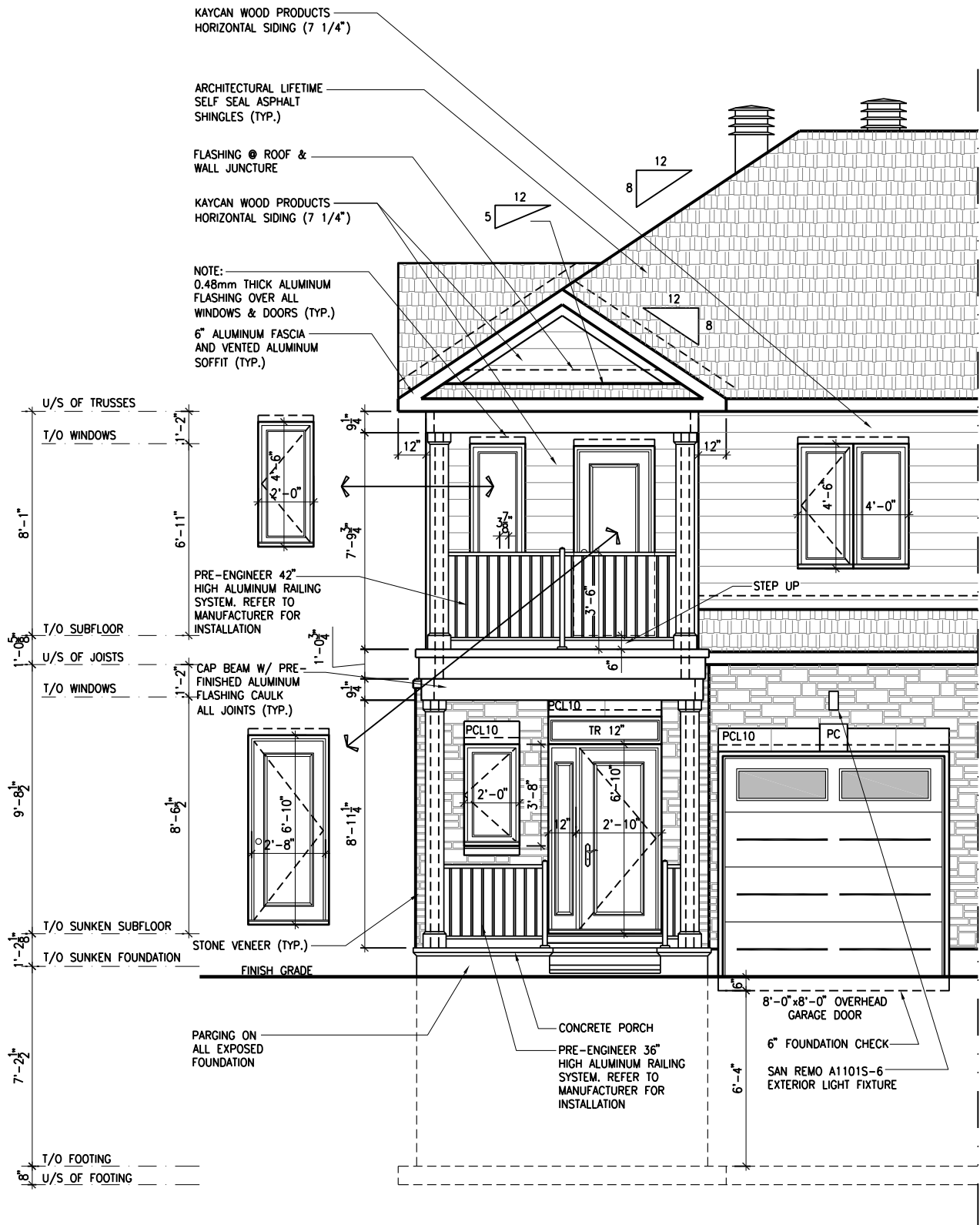
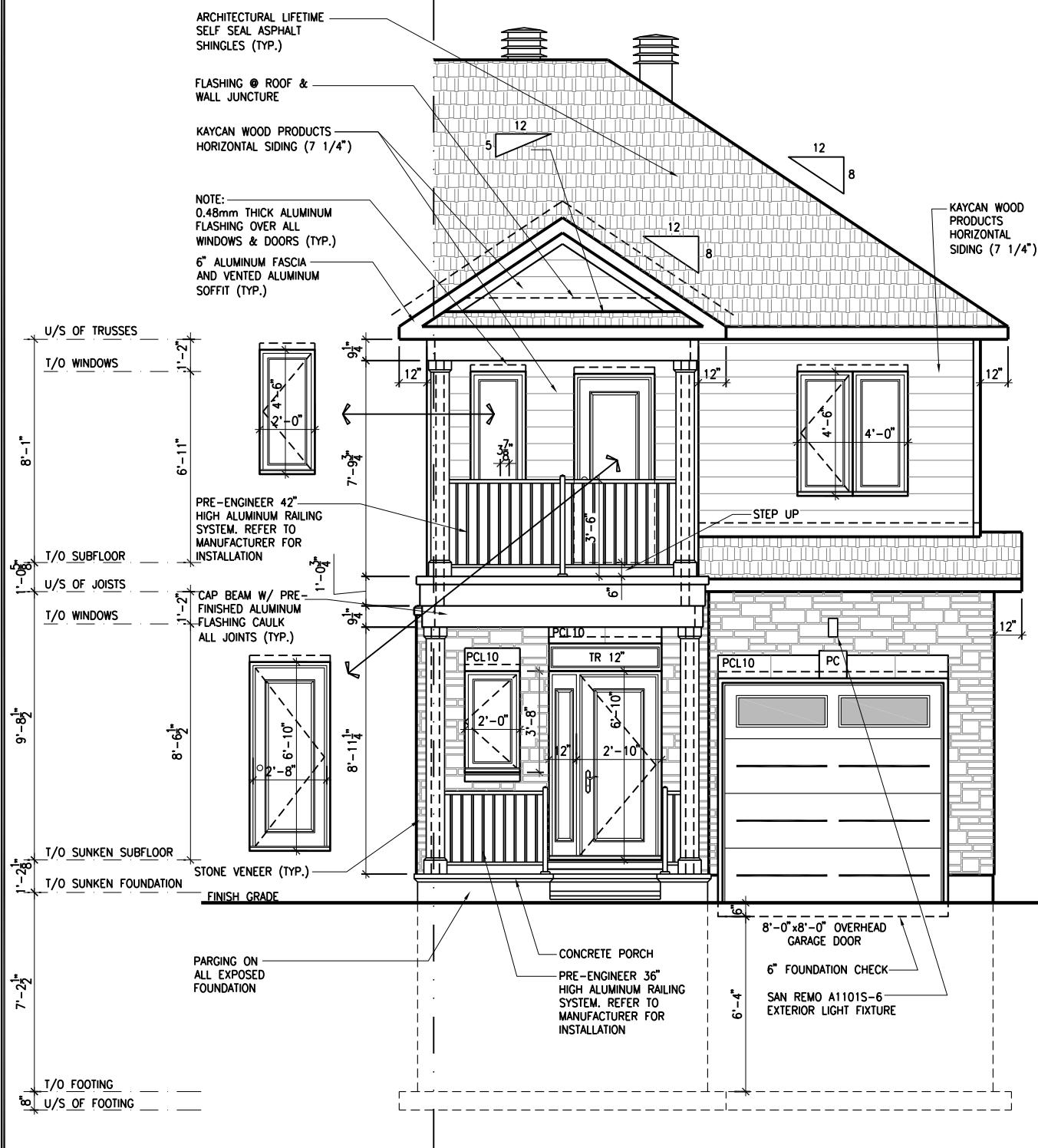




