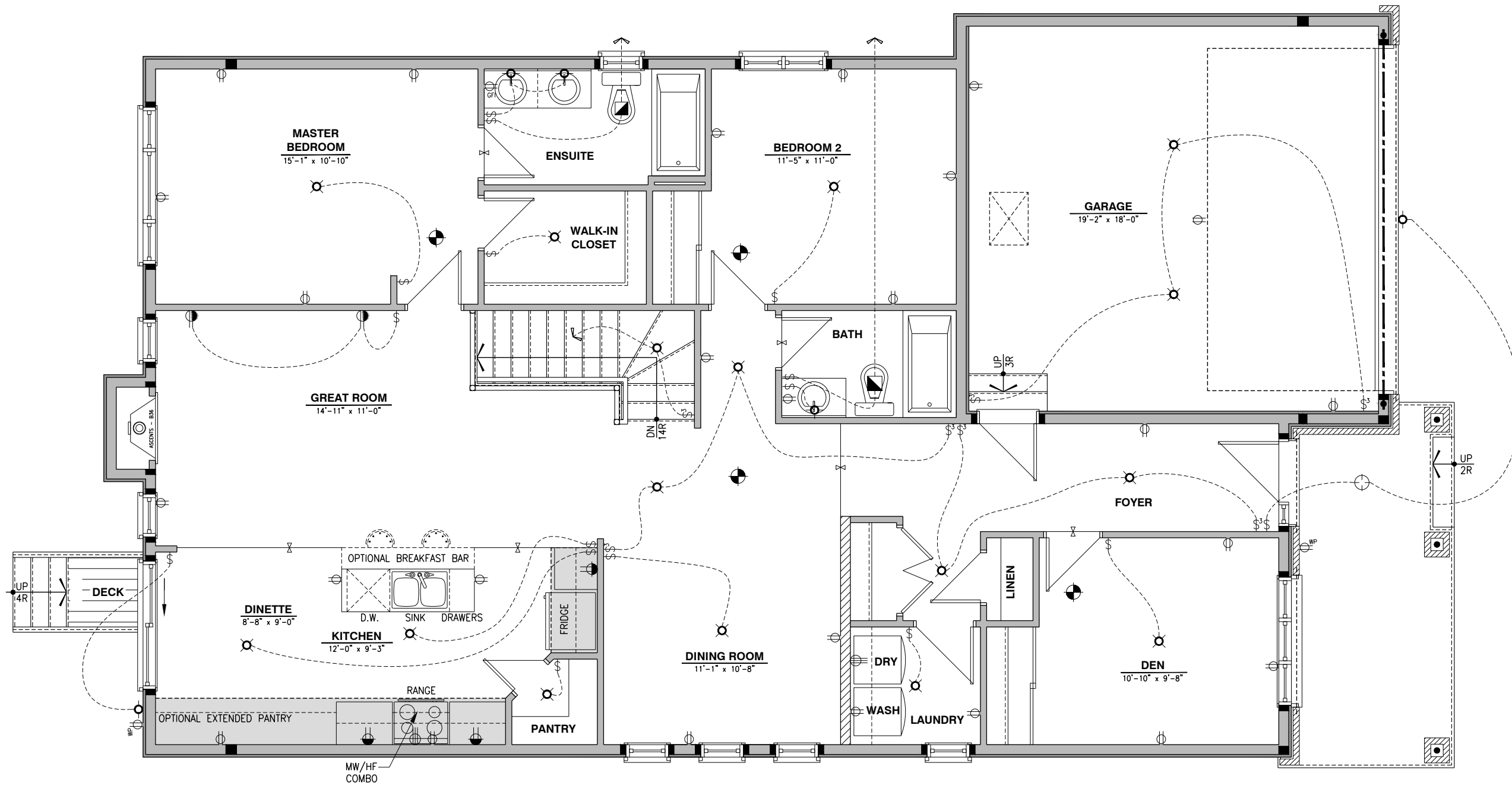
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.8

LOT: XXXX
 DATE: XX/XX/XXXX



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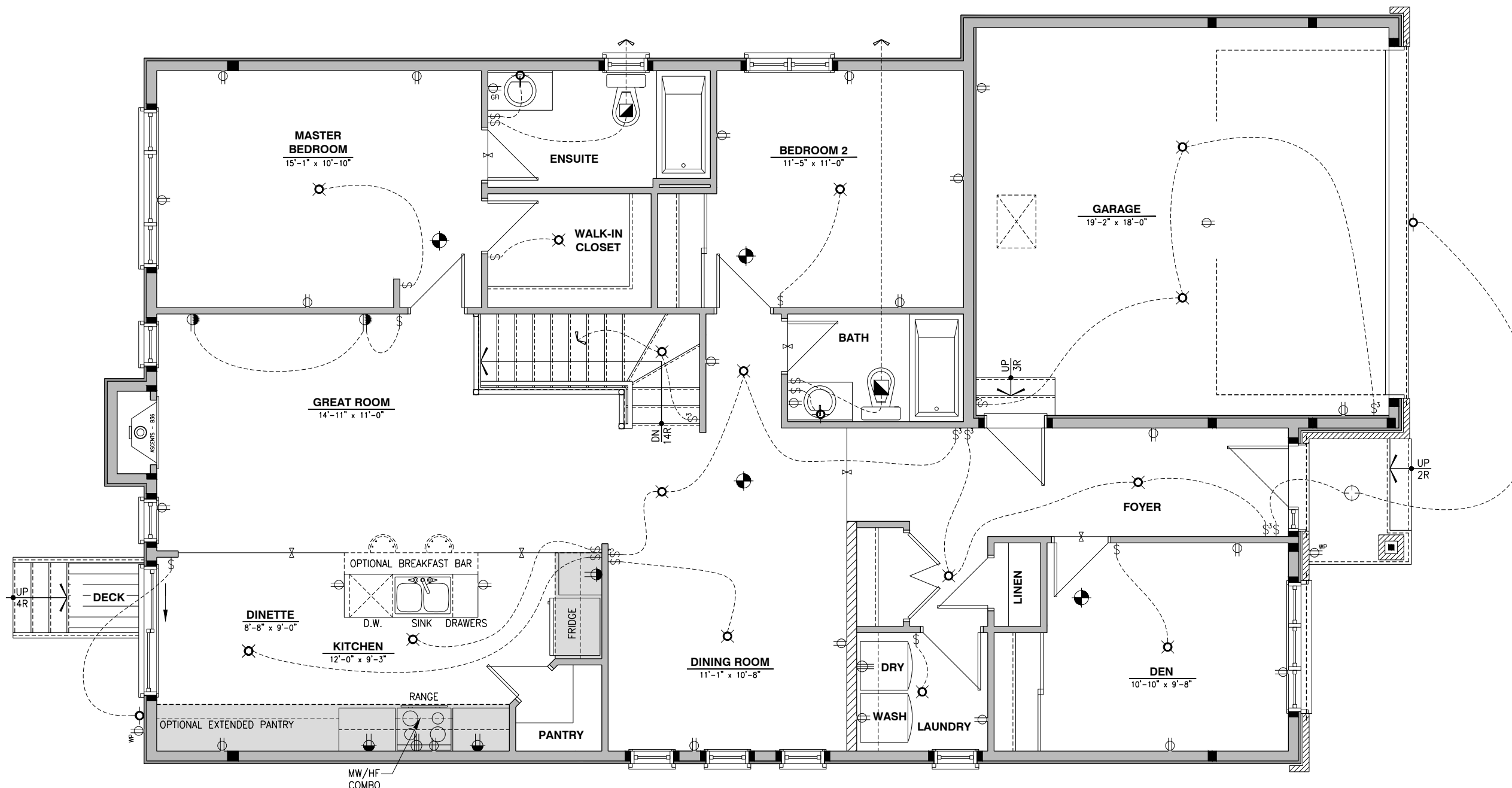
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2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.9

