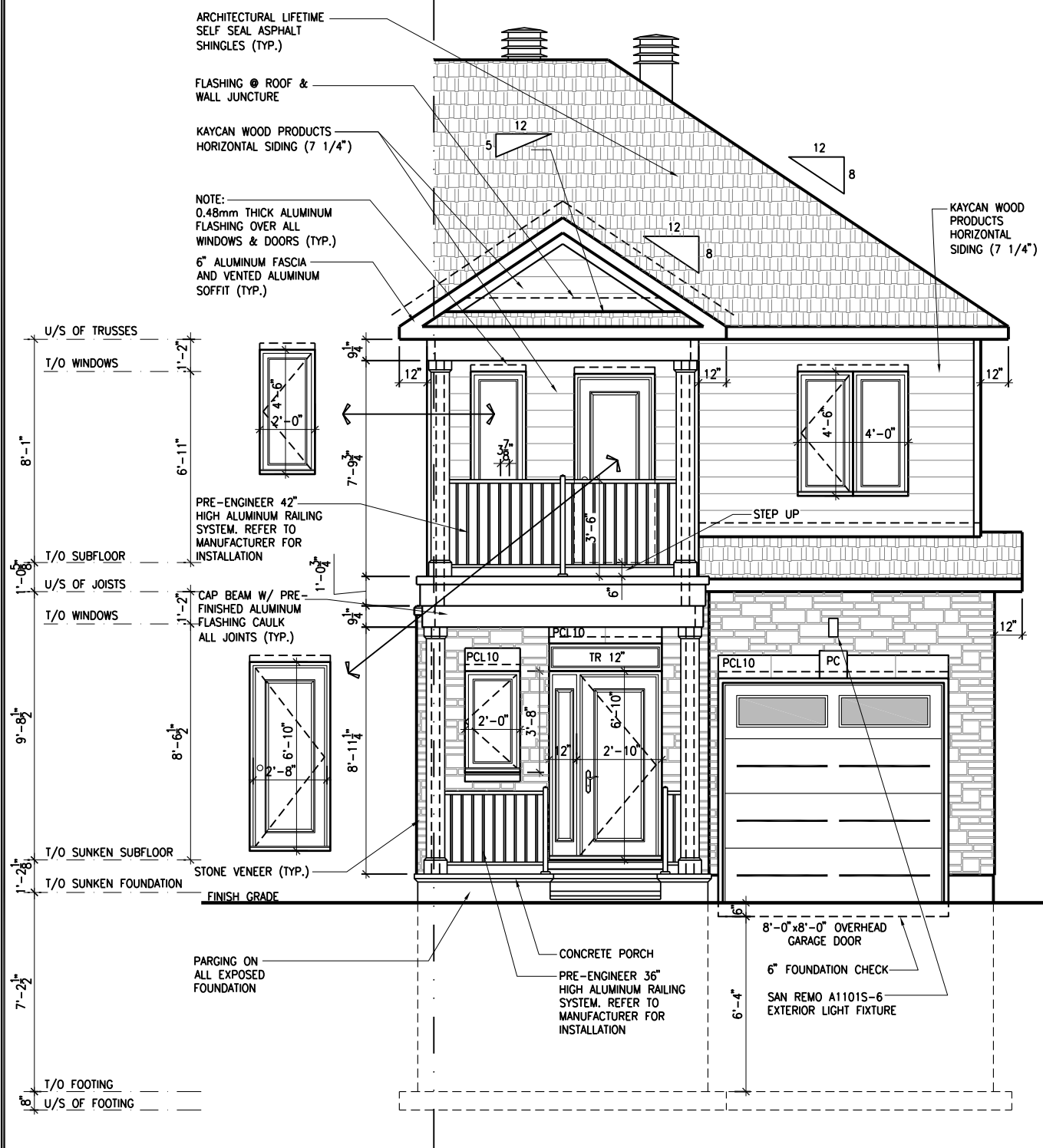


1 FRONT ELEVATION - PORCH END UNIT  
A.1a SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION - GARAGE END UNIT  
A.1a SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
  - TARIION REGISTRATION NUMBER #611
- .. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ..

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

### 2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON		

DRAWING: FRONT ELEVATION - END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.1a**

CONSTRUCTION SITES:  
**SHEA VILLAGE**



# Valecraft

Homes (2019) Limited

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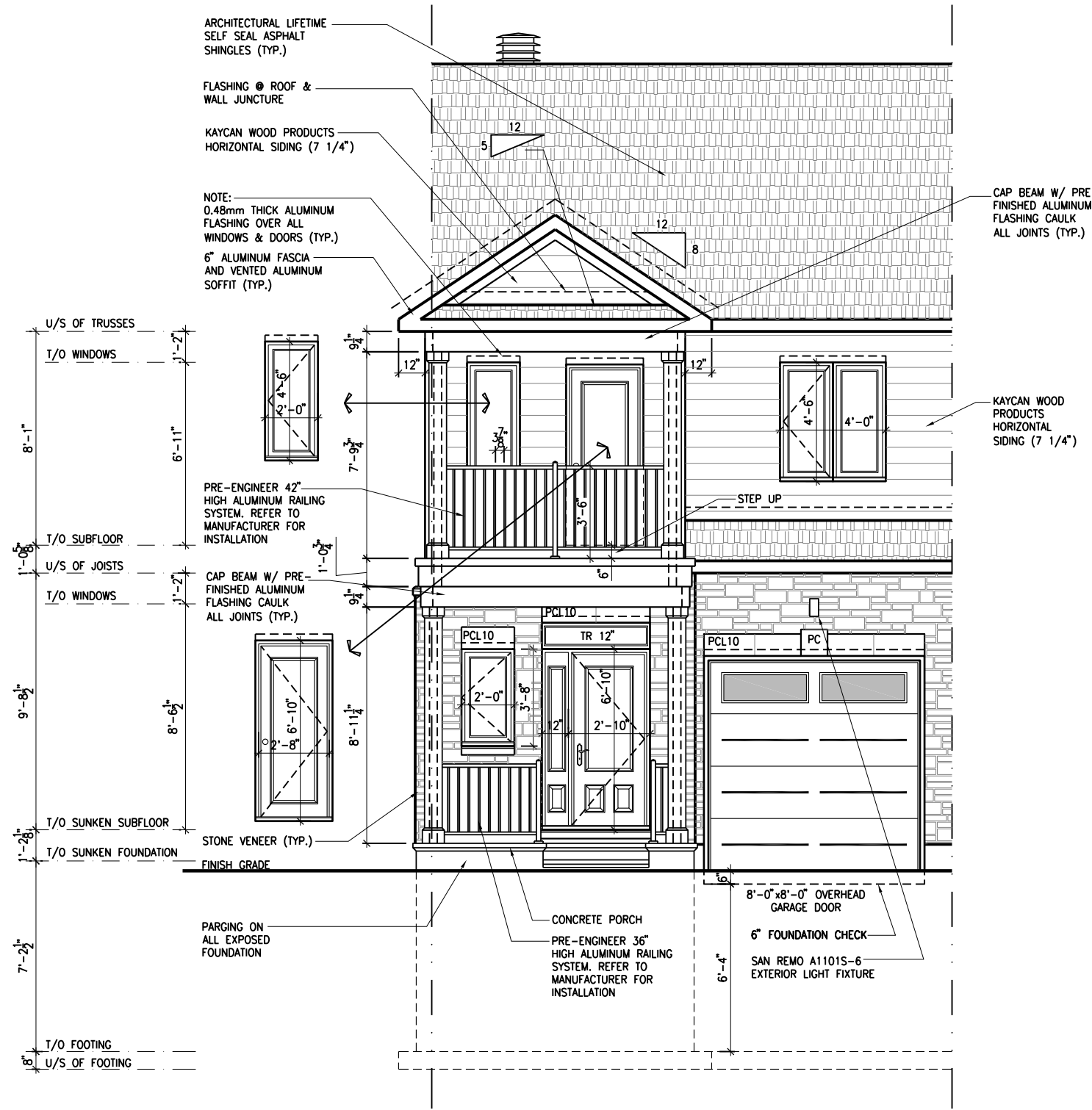
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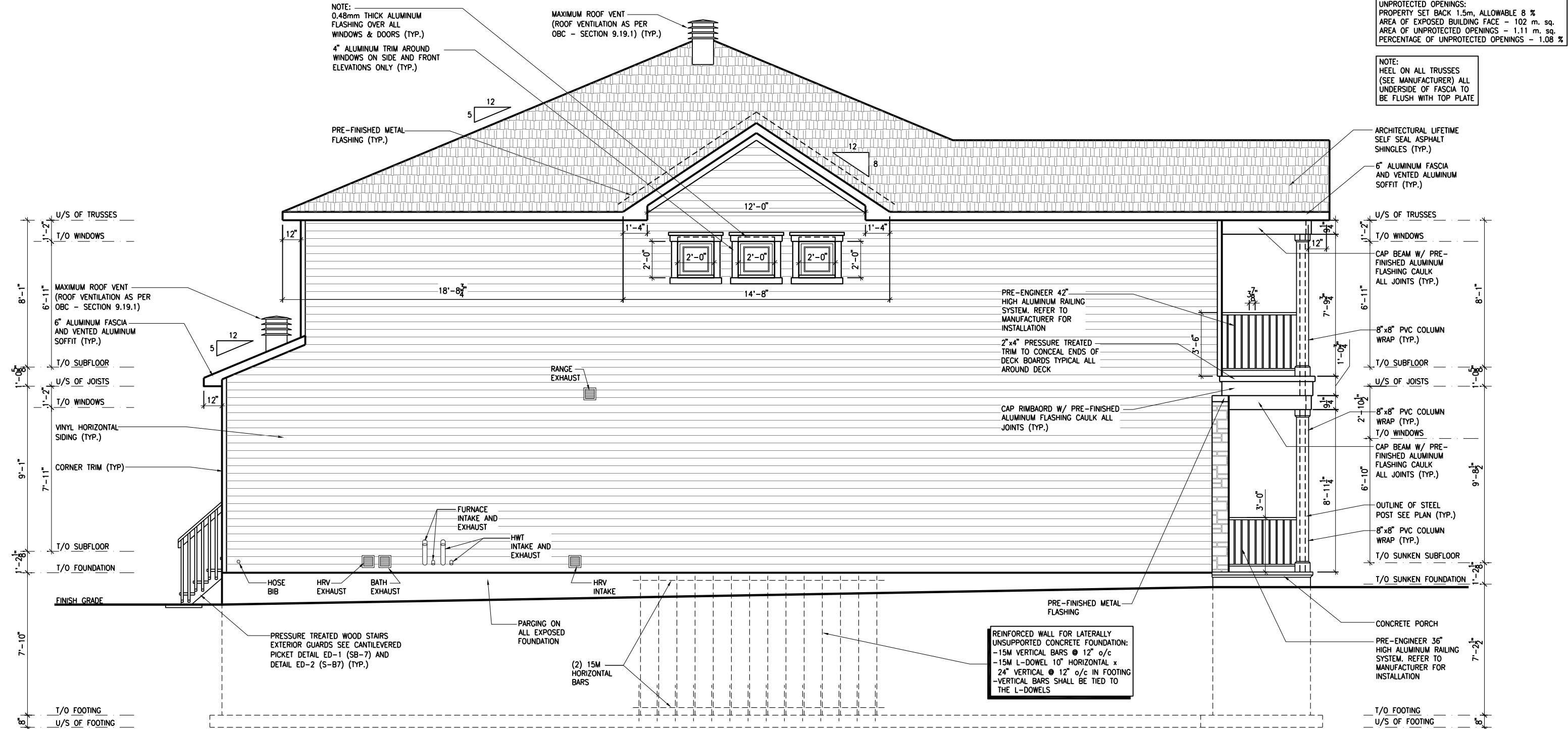
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL





1 LEFT ELEVATION - PORCH END UNIT  
A.2a SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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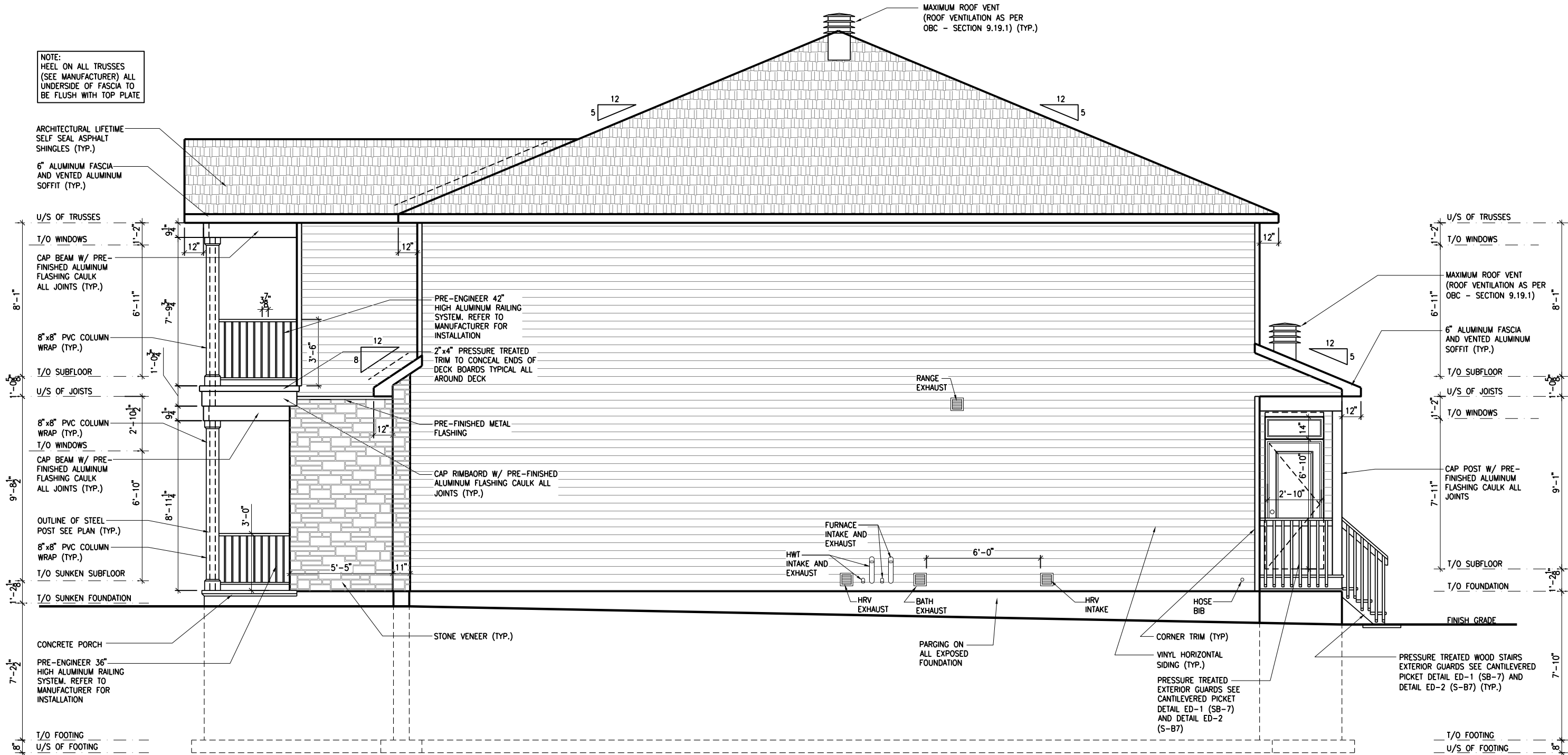
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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

CONSTRUCTION SITES:  
SHEA VILLAGE

2012 O.B.C. DRAWINGS		
DRAWING: LEFT ELEVATION PORCH END UNIT		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
130 - THE LEWIS 2022 FOOTPRINT (STANDARD DRAWINGS)		
SHEET: A.2a		







1  
A.2c  
**RIGHT ELEVATION - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

CONSTRUCTION SITES:  
**SHEA VILLAGE**

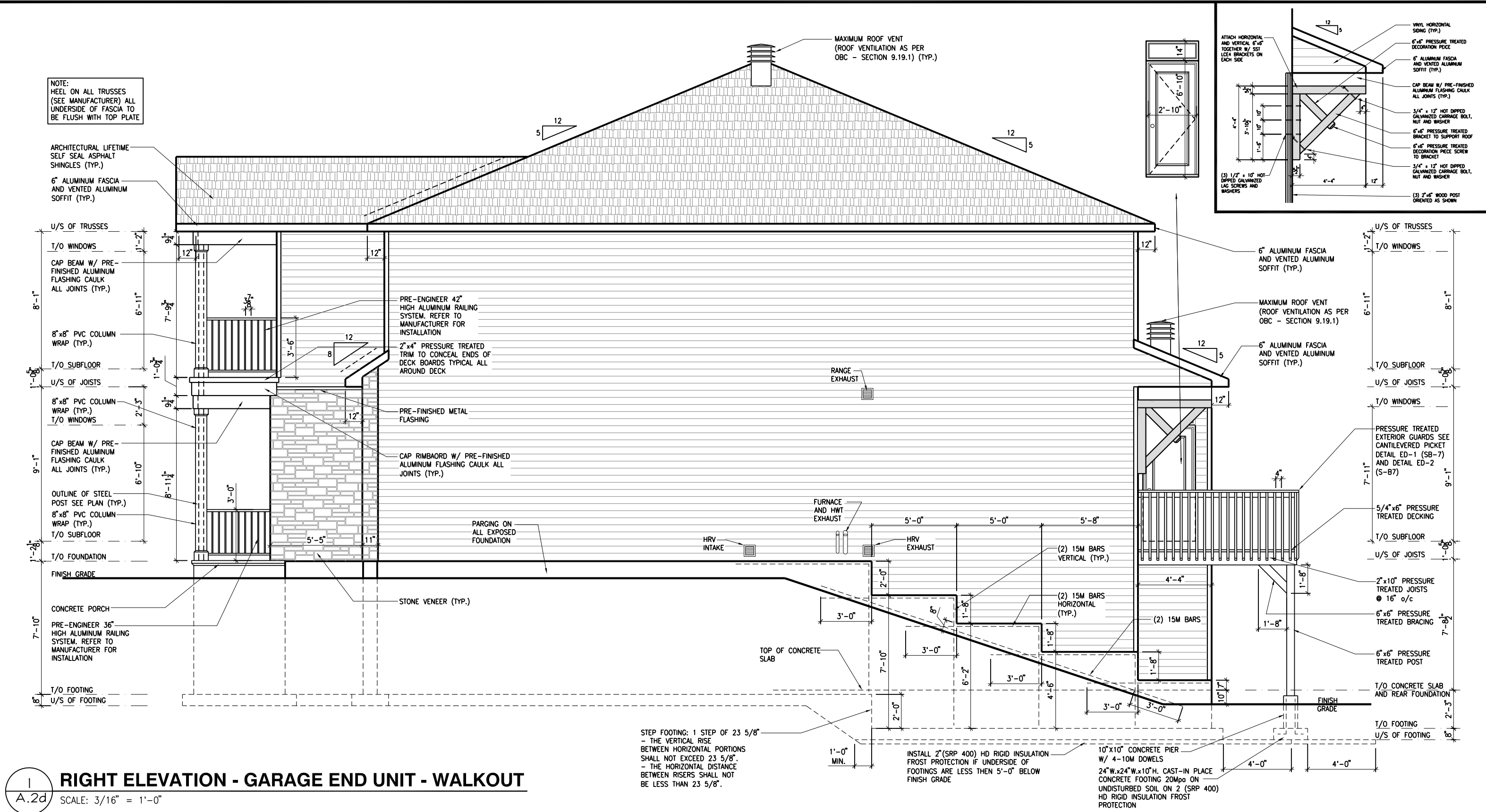
**2012 O.B.C. DRAWINGS**

**RIGHT ELEVATION  
GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

**A.2c**



**1**  
**A.2d** **RIGHT ELEVATION - GARAGE END UNIT - WALKOUT**  
SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896  
- TARION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

**2012 O.B.C. DRAWINGS**

DRAWING: **RIGHT ELEVATION  
GARAGE END UNIT -WALKOUT**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

**130 - THE LEWIS  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
**SHEA VILLAGE**

SHEET:  
**A.2d**



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- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

## 2012 O.B.C. DRAWINGS

REV-1	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
2			
3			
4			
5			
6			
7			
8			
9			
10			

REAR ELEVATION PORCH END UNITS			
ADDRESS:	SCALE:	DATE:	
XX	3/16" = 1'-0"	XX/XX/XXXX	
130 - THE LEWIS 2022 FOOTPRINT			SHEET:
(STANDARD DRAWINGS)			A.2e

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

FLASHING @ ROOF &  
WALL JUNCTURE  
ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

U/S OF TRUSSES  
T/O WINDOWS  
VINYL HORIZONTAL  
SIDING (TYP.)  
CORNER TRIM (TYP.)  
MAXIMUM ROOF VENT (ROOF  
VENTILATION AS PER OBC  
SECTION 9.19.1) (TYP.) (DON'T  
INSTALL IN FRONT OF WINDOWS)  
T/O SUBFLOOR  
U/S OF JOISTS  
T/O WINDOWS  
VINYL HORIZONTAL  
SIDING (TYP.)  
CORNER TRIM (TYP.)  
OPTIONAL A/C LOCATION  
T/O SUBFLOOR  
T/O FOUNDATION  
FINISH GRADE  
PARGING ON ALL EXPOSED  
FOUNDATION  
PROVIDE G.I. METAL AREAWAY  
2" ABOVE FINISHED GRADE &  
DRAIN TO WEEPER TILE.  
INSURE A CLEAR DISTANCE  
OF 22" FROM BUILDING FACE  
TO INSIDE OF WINDOW WELL.  
(TYP.) (SEE DETAIL SP-24)  
T/O FOOTING  
U/S OF FOOTING

MAXIMUM ROOF VENT  
(ROOF VENTILATION AS PER  
OBC - SECTION 9.19.1) (TYP.)

CAP BEAM W/ PRE-FINISHED  
ALUMINUM FLASHING CAULK  
ALL JOINTS (TYP.)

CAP POST W/ PRE-  
FINISHED ALUMINUM  
FLASHING CAULK ALL  
JOINTS

# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING  
PRESSURE TREATED  
EXTERIOR GUARDS SEE  
CANTILEVERED PICKET  
DETAIL ED-1 (SB-7)  
AND DETAIL ED-2  
(S-B7)

## 1 REAR ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CAP BEAM W/  
PRE-FINISHED  
ALUMINUM  
FLASHING CAULK  
ALL JOINTS (TYP.)

## 2 REAR ELEVATION - PORCH END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

PRE-FINISHED METAL  
FLASHING (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

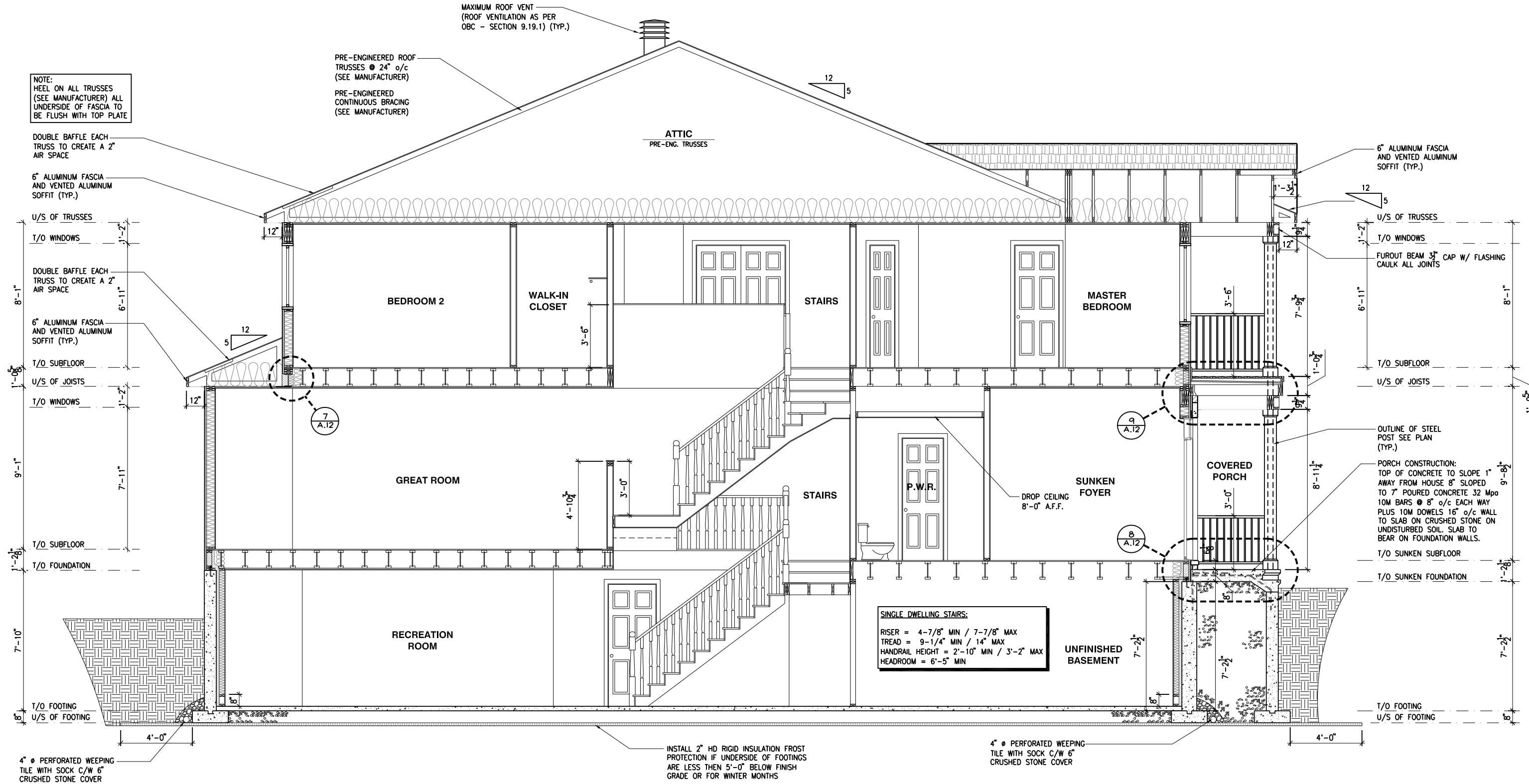
U/S OF TRUSSES  
T/O WINDOWS  
FLASHING @ ROOF &  
WALL JUNCTURE  
NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)  
T/O SUBFLOOR  
U/S OF JOISTS  
T/O WINDOWS  
VINYL HORIZONTAL  
SIDING (TYP.)  
CORNER TRIM (TYP.)  
PRESSURE TREATED  
EXTERIOR GUARDS SEE  
CANTILEVERED PICKET  
DETAIL ED-1 (SB-7)  
AND DETAIL ED-2  
(S-B7)  
T/O SUBFLOOR  
U/S OF JOISTS  
T/O WINDOWS  
FINISH GRADE  
PARGING ON ALL EXPOSED  
FOUNDATION  
T/O CONCRETE SLAB  
AND REAR FOUNDATION  
T/O FOOTING  
U/S OF FOOTING

INSTALL 2" (SRP 400) HD RIGID  
INSULATION FROST PROTECTION  
IF UNDERSIDE OF FOOTINGS ARE  
LESS THEN 5'-0" BELOW FINISH  
GRADE

CONSTRUCTION SITES:  
SHEA VILLAGE







**BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

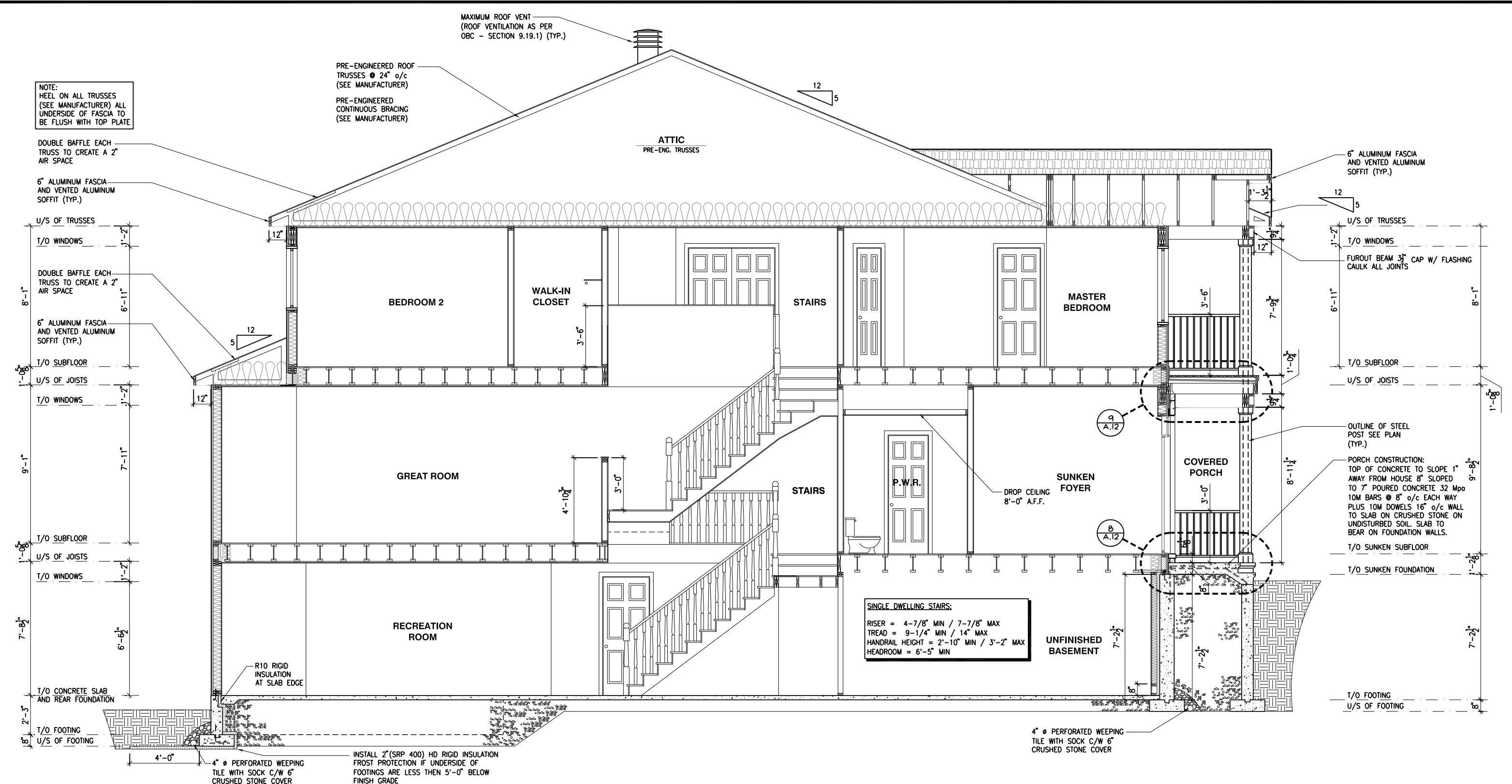


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- PERSONAL BCIN #19896			
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

CONSTRUCTION SITES:  
SHEA VILLAGE


2012 O.B.C. DRAWINGS		
DRAWING: BUILDING SECTION		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
130 - THE LEWIS 2022 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A.3a



**1**  
**A.3b** **BUILDING SECTION - WALKOUT**  
SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS

DRAWING:BUILDING SECTION WALKOUT

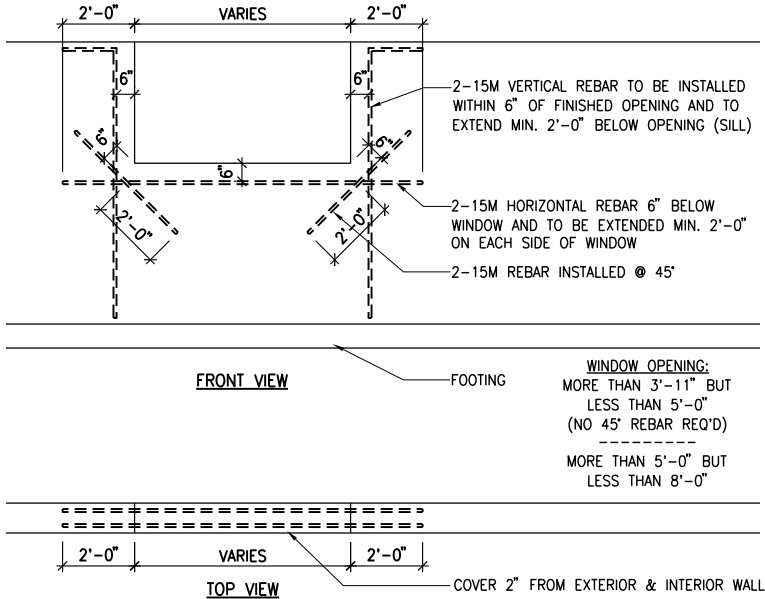
ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

130 - THE LEWIS 2022 FOOTPRINT (STANDARD DRAWINGS)

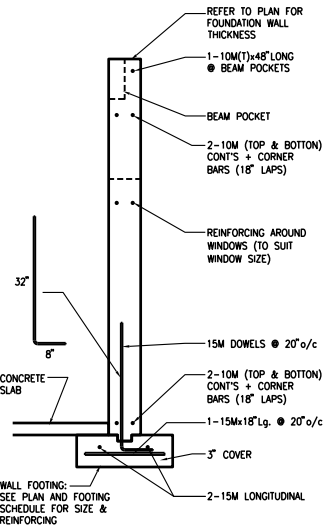
CONSTRUCTION SITES: SHEA VILLAGE

SHEET: A.3b

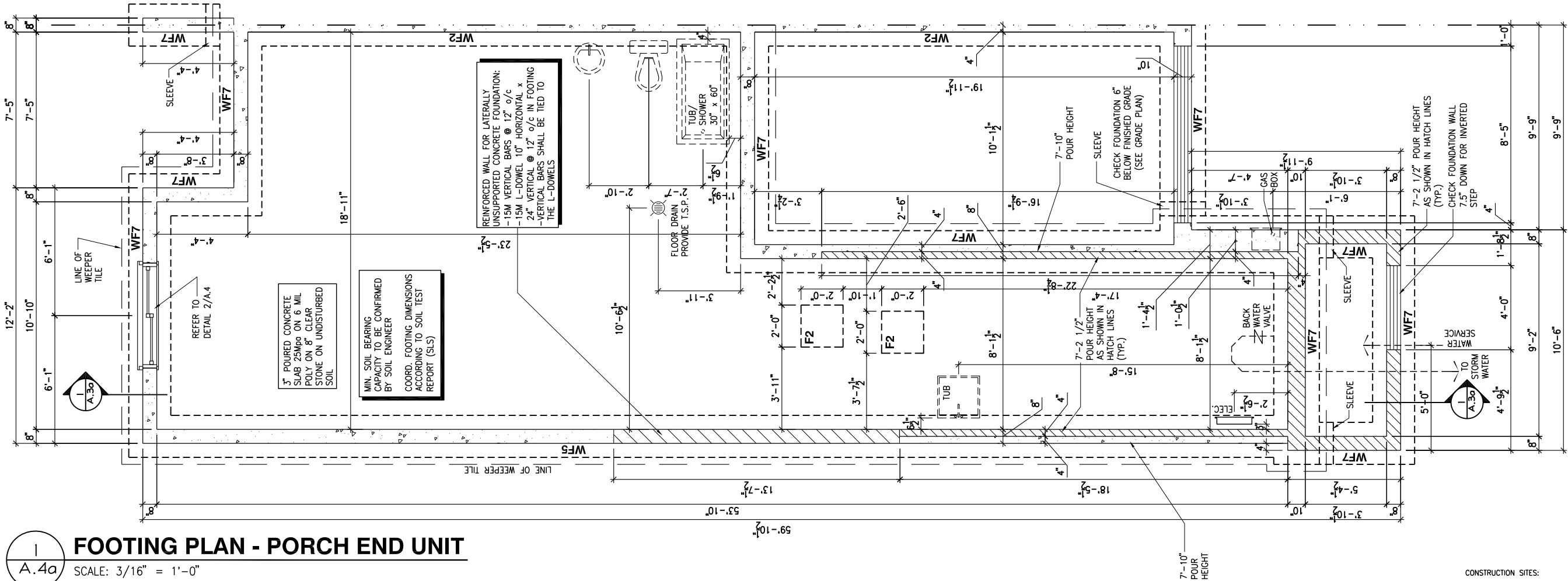
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY



2 BASEMENT WINDOW REINFORCING  
A.4a SCALE: 3/16" = 1'-0"



3 CONCRETE WALL REINFORCING  
A.4a SCALE: 1/4" = 1'-0"



1 FOOTING PLAN - PORCH END UNIT  
A.4a SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: FOOTING PLAN -PORCH END UNIT

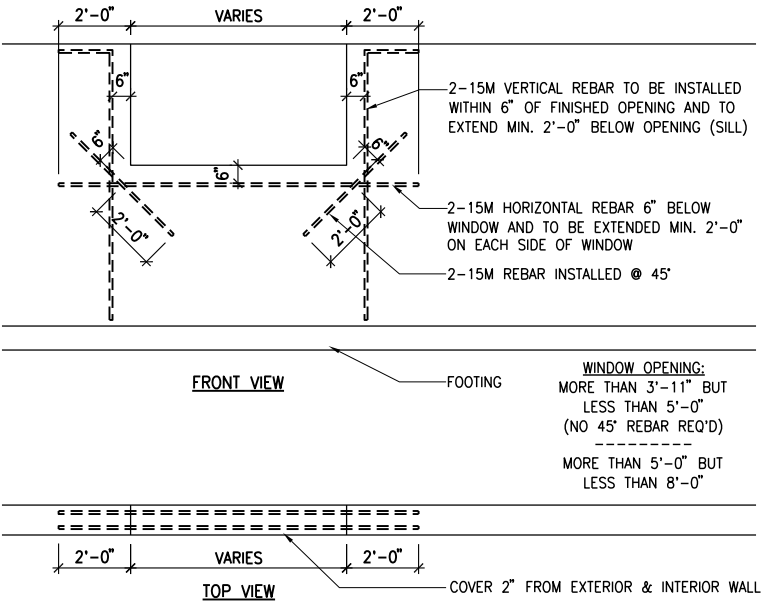
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