1 FRONT ELEVATION - PORCH END UNIT  
A.1a SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION - GARAGE END UNIT  
A.1a SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
  - TARIION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

## 2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |
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|       |                                |            |       |

DRAWING: FRONT ELEVATION - END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.1a

CONSTRUCTION SITES:  
SHEA VILLAGE



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- PERSONAL BCIN #19896
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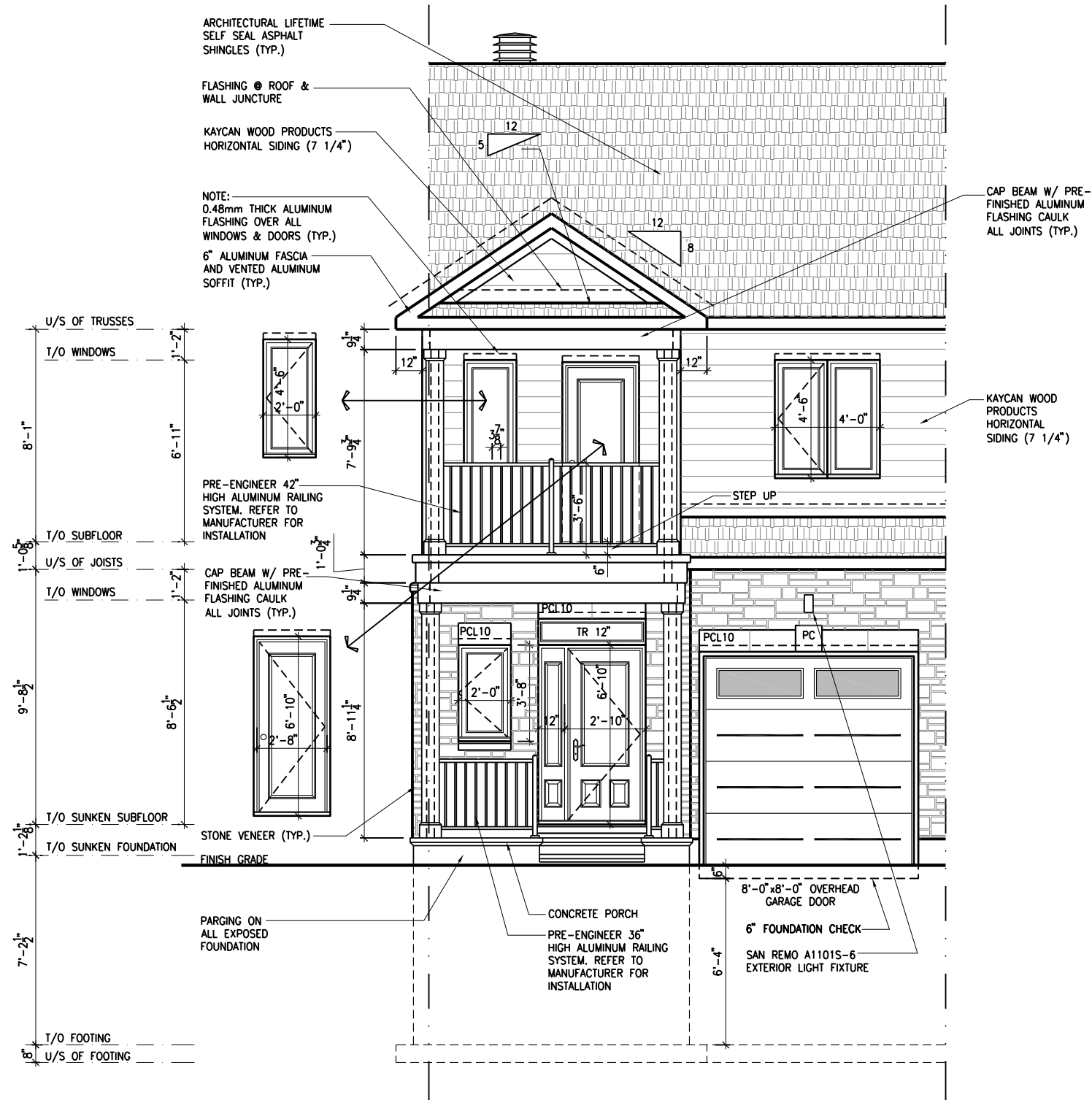
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