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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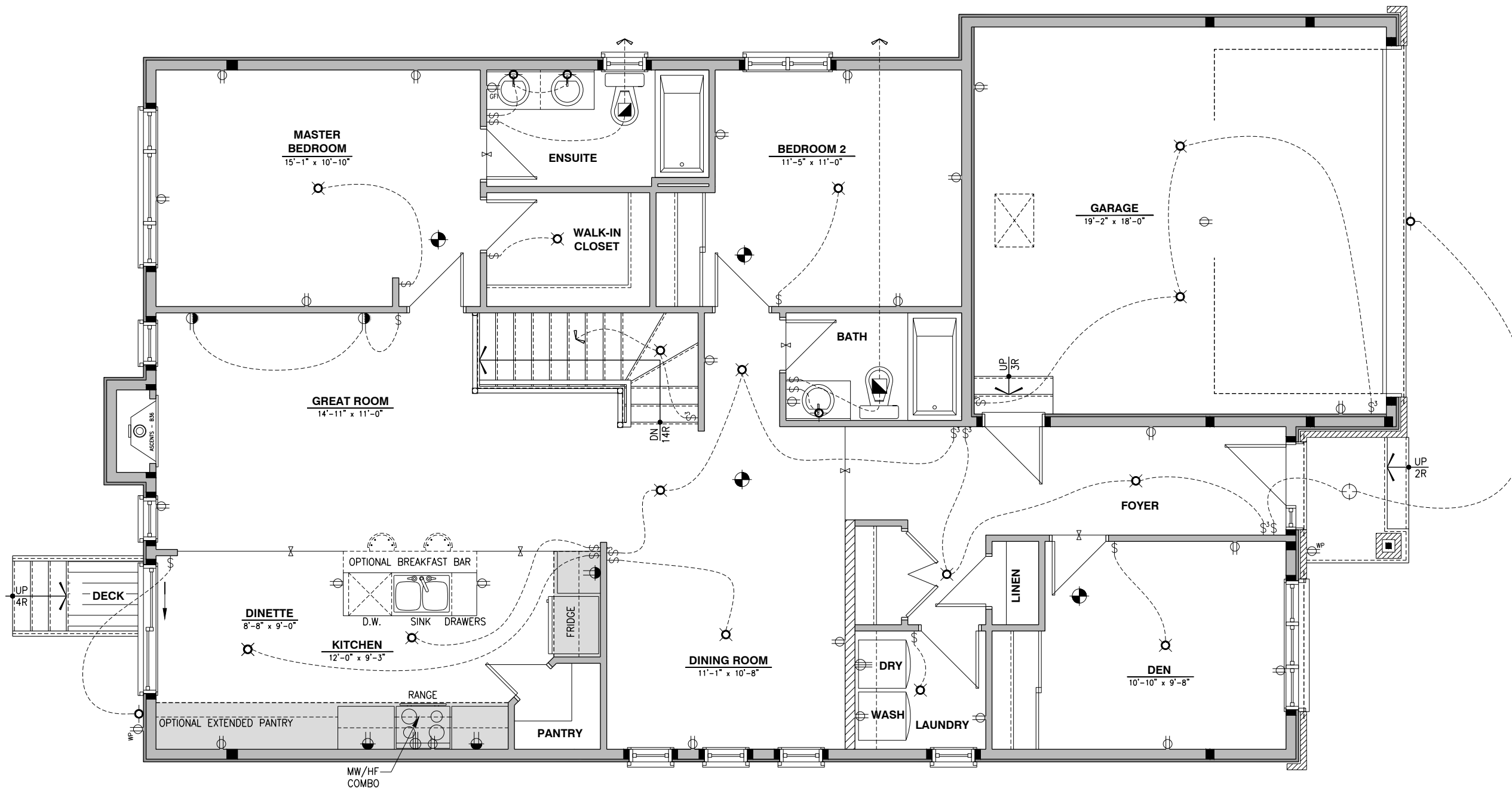
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- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.10