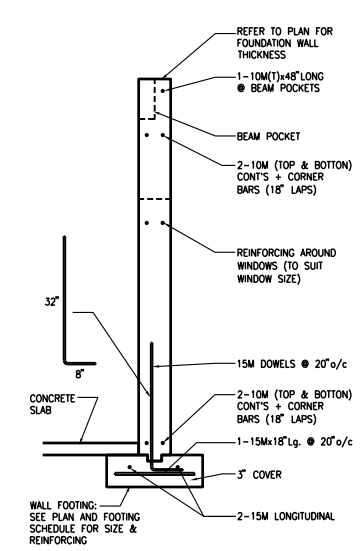
SHEET:  
A.4a



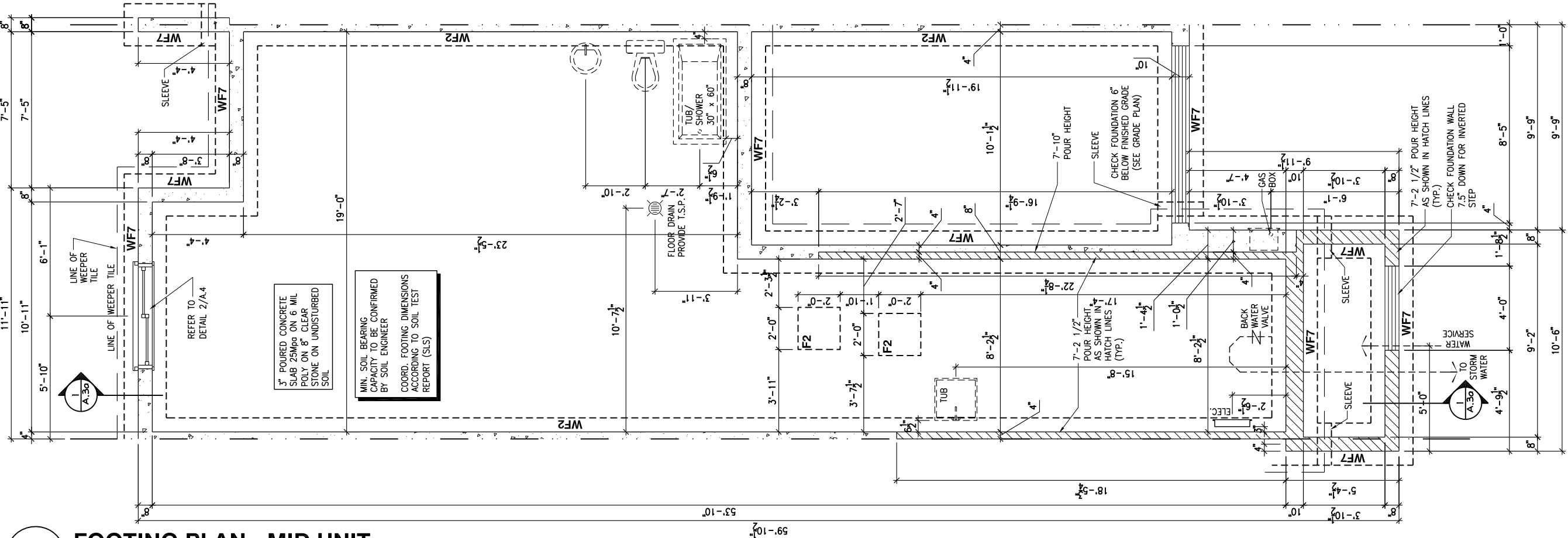
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY



2 BASEMENT WINDOW REINFORCING  
A.4b SCALE: 3/16" = 1'-0"



3 CONCRETE WALL REINFORCING  
A.4b SCALE: 1/4" = 1'-0"



1 FOOTING PLAN - MID UNIT  
A.4b SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited  
I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

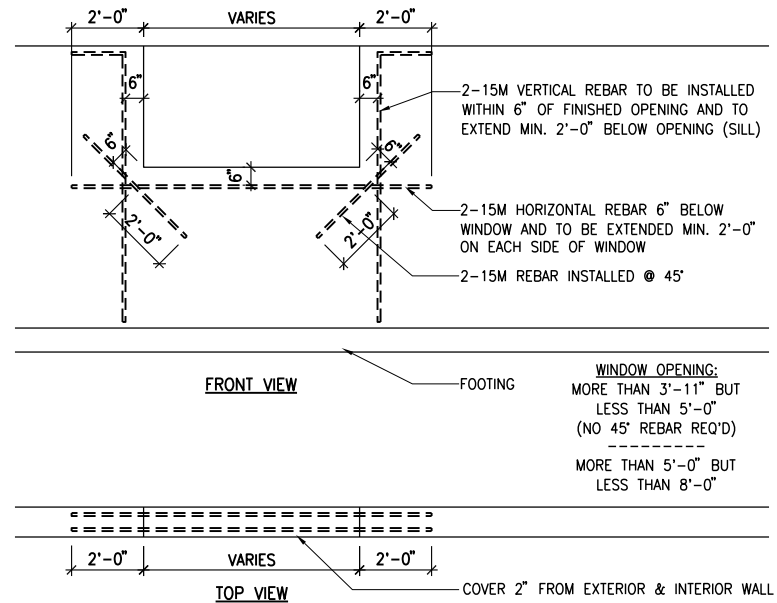
DRAWING: FOOTING PLAN - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

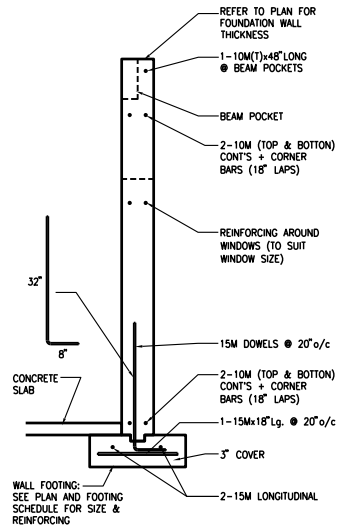
SHEET: A.4b

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
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<b>WF2</b>	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
<b>WF3</b>	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
<b>WF4</b>	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
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<b>WF6</b>	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
<b>WF7</b>	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
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<b>F1</b>	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
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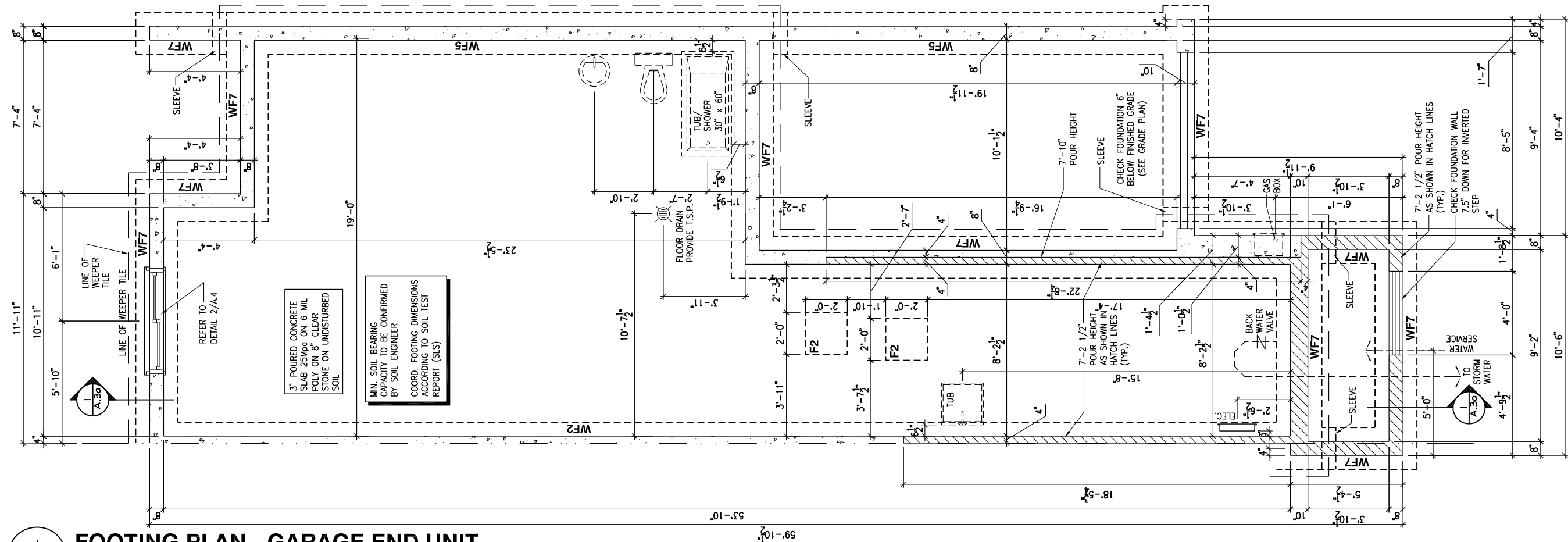
## 2 BASEMENT WINDOW REINFORCING

A.4c) SCALE:  $3/16" = 1'-0"$



## CONCRETE WALL REINFORCING

SCALE: 1/4" = 1'-0"



## FOOTING PLAN - GARAGE END UNIT

SCALE:  $3/16'' = 1'-0''$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



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## 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	By

**DRAWING:**

**FOOTING PLAN - GARAGE END**

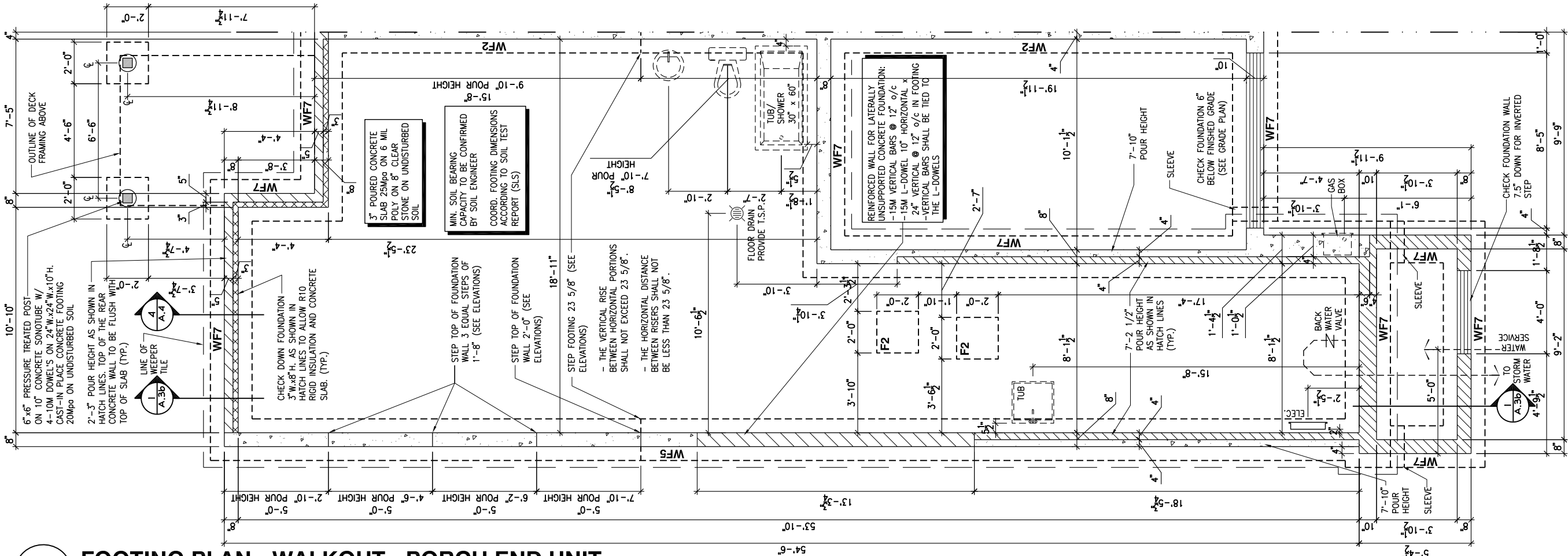
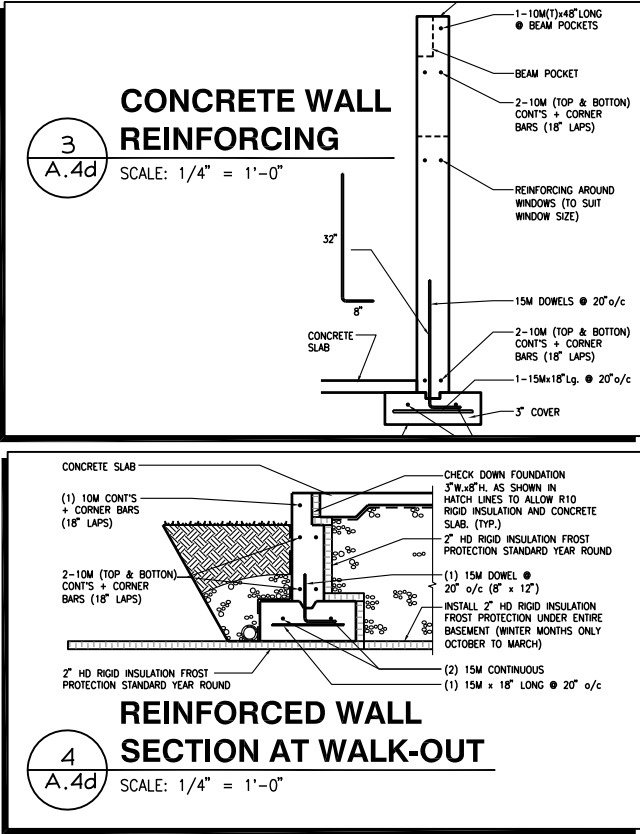
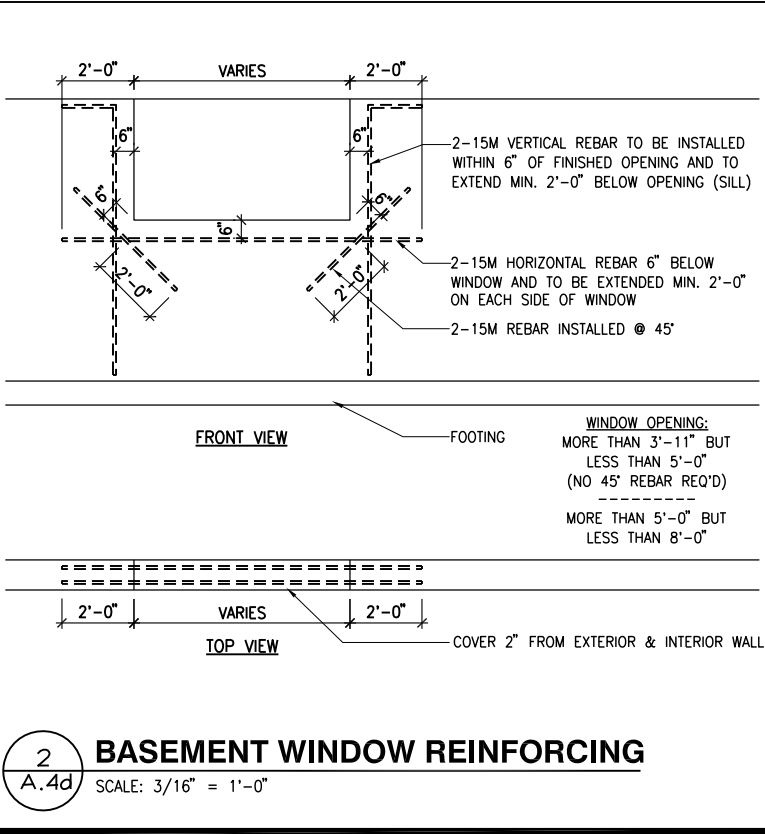
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

SHEET:

**A.4c**

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
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LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS


REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO.

DESCRIPTION

NM/DD/YYYY

BY

DRAWING:

FOOTING PLAN

WALKOUT - PORCH END UNIT

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

XX/XX/XXXX

130 - THE LEWIS

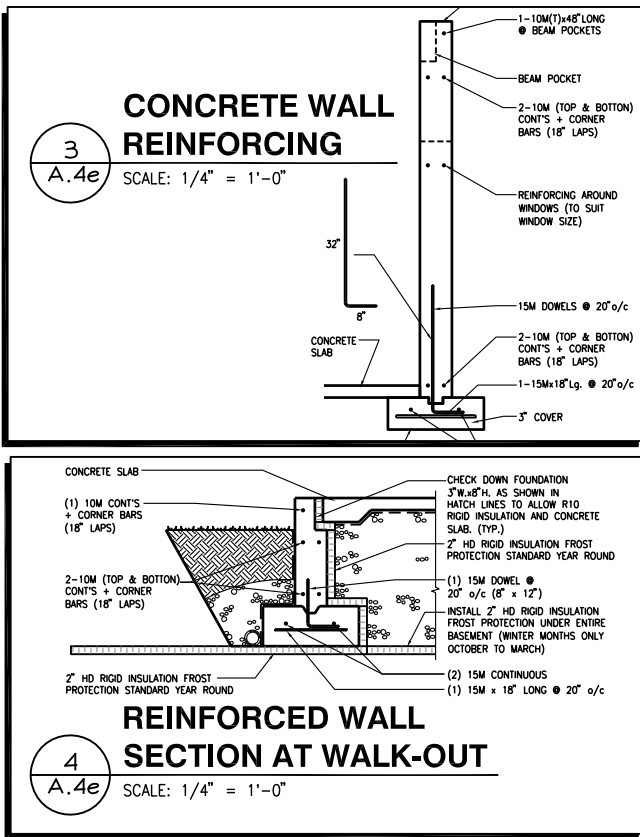
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.4d

CONSTRUCTION SITES:  
SHEA VILLAGE

[illegible]

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:                      **FOOTING PLAN**

**WALKOUT - MID UNIT**

---

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

## 130 - THE LEWIS

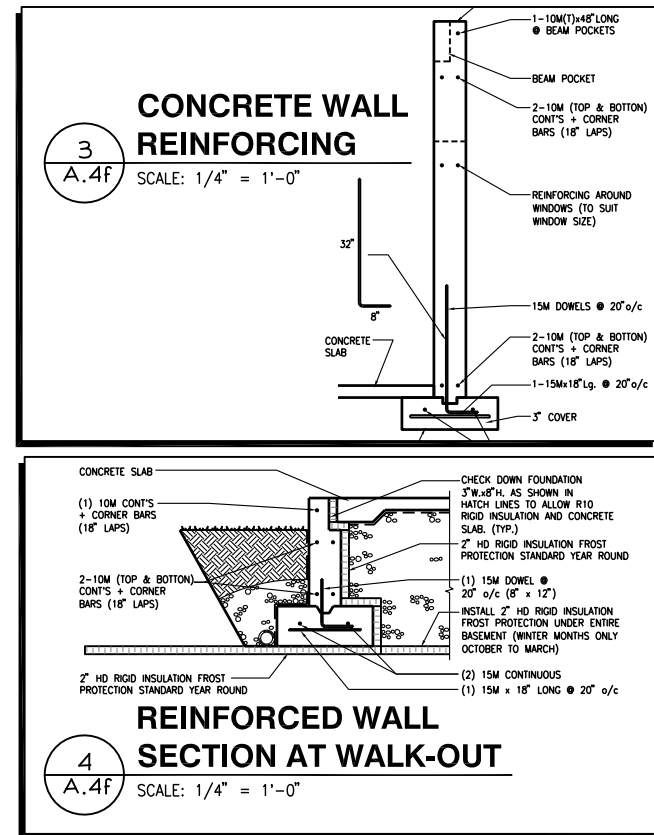
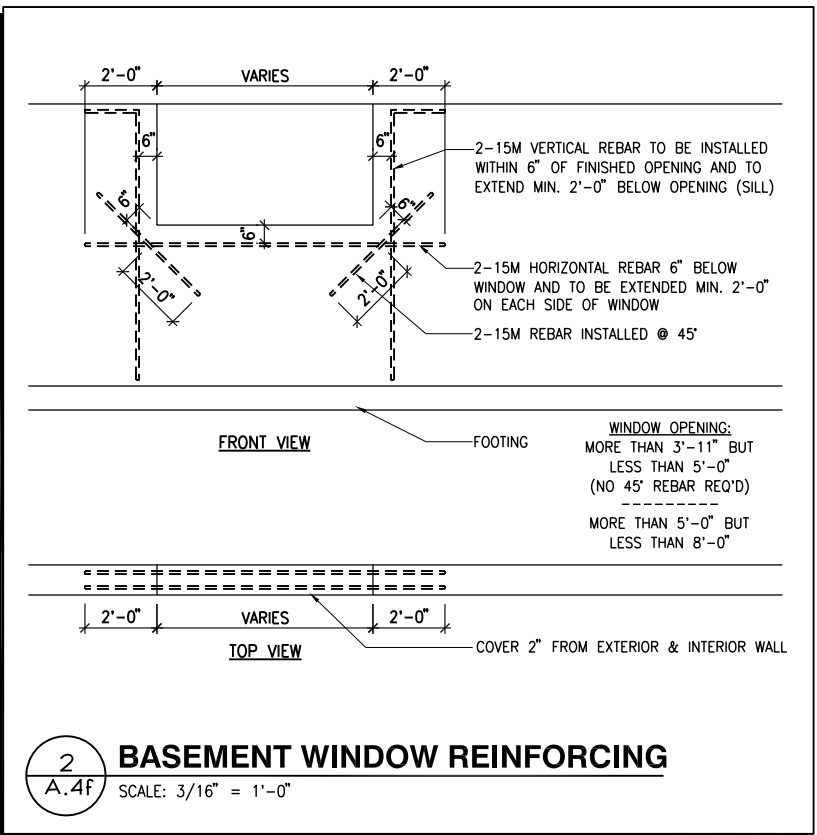
## 2022 FOOTPRINT


(STANDARD DRAWINGS)

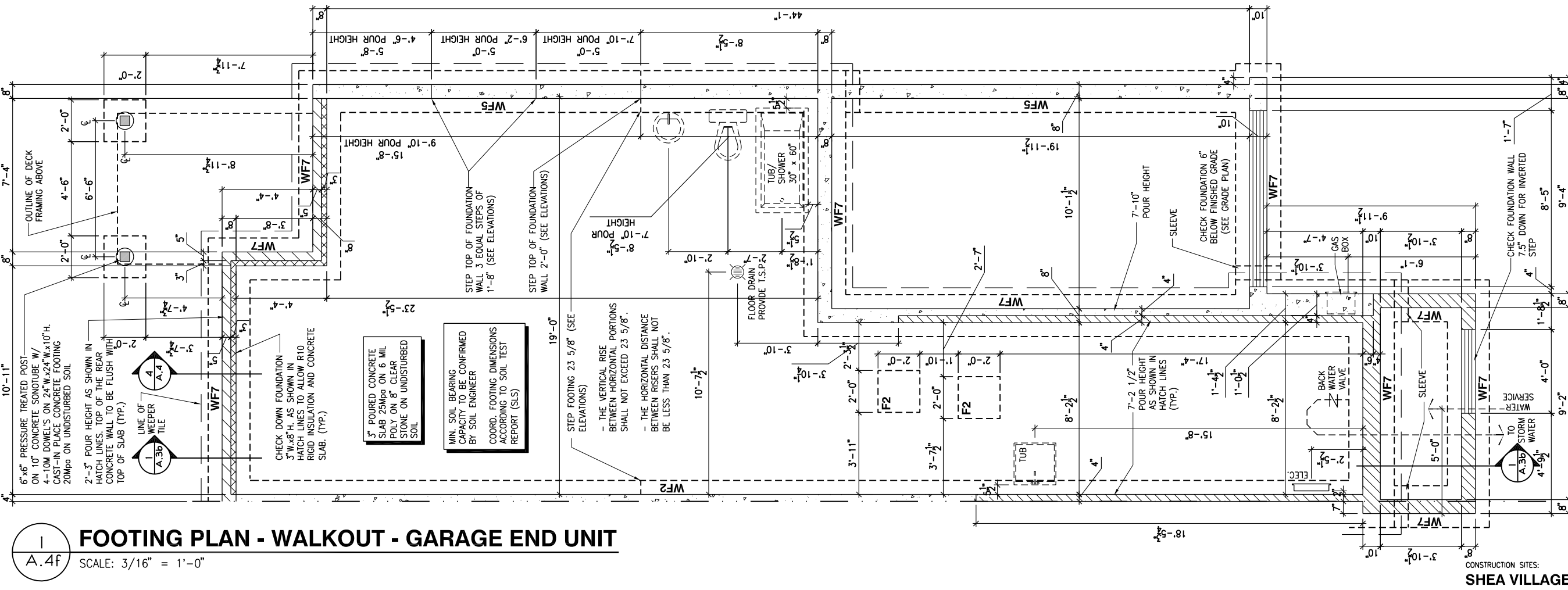
SHEET:

# A.4e

FOOTING SCHEDULE						
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»						
WALL FOOTINGS	100Kpa	85Kpa	75Kpa	60Kpa	40Kpa	
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS	
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS	
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	
PAD FOOTING SCHEDULE						
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»						
POST FOOTINGS	100Kpa	85Kpa	75Kpa	60Kpa	40Kpa	
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY	
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	



<b>LOT:</b> XXXX	
<b>DATE:</b> XX/XX/XXXX	
<hr/>	
	<b>Valecraft Homes (2019) Limited</b>
I, <b>DANIEL GUERIN</b> , ARCHITECTURAL MANAGER FOR <b>VALECRAFT HOMES LTD.</b> , HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.	
<ul style="list-style-type: none"><li>- PERSONAL BCIN #19896</li><li>- TARIOR REGISTRATION NUMBER #611</li></ul>	
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **	
<hr/>	
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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.	
NO DIMENSION SHOULD BE SCALED ON DRAWINGS.	
THE GENERAL CONTRACTOR OR SUB-CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.	
<hr/>	
<b>NOTES:</b>	
<ul style="list-style-type: none"><li>- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);</li><li>- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;</li><li>- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;</li><li>- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;</li><li>- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;</li><li>- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;</li></ul>	
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.	



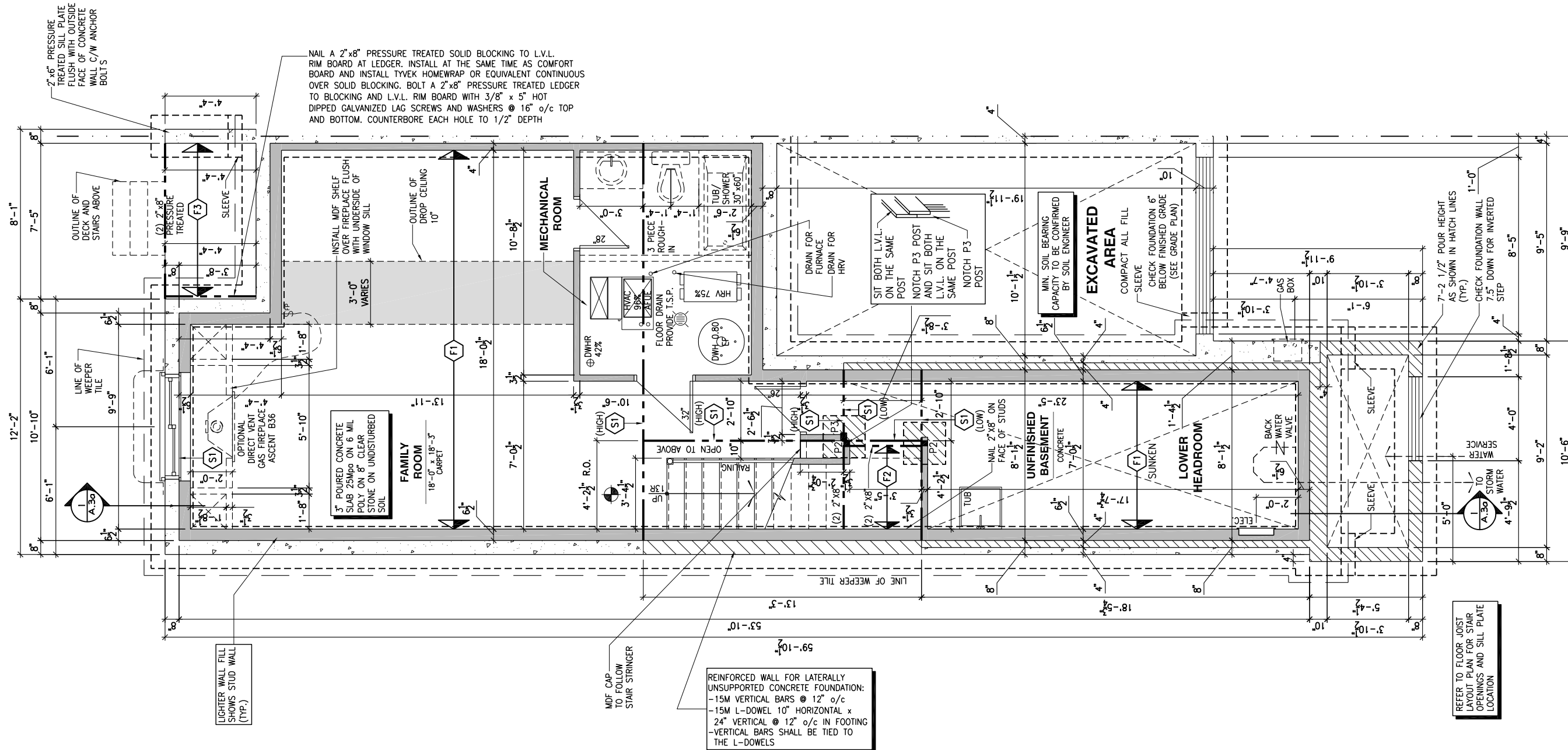
F1	11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
F2	2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
F3	2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1	REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILLED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m<sup>2</sup> (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

**STEEL LINTEL:**

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89.9x94.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0xDx4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

- POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☛ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 30 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM;
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DO'YON
NO.	DESCRIPTION	MM/DD/YYYY	By

DRAWING: **BASEMENT FLOOR PLAN**  
**2x6 FROST WALL - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.5a**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

### BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"



F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORM BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER, FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

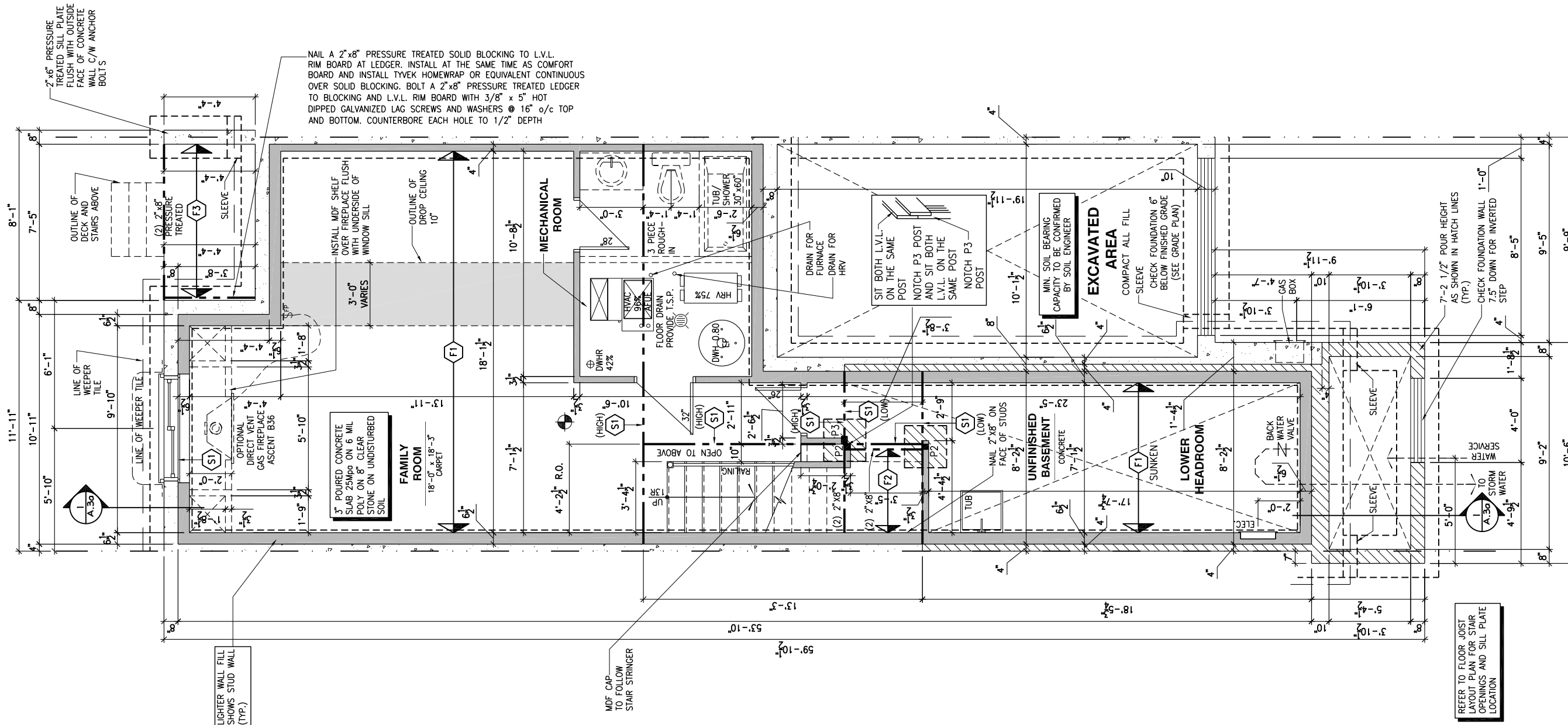
NOTES:  
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.  
(21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING FLOOR SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



SCALE:  $3/16'' = 1'-0''$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.3x1.18 + 100x200x12 T&B PL  
P14 = HSS 89.6x94.8 + 100x200x12 T&B PL (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL  
P16 = HSS 76.2x76.2x4.78 + 100x130x12 T&B PL  
P17 = HSS 73.0xD.x8 + 100x180x12 BOTTOM PL  
+ 130x160x10 TOP PL (\*)  
(\*) = 2-12" ANCH. (WHERE ANCH. PL NOT USED)

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **BASEMENT FLOOR PLAN**  
**2x6 FROST WALL - MID UNIT**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.5b**

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD  
AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT  
BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT  
CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH  
2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM  
THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES  
WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER  
POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.  
(21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR  
ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO  
AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS  
SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING  
PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND  
FULLY NAILED AND ANCHORED;

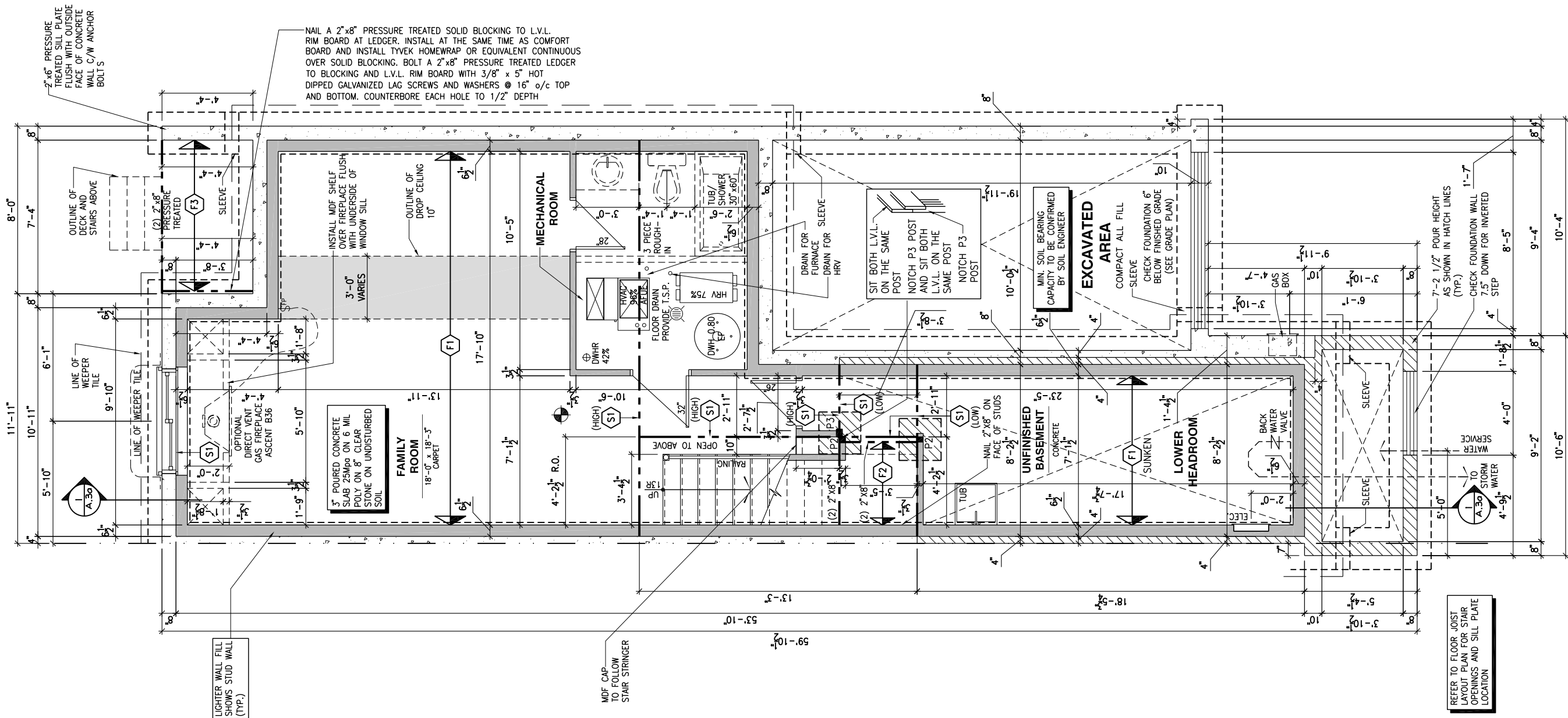
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY  
THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH  
9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES  
DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A  
SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM  
AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



1  
A.5c

# BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

LOT: **XXXX**  
DATE: **XX/XX/XXXX**



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE  
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES  
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW  
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS  
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING  
DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER  
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING  
CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL  
DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S  
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD  
(EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	NM/DD/YYYY BY

DRAWING: **BASEMENT FLOOR PLAN**  
**2x6 FROST WALL - GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.5c**



F1	11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c C/W STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
F2	2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
F3	2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1	REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEWYEWHRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 to 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m<sup>2</sup> (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1g = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 Q.D.x4.8 + 100x180x12 BOTTOM PL. (\*)

- POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	By

DRAWING: **BASEMENT FLOOR PLAN**  
**ENERGY STAR - PORCH END**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.5d**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

## BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

REINFORCED WALL FOR Laterally  
UNSUPPORTED CONCRETE FOUNDATION:  
-15M VERTICAL BARS @ 12" o/c  
-15M L-DOWEL 10" HORIZONTAL x  
24" VERTICAL @ 12" o/c IN FOOTING  
-VERTICAL BARS SHALL BE TIED TO  
THE L-DOWELS

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

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BASEMENT NOTE:

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LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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S3 = L 100x90x8  
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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
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- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	MM/DD/YYYY BY