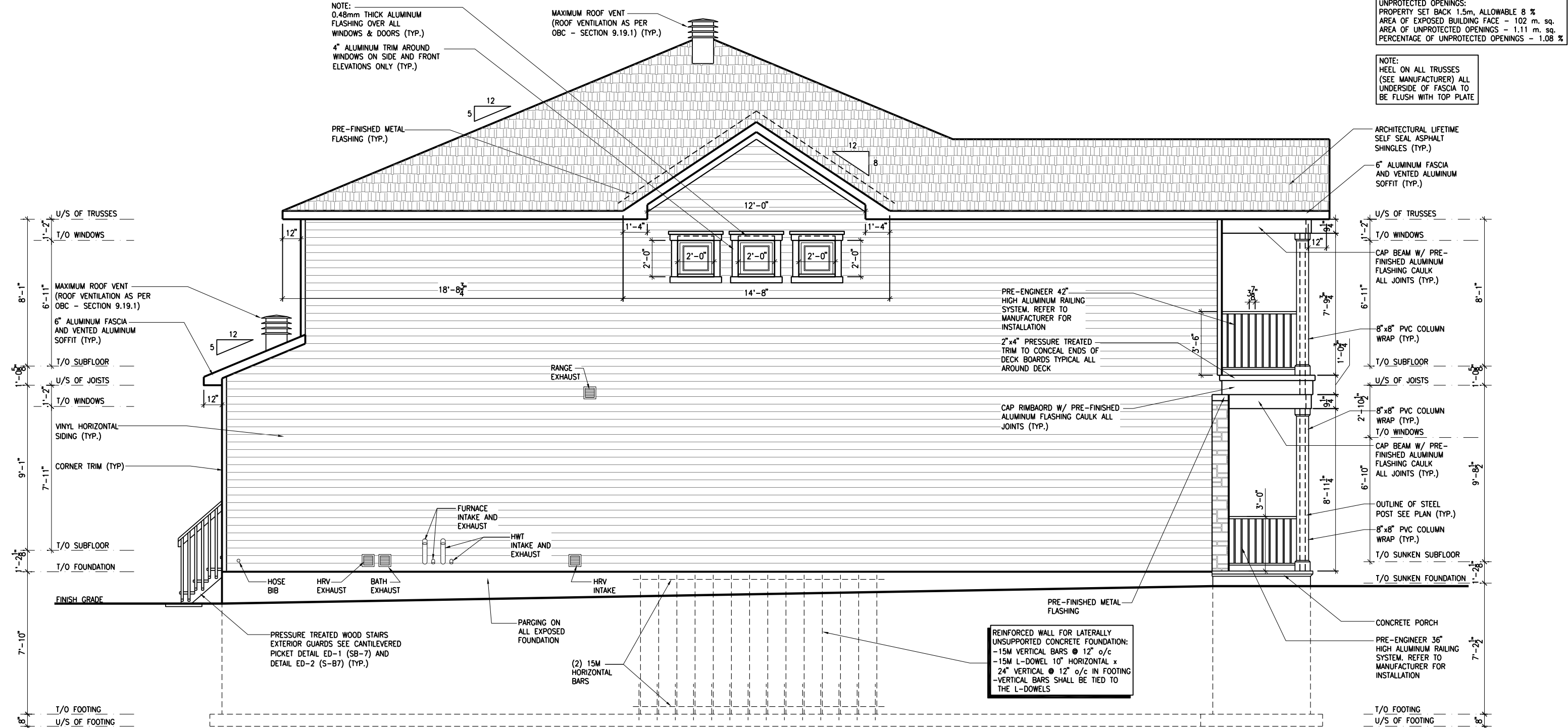


2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION                    | DATE       | BY    |
|-------|-----|--------------------------------|------------|-------|
| 1     | 1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |

DRAWING: FRONT ELEVATION - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



1  
A.2a

**LEFT ELEVATION - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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|                                                                                                                                                            |                                |            |       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|------------|-------|
| I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896                                                                                                                                     |                                |            |       |
| - TARIION REGISTRATION NUMBER #611                                                                                                                         |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                     |                                |            |       |
|                                                                                                                                                            |                                |            |       |
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| REV-1                                                                                                                                                      | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.                                                                                                                                                        | DESCRIPTION                    | MM/DD/YYYY | BY    |