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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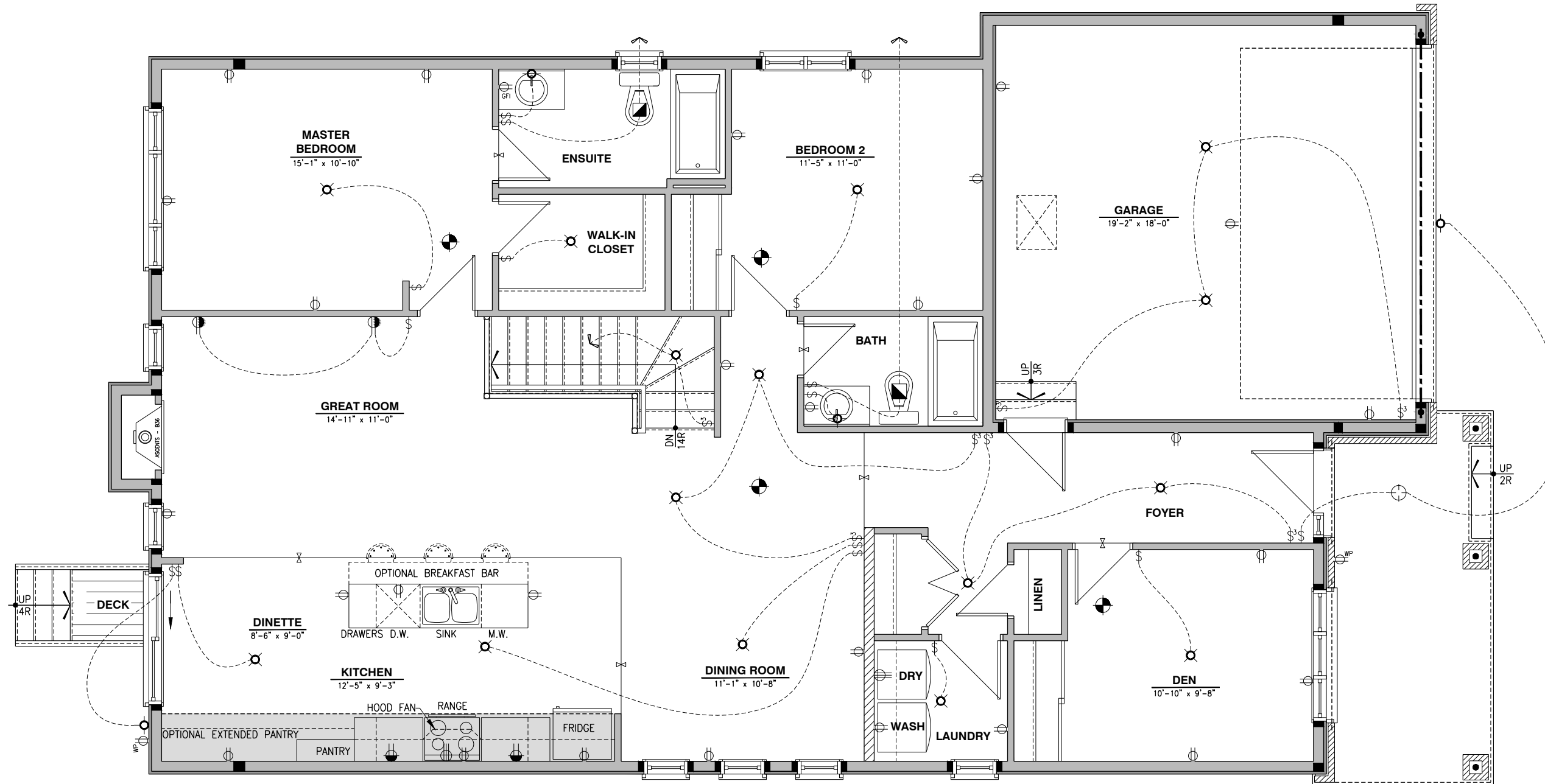
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.11

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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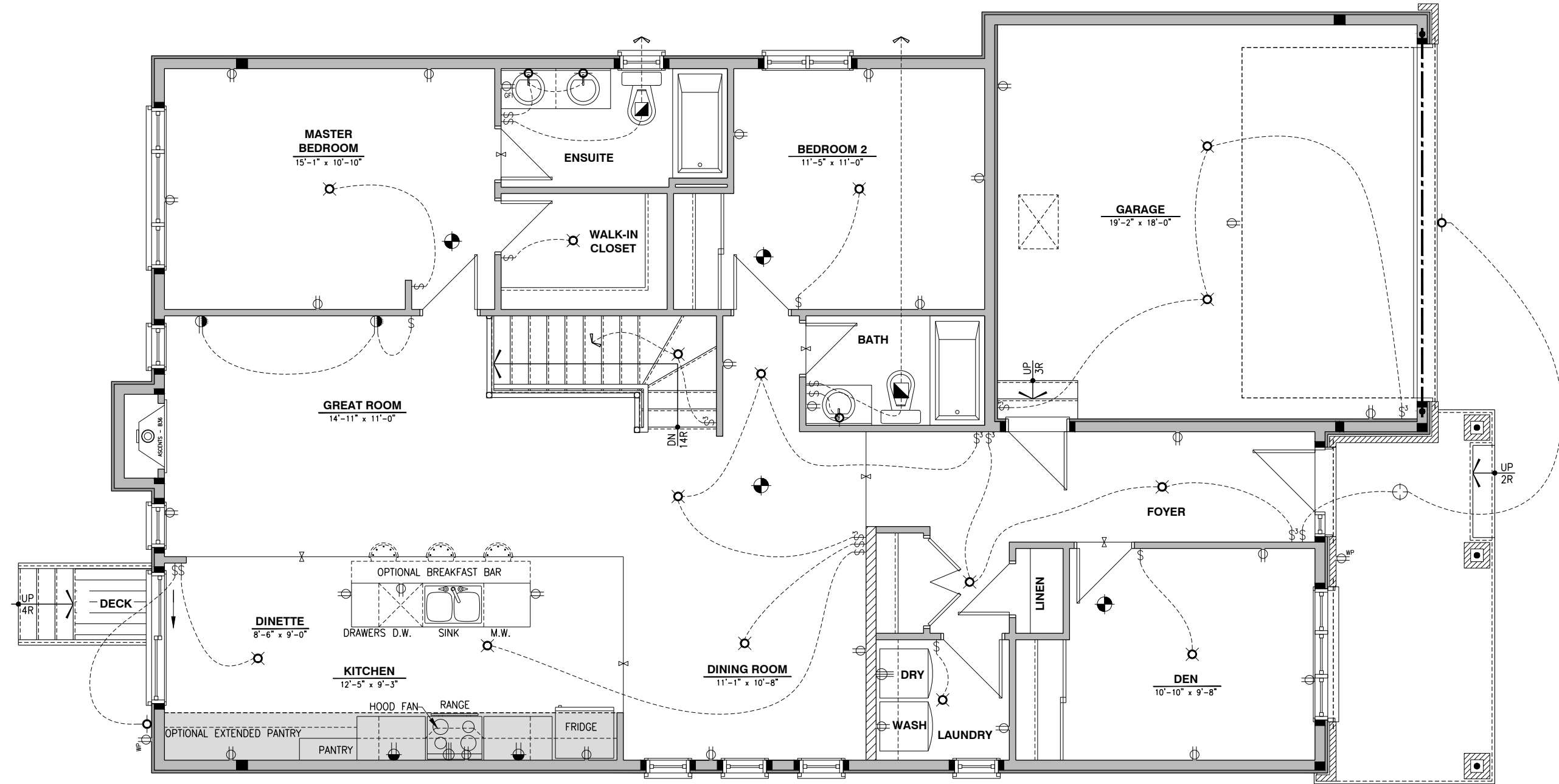