DRAWING: BASEMENT FLOOR PLAN  
ENERGY STAR - MID UNIT

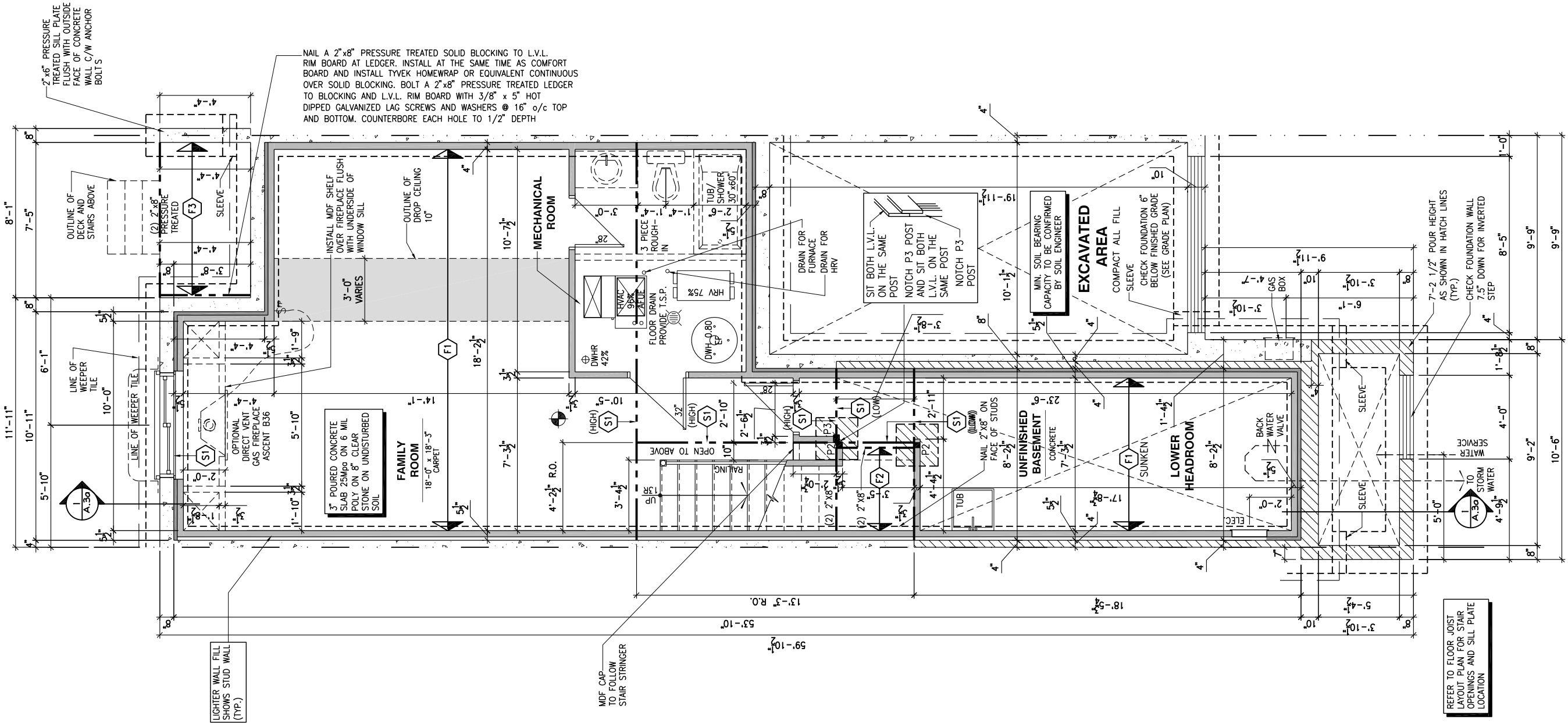
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.5e

CONSTRUCTION SITES:  
SHEA VILLAGE



1 A.5e BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT  
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

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NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
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- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
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LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
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P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)  
+ 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

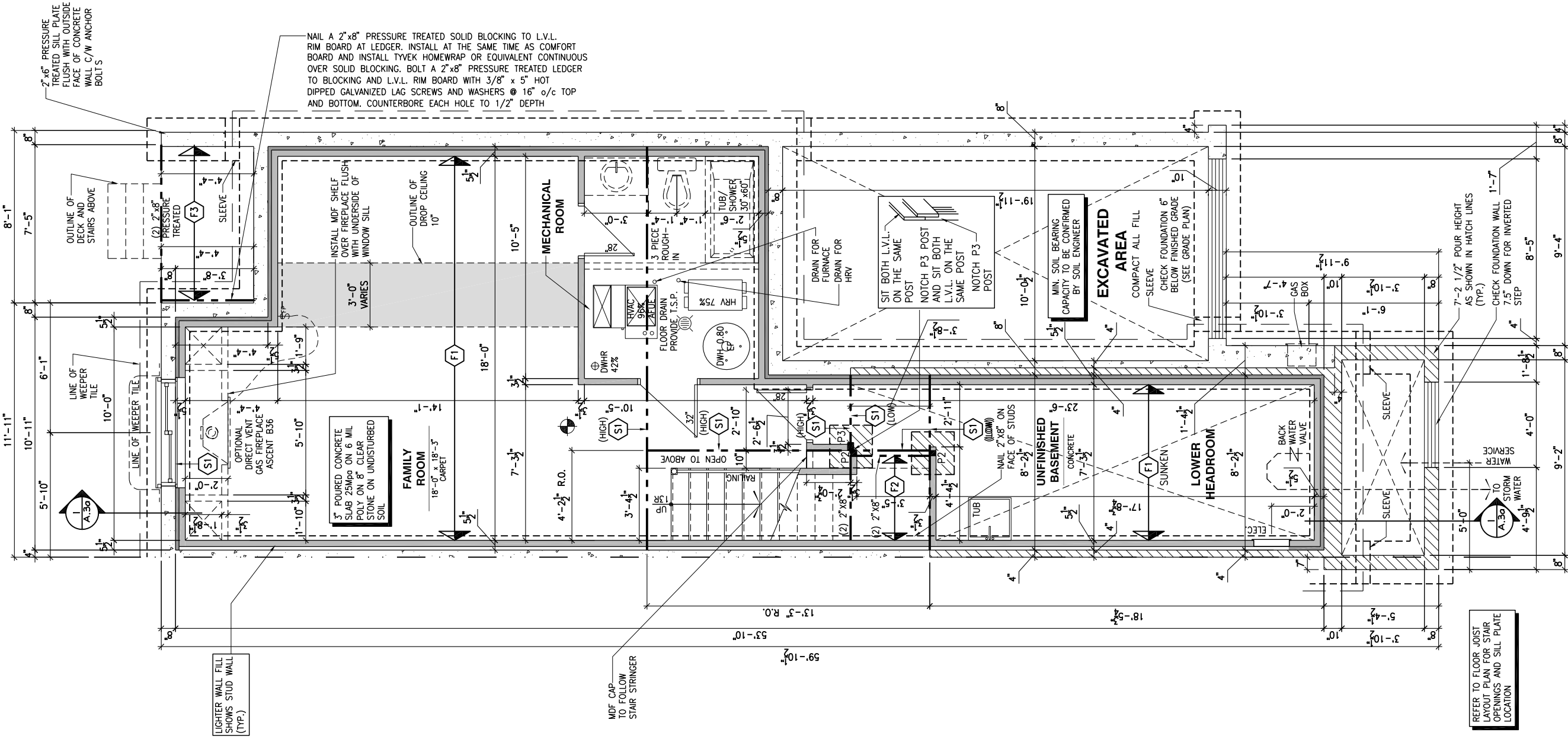
DRAWING: BASEMENT FLOOR PLAN  
ENERGY STAR - GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.5f

CONSTRUCTION SITES:  
SHEA VILLAGE



1 A.5f BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT  
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
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- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

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LOT: XXXX

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Homes (2019) Limited

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN  
WALKOUT - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

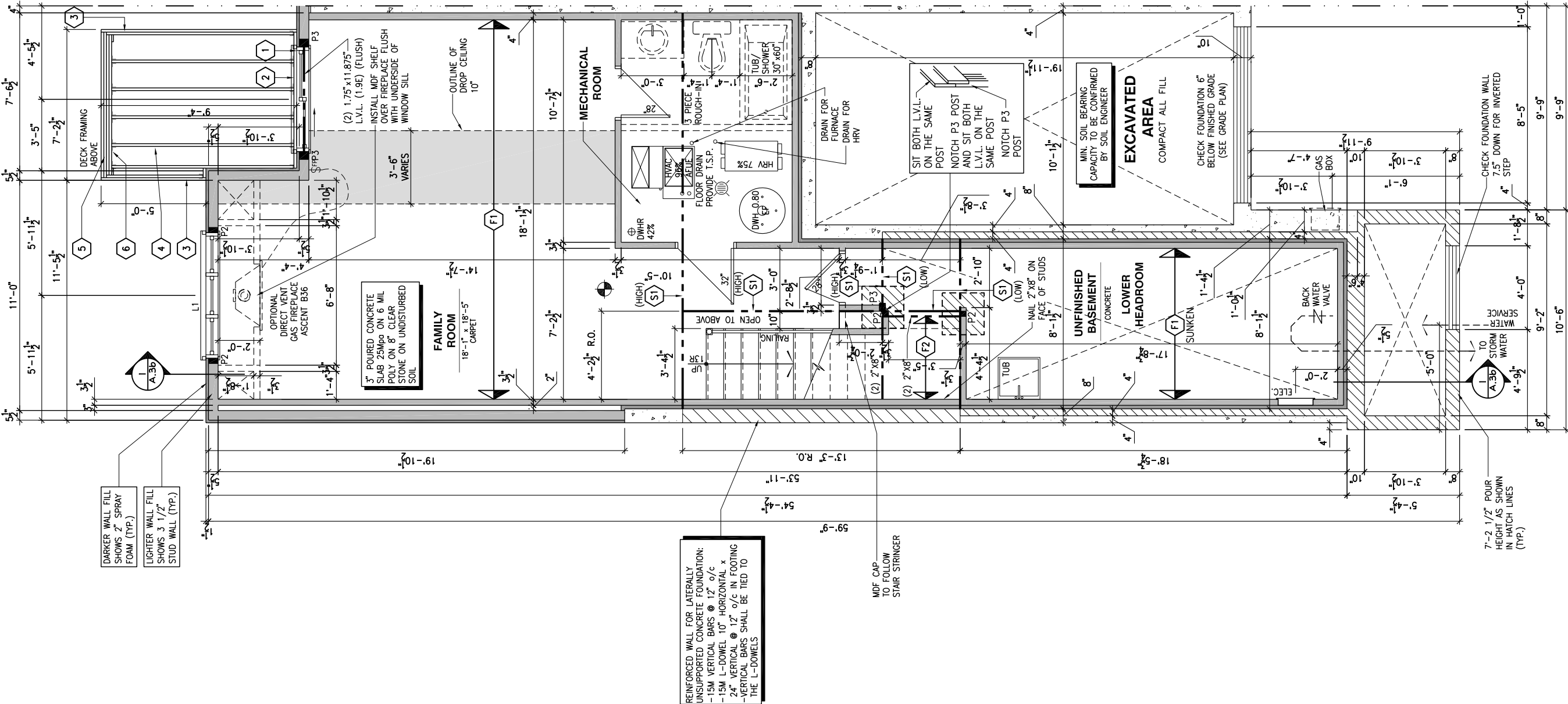
130 - THE LEWIS  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.5g

CONSTRUCTION SITES:  
SHEA VILLAGE



REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION:  
- 15M VERTICAL BARS @ 12" o/c  
- 15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING  
- VERTICAL BARS SHALL BE TIED TO THE L-DOWELS

MDF CAP TO FOLLOW STAIR STRINGER

1  
A.5g

BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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LOT: XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

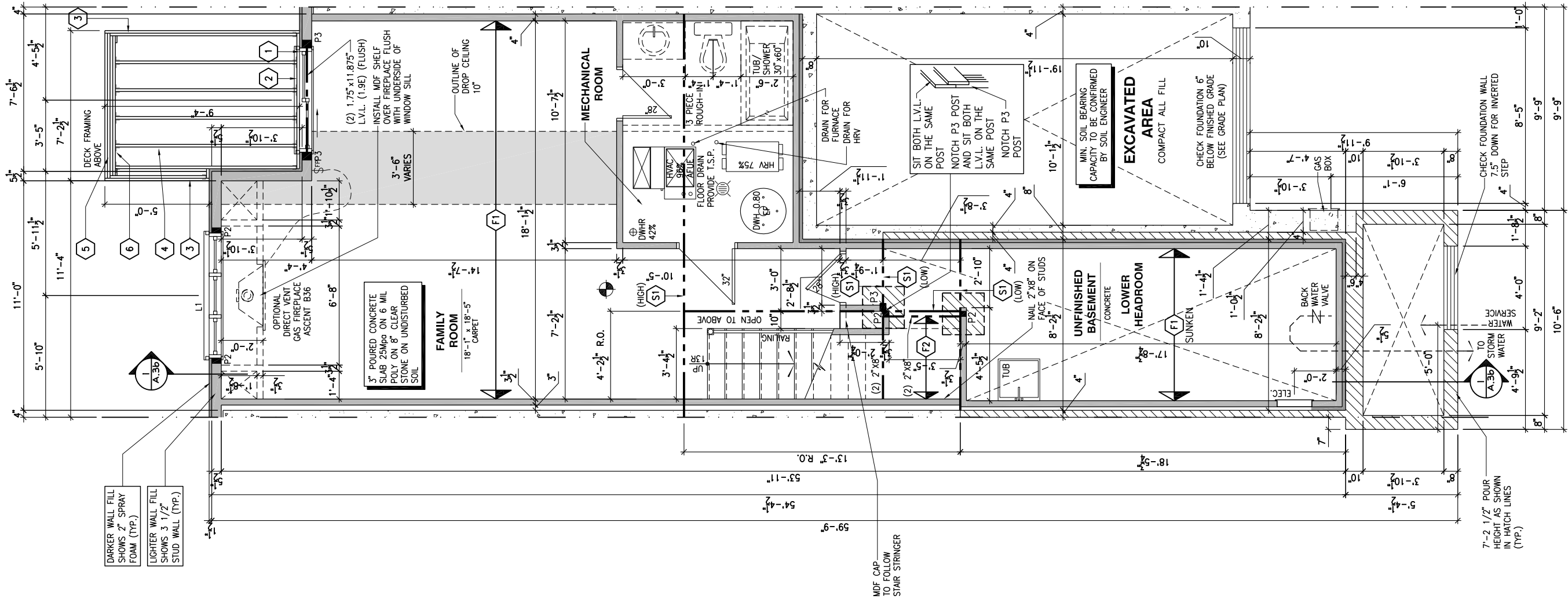
DRAWING: BASEMENT FLOOR PLAN  
WALKOUT - MID UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.5h



1  
A.5h  
BASEMENT FLOOR PLAN - WALKOUT - MID UNIT  
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CONSTRUCTION SITES:  
SHEA VILLAGE

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN  
WALKOUT - GARAGE END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT

(STANDARD DRAWINGS)

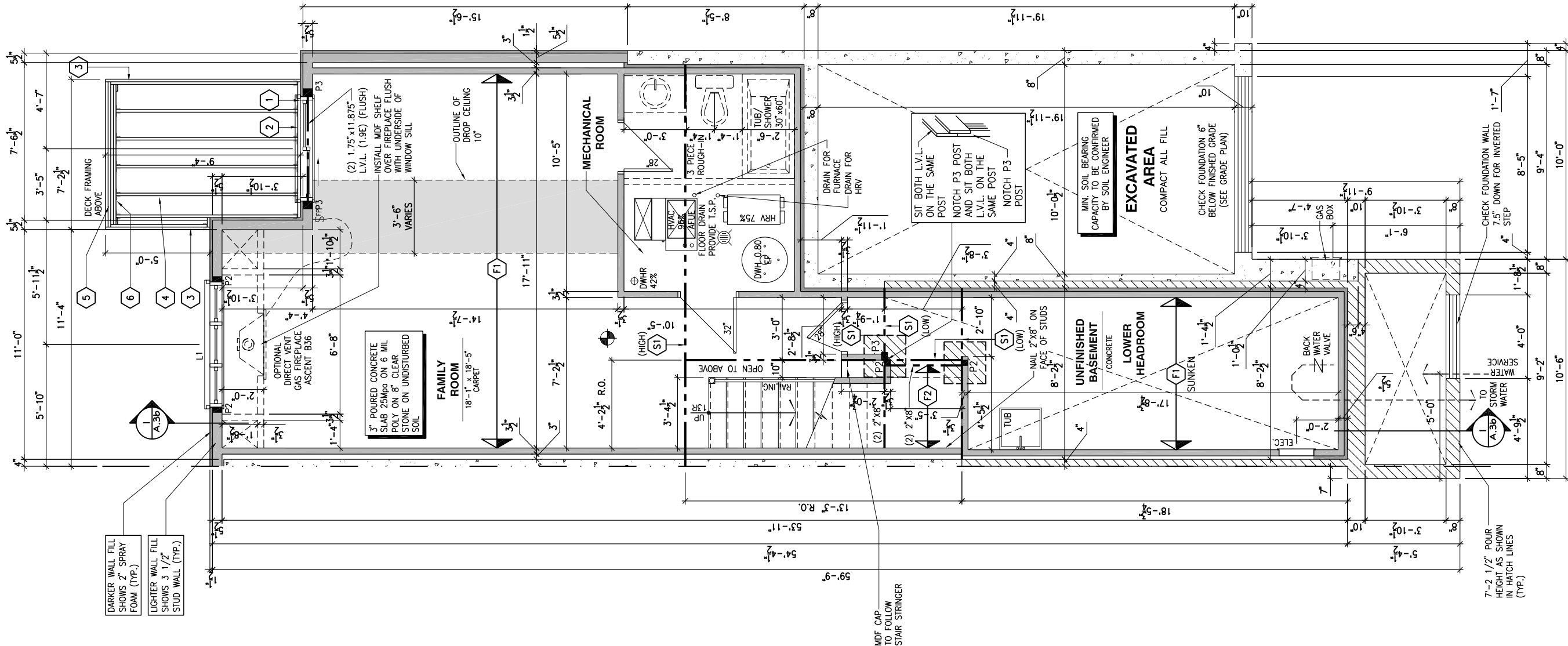
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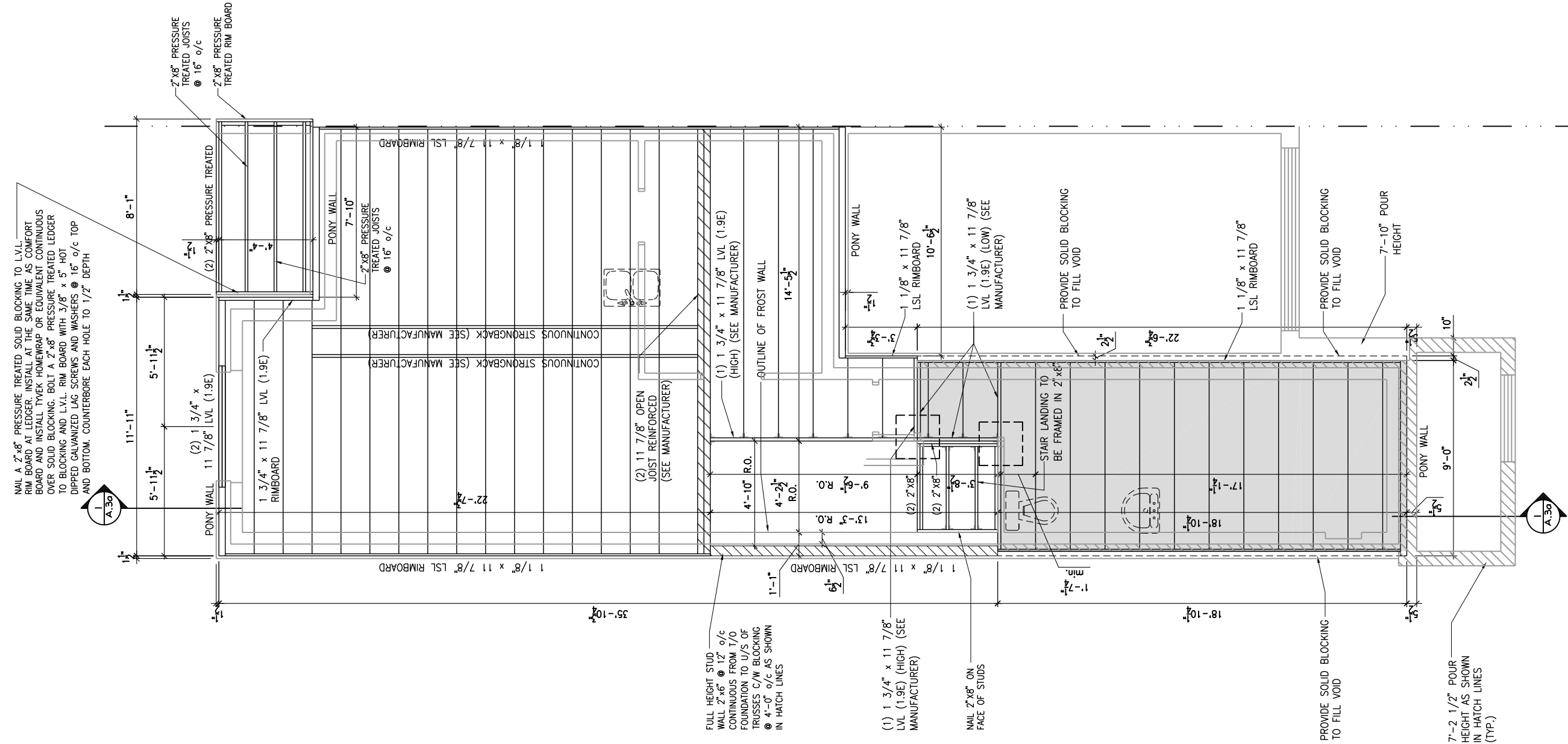
A.5i

CONSTRUCTION SITES:  
SHEA VILLAGE

BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

SCALE: 3/16" = 1'-0"





**1**  
**A.6a**

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

**DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

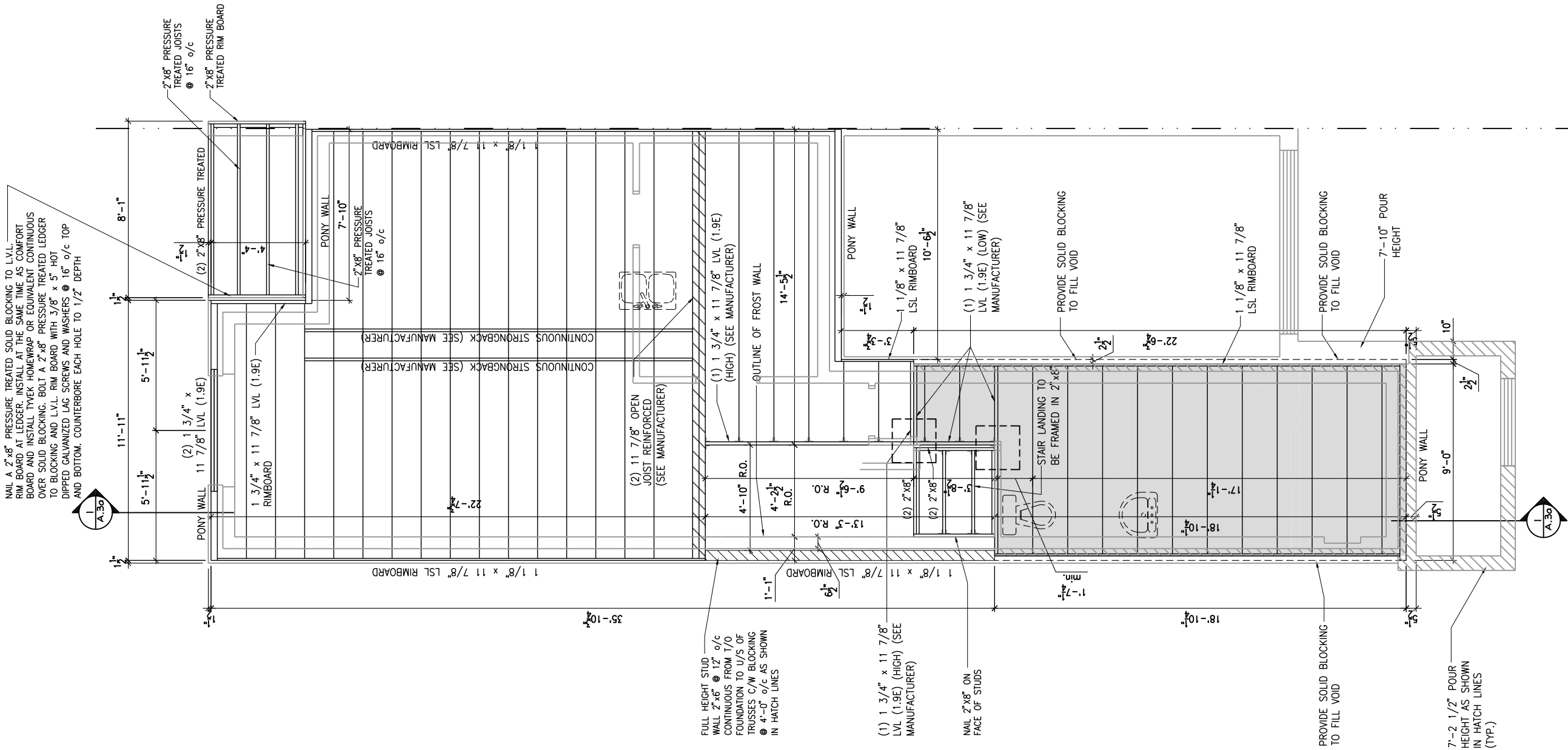
**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

**A.6a**



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

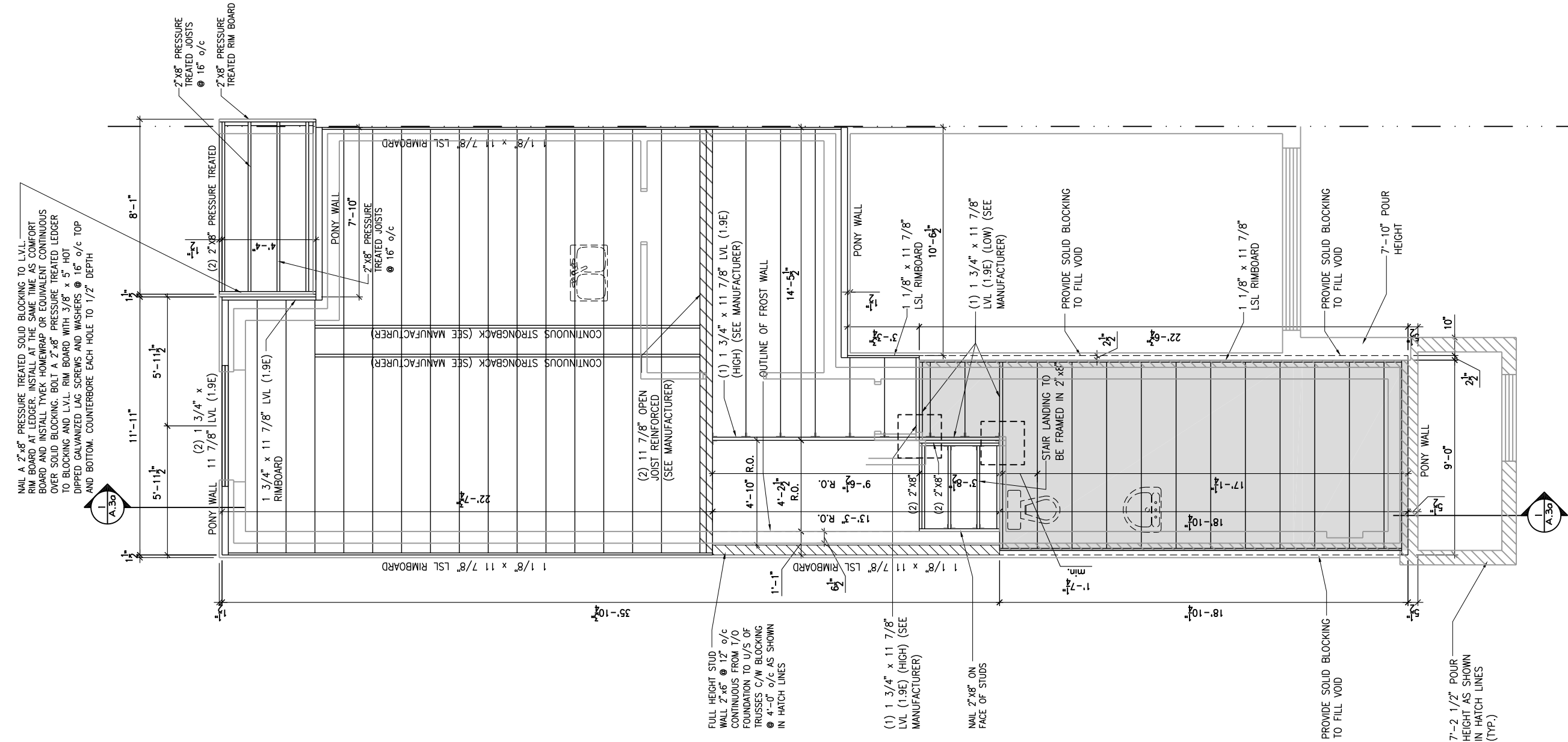
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

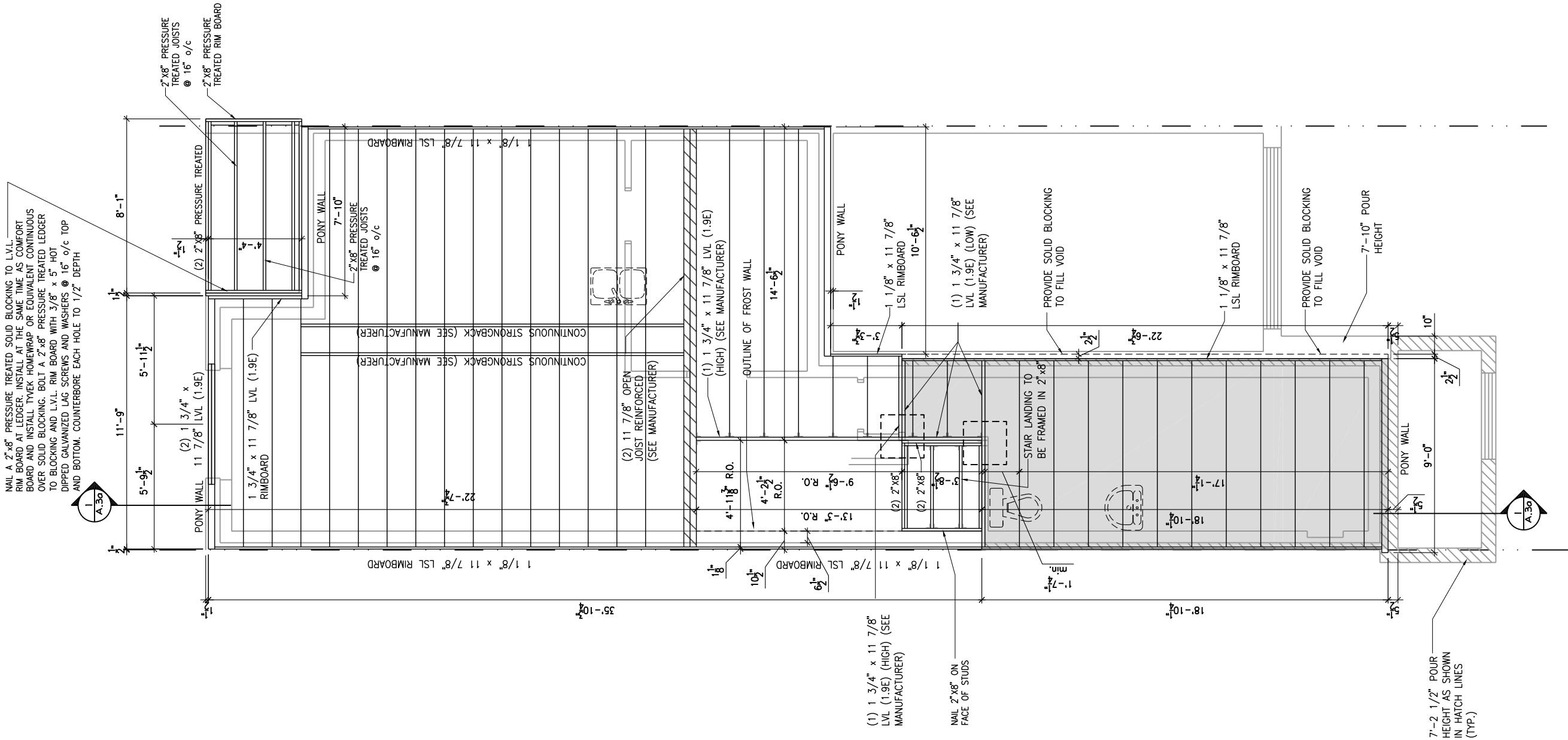
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6c

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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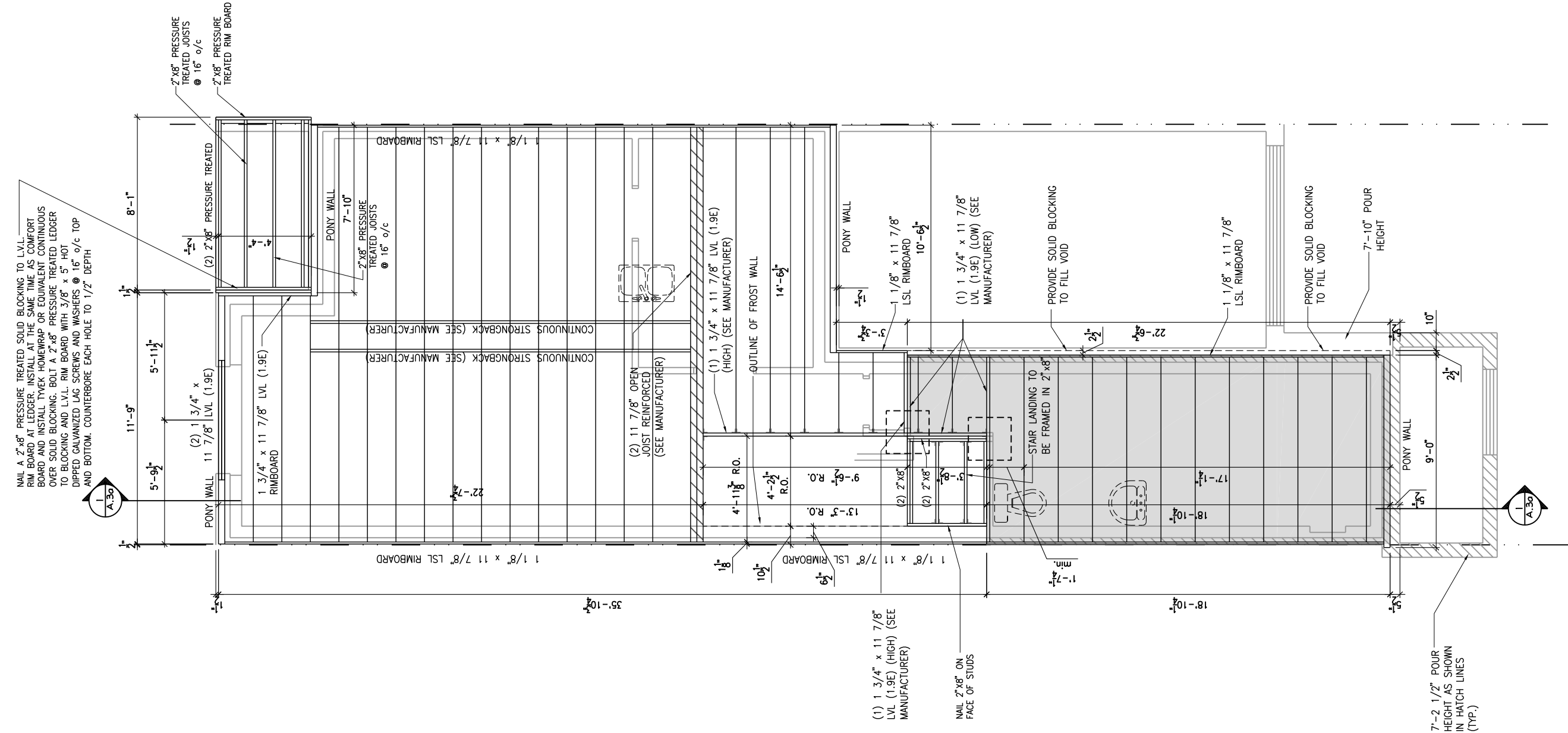