**2012 O.B.C. DRAWINGS**

DRAWING: **LEFT ELEVATION PORCH END UNIT**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
**SHEA VILLAGE**

SHEET:  
**A.2a**



Valecraft  
Homes (2019) Limited

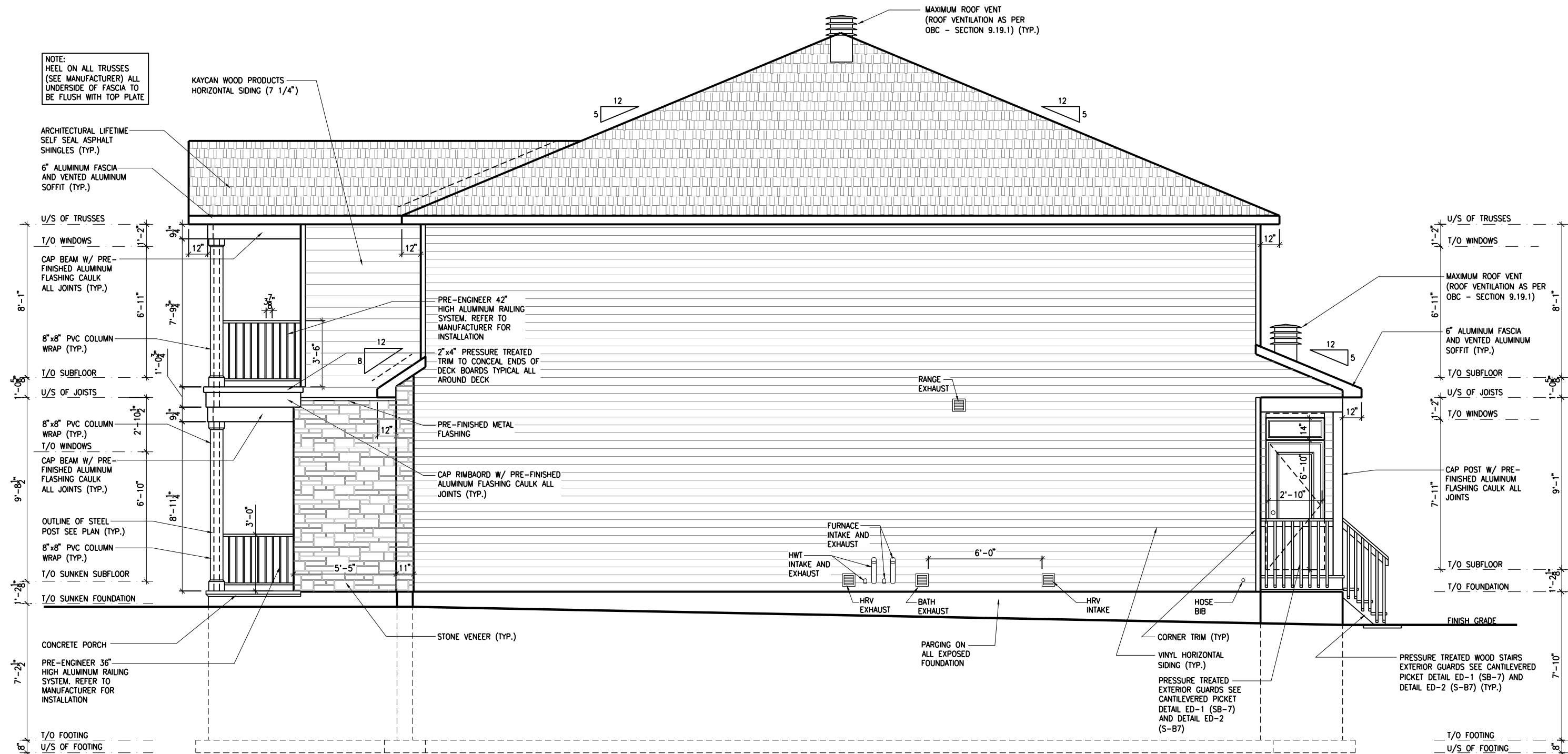
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

| REV- | DESCRIPTION                    | DATE       | BY    |
|------|--------------------------------|------------|-------|
| 1    | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | MM/DD/YYYY | BY    |

|                                 |               |             |
|---------------------------------|---------------|-------------|
| <b>2012 O.B.C. DRAWINGS</b>     |               |             |
| <b>LEFT ELEVATION</b>           |               |             |
| <b>PORCH END UNIT - WALKOUT</b> |               |             |
| ADDRESS:                        | SCALE:        | DATE:       |
| XX                              | 3/16" = 1'-0" | XX/XX/XXXX  |
| <b>130 - THE LEWIS</b>          |               | SHEET:      |
| <b>2022 FOOTPRINT</b>           |               | <b>A.2b</b> |
| (STANDARD DRAWINGS)             |               |             |



**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**

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CONSTRUCTION SITES:  
**SHEA VILLAGE**





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- TARIION REGISTRATION NUMBER #611