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.12

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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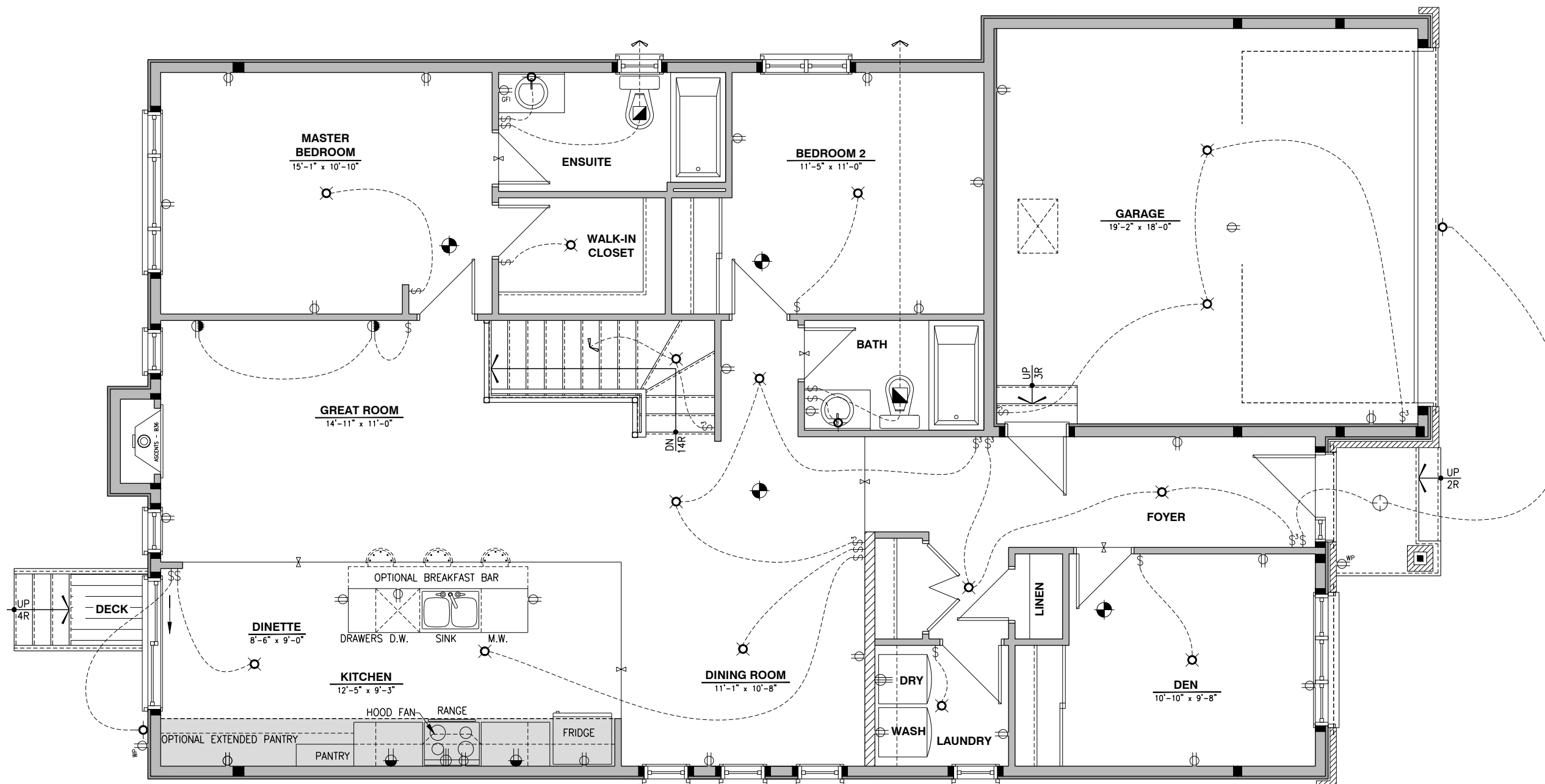
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT

SHEET: **E.13**