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE



**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT**

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

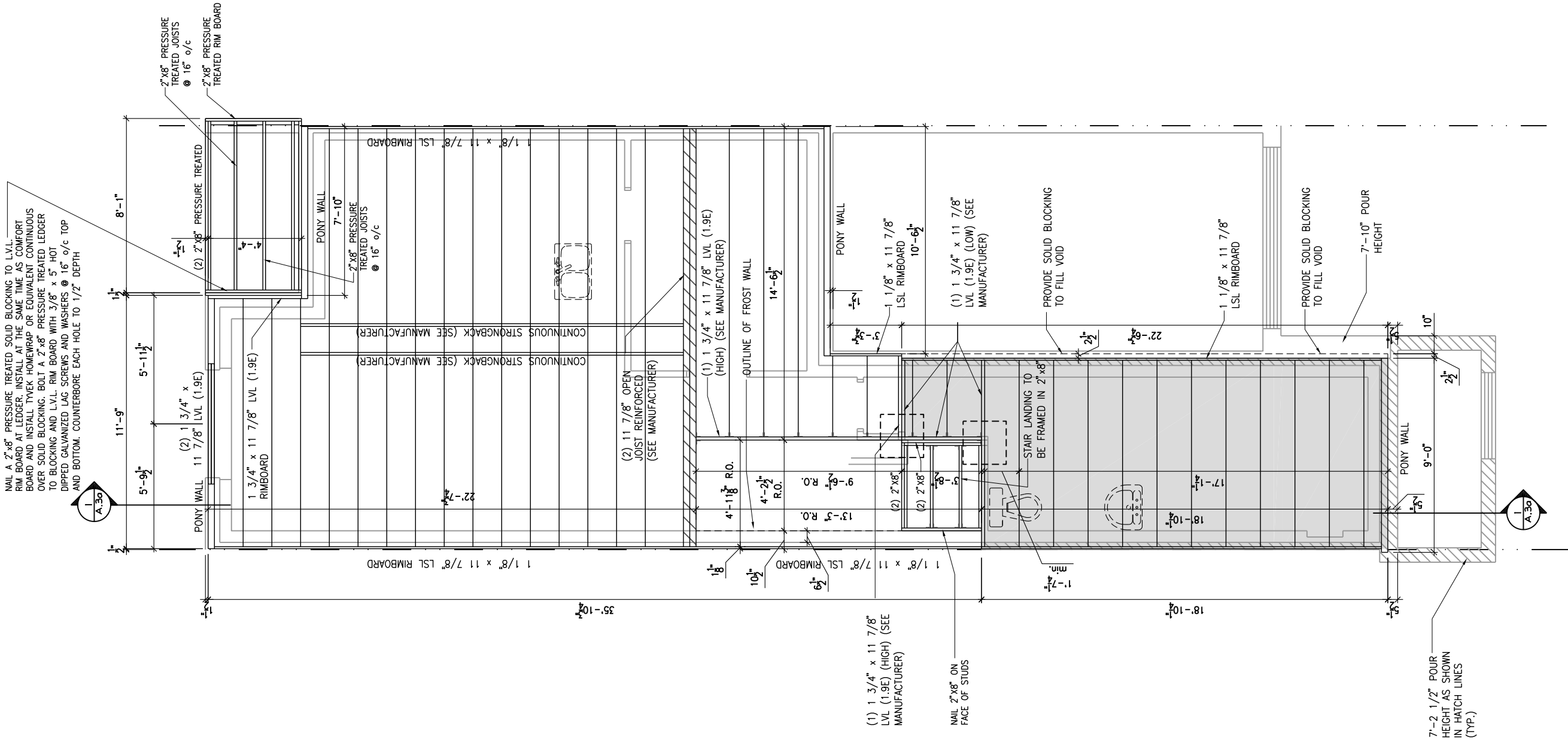

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.6e**



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	MM/DD/YYYY	BY

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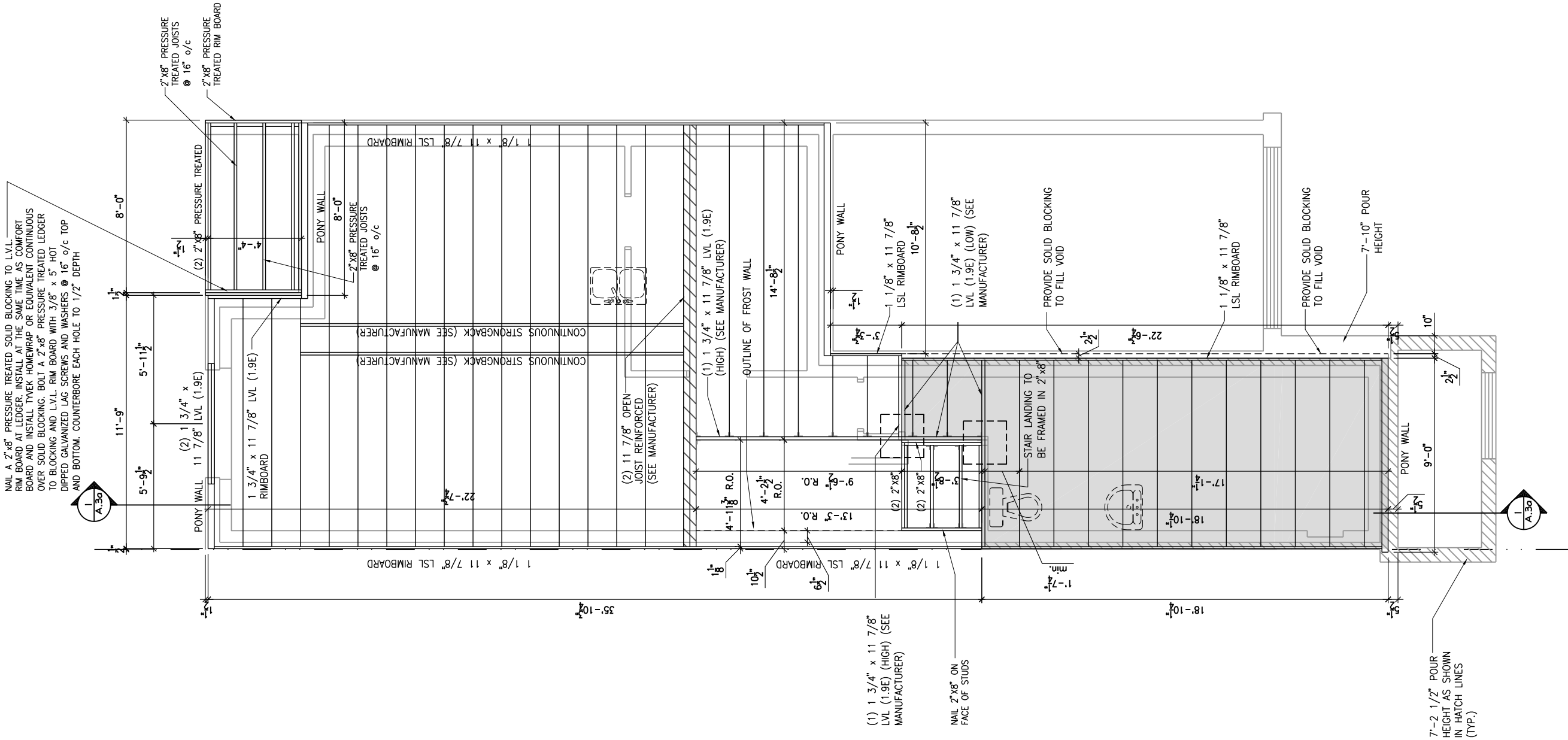
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6f

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR  
JOIST FRAMING - GARAGE END

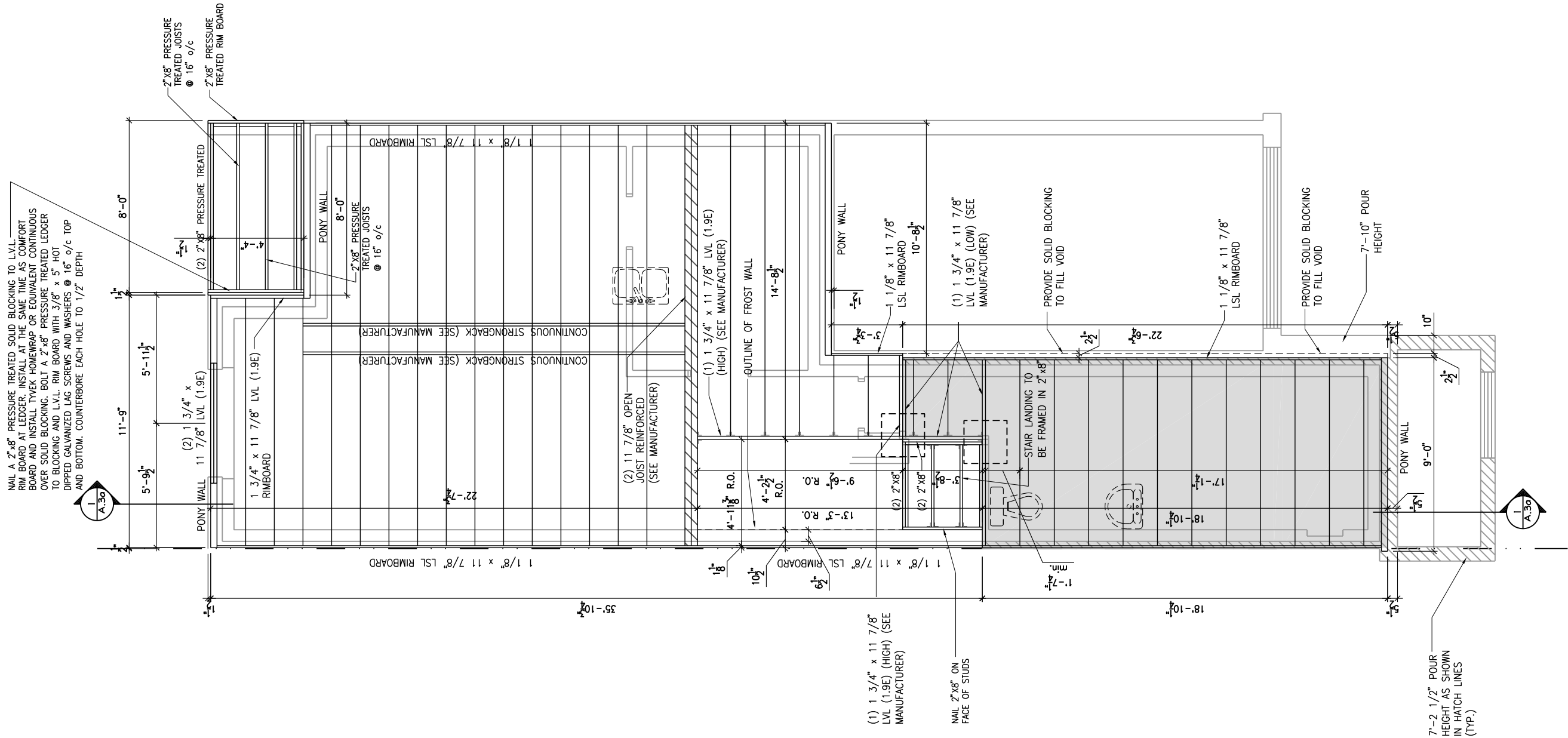
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130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

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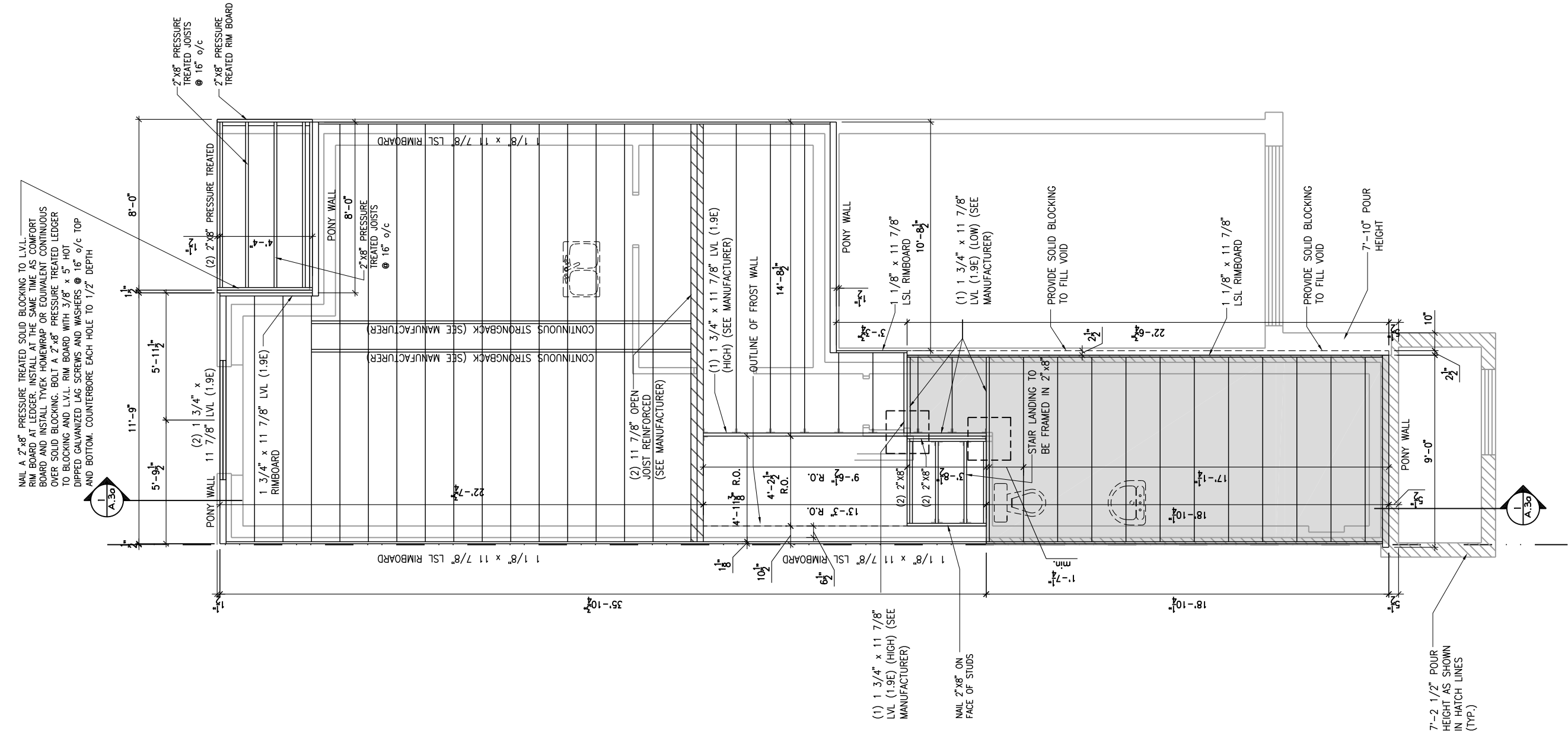
SHEET:

A.6h

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR  
JOIST FRAMING - GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6i

CONSTRUCTION SITES:  
SHEA VILLAGE



Valecraft  
Homes (2019) Limited

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- TARIFF REGISTRATION NUMBER #611

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CONSTRUCTION SITES:  
**SHEA VILLAGE**

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.6j**



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX  
DATE: XX/XX/XXXX



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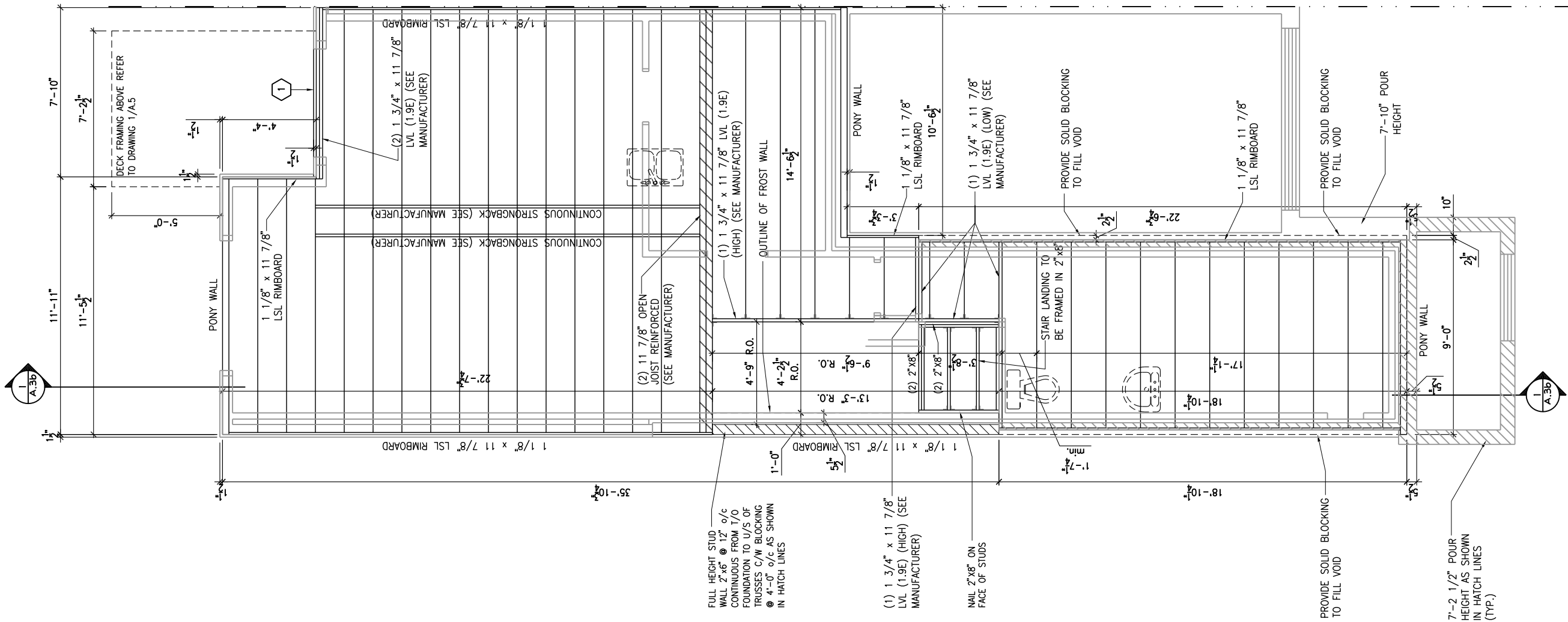
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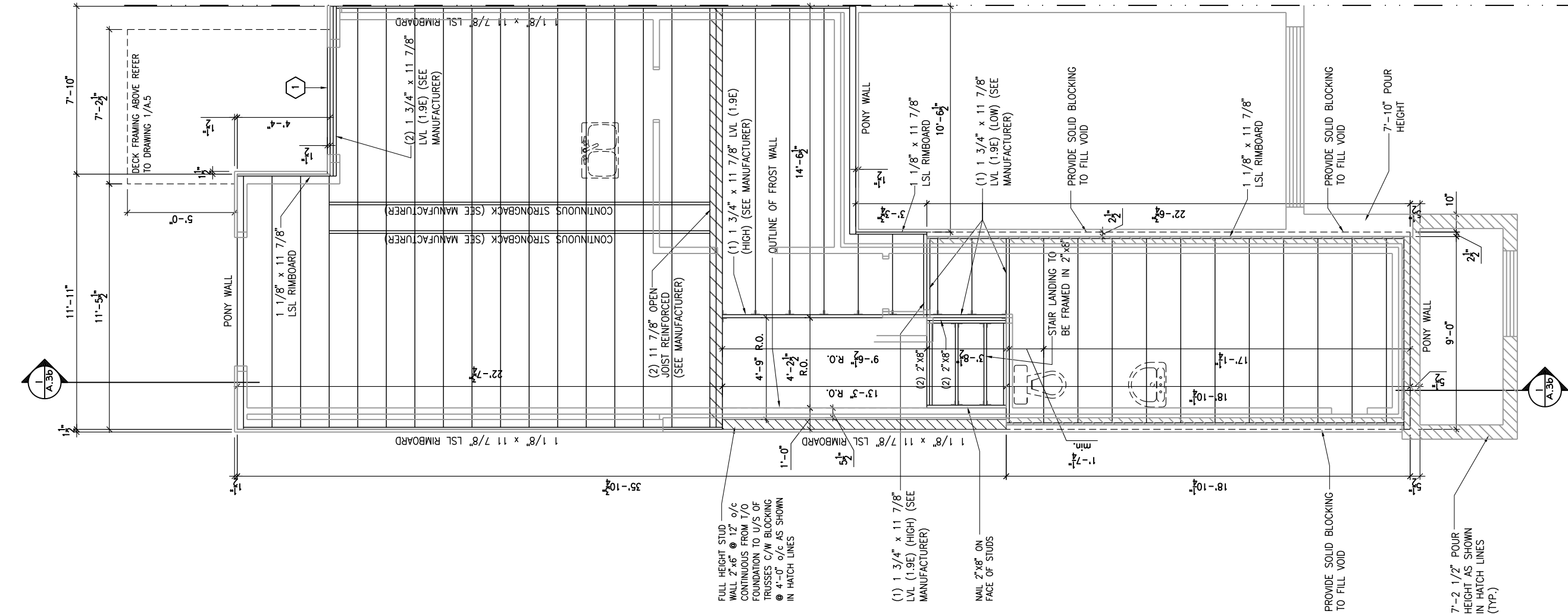
1  
A.6k

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END			
ADDRESS: XX		SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
130 - THE LEWIS 2022 FOOTPRINT		SHEET: A.6k	
(STANDARD DRAWINGS)			



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.61

1  
A.61

## GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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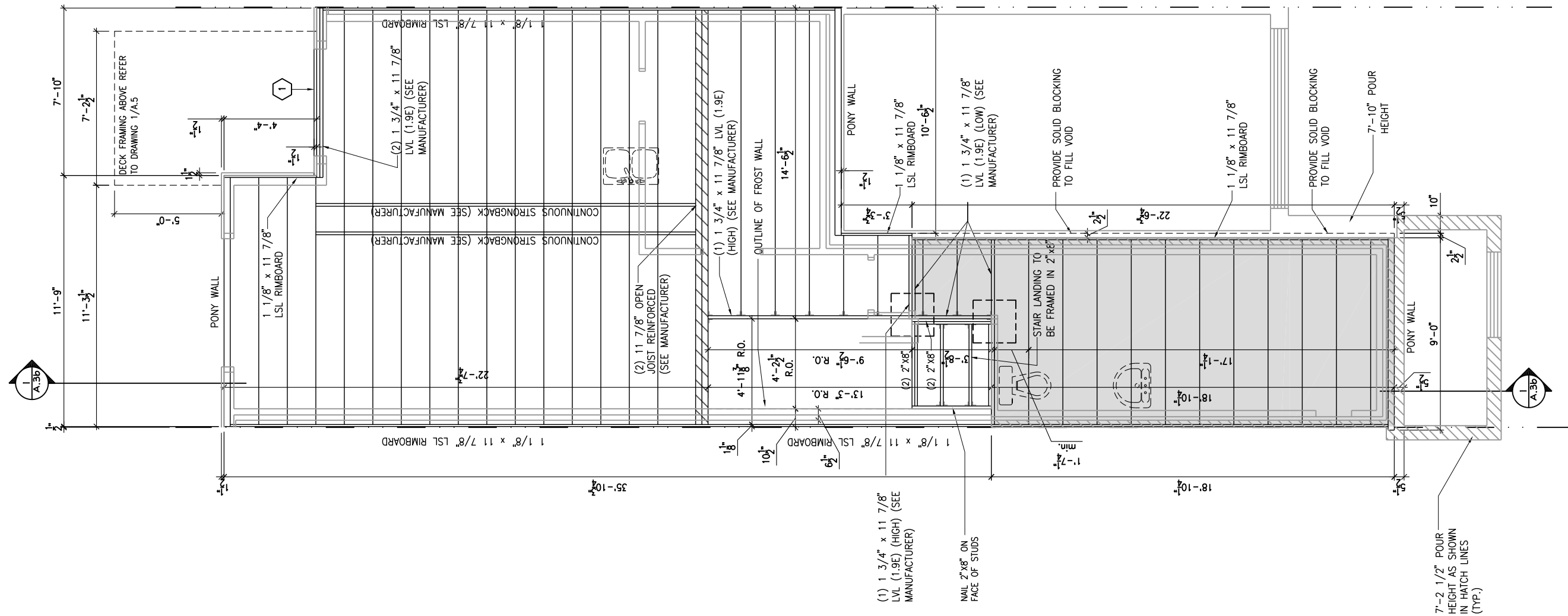
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A circle with a vertical line segment from the center to the top edge, labeled "A.6m".

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT**

SCALE:  $3/16" = 1'-0"$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

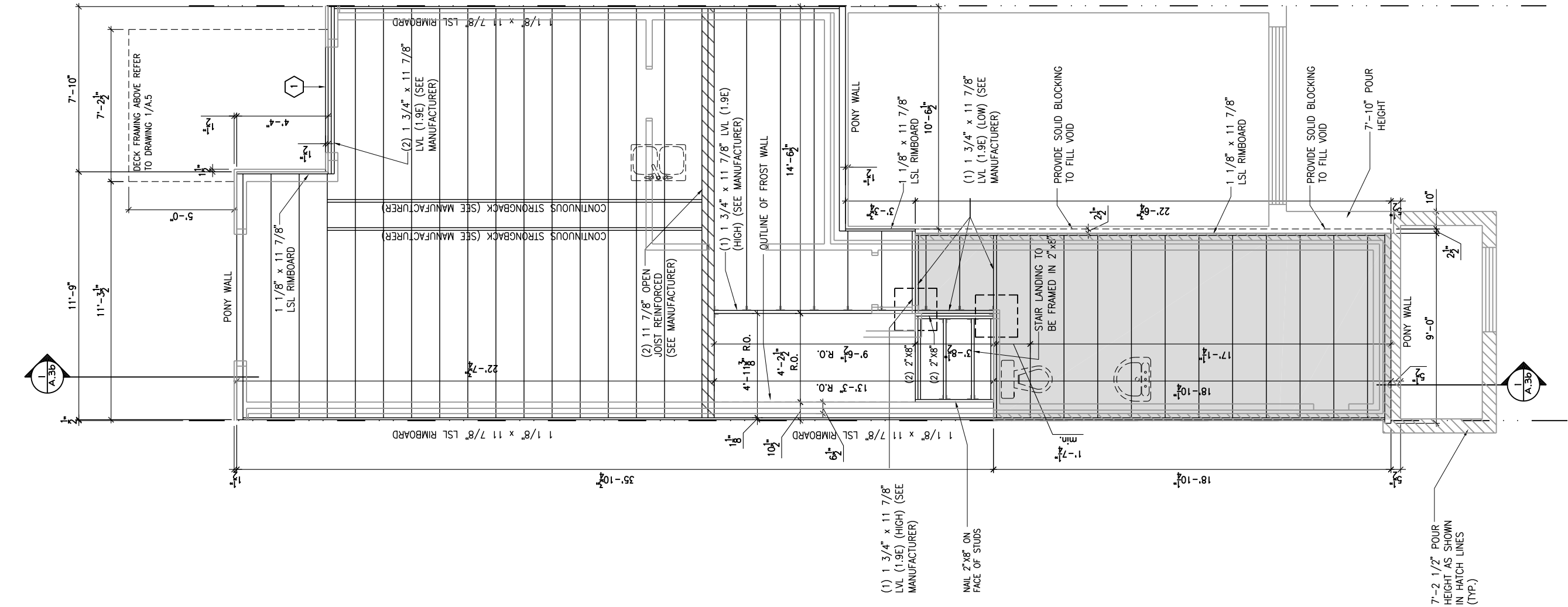
**DRAWING: GROUND FLOOR - JOIST  
FRAMING PLAN - WALKOUT - MID**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

EET:

## A.6m



1  
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

1  
A.6n  
GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
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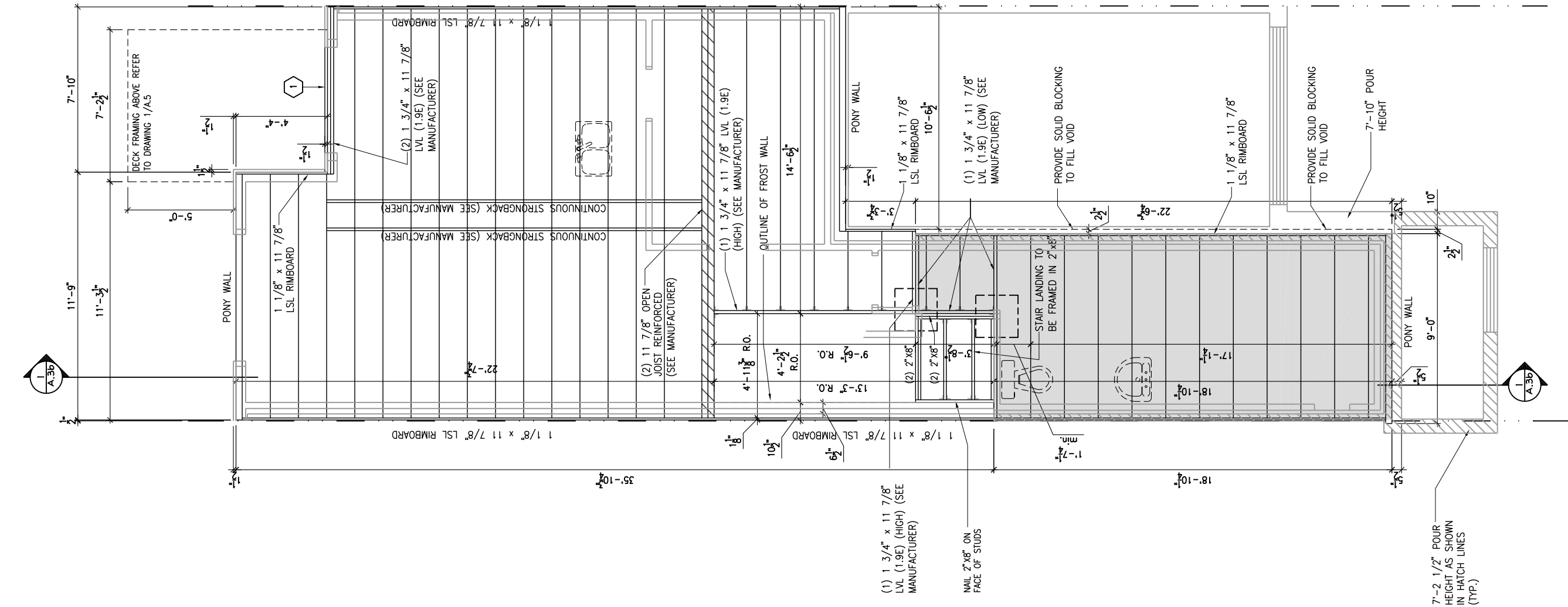

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6n



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1  
A.60  
GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



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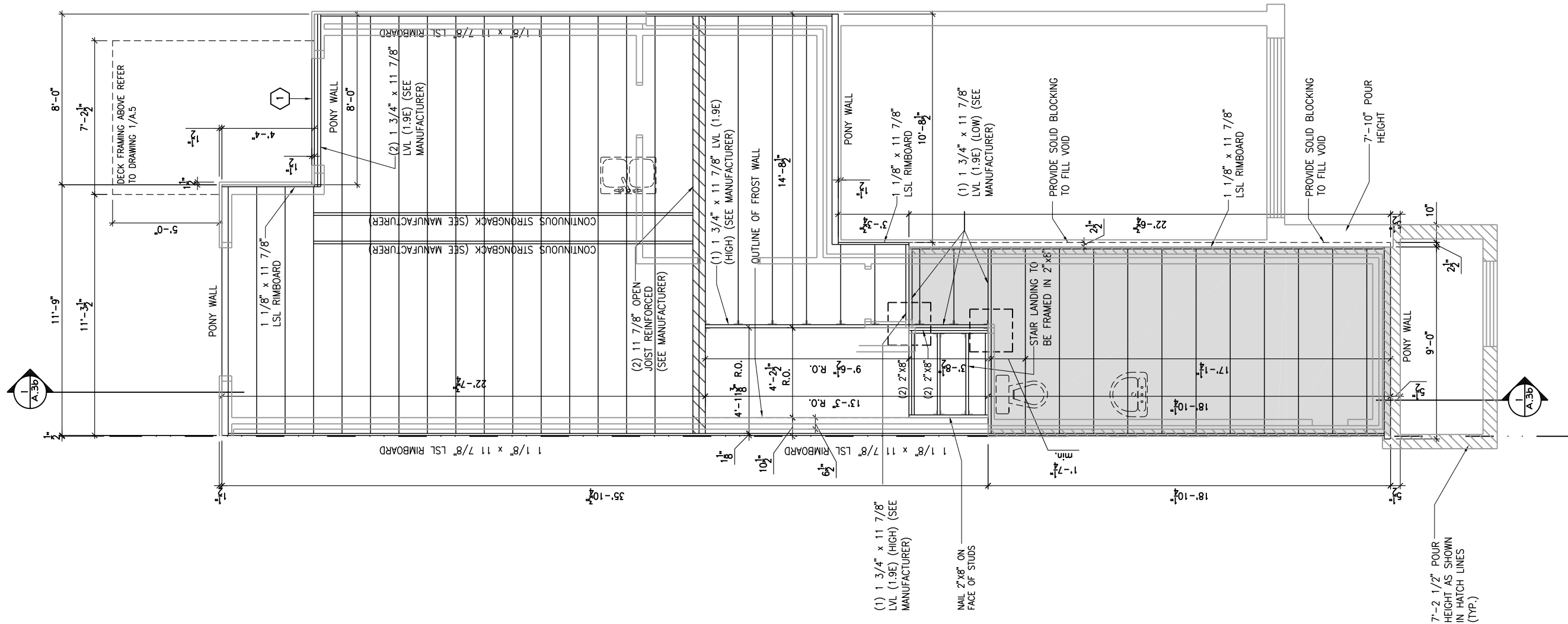
2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)  
SHEET:  
A.60



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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

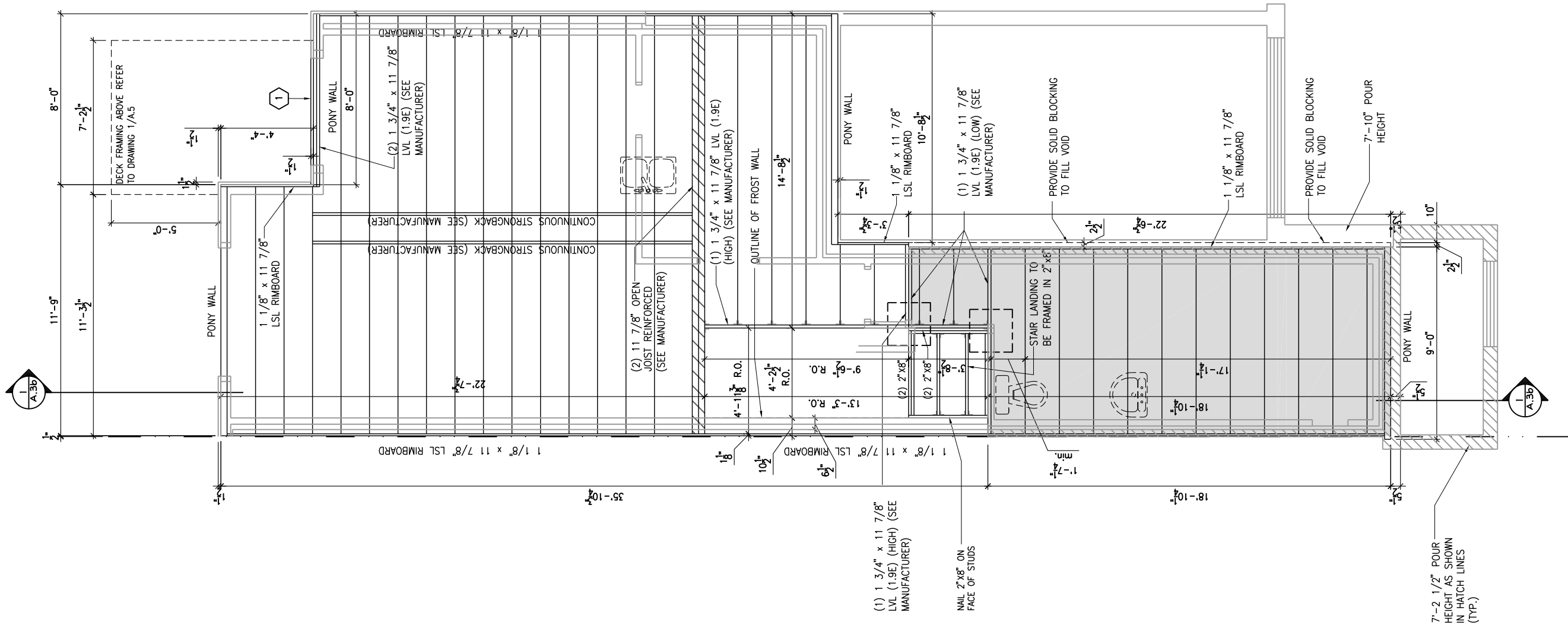
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6p

CONSTRUCTION SITES:  
SHEA VILLAGE



**1**  
**A.6q**  
**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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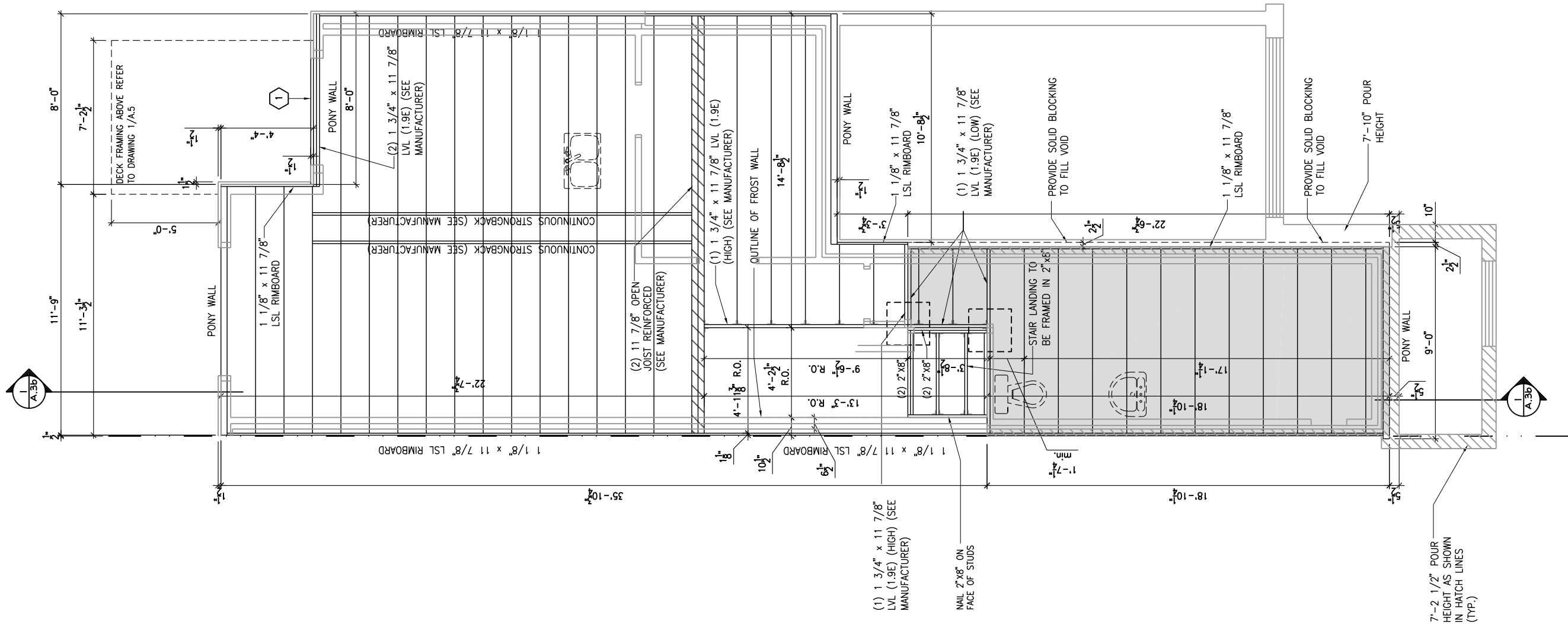

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.6q**



1  
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX



FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

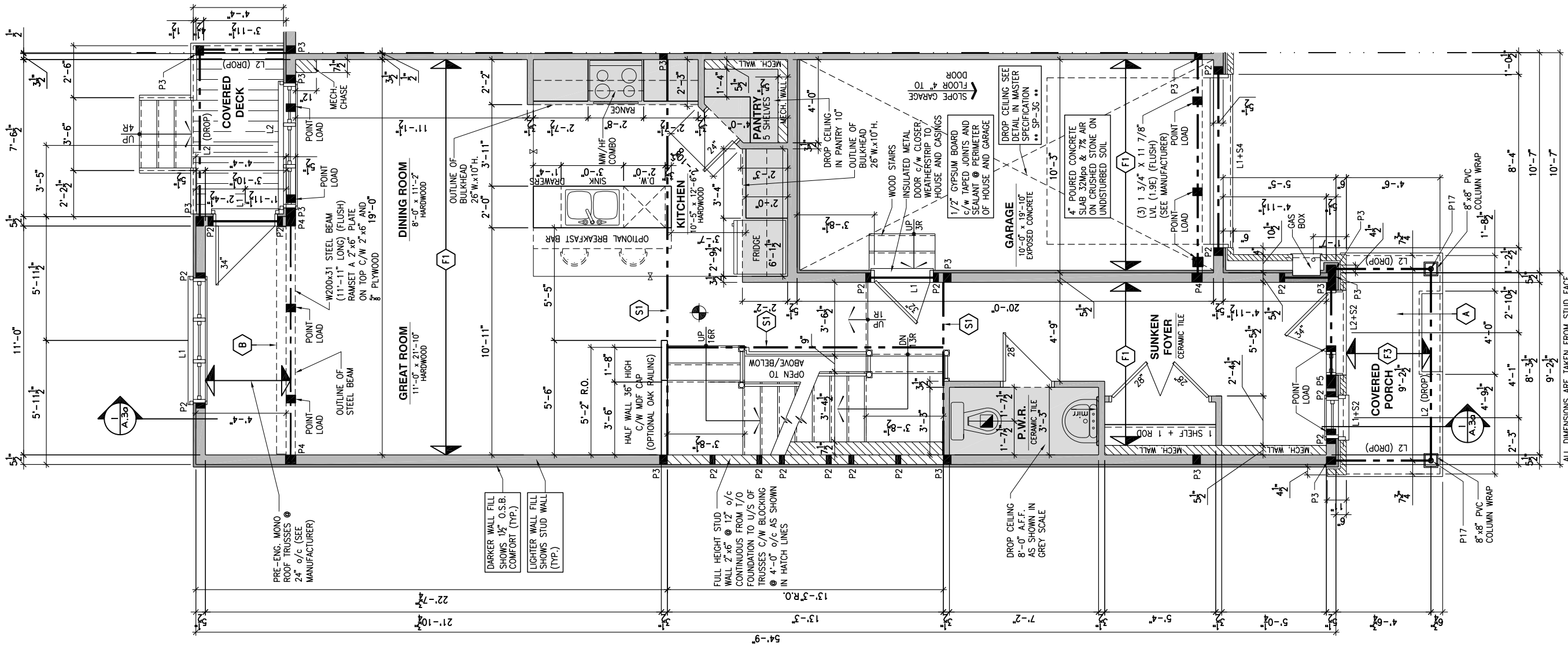
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN  
STANDARD KITCHEN - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.7a