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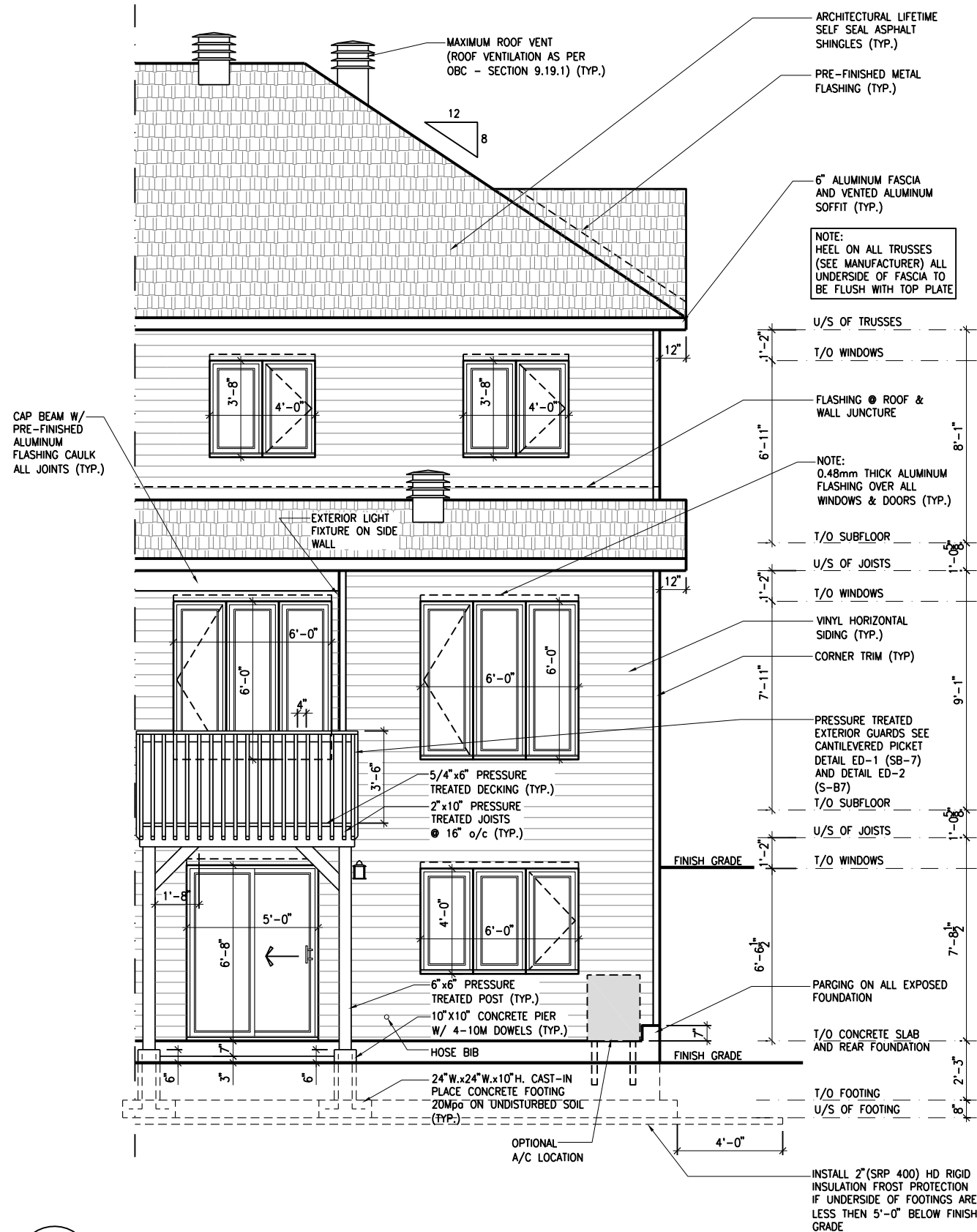
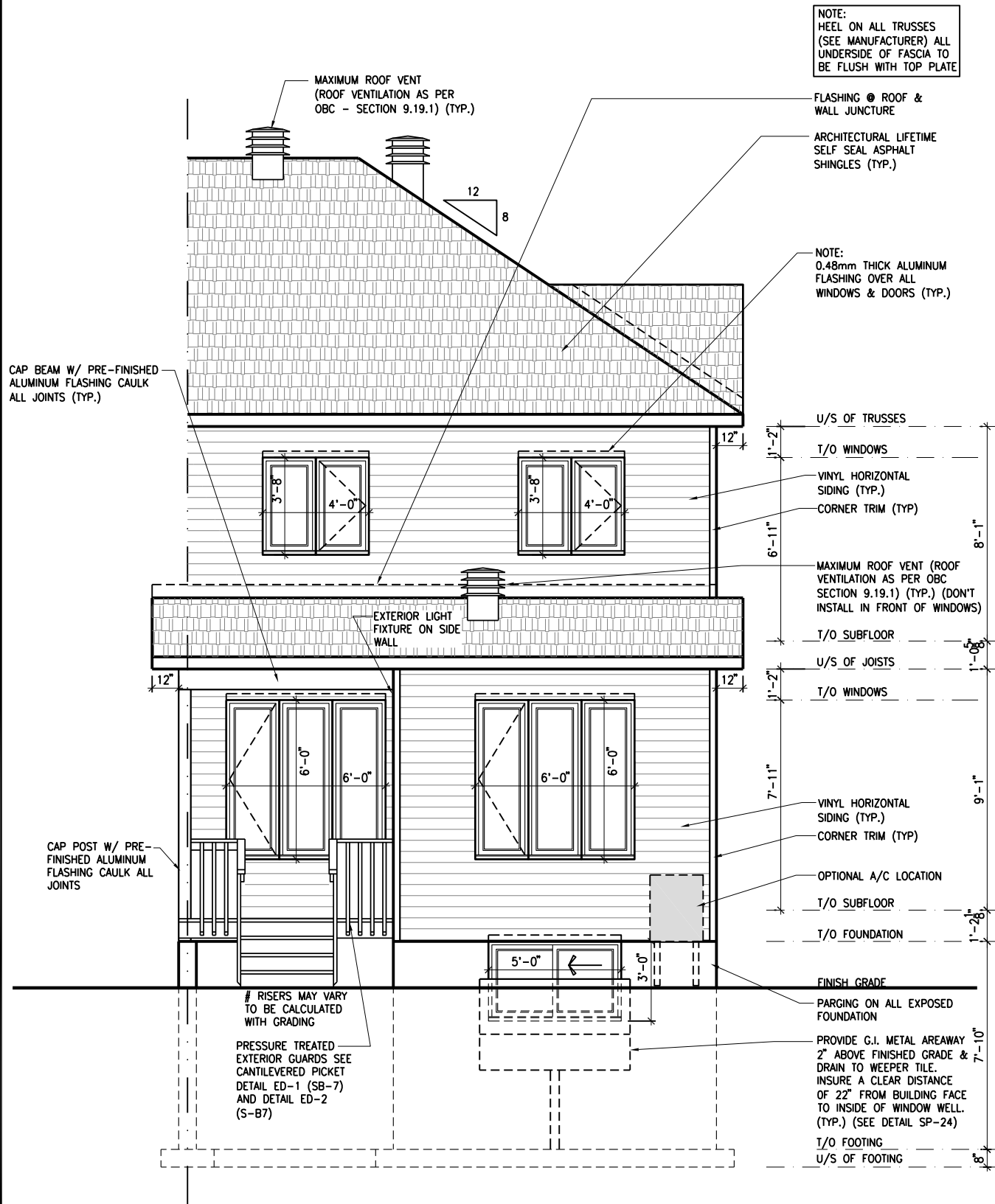
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL



1 REAR ELEVATION - PORCH END UNIT  
A.2e SCALE: 3/16" = 1'-0"

2 REAR ELEVATION - PORCH END UNIT - WALKOUT  
A.2e SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

### 2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

### REAR ELEVATION PORCH END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.2e



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PCL10 - 10" PRECAST LINTEL

## 2012 O.B.C. DRAWINGS

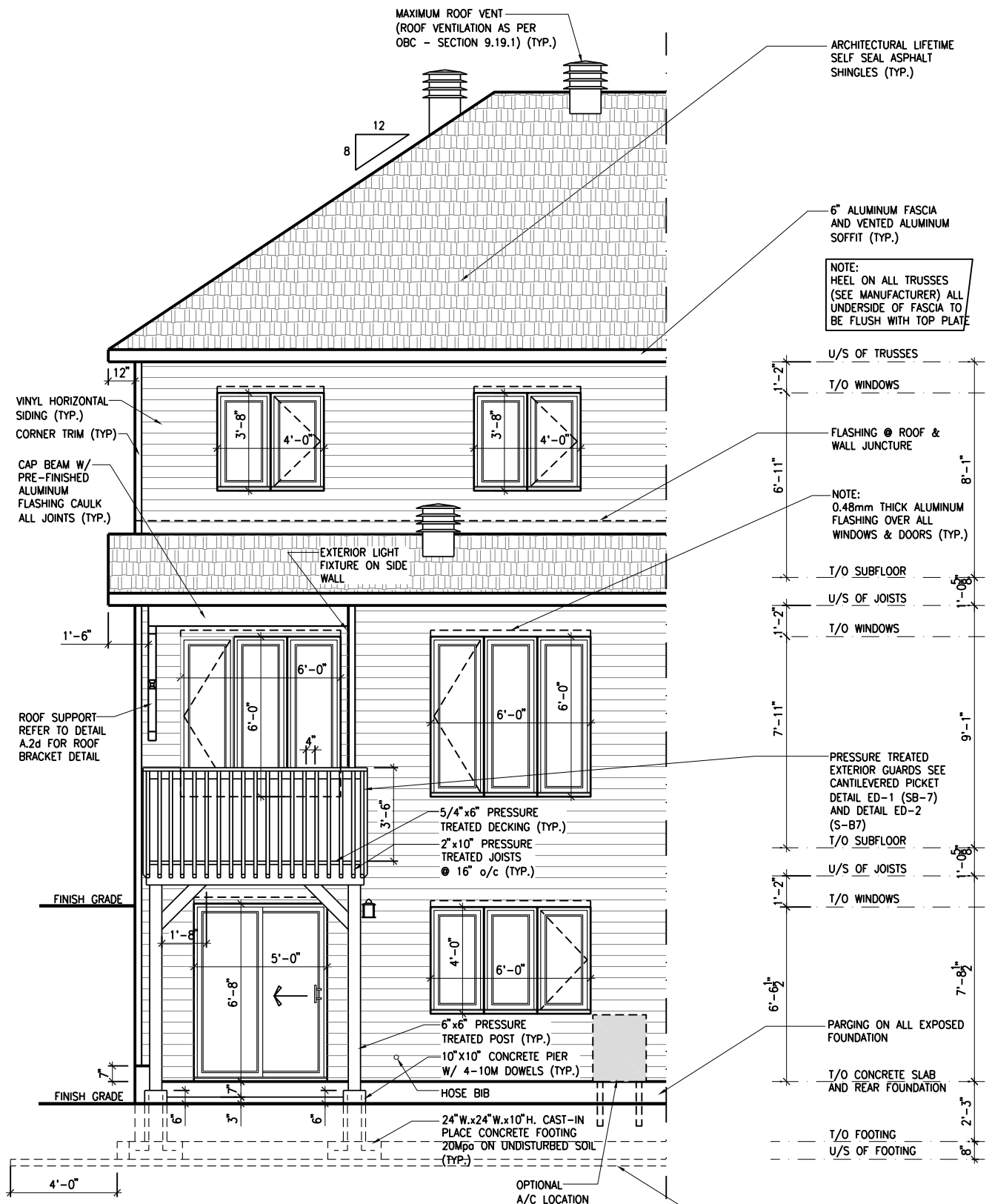
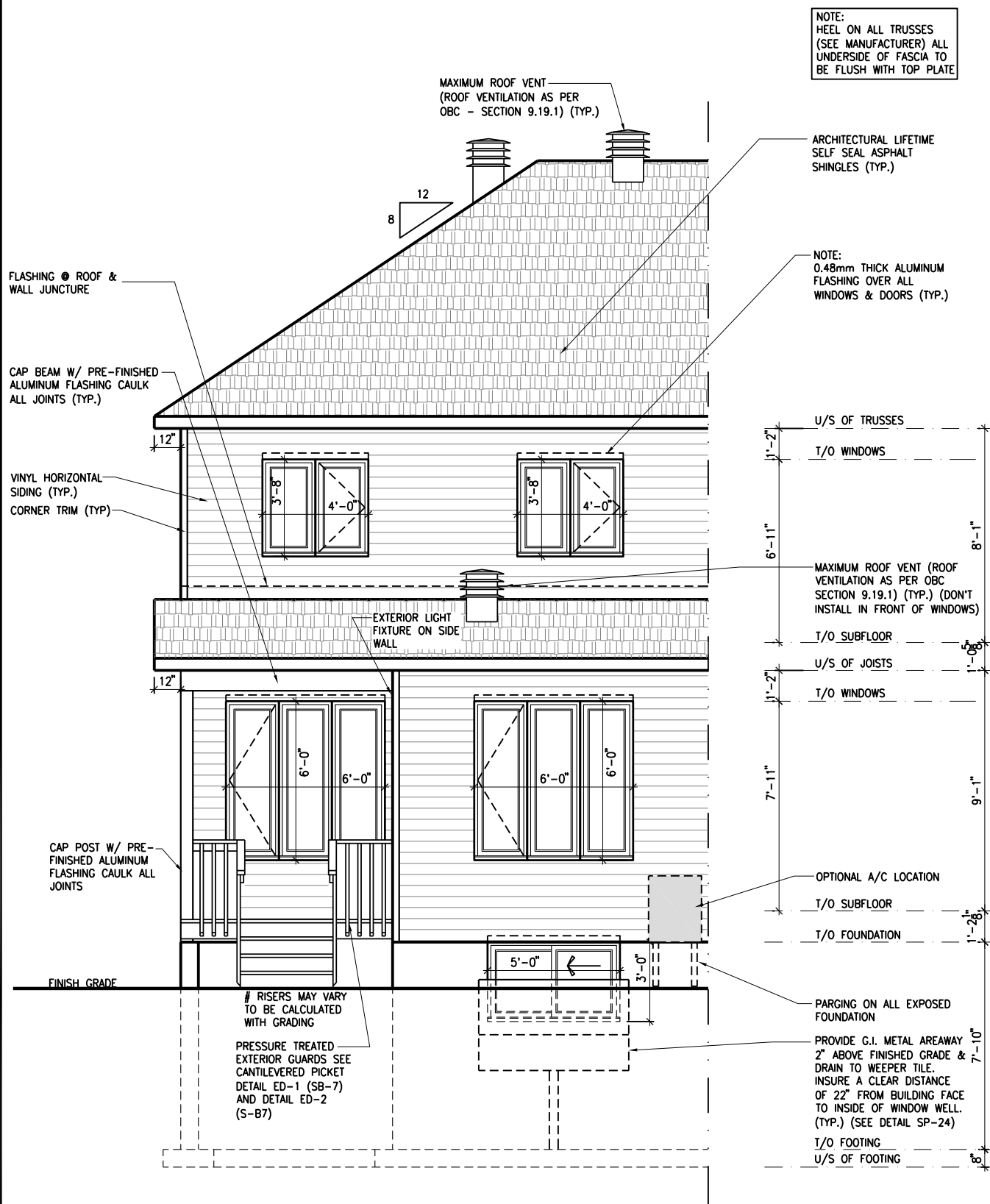
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON  
NO. DESCRIPTION MM/DD/YYYY BY