 (STANDARD DRAWINGS)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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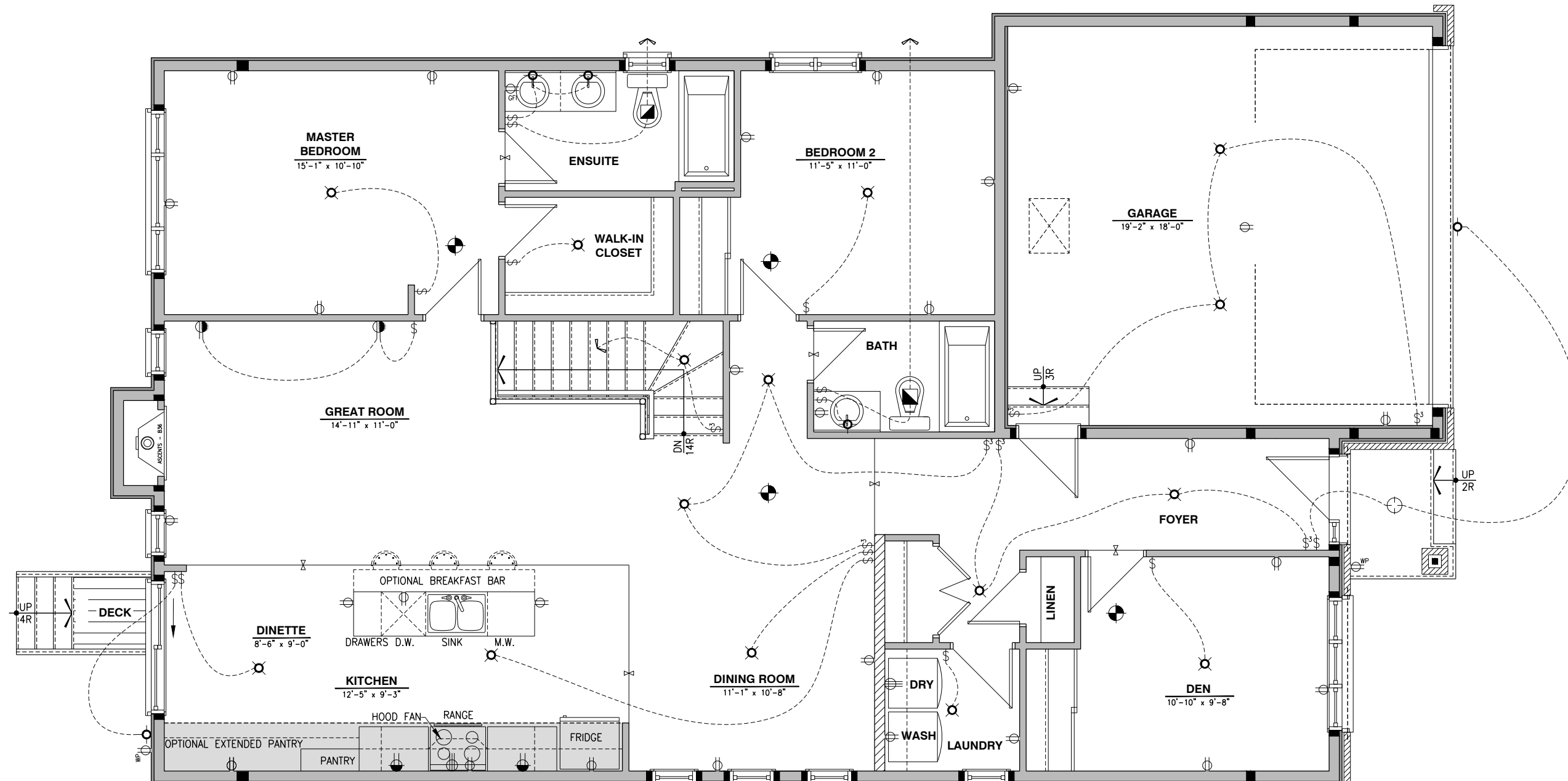
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.14

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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