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
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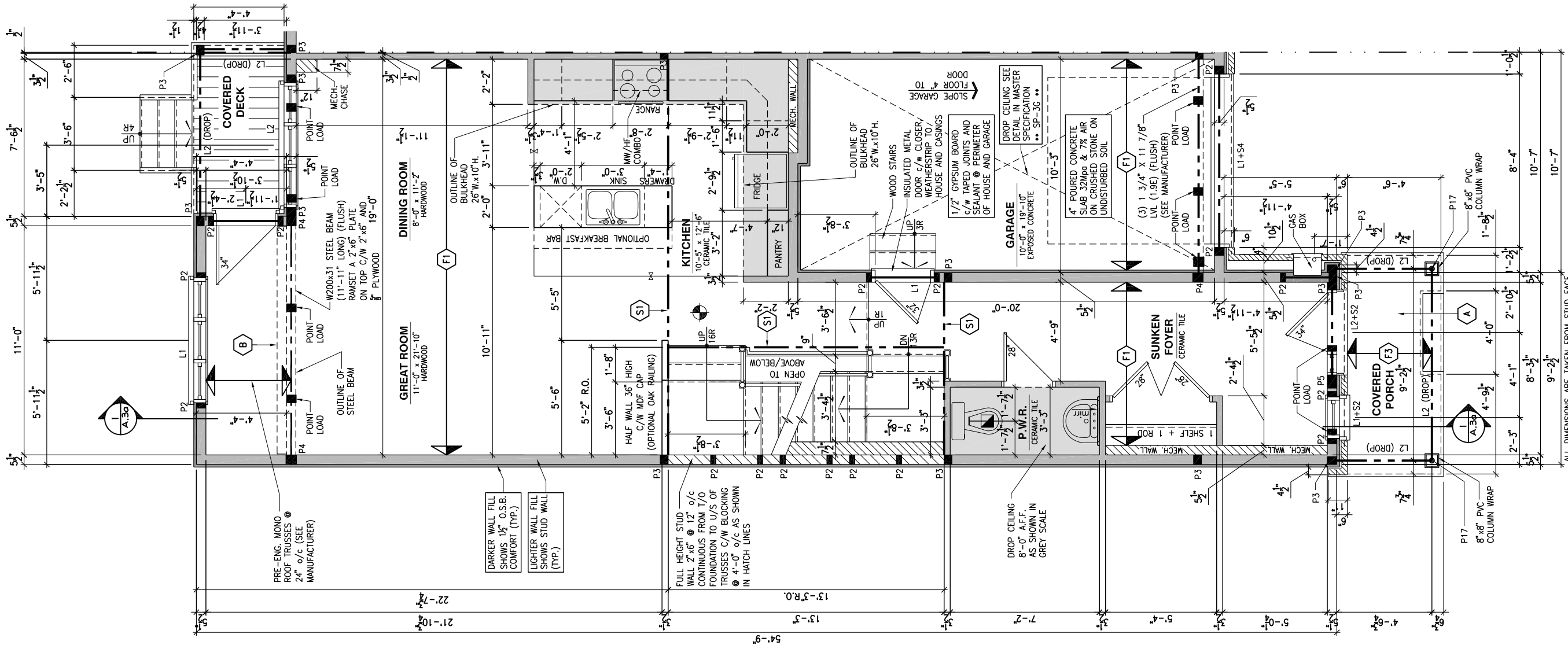
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
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- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #1 - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.7b**

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

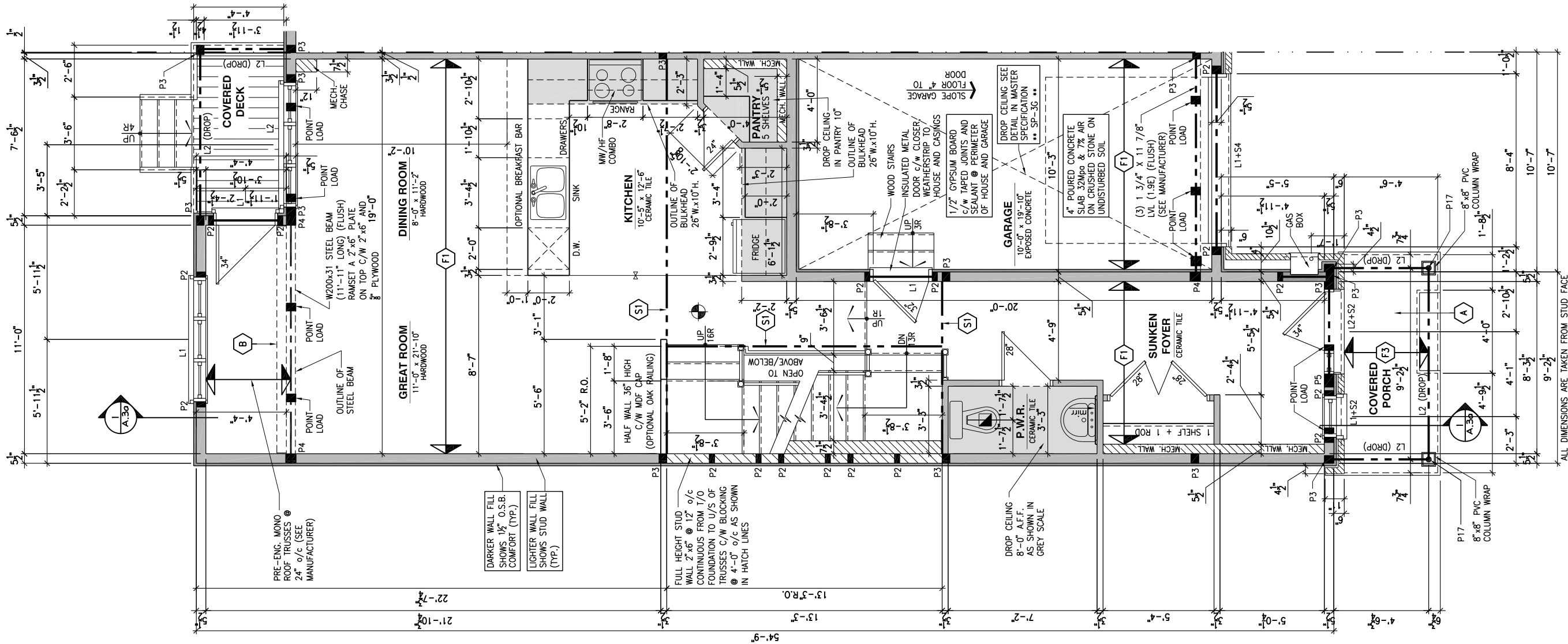
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #2 - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7c**

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**F1** 11  $\frac{3}{4}$ " PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)

**F2** 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

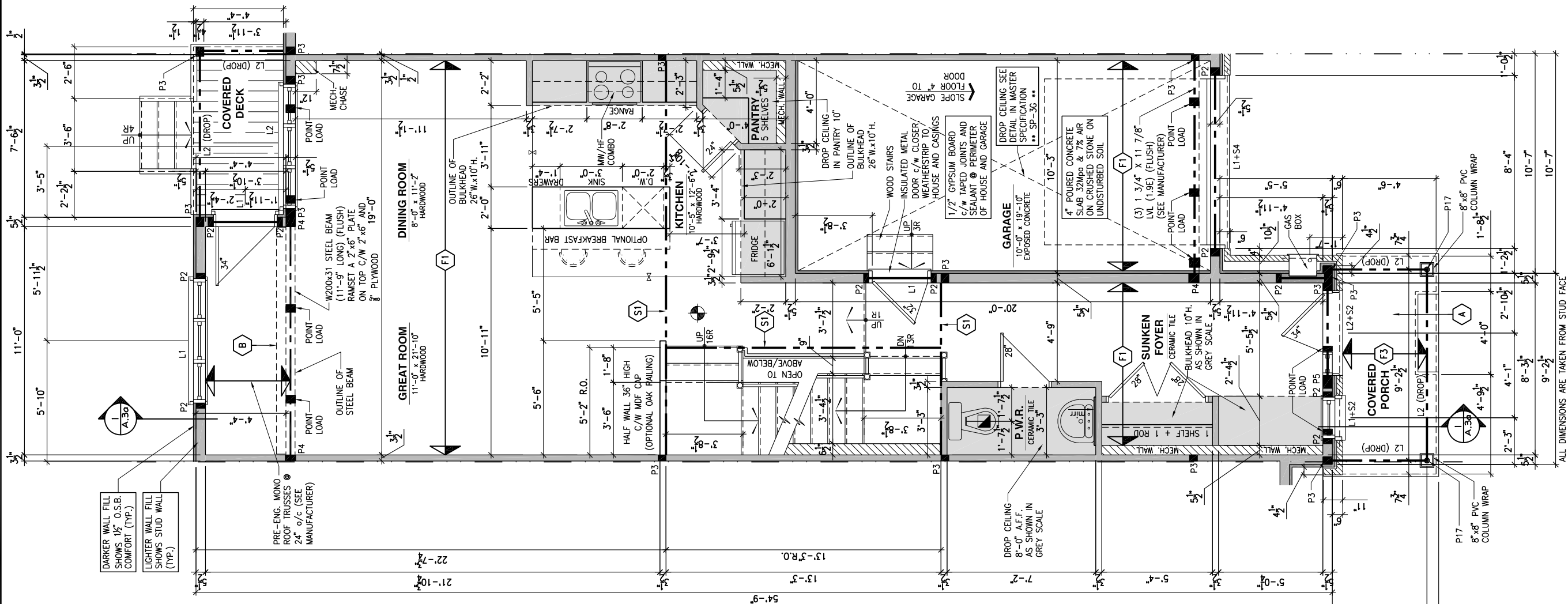
**F3** 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED

**S1** REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

8" SLOPED TO 1/2" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL.)



**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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**NOTES:**

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S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
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POST BY USP  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

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(EX. P2 = 1 JACK + 1 STUD)
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 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - MID**

ADDRESS:	SCALE:	DATE:
XX	$\frac{3}{16}'' = 1'-0''$	XX/XX/XXX

# 130 - THE LEWIS 2022 FOOTPRINT

SHEET:

**A.7d**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

## GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE:  $3/16'' = 1'-0''$

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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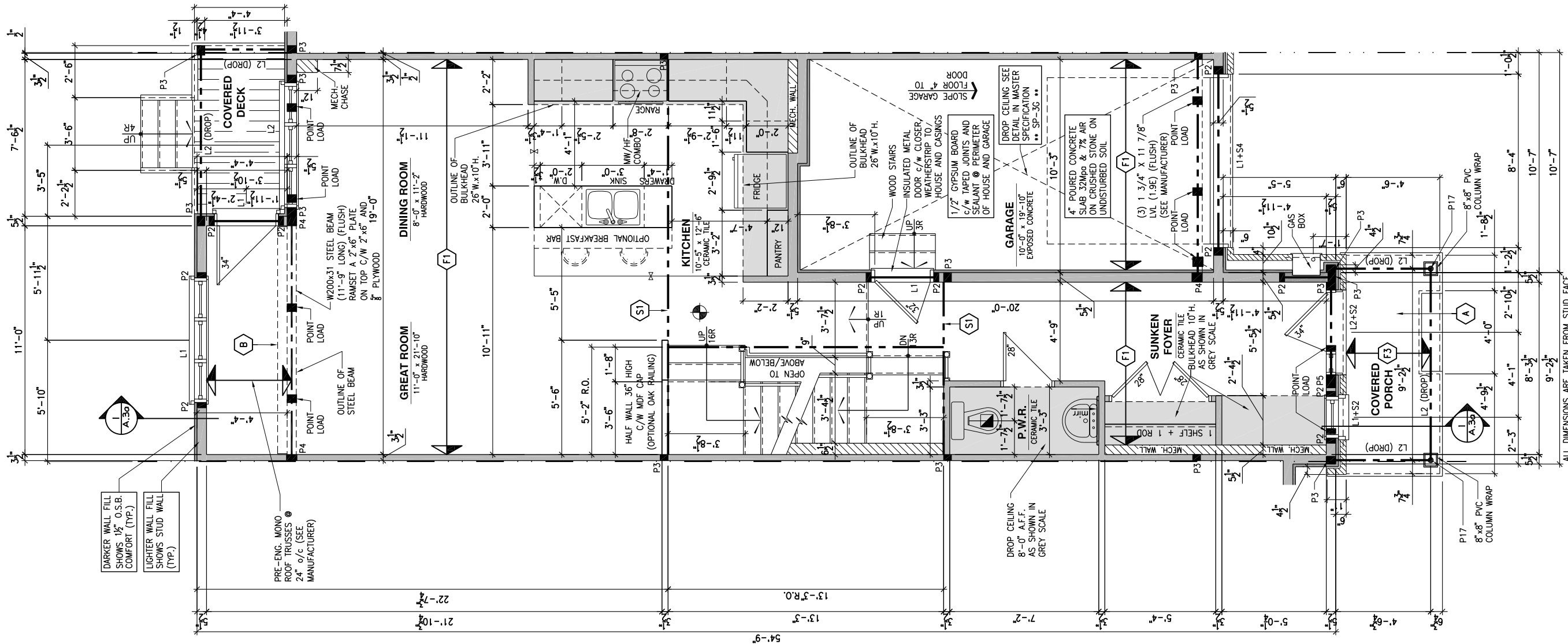
GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN  
OPTIONAL KITCHEN #1 - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- (F1) 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- (F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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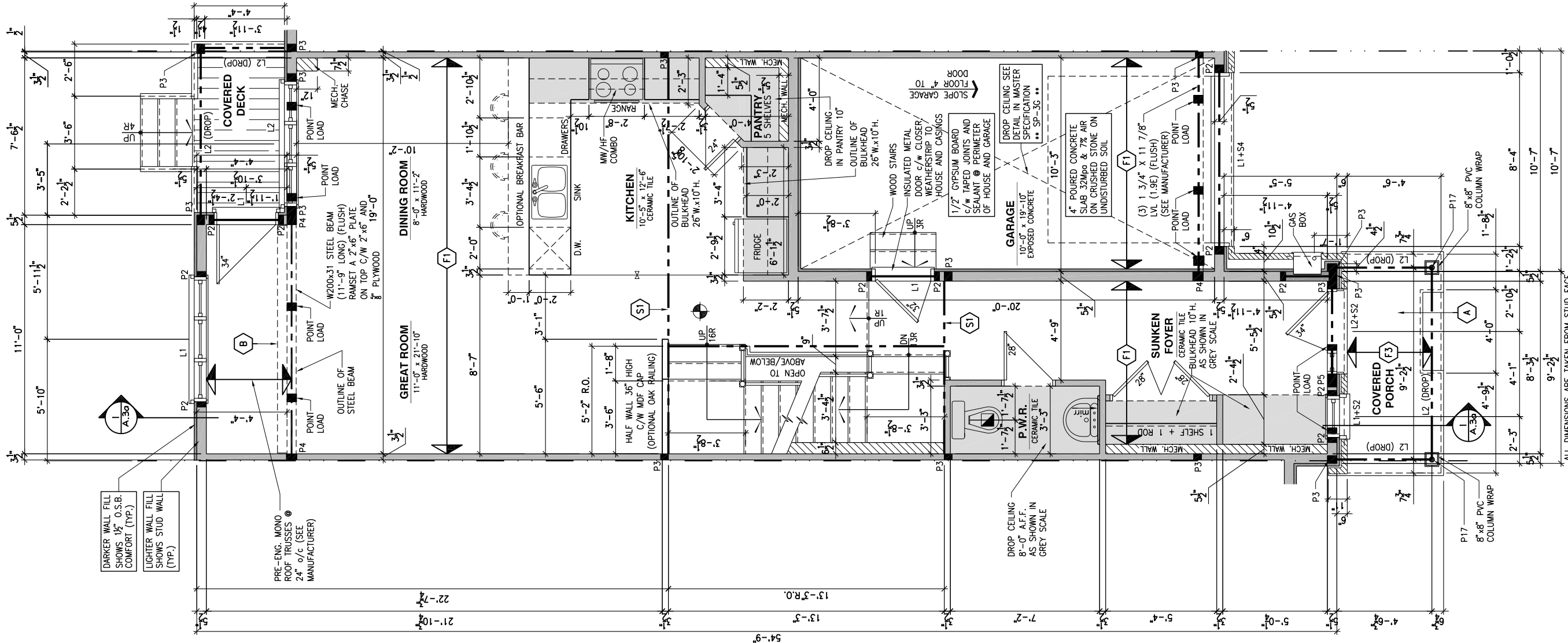
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LOT: XXXX  
DATE: XX/XX/XXXX

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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
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  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	MM/DD/YYYY BY

DRAWING: GROUND FLOOR PLAN  
OPTIONAL KITCHEN #2 - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7f

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

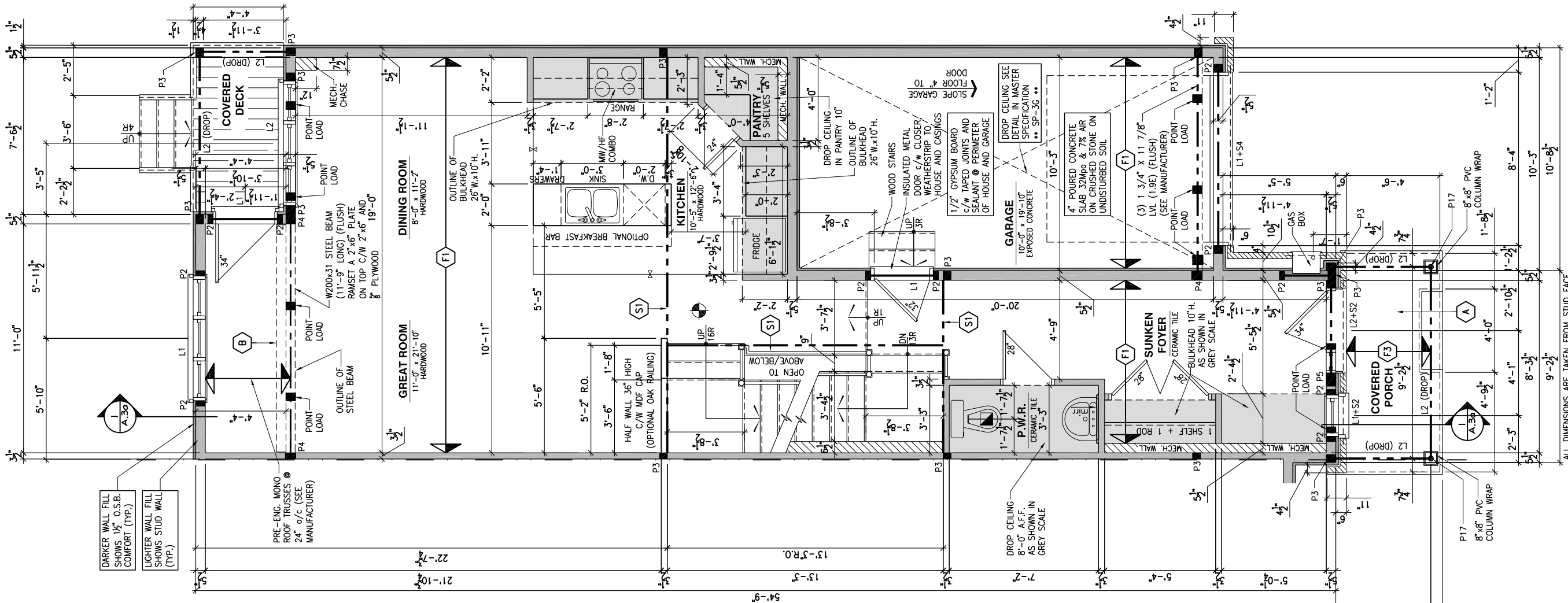
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN-GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7g**

**GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**



FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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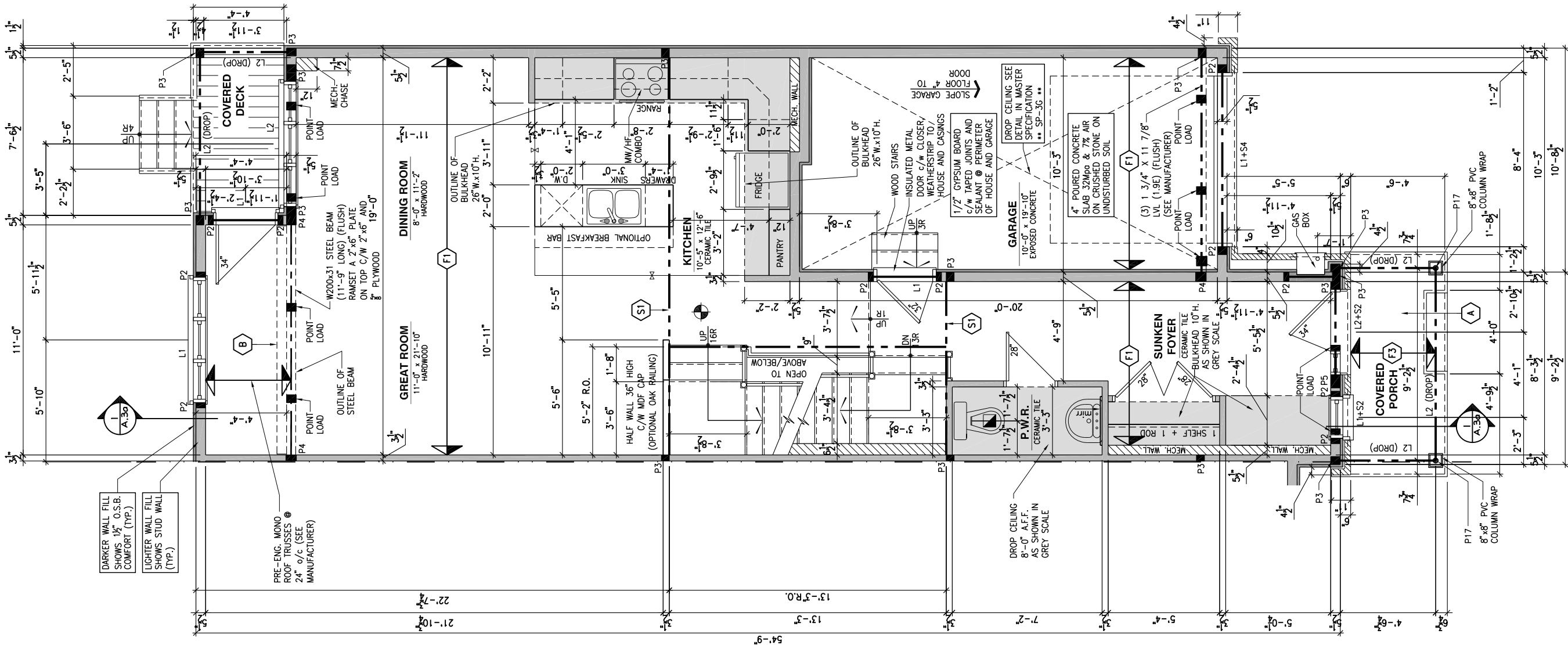
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	MM/DD/YYYY BY

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #1 - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7h

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE



FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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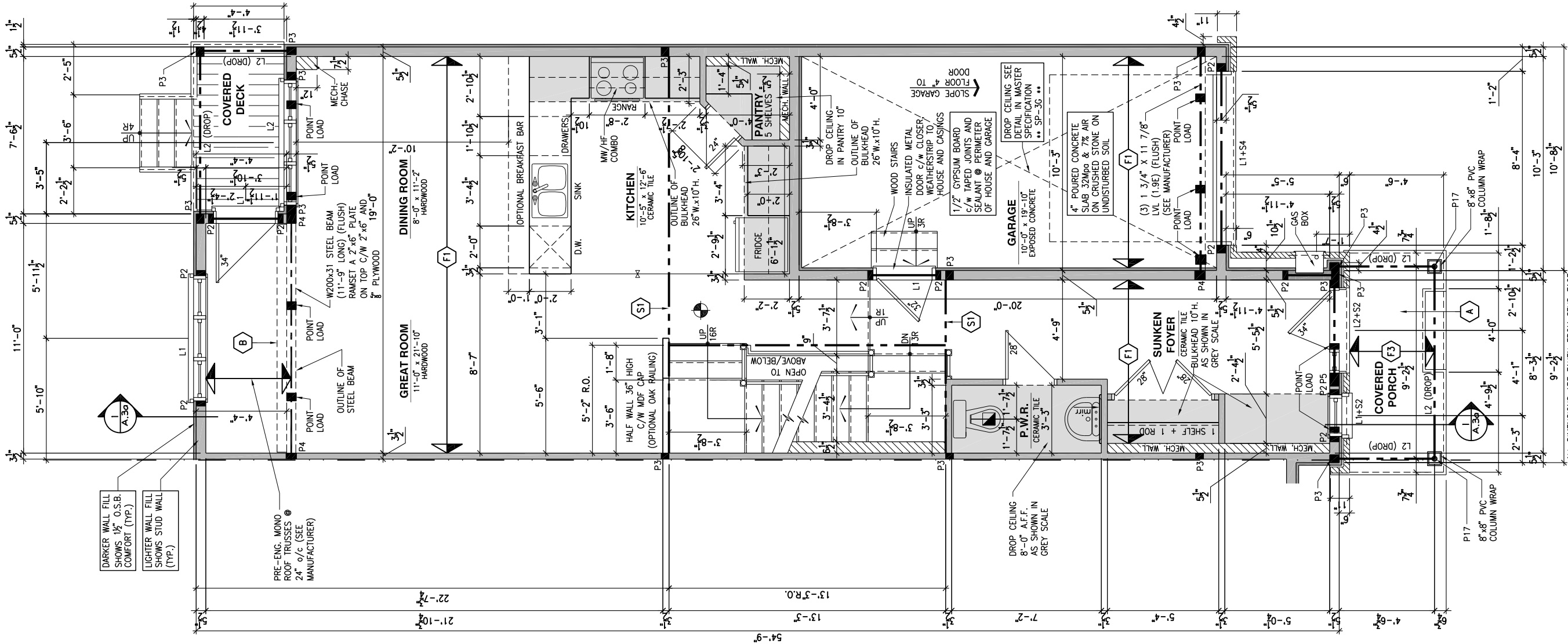
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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

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WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
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LOT: XXXX  
DATE: XX/XX/XXXX

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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #2 - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7i

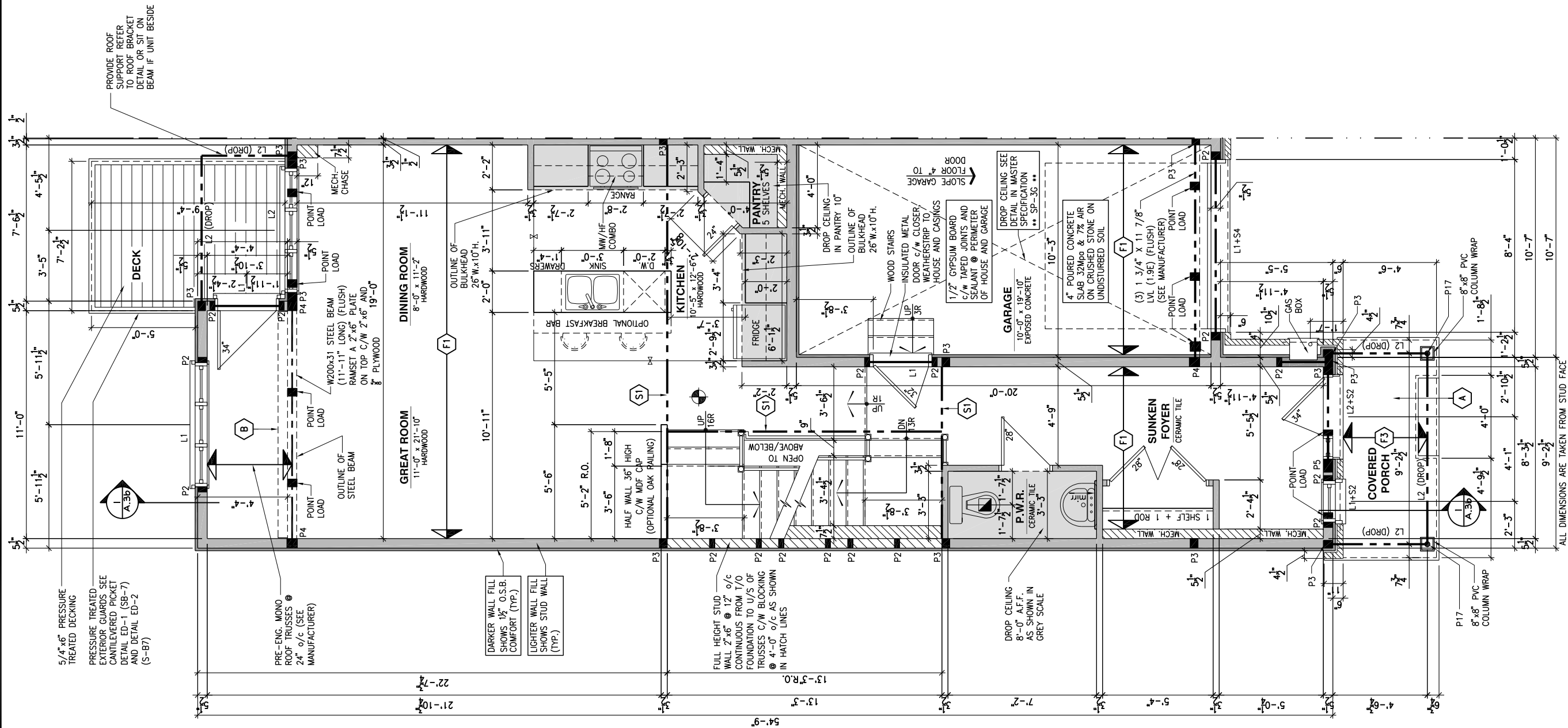
GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



## 2012 O.B.C. DRAWINGS


# 130 - THE LEWIS 2022 FOOTPRINT

CONSTRUCTION SITES:  
**SHEA VILLAGE**

### A.7j

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
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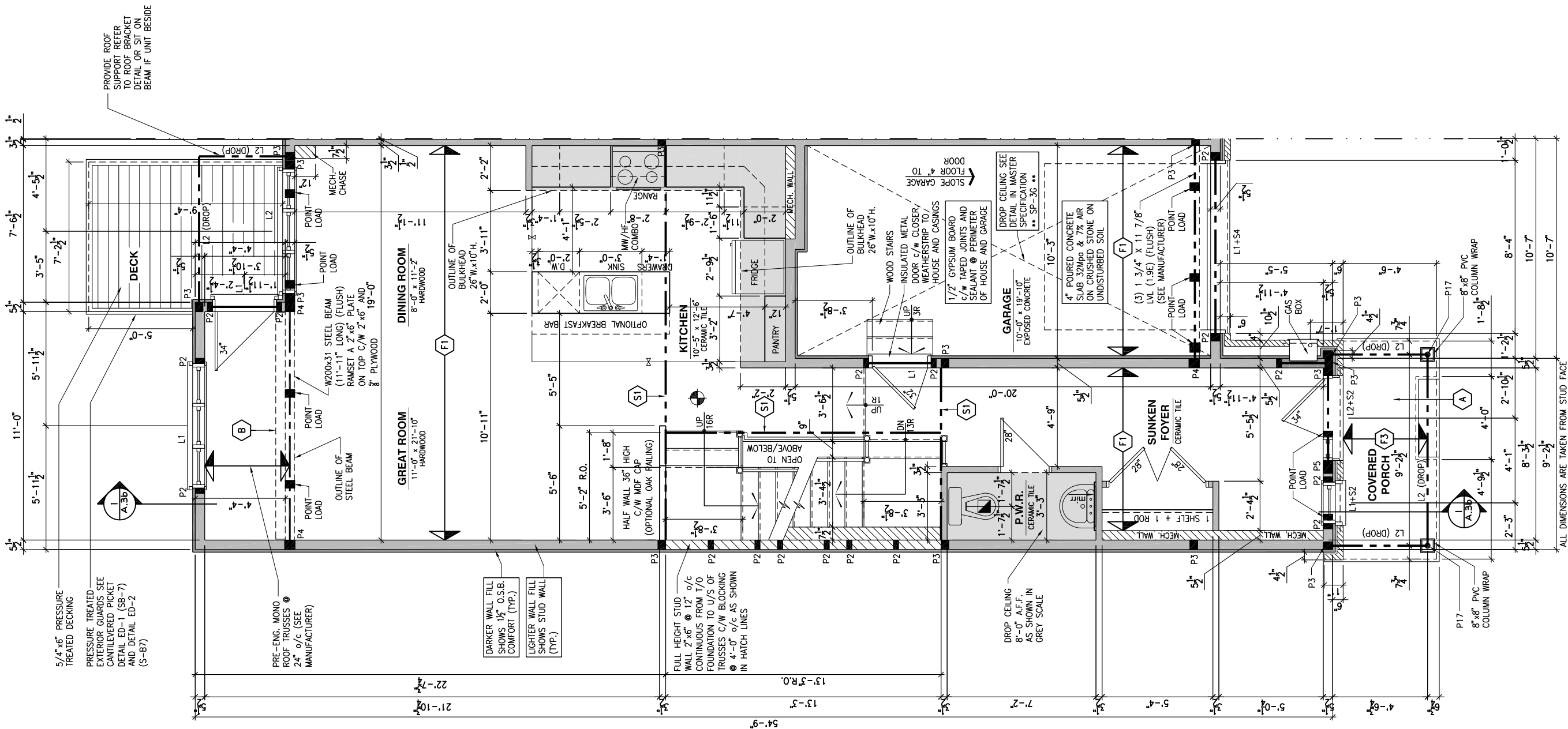
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PORCH CONSTRUCTION:

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LOT: XXXX

DATE: XX/XX/XXXX



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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP

- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD  
(EX. P2 = 1 JACK + 1 STUD)
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  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	MM/DD/YYYY BY

## DRAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7k

CONSTRUCTION SITES:  
SHEA VILLAGE

## GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

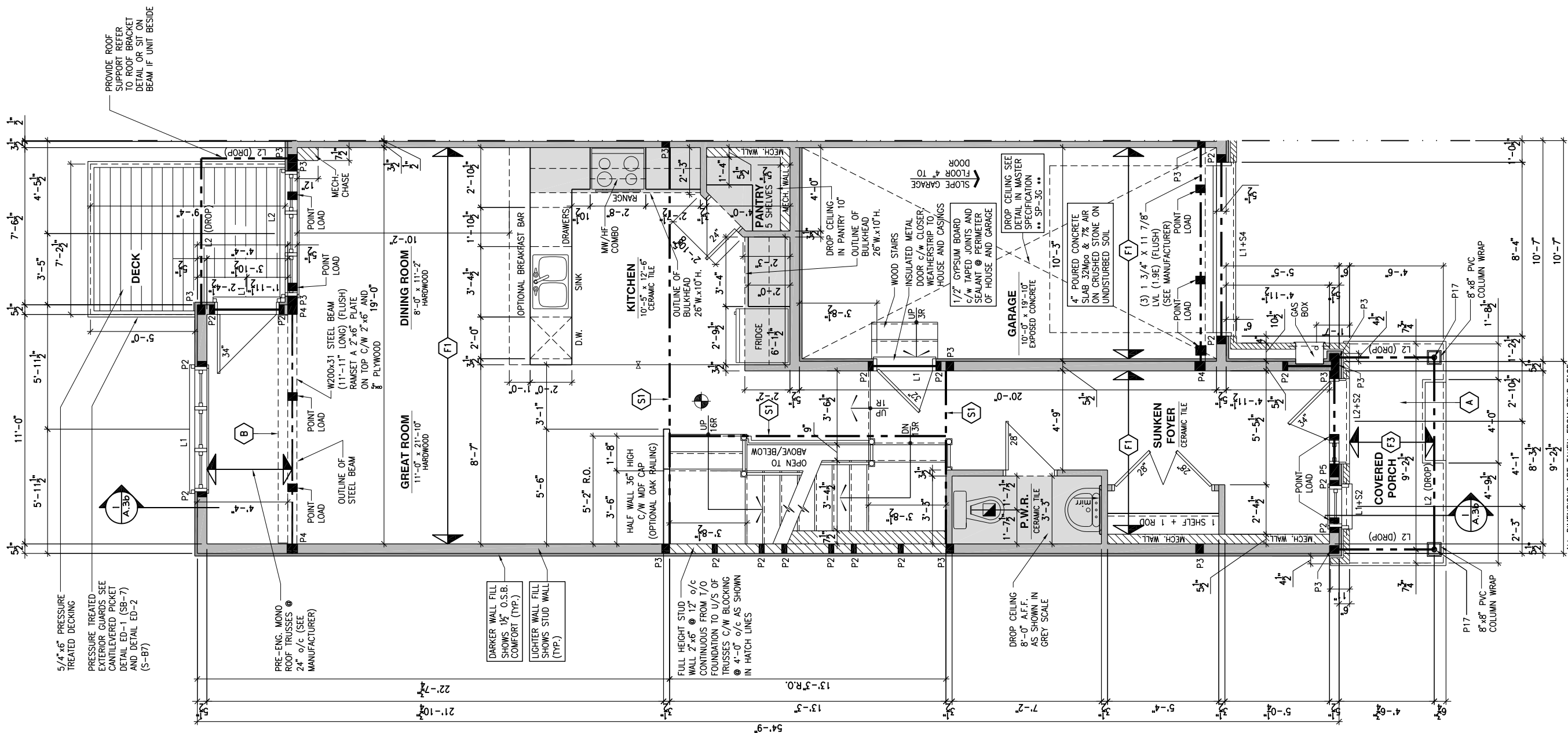
SCALE: 3/16" = 1'-0"

A.7k

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

- |    |   |
|----|---|
| F1 | 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c<br>c/w STRAPPING UNLESS OTHERWISE NOTED (SEE<br>MANUFACTURER)              |
| F2 | 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED  |
| F3 | 2" x 8" PRESSURE TREATED JOIST @ 16" o/c<br>UNLESS OTHERWISE NOTED  |
| S1 | REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR<br>ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING<br>(UNLESS OTHERWISE NOTED) |