## REAR ELEVATION GARAGE END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.2f**

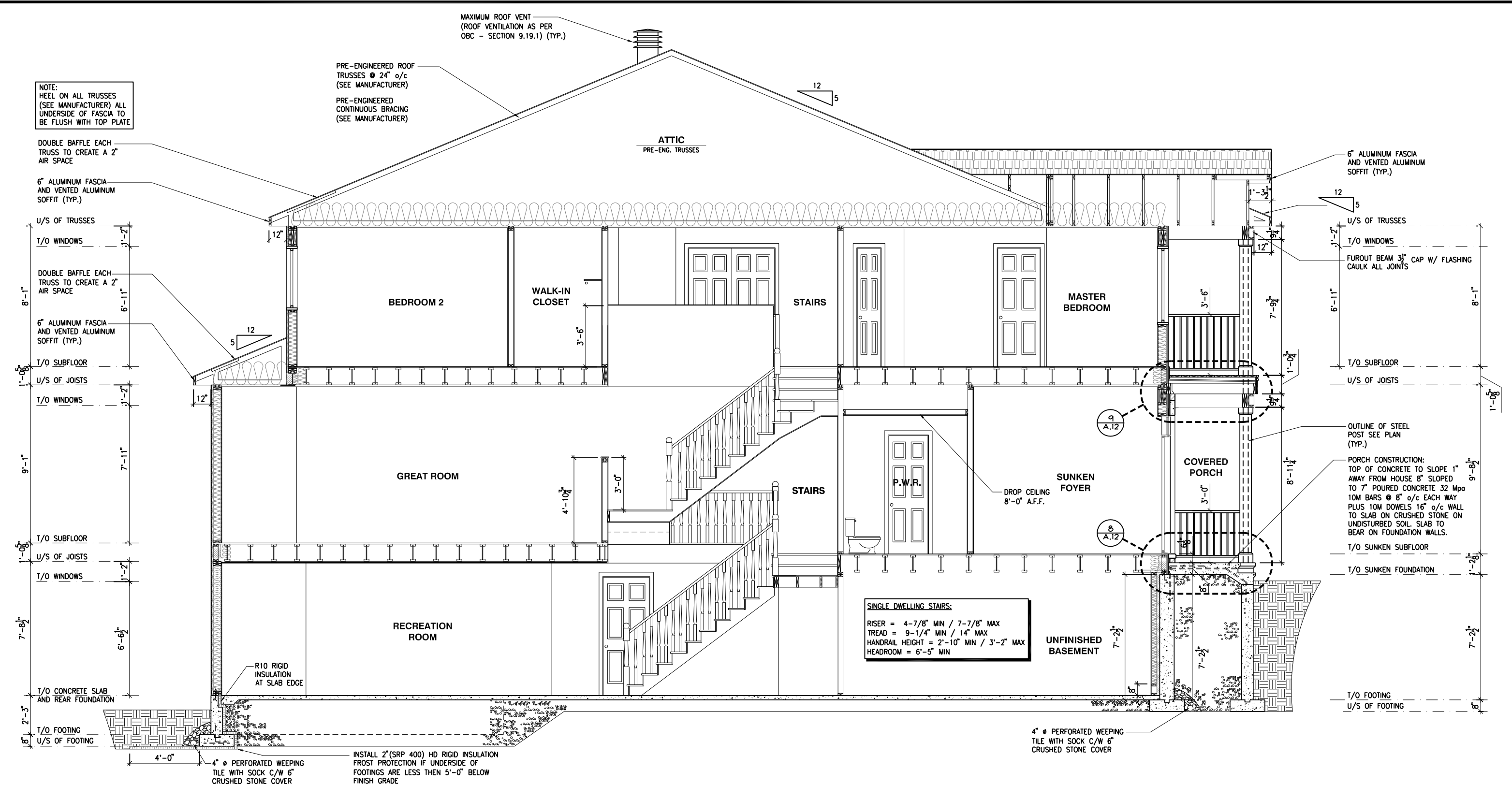


**2 REAR ELEVATION - GARAGE END UNIT - WALKOUT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**







**1**  
**A.3b** **BUILDING SECTION - WALKOUT**  
SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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|                                                                                                                                                            |                                |            |       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|------------|-------|
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| - PERSONAL BCIN #19896                                                                                                                                     |                                |            |       |
| - TARIION REGISTRATION NUMBER #611                                                                                                                         |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                     |                                |            |       |
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| REV-1                                                                                                                                                      | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.                                                                                                                                                        | DESCRIPTION                    | MM/DD/YYYY | BY    |

**2012 O.B.C. DRAWINGS**

DRAWING: **BUILDING SECTION WALKOUT**

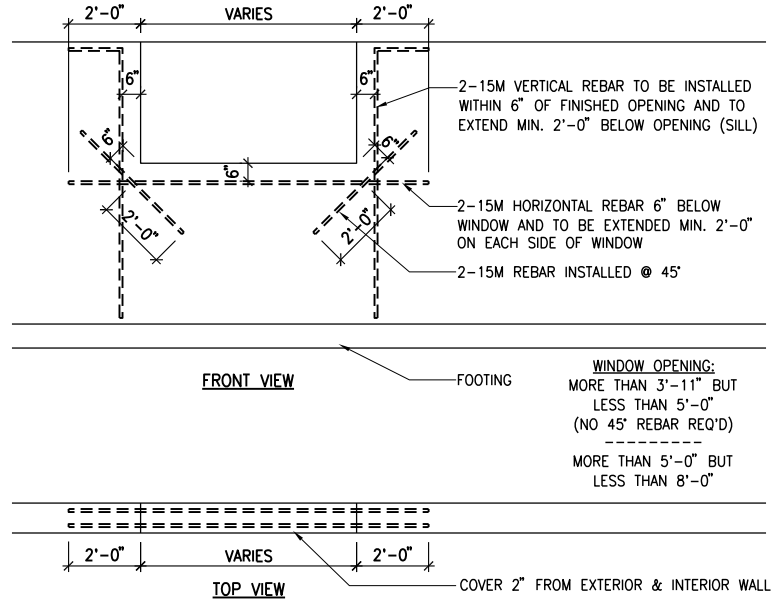
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
**SHEA VILLAGE**