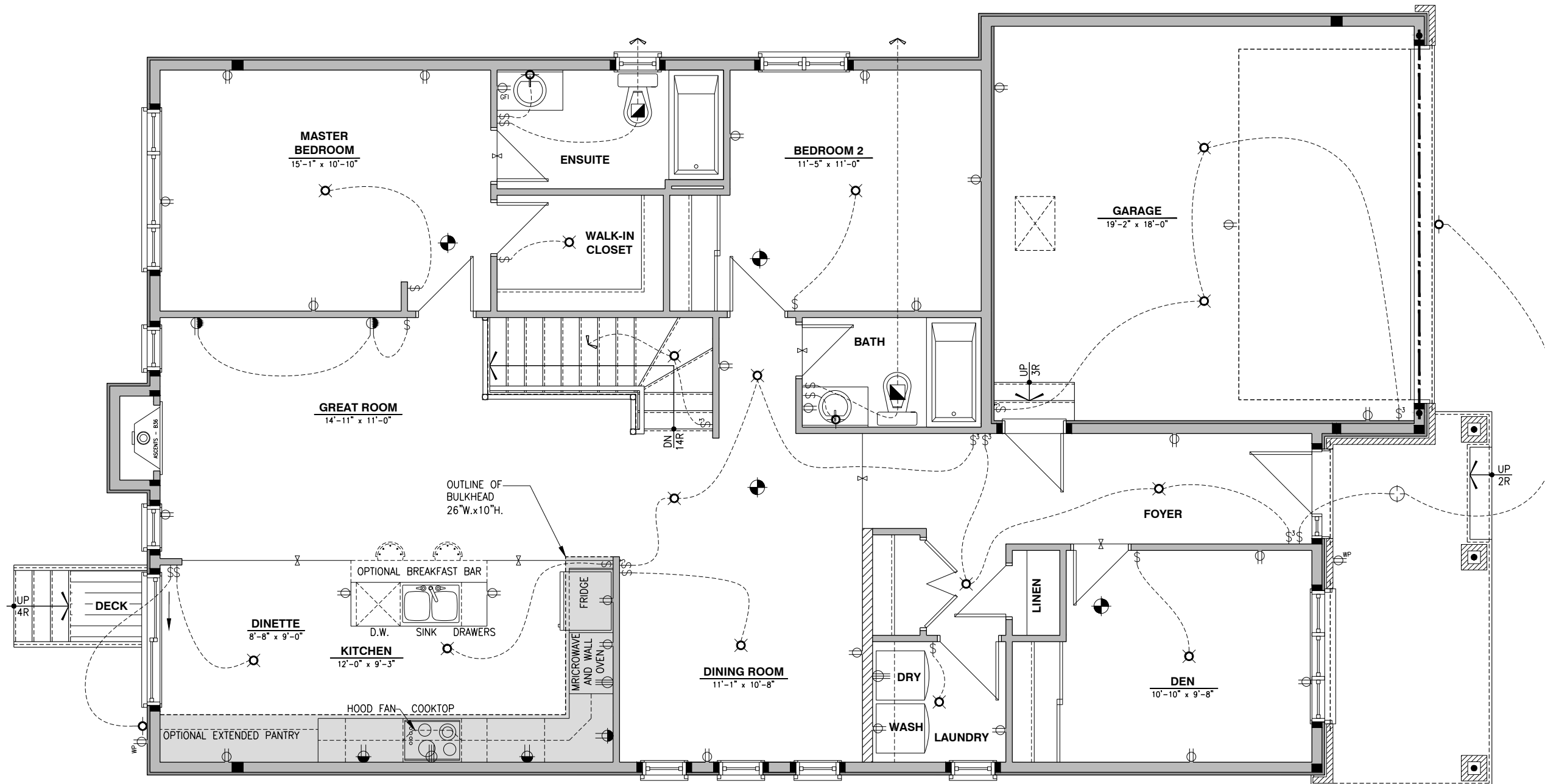
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- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT

SHEET: **E.15**
 (STANDARD DRAWINGS)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

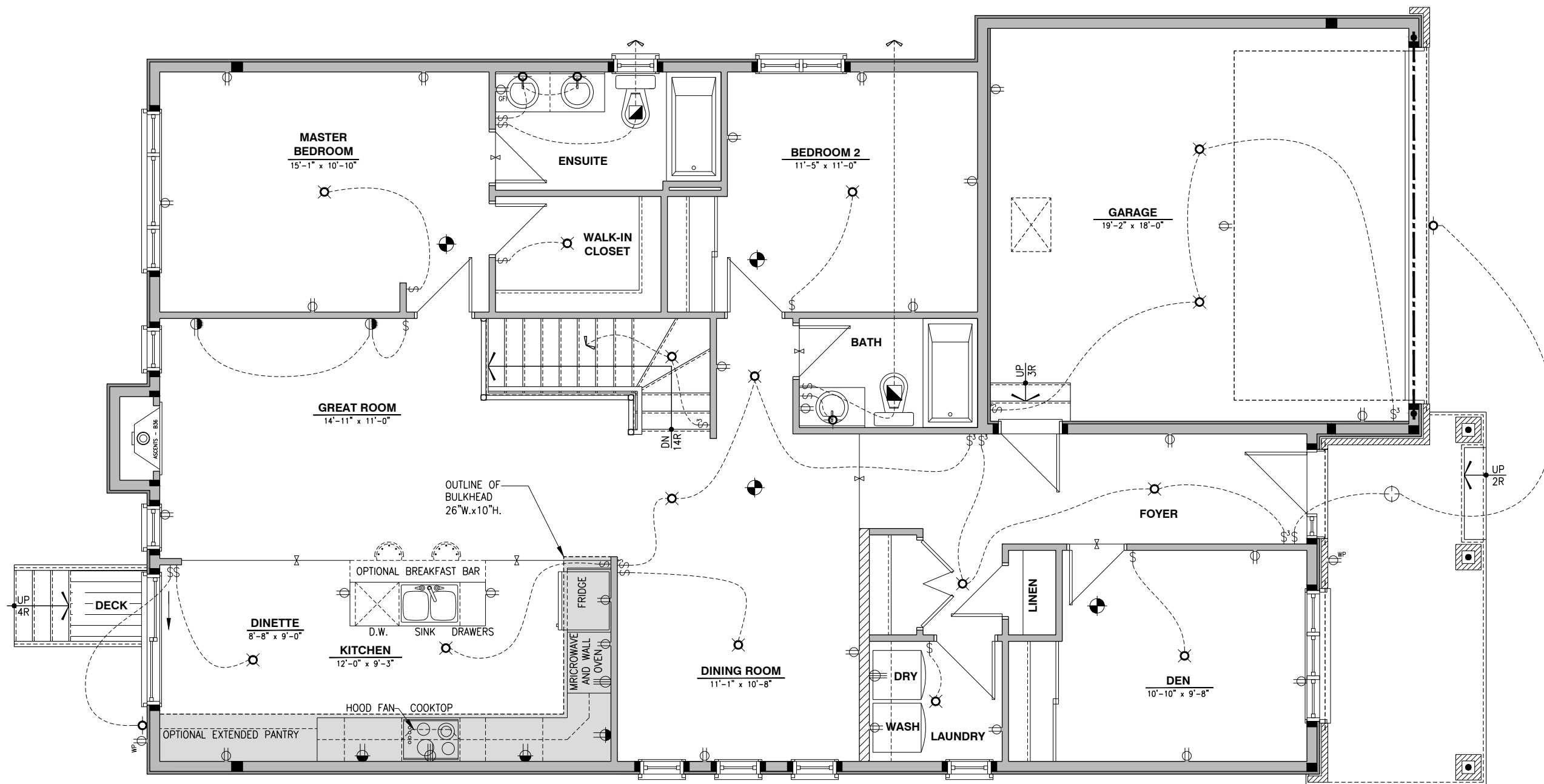
THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.16

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

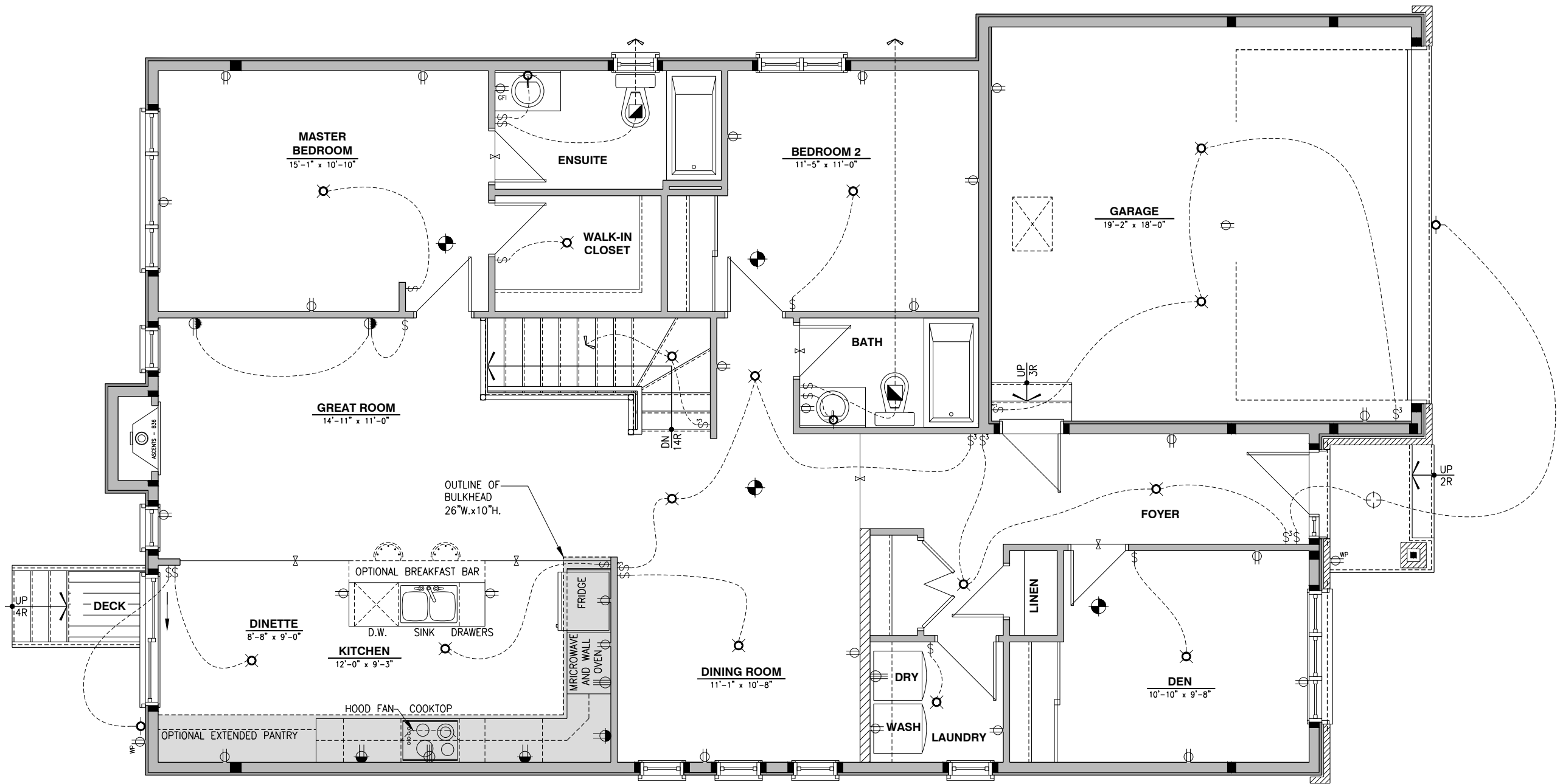
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- ⌘ SINGLE POLE SWITCH
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- ⌘ 4 WAY SWITCH