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	By

SHEET:  
**A.71**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

## GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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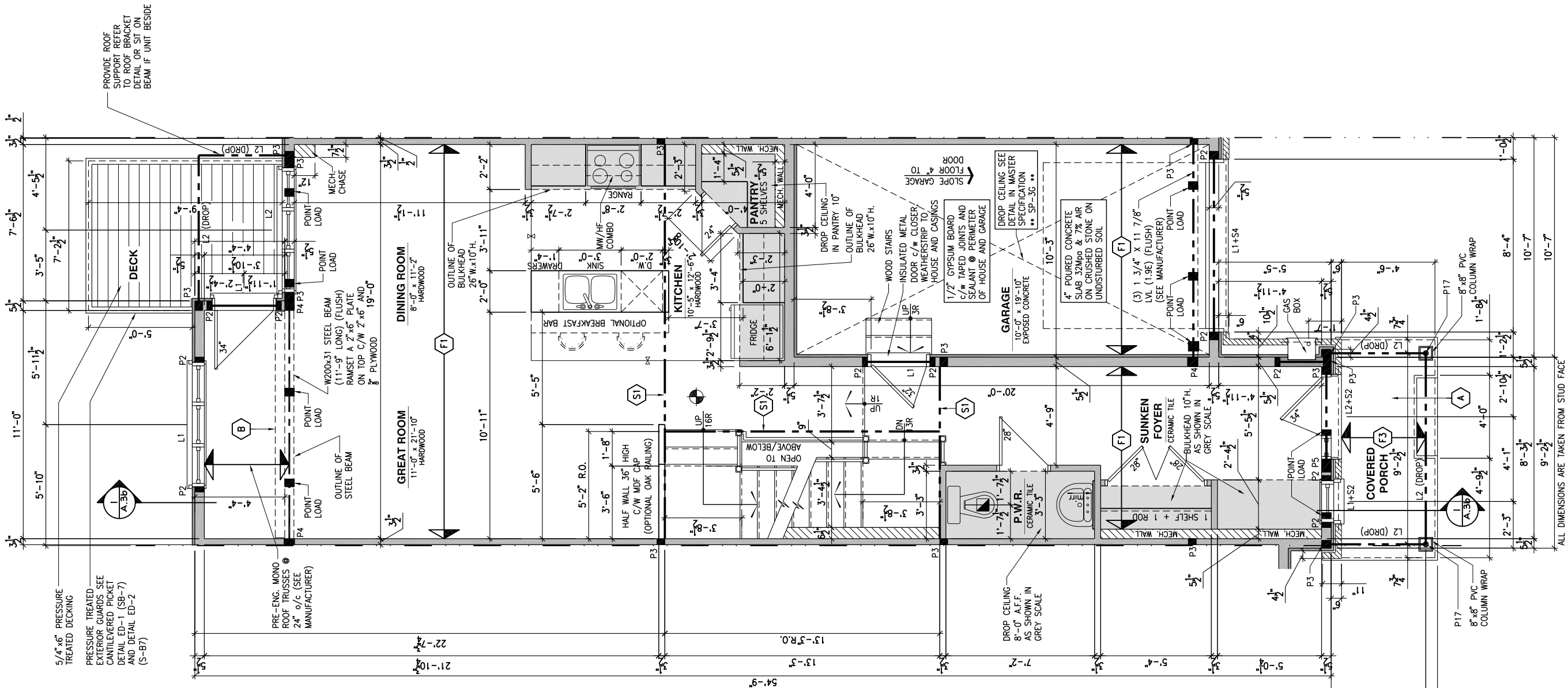
GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

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S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON  
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - WALKOUT  
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7m

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
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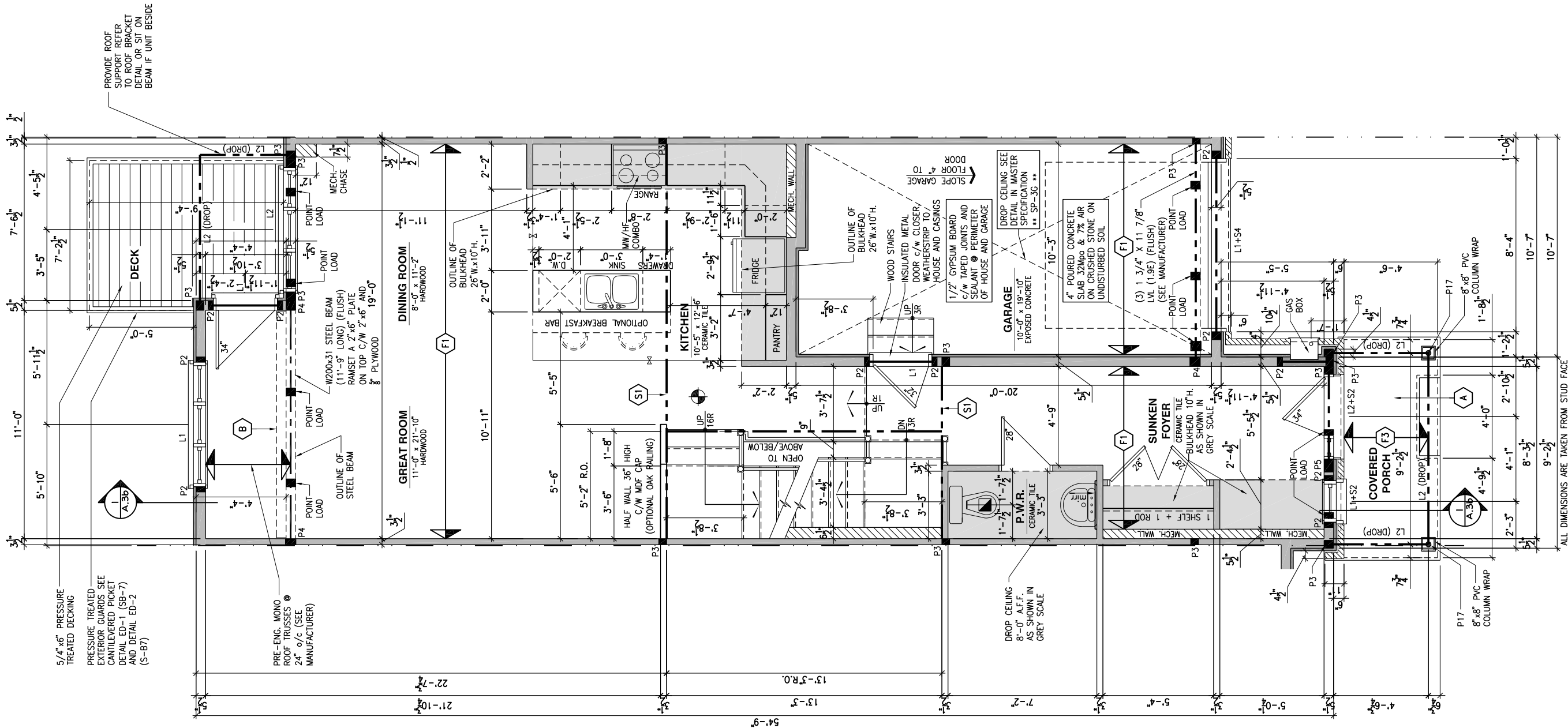
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft  
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	MM/DD/YYYY BY

DRAWING: GROUND FLOOR - WALKOUT  
OPTIONAL KITCHEN #1 - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.7n

FLOOR FRAMING:

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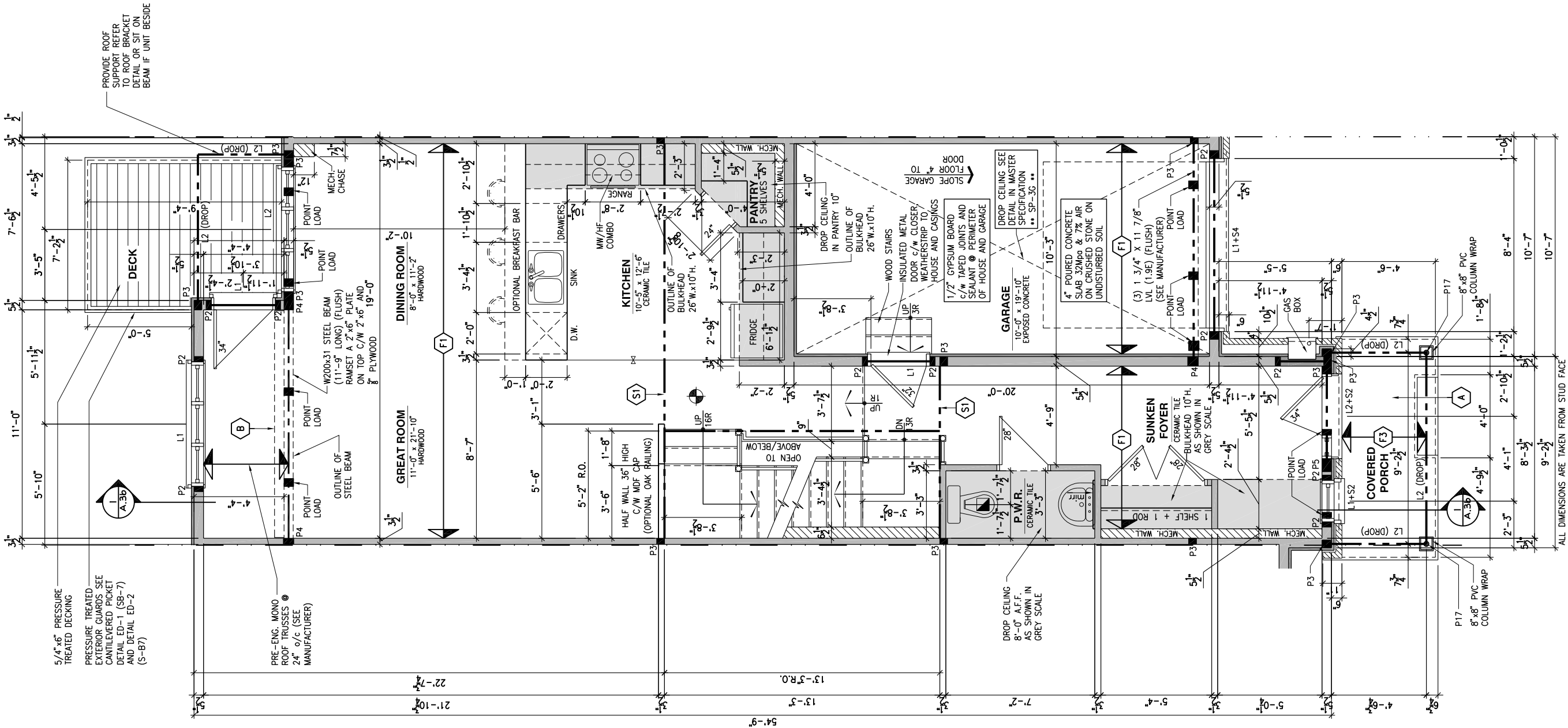
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LOT: XXXX  
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR - WALKOUT  
OPTIONAL KITCHEN #2 - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.70**

**GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT**

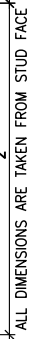
SCALE: 3/16" = 1'-0"



**PORCH CONSTRUCTION:**

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6

- P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

- P14 = HSS 89x89x4.8 +


- P16 = HSS 76.2x76.2x4.

- P17 = HSS 73 O.D.x4.8  
+ 130x160x10 TC

- (\*) = 2-120 ANCH. (W

- \* POST ARE ALL JACK c/w  
(EX. P2 = 1 JACK + 1 ST  
IF NO POST ARE MENTION

- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A P2

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE

- ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALL

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS

- ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- 

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

**DRAWING: GROUND FLOOR - WALKOUT  
STANDARD KITCHEN-GARAGE END**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

## A.7p

## GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE:  $3/16" = 1'-0"$

CONSTRUCTION SITES:  
**SHEA VILLAGE**



F1 11  $\frac{3}{8}$ " PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

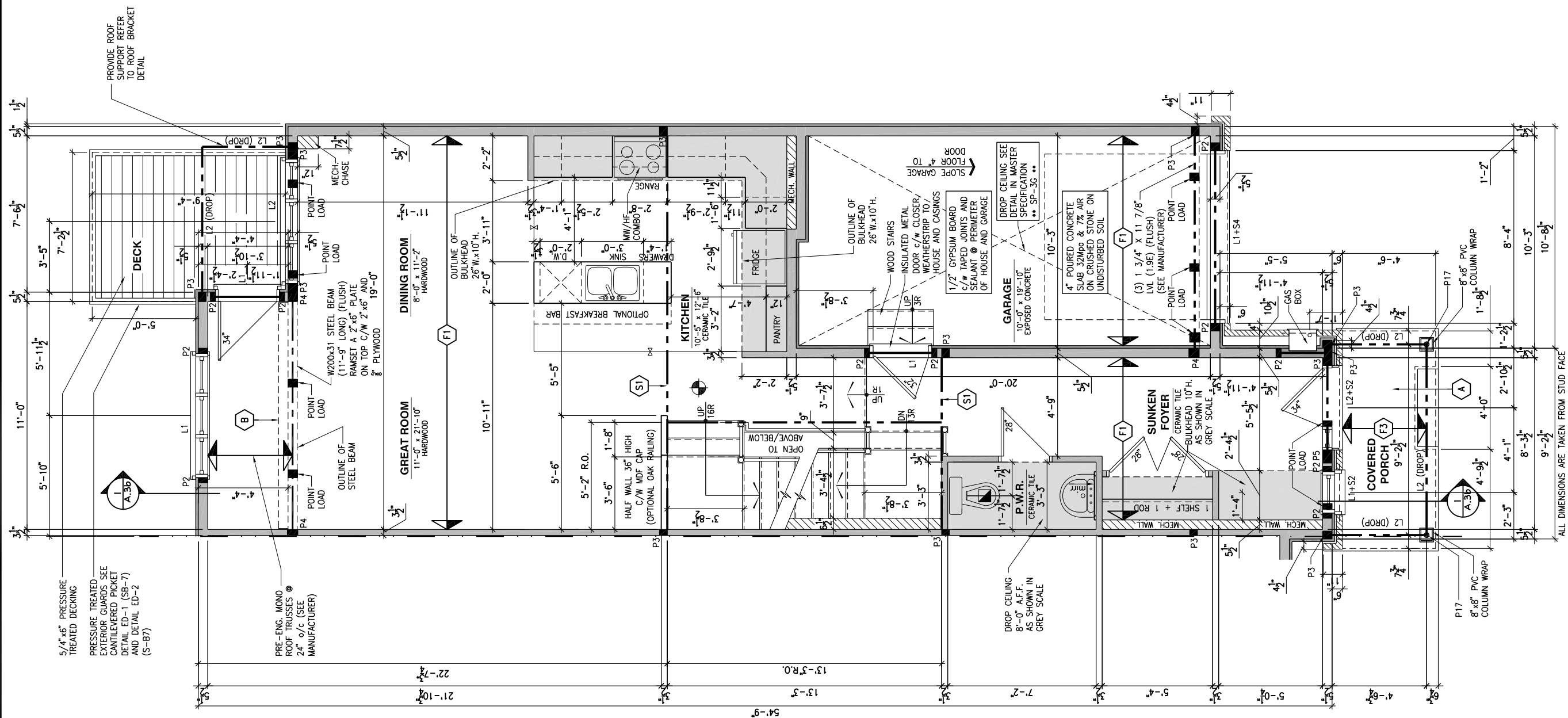
F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

**STEEL LINTEL:**

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL.

(\*) = 2-12 $\phi$  ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 30 MINUTES IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT**  
**OPT. KITCHEN #1 - GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
 (STANDARD DRAWINGS)

### GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**A.7q**

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

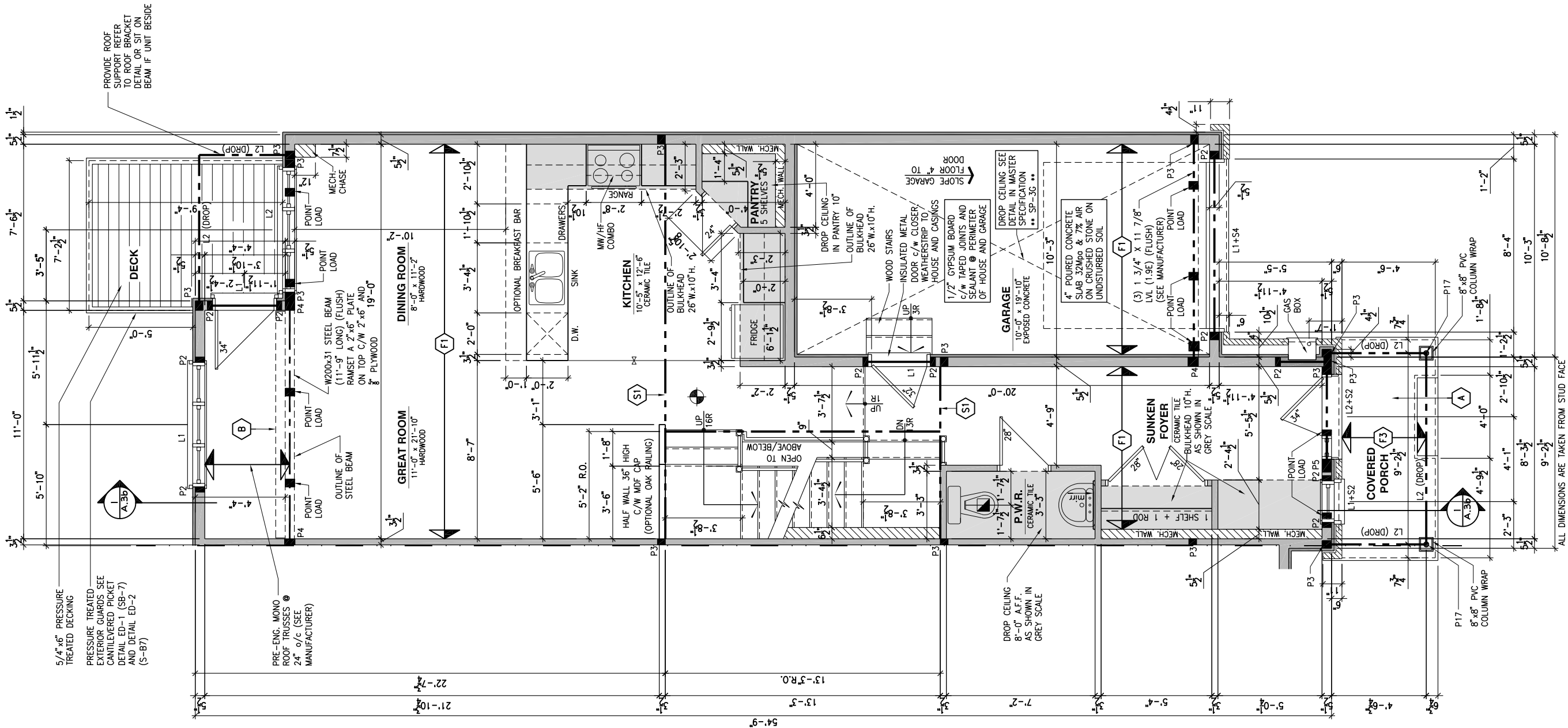
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- S4 = L 125x90x8
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- S6 = L 200x100x12
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LINTEL TABLE:

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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
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POST TABLE:

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POST BY USP
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD  
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ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 DOYON
NO.	DESCRIPTION	NM/DD/YYYY BY

DRAWING: GROUND FLOOR - WALKOUT  
OPT. KITCHEN #2 - GARAGE END

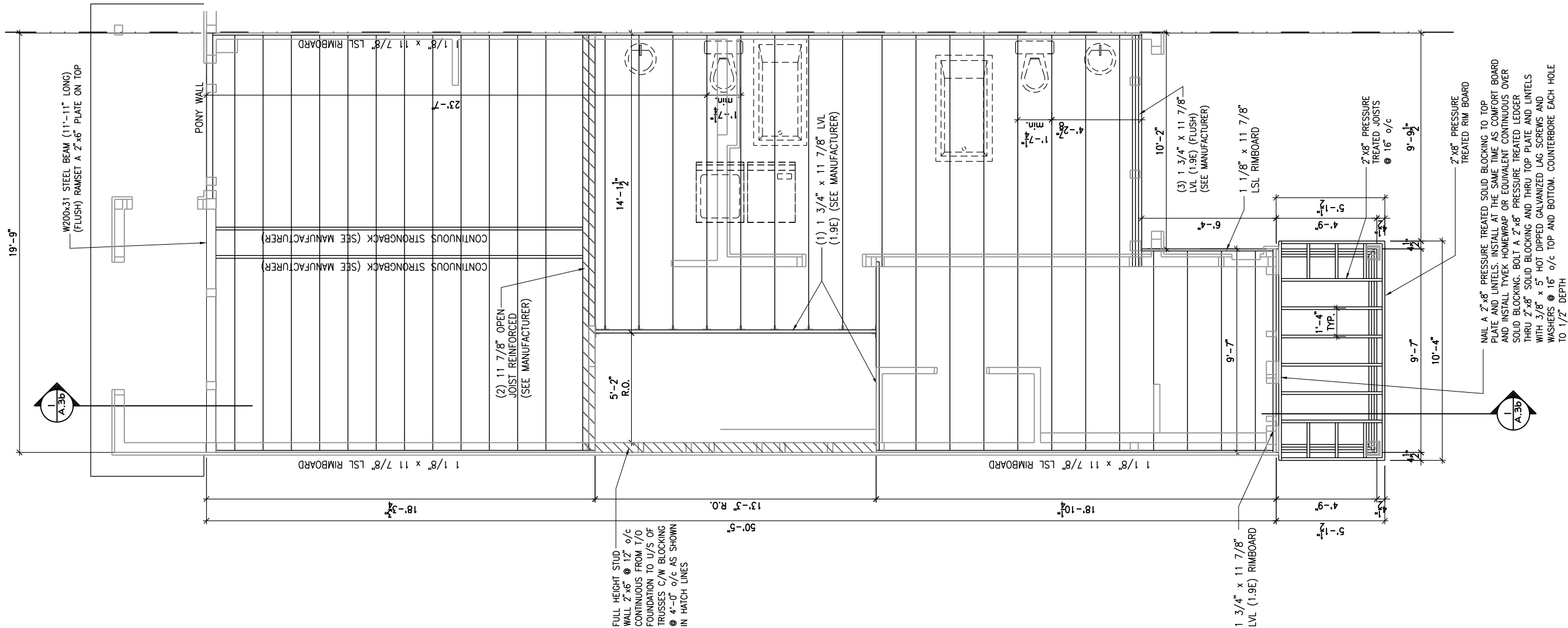
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7r

CONSTRUCTION SITES:  
SHEA VILLAGE



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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**2012 O.B.C. DRAWINGS**

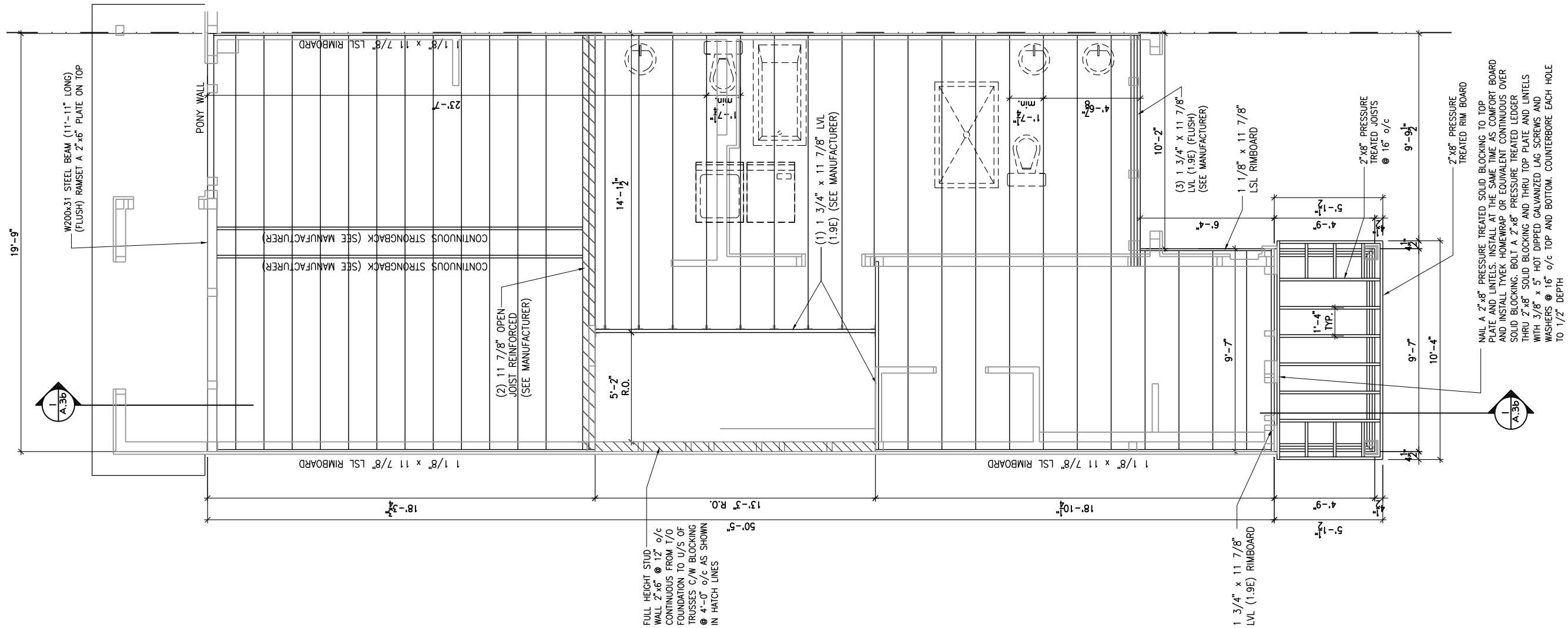

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8a**



**1**  
**A.8b**

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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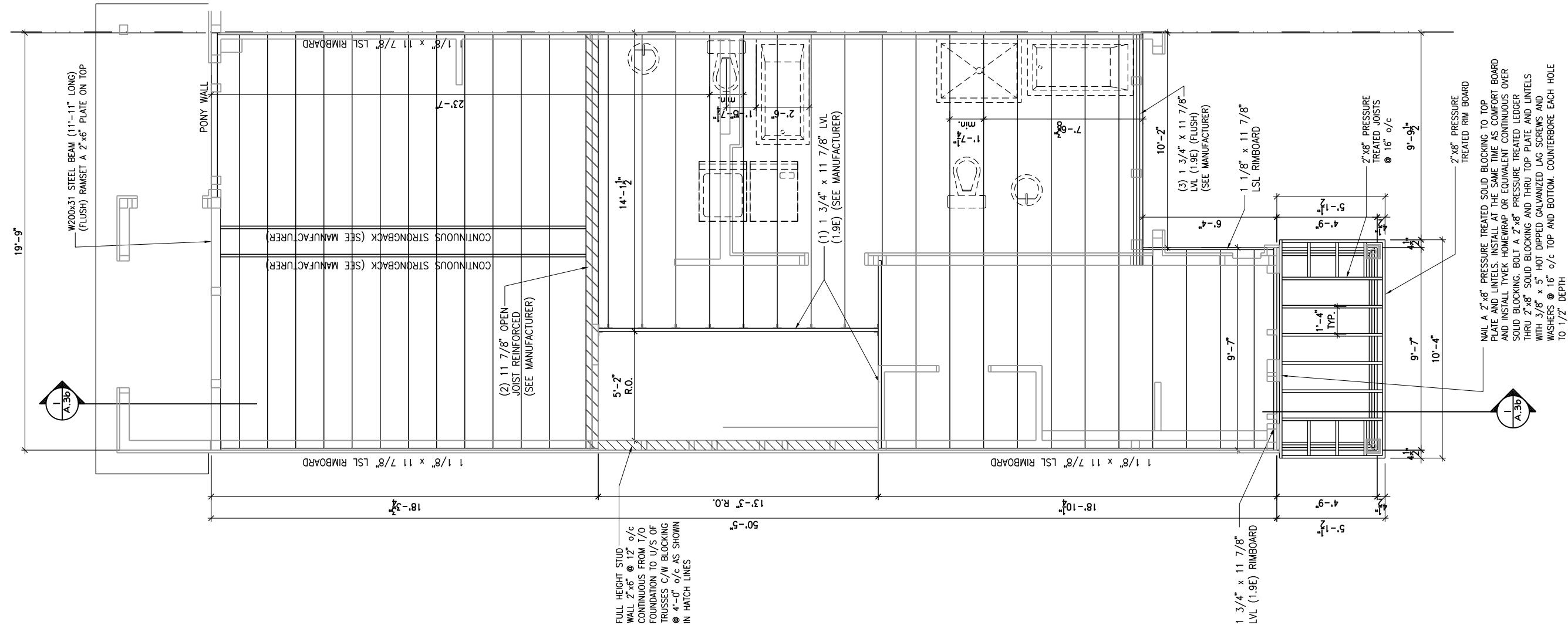

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8b**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

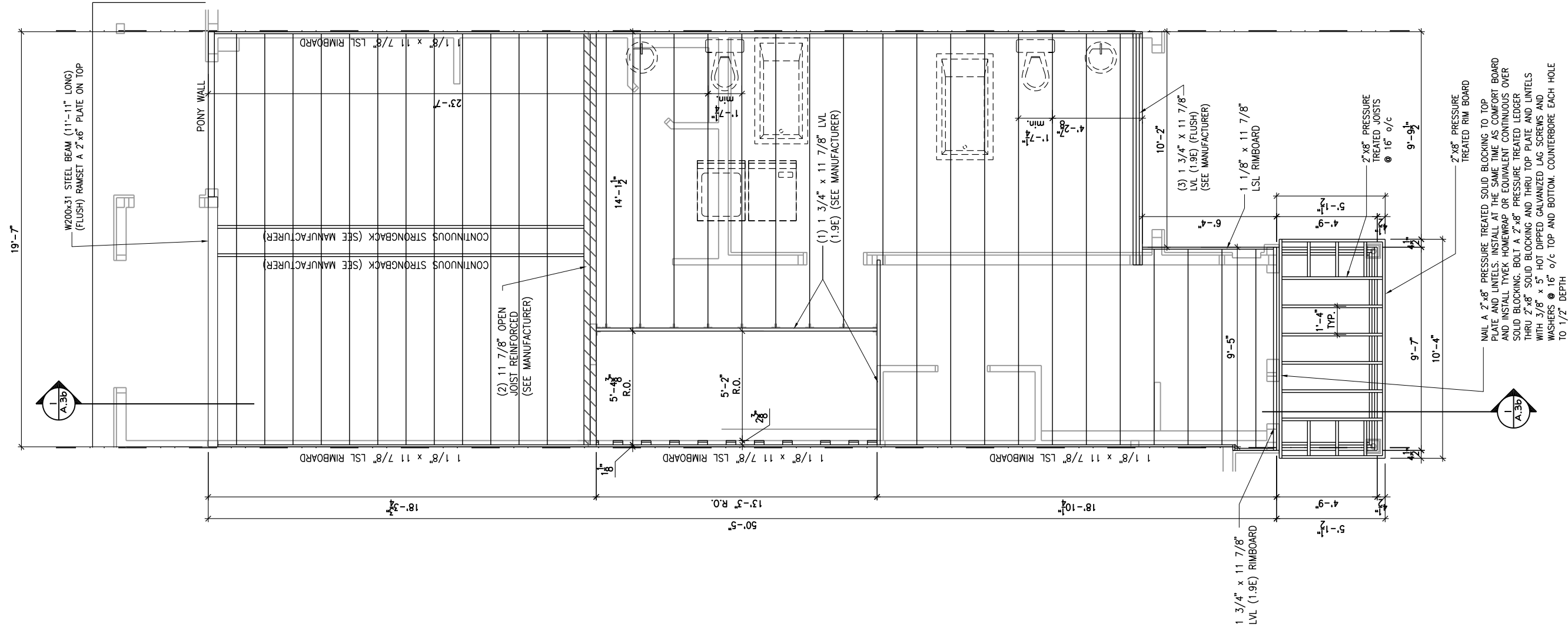
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.8c**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

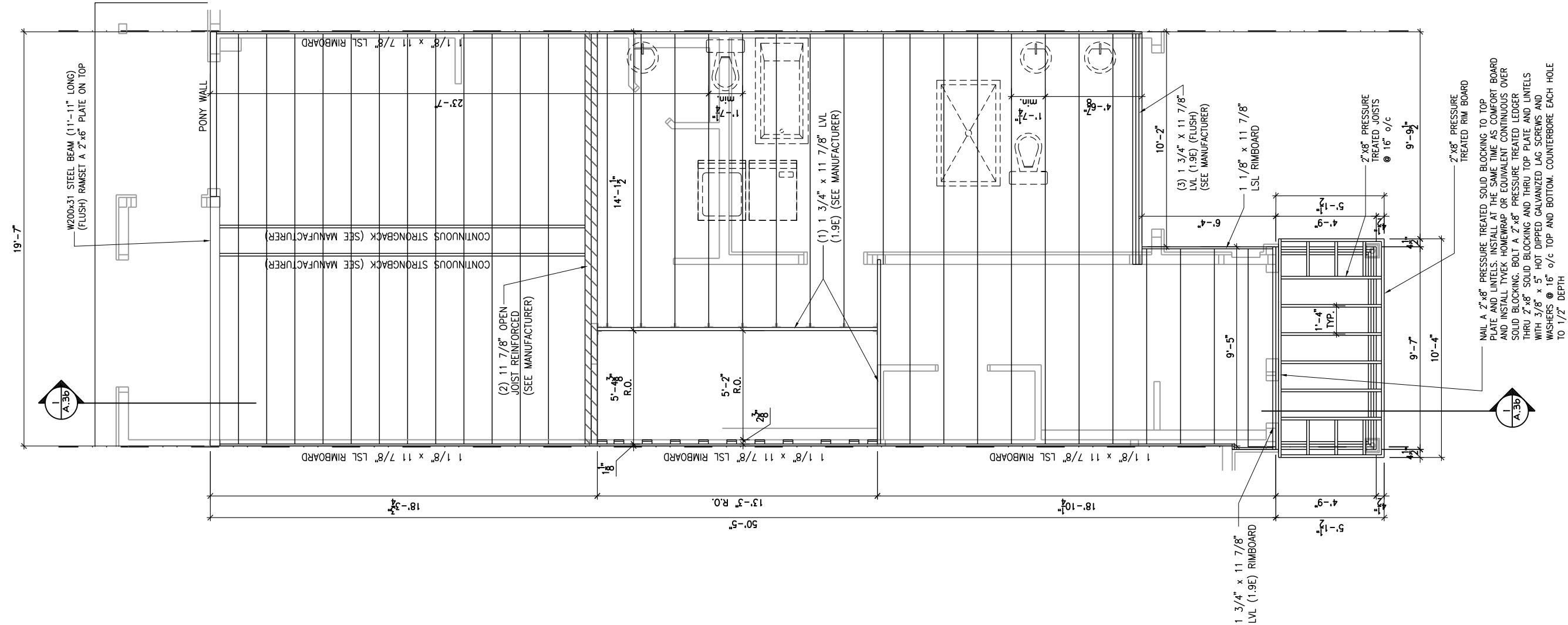
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN -MID**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE

SHEET:  
**A.8d**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611  
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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

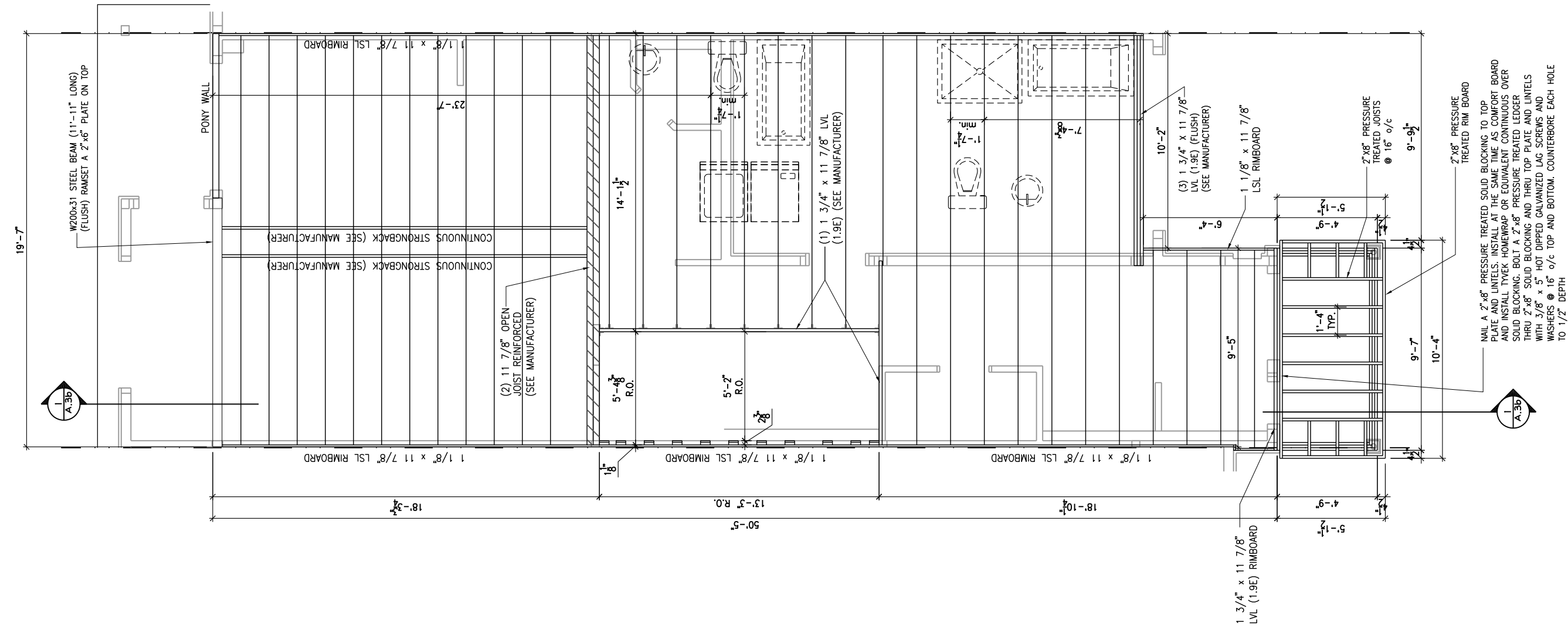
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.8e**



**1**  
**A.8f**

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	MM/DD/YYYY	BY

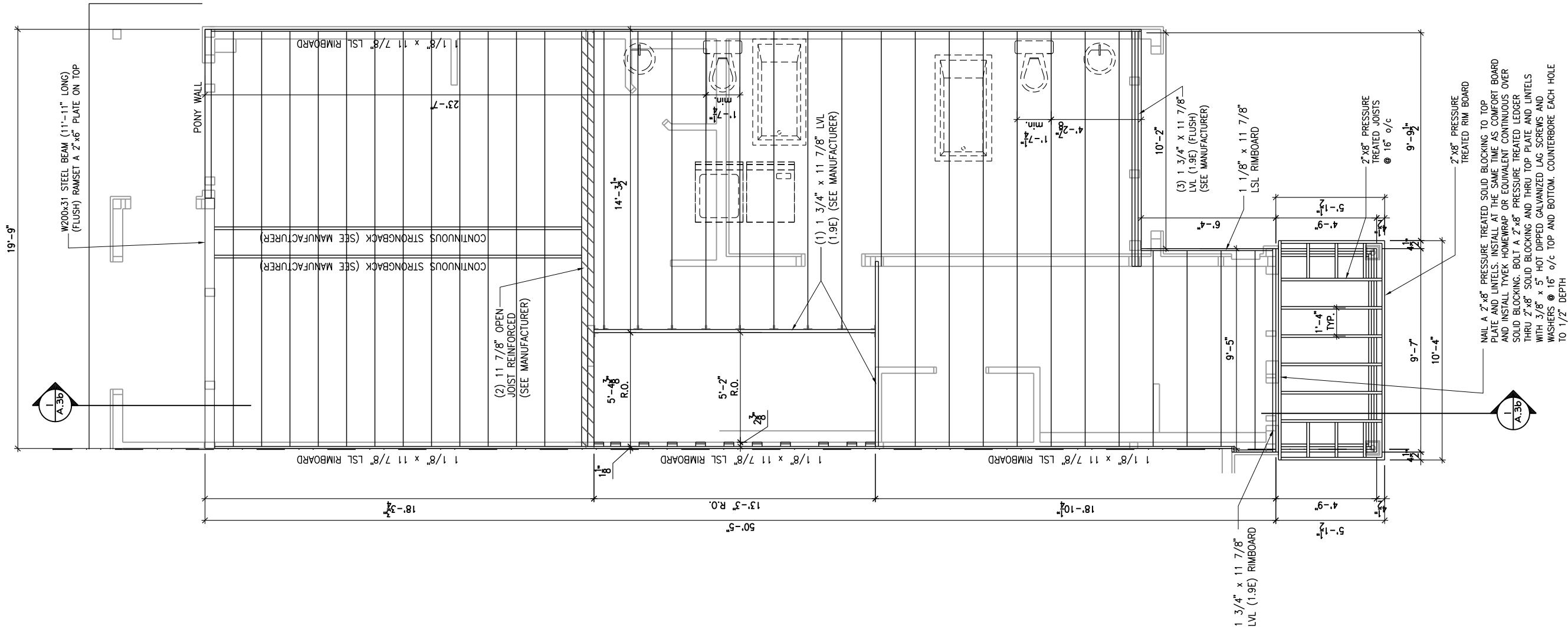
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8f**





**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	MM/DD/YYYY	BY

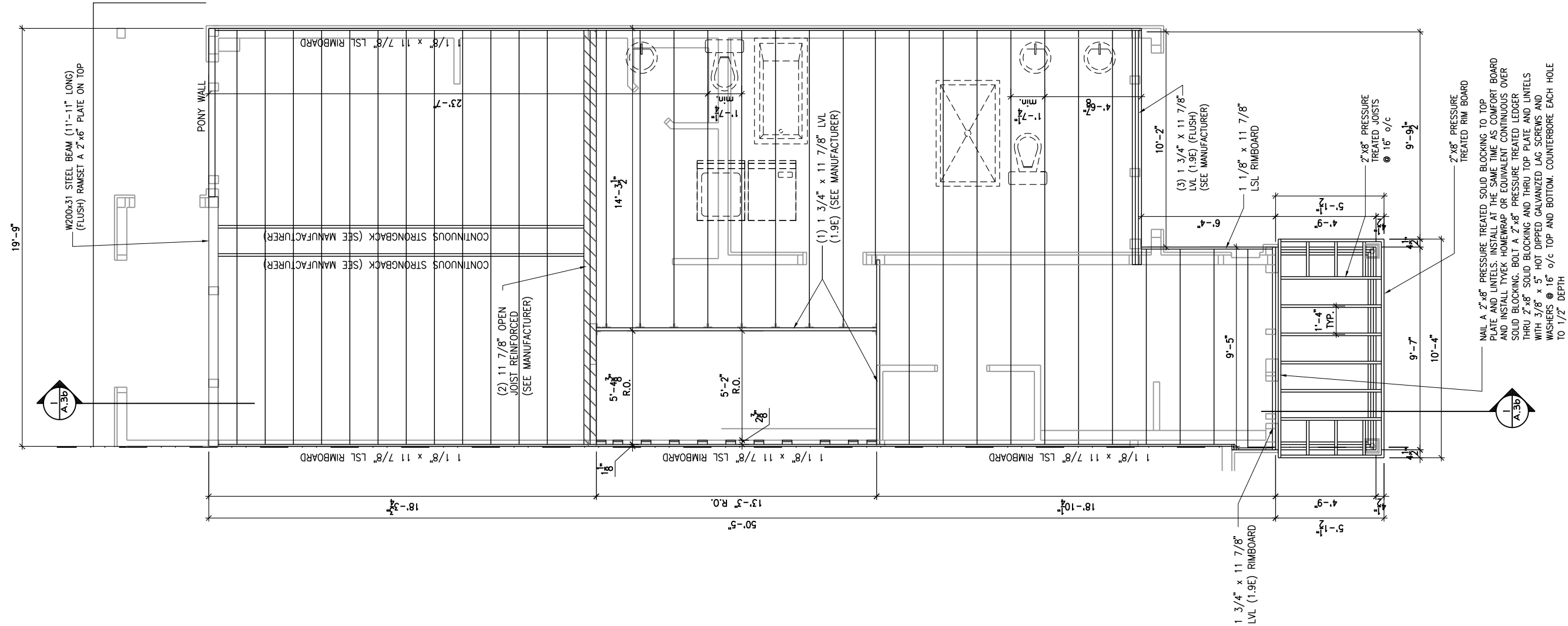
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.8g**

CONSTRUCTION SITES:  
**SHEA VILLAGE**



**1 SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT**  
A.8h SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT: XXXX**  
**DATE: XX/XX/XXXX**



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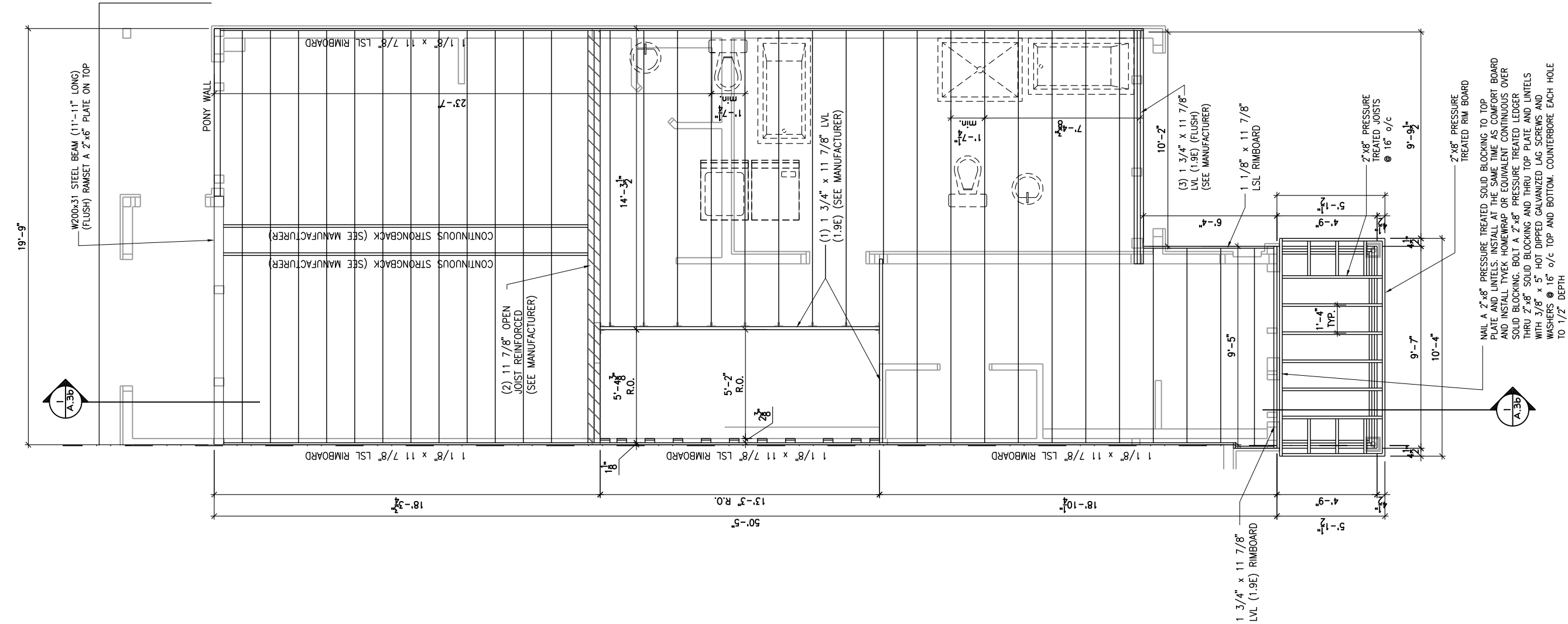
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.8h**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

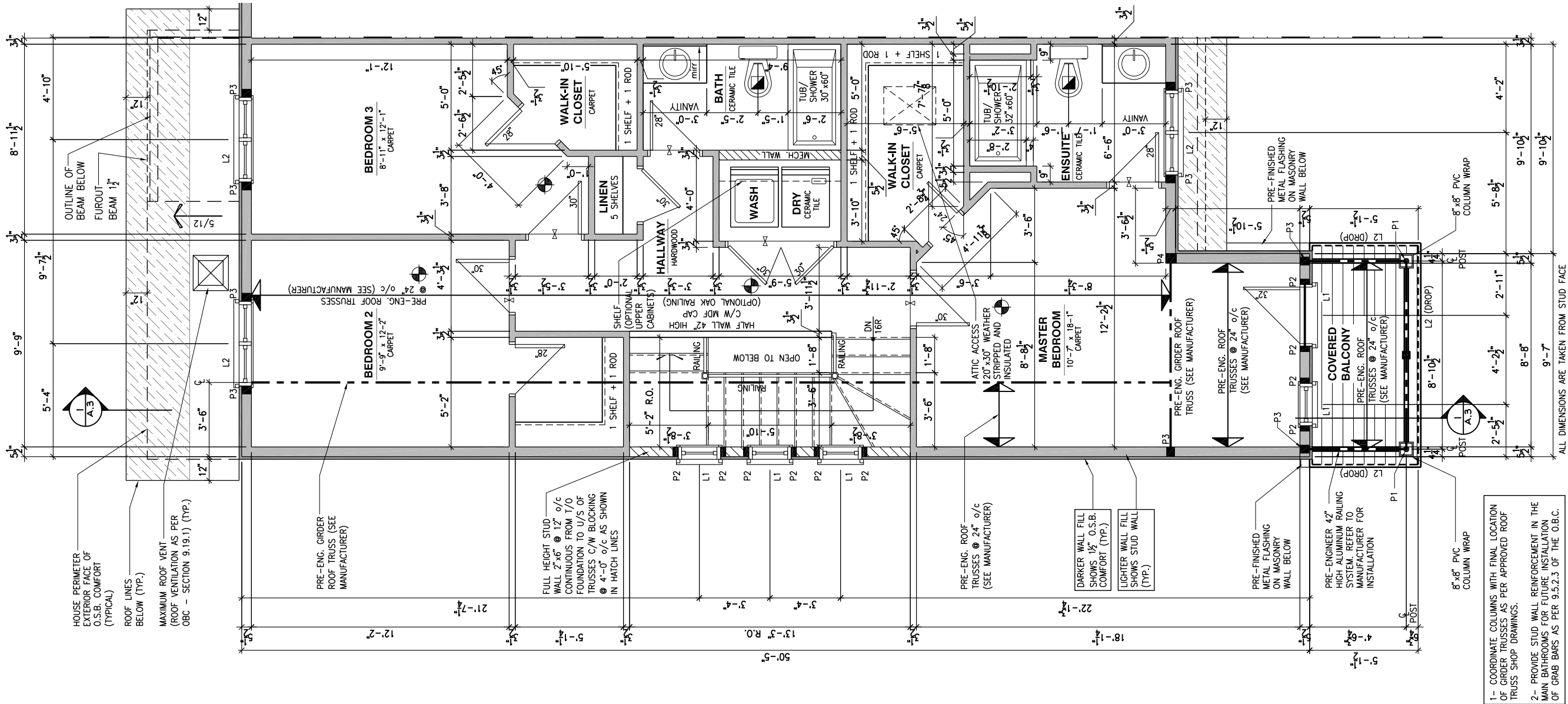
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8i**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: XXXX  
DATE: XX/XX/XXXX



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NOTES:  
STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)  
(+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN  
STANDARD ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

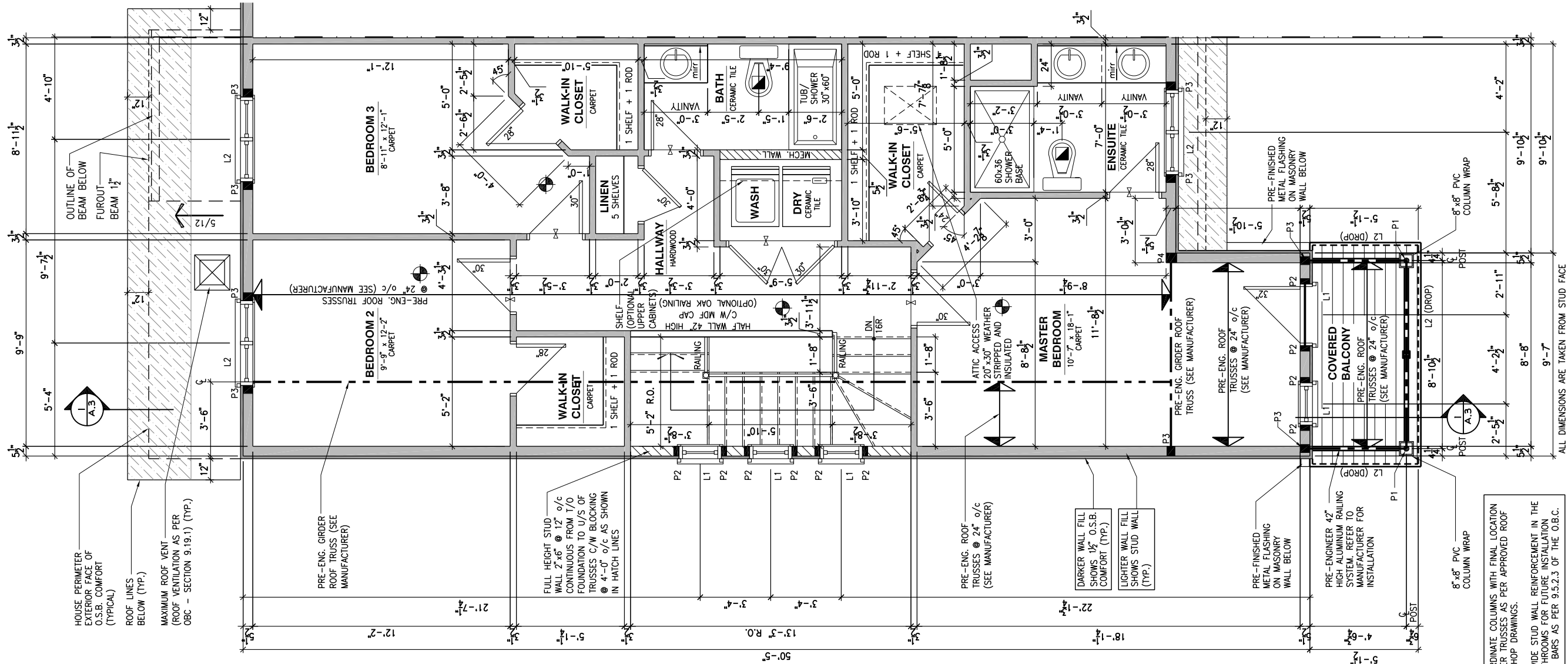
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A.9a

CONSTRUCTION SITES:  
SHEA VILLAGE

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

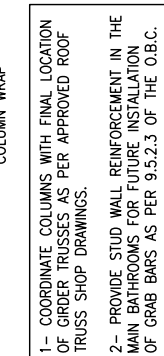
DRAWING: **SECOND FLOOR PLAN**  
**OPT 4PC ENSUITE - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: **A.9b**

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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NOTES:

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S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

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L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
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 ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
 POWER FOR AT LEAST 72 HOURS IN NORMAL CONDITION,  
 FOLLOWED BY 4 MINUTES OF LOW AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
 ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE


DRAWING: **SECOND FLOOR PLAN**  
**OPT 5PC ENSUITE - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT

SHEET:  
**A.9c**

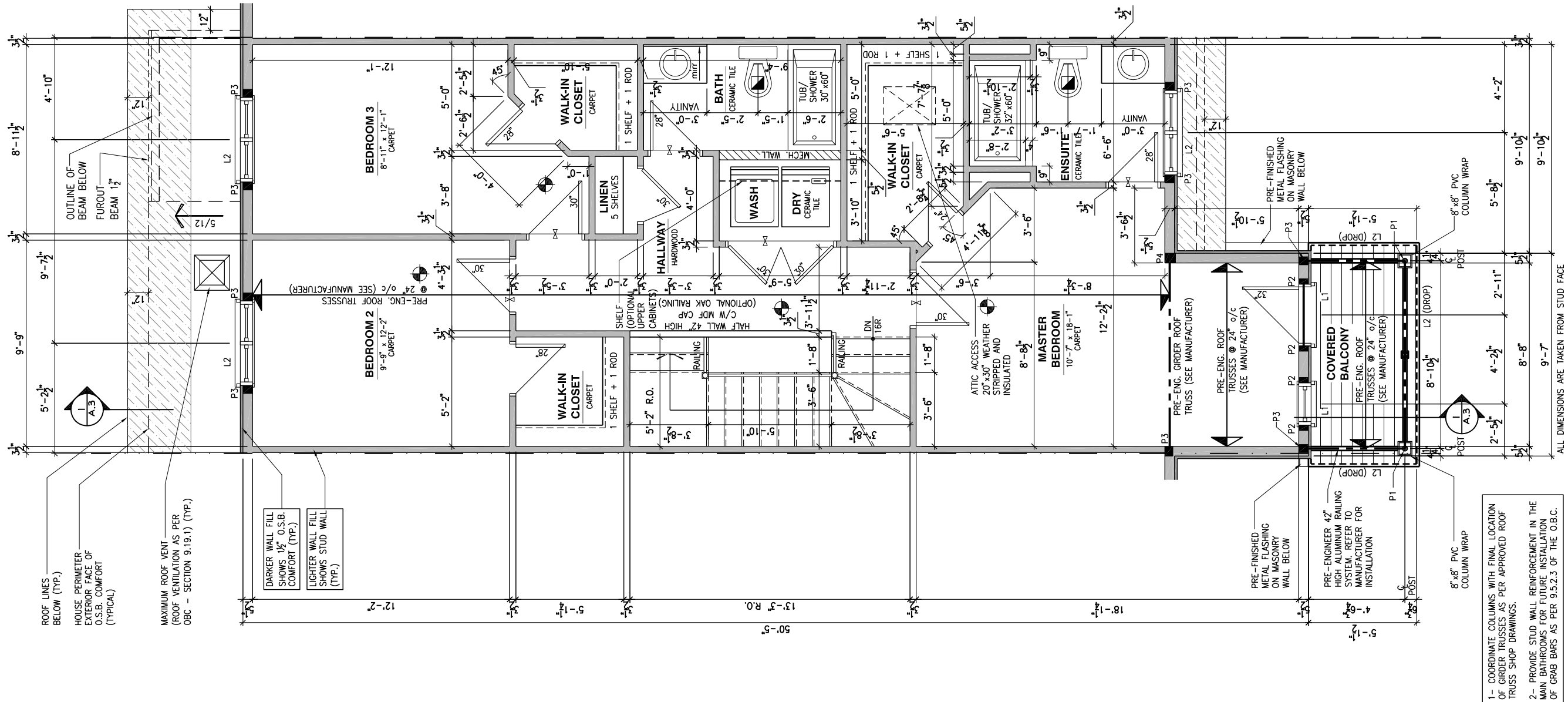
## SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



## SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)  
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

### SECOND FLOOR PLAN STANDARD ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

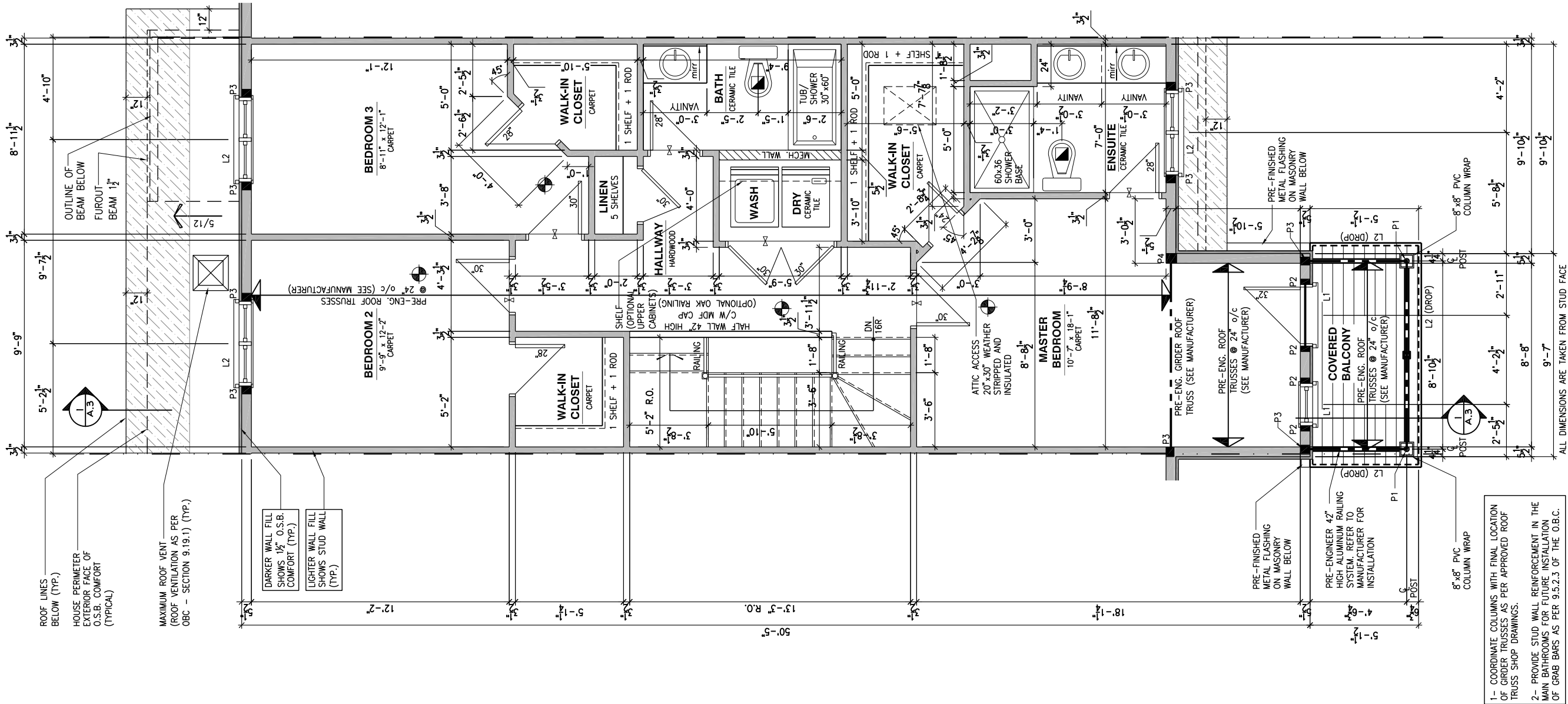
CONSTRUCTION SITES:  
SHEA VILLAGE

SHEET:

A.9d

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT**

SCALE: 3/16" = 1'-0"

**LOT: XXXX**  
**DATE: XX/XX/XXXX**



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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- S3 = L 100x90x8
- S4 = L 125x90x8
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- S6 = L 200x100x12
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LINTEL TABLE:

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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

**SECOND FLOOR PLAN  
OPT 4 PC ENSUITE - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

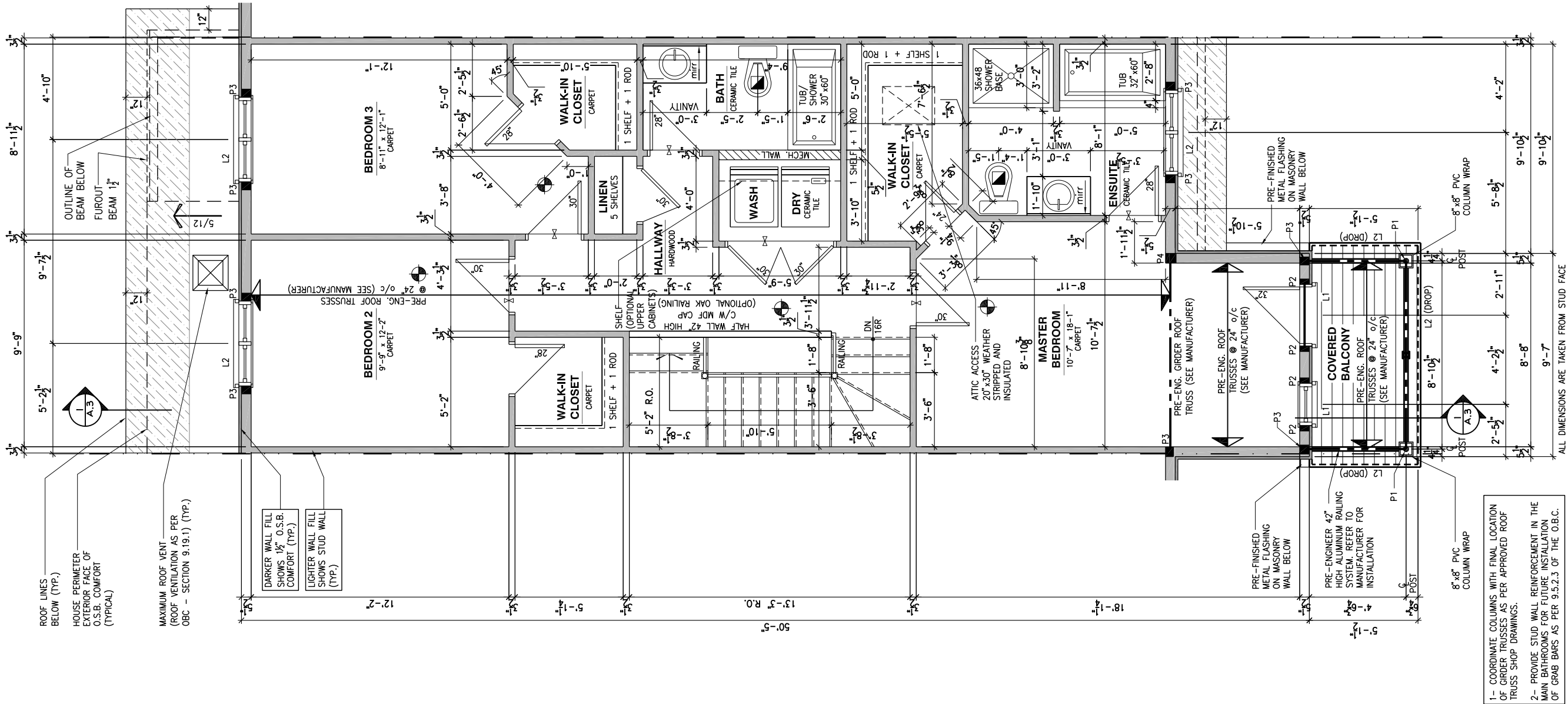
**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

**A.9e**



GENERAL NOTES:

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



## SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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NOTES:

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- S4 = L 125x90x8
- S5 = L 125x90x10
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LINTEL TABLE:

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### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

### DRAWING: SECOND FLOOR PLAN OPT 5 PC ENSUITE - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

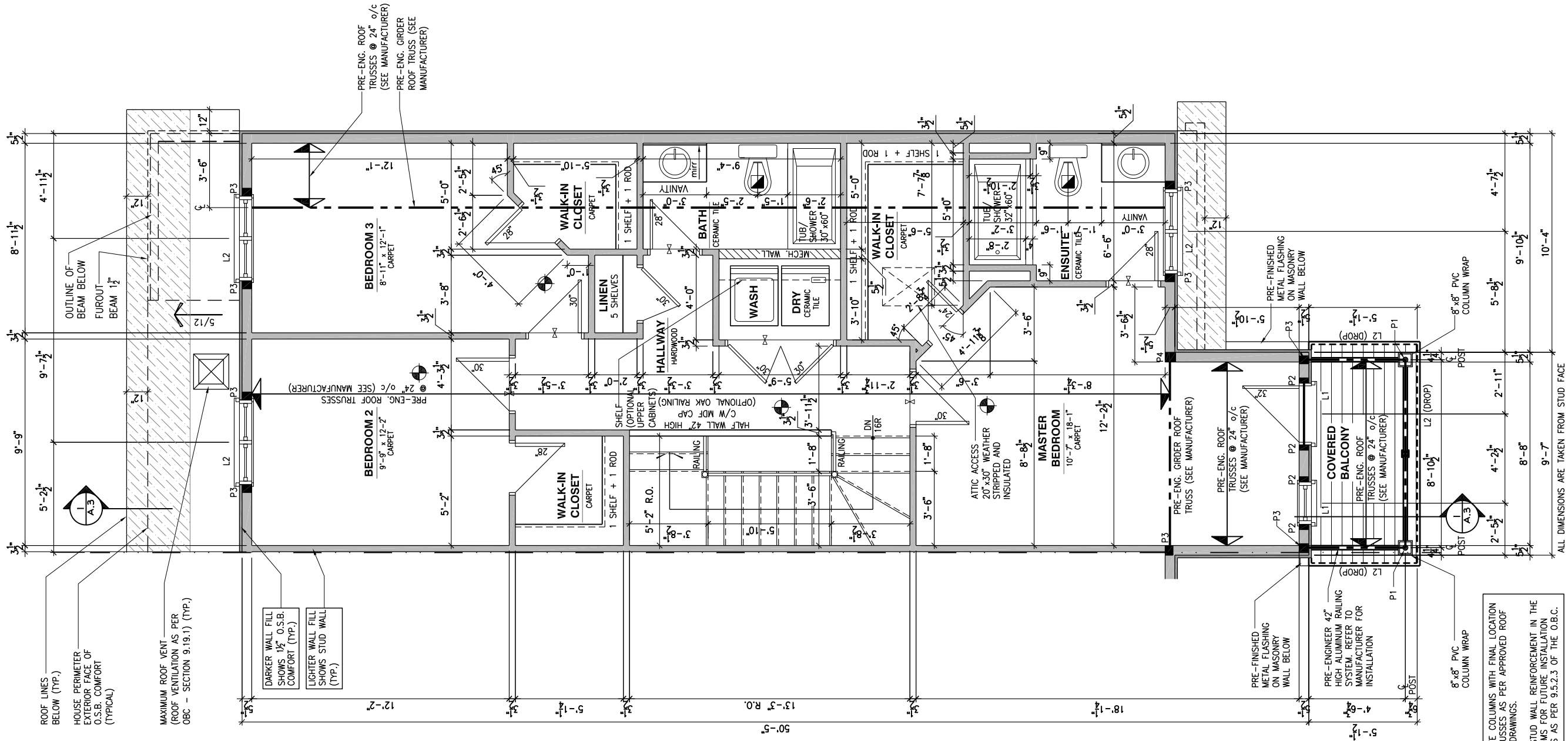
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.9f**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

GENERAL NOTES:

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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**

**STANDARD ENSUITE-GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

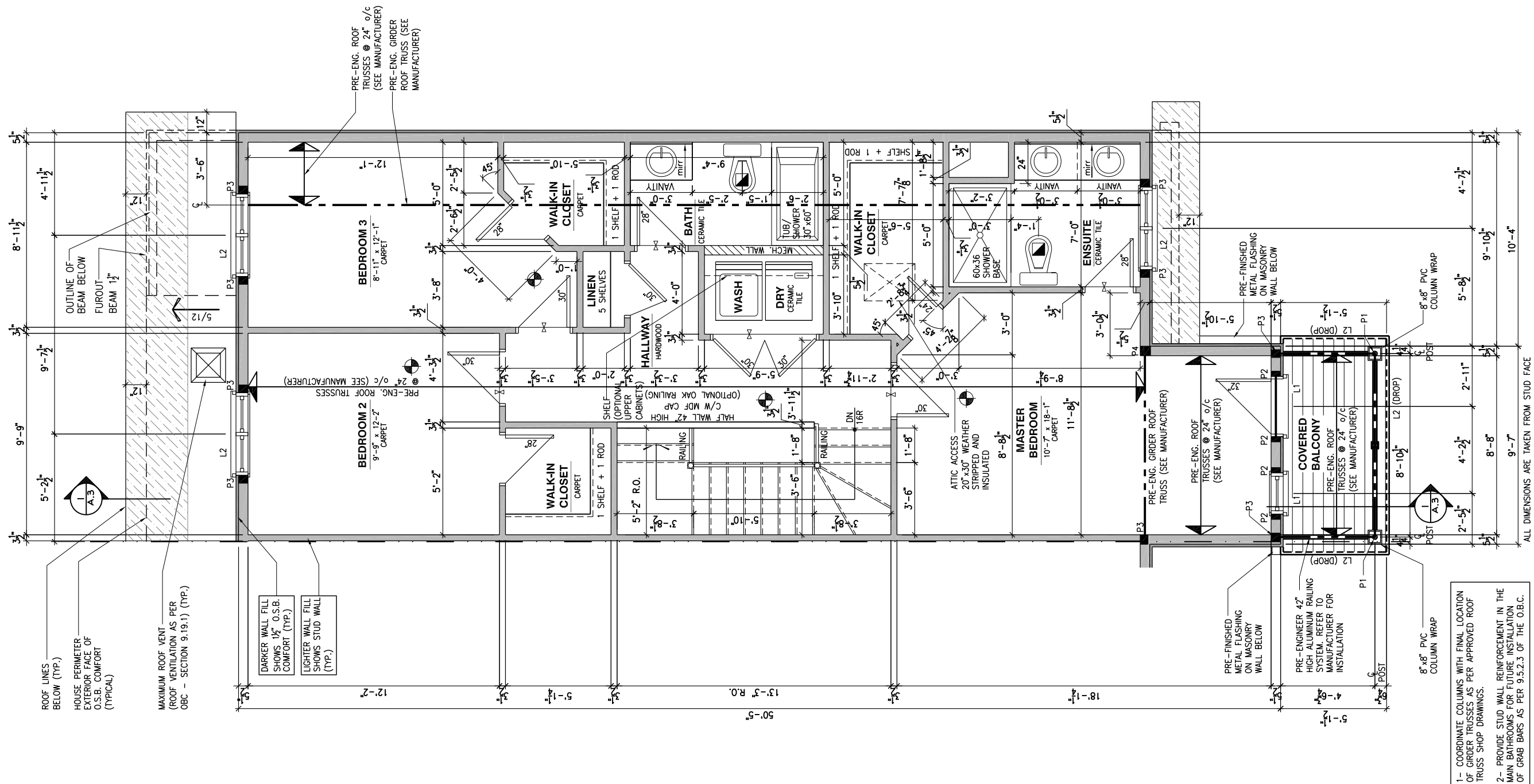
SHEET:

**A.9g**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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Valecraft  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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
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## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	By

DRAWING: **SECOND FLOOR PLAN**  
**OPT 4PC ENSUITE - GARAGE END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

# 130 - THE LEWIS 2022 FOOTPRINT

SHEET:

**A.9h**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

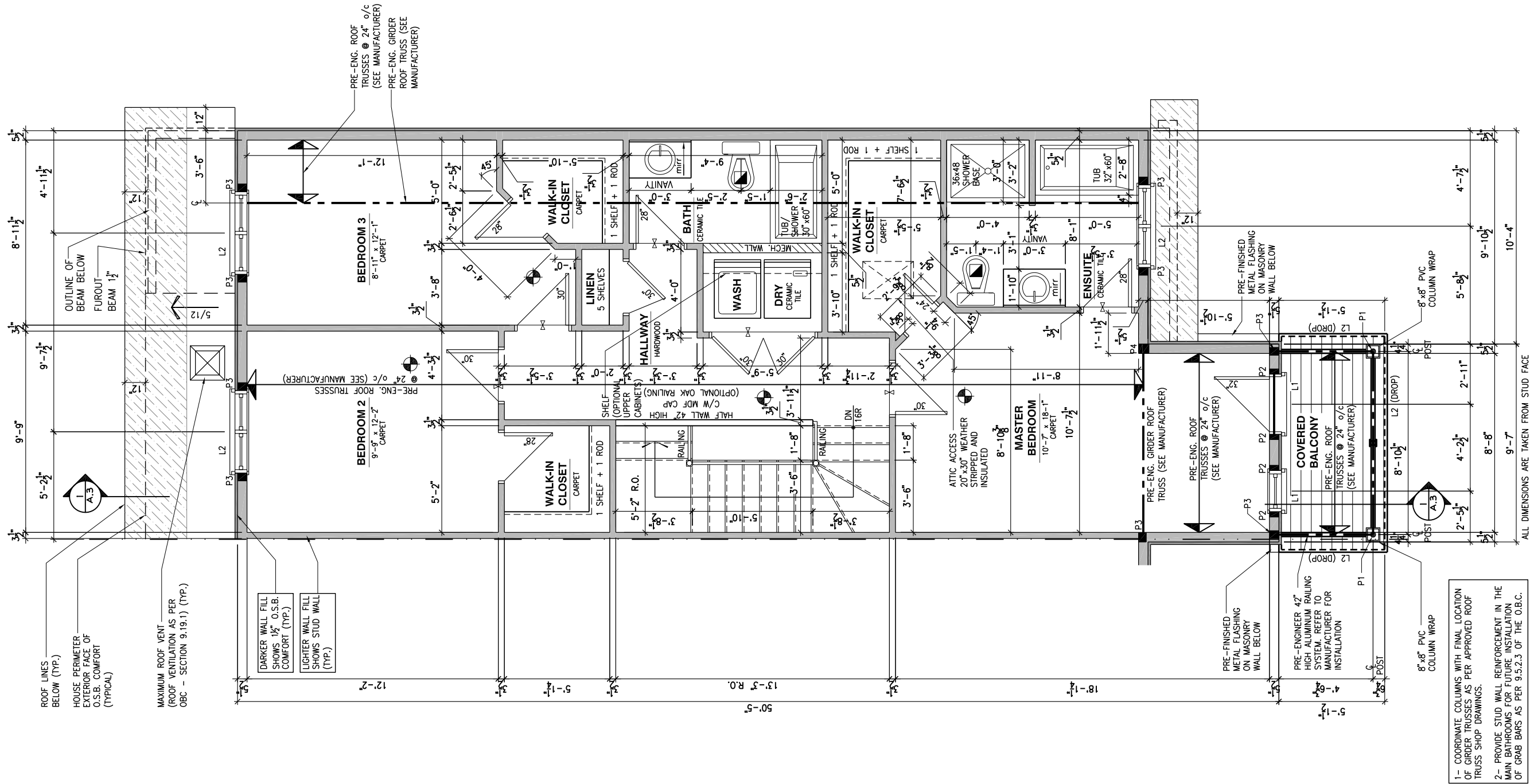
## SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE:  $3/16'' = 1'-0''$



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LOT: XXXX  
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- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- \* PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN  
OPT 5PC ENSUITE - GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