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- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

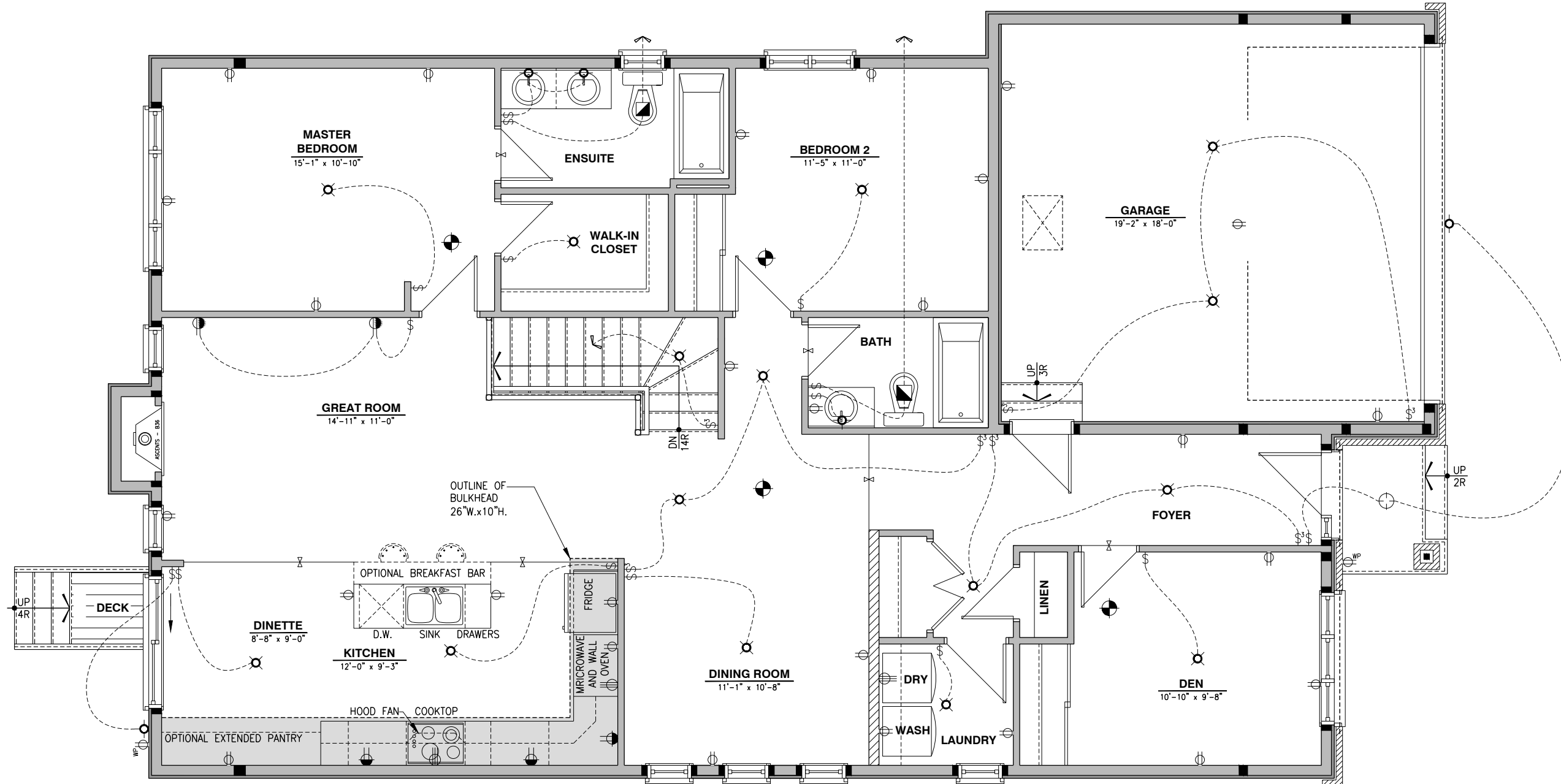
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- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.18

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"