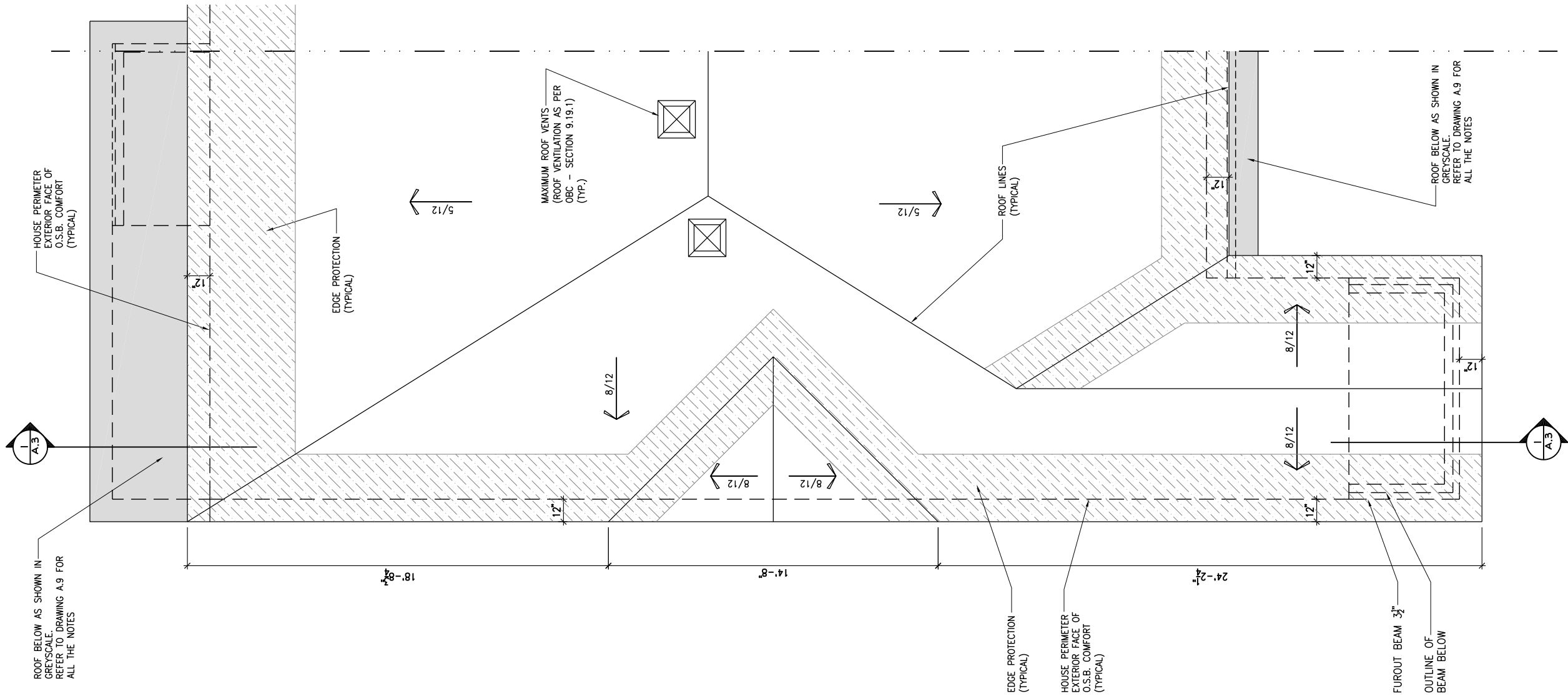
SHEET:  
A.9i

CONSTRUCTION SITES:  
SHEA VILLAGE

SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT  
SCALE: 3/16" = 1'-0"

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

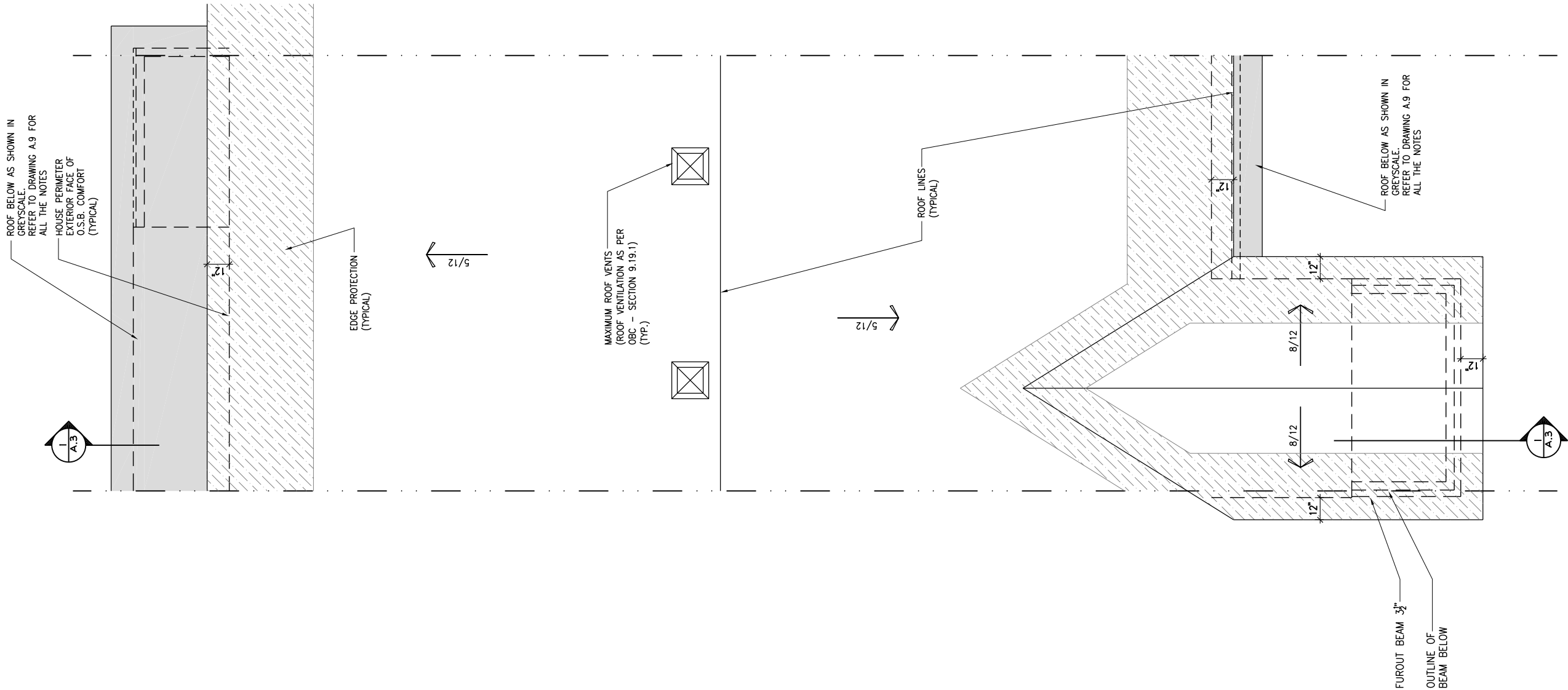

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE



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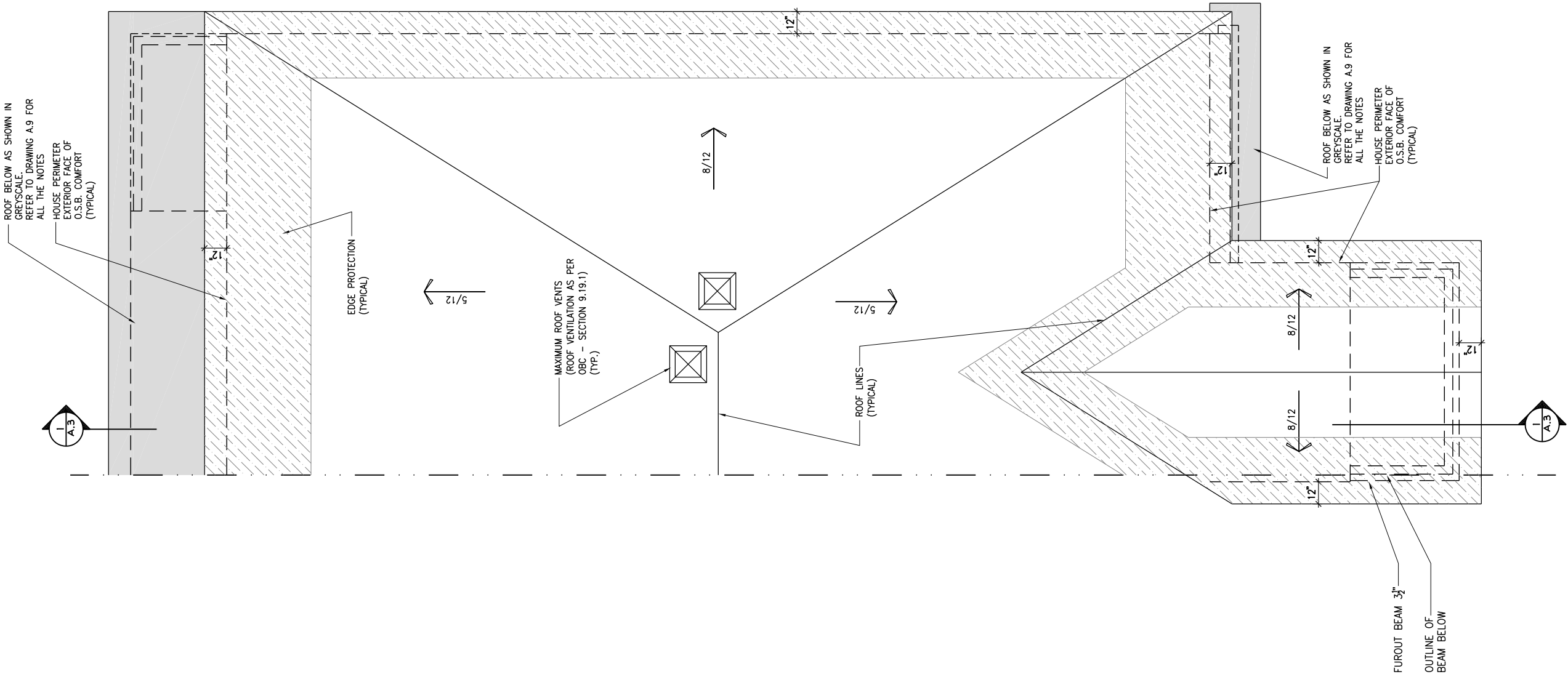
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2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING:			
ROOF PLAN - MID UNIT			
ADDRESS:		SCALE:	DATE:
XX		3/16" = 1'-0"	XX/XX/XXXX
130 - THE LEWIS			SHEET:
2022 FOOTPRINT			
(STANDARD DRAWINGS)			A.10b

ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:  
**ROOF PLAN - GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

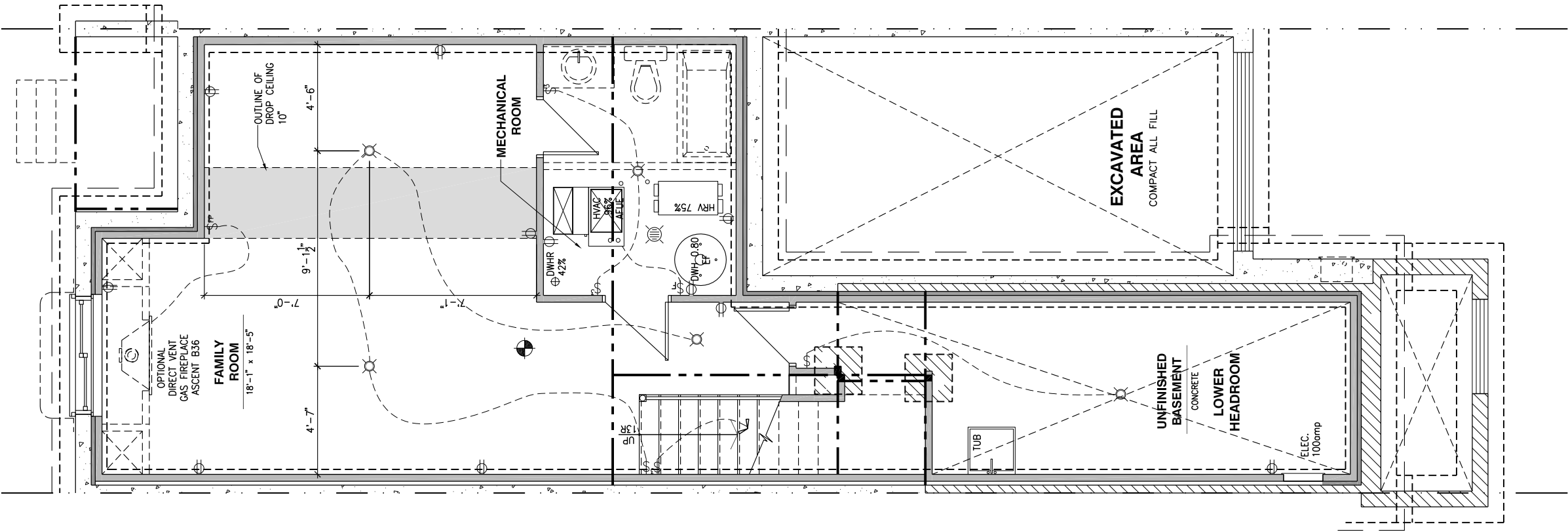
CONSTRUCTION SITES:  
**SHEA VILLAGE**

SHEET:

**A.10c**

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚GFI GROUND FAULT INTERVOLT
- ⌚WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN  
BASEMENT


ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.1a

CONSTRUCTION SITES:  
SHEA VILLAGE





Valecraft

Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- DU

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- S

SPLIT OUTLET
- 220

220 VOLT OUTLET
- W

WALL MOUNTED LIGHT FIXTURE
- C

CEILING MOUNTED LIGHT FIXTURE
- P

POT LIGHT
- S

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ME

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

ELECTRICAL PLAN

BASEMENT - WALKOUT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

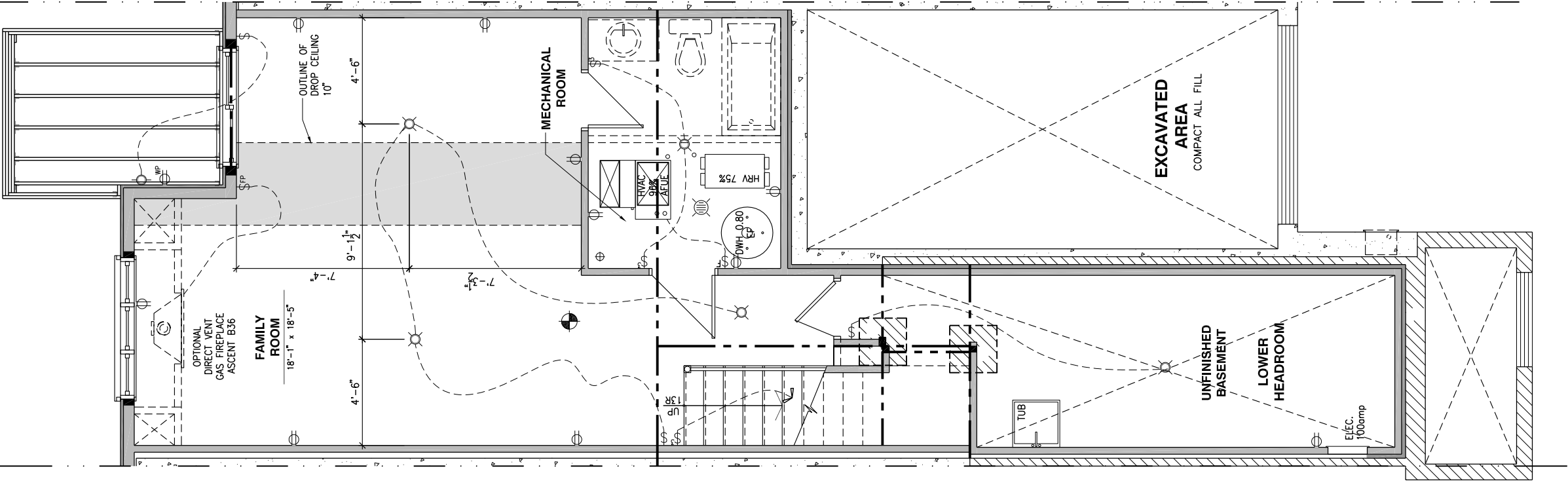
130 - THE LEWIS

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E.1b



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- \$

SINGLE POLE SWITCH

3

3 WAY SWITCH

4

4 WAY SWITCH

F

FURNACE SWITCH

FP

FIREPLACE SWITCH

DU

DUPLEX OUTLET (12" HIGH)

DUH

DUPLEX OUTLET (UPPER HALF SWITCH)

GFI

GROUND FAULT INTERVOLT

WP

WEATHER PROOF DUPLEX OUTLET

SP

SPLIT OUTLET

220

220 VOLT OUTLET

WM

WALL MOUNTED LIGHT FIXTURE

CM

CEILING MOUNTED LIGHT FIXTURE

POT

POT LIGHT

SA

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

ME

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

ELECTRICAL PLAN

GROUND FLOOR

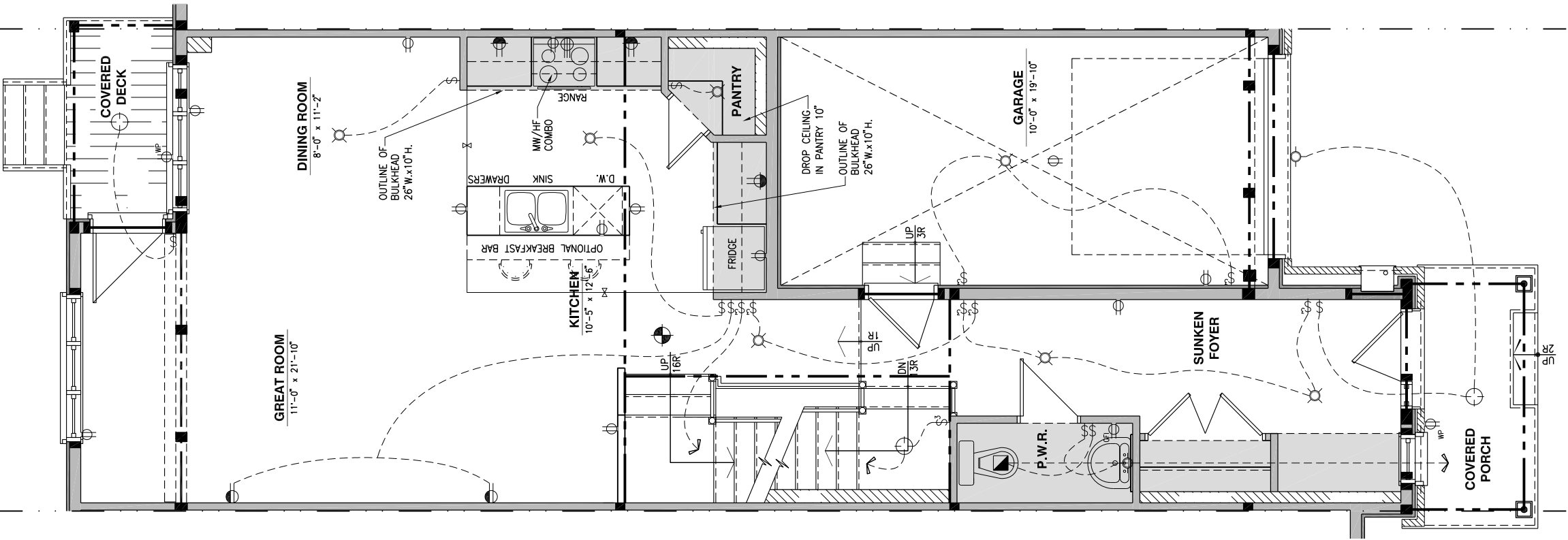
ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2a

CONSTRUCTION SITES:  
SHEA VILLAGE





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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
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- MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	MM/DD/YYYY	BY

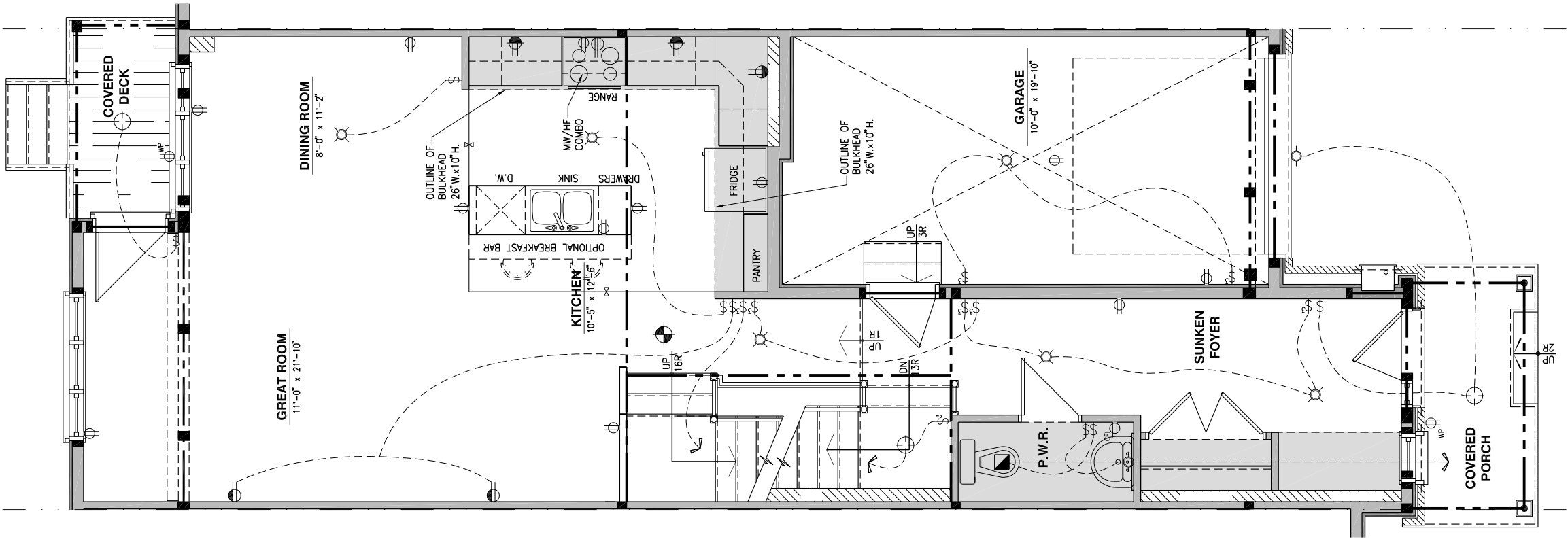
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

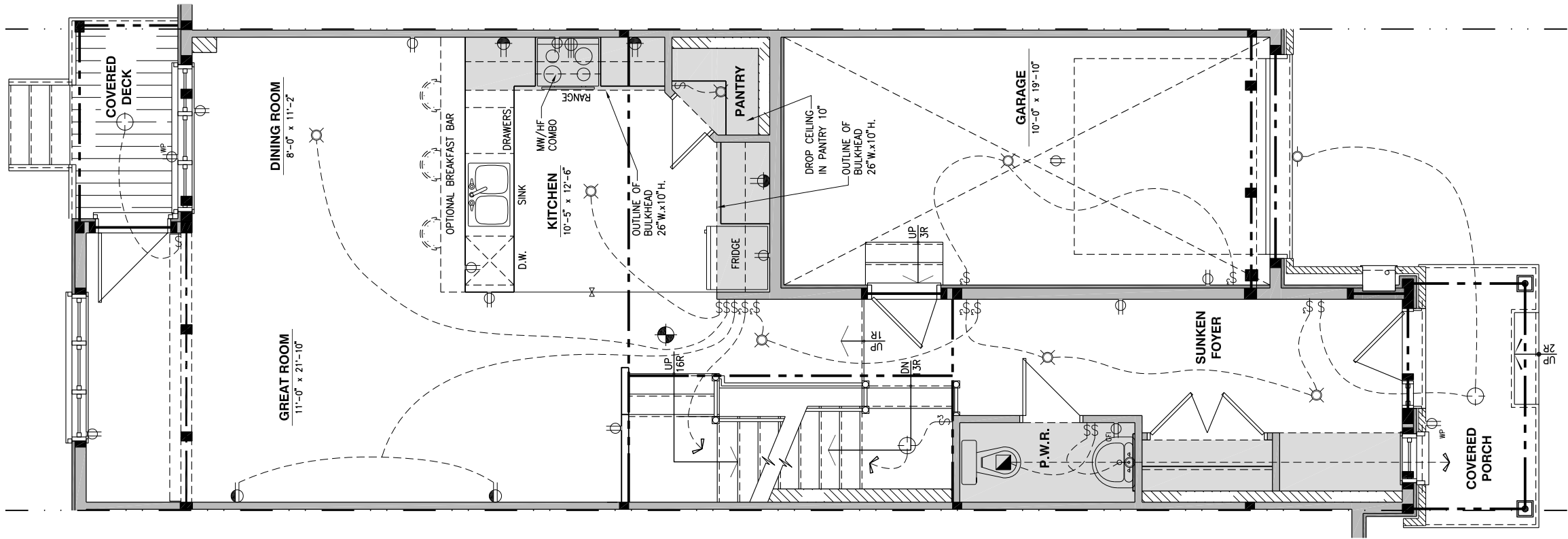
SHEET:  
E.2b

CONSTRUCTION SITES:  
SHEA VILLAGE



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
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- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
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DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2c

CONSTRUCTION SITES:  
SHEA VILLAGE



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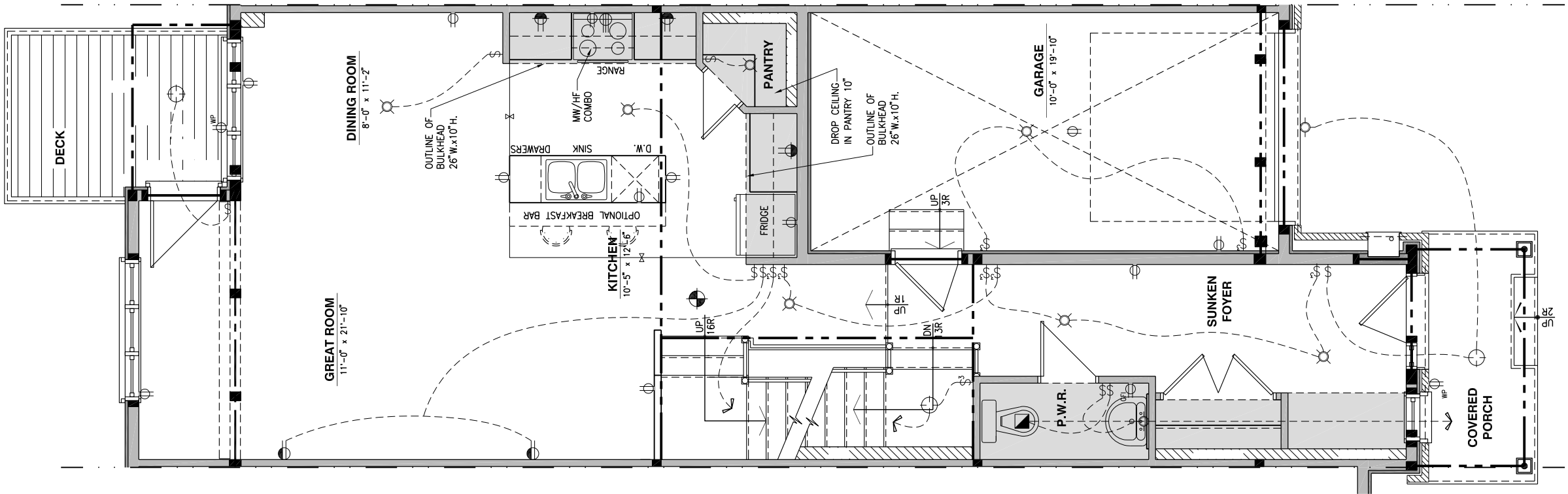
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- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚ FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GFI GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ⌚ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

#### ELECTRICAL PLAN GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2d

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- ⚡ SINGLE POLE SWITCH
- ⚡ 3 WAY SWITCH
- ⚡ 4 WAY SWITCH
- ⚡ FURNACE SWITCH
- ⚡ FP FIREPLACE SWITCH
- ⚡ DUPLEX OUTLET (12" HIGH)
- ⚡ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⚡ GFI GROUND FAULT INTERVOLT
- ⚡ WP WEATHER PROOF DUPLEX OUTLET
- ⚡ SPLIT OUTLET
- ⚡ 220 VOLT OUTLET
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ⚡ CEILING MOUNTED LIGHT FIXTURE
- ⚡ POT LIGHT
- ⚡ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ⬜ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

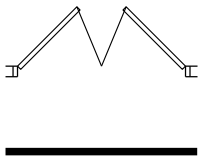
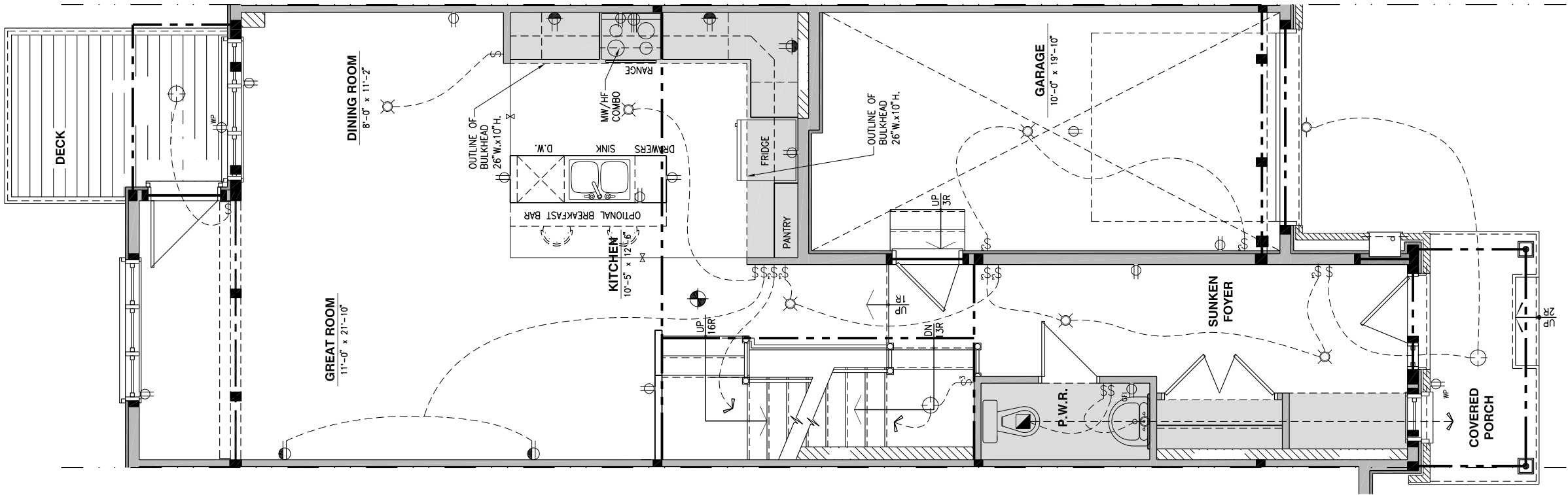

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2e



LOT: XXXX  
DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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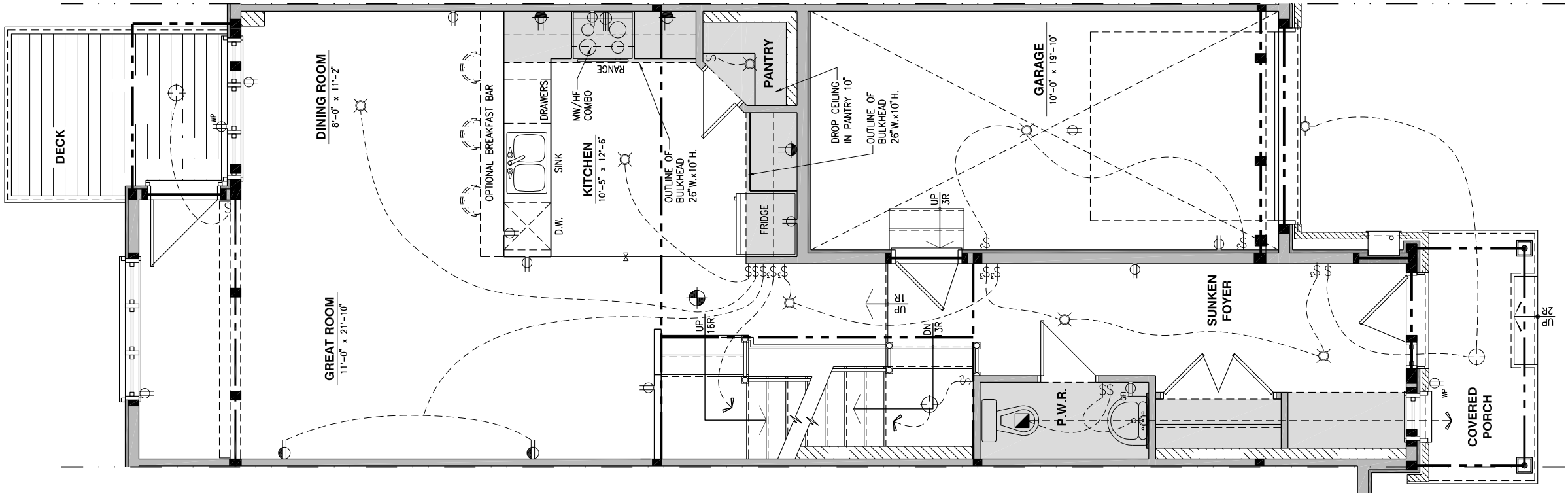
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- \$ SINGLE POLE SWITCH
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- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
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#### 2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON		

#### ELECTRICAL PLAN GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.2f**


1  
E.2f

### ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

LOT: XXXX  
DATE: XX/XX/XXXX



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Homes (2019) Limited

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

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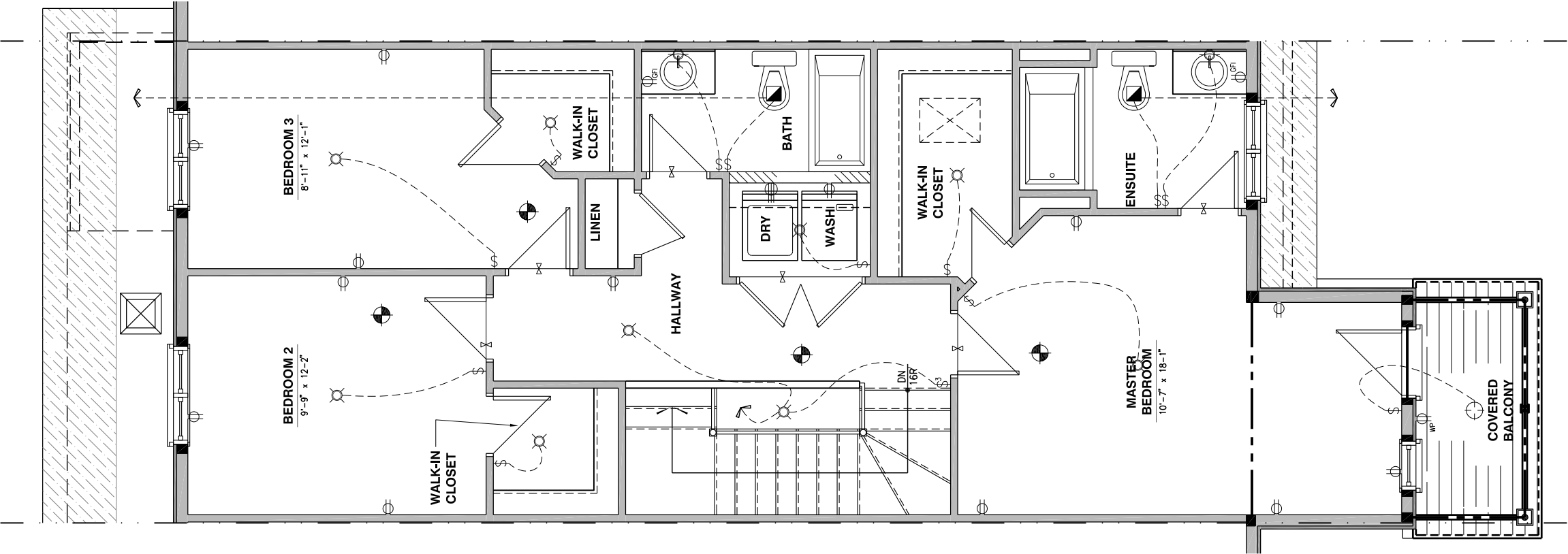
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR

ADDRESS: XX      SCALE: 3/16" = 1'-0"      DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E.3a



1  
E.3a

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	MM/DD/YYYY	BY

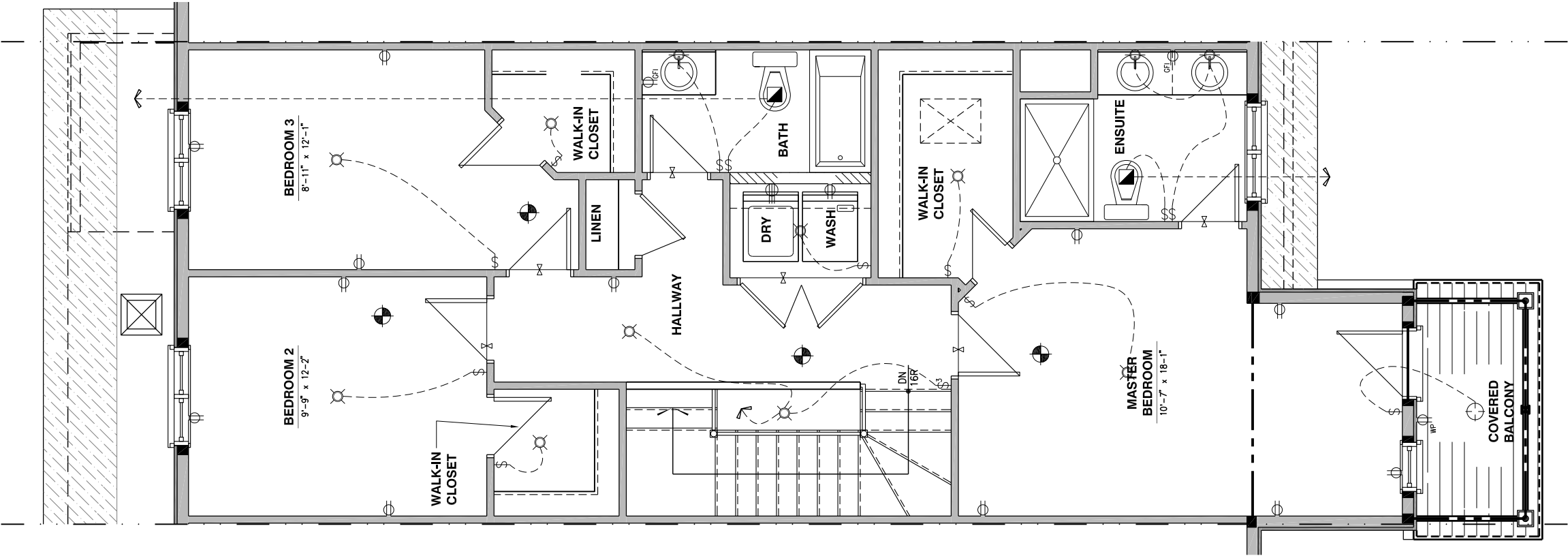
DRAWING: ELECTRICAL PLAN  
SECOND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX


130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3b**

CONSTRUCTION SITES:  
SHEA VILLAGE



LOT: XXXX  
DATE: XX/XX/XXXX



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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR

ADDRESS: XX      SCALE: 3/16" = 1'-0"      DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3c**