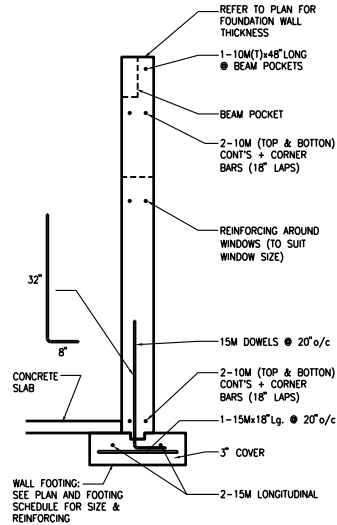
SHEET:  
**A.3b**

| PAD FOOTING SCHEDULE                                                           |                                                                     |                                                                     |                                                                     |                                                                     |                                                                     |
|--------------------------------------------------------------------------------|---------------------------------------------------------------------|---------------------------------------------------------------------|---------------------------------------------------------------------|---------------------------------------------------------------------|---------------------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                                     |                                                                     |                                                                     |                                                                     |                                                                     |
| POST FOOTINGS                                                                  | 100KPa                                                              | 85KPa                                                               | 75KPa                                                               | 60KPa                                                               | 40KPa                                                               |
| <b>F1</b>                                                                      | 36"W.x36"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 30"<br>LONG EACH WAY | 38"W.x38"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 32"<br>LONG EACH WAY | 40"W.x40"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 34"<br>LONG EACH WAY | 44"W.x44"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 38"<br>LONG EACH WAY | 54"W.x54"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 48"<br>LONG EACH WAY |
| <b>F2</b>                                                                      | 24"W. x 24"W. x 10"H.                                               | 24"W. x 24"W. x 10"H.                                               | 24"W. x 24"W. x 10"H.                                               | 28"W. x 28"W. x 10"H.                                               | 36"W.x36"W.x10"H. 3-15M<br>LONGITUDINAL BARS x 30"<br>LONG EACH WAY |



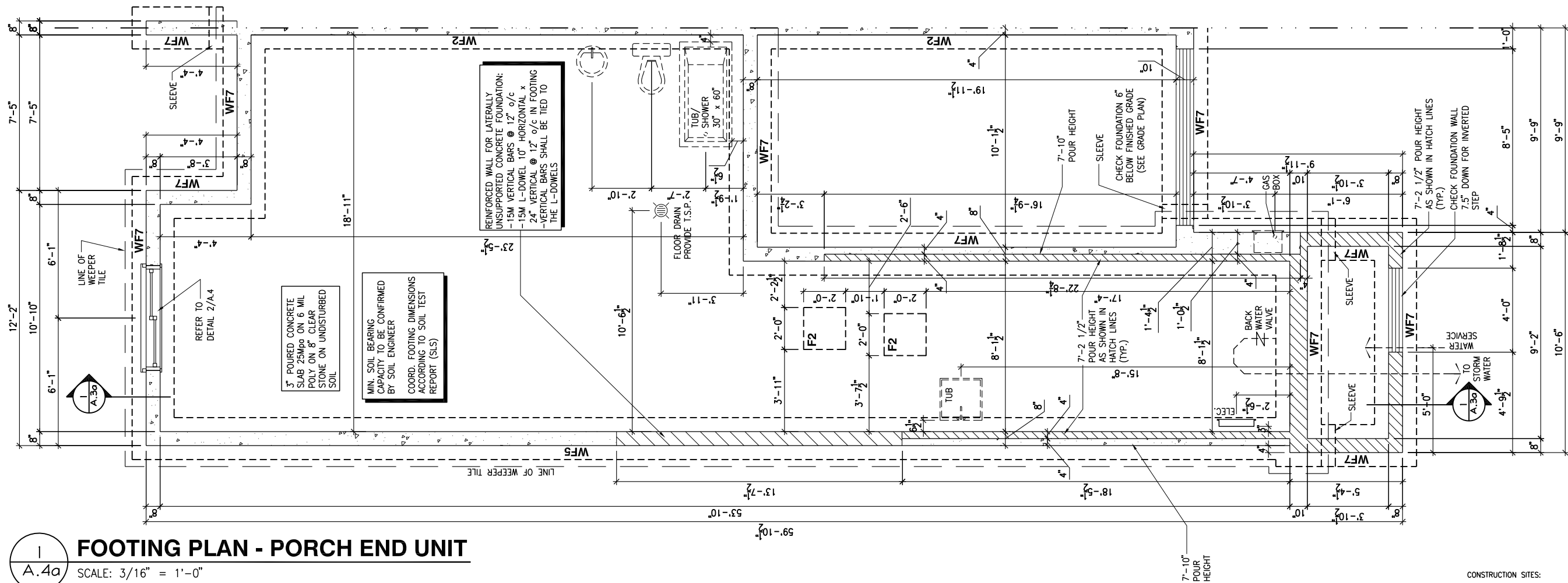
## 2 BASEMENT WINDOW REINFORCING

A.4a) SCALE: 3/16" = 1'-0"



## CONCRETE WALL REINFORCING

SCALE:  $1/4" = 1'-0"$



**LOT:**\_\_\_\_\_ **XXXX**

DATE:           XX/XX/XXXX          

**Valecraft**  
Homes (2019) Limited

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- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.  
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT  
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED  
AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT  
THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ( $\pm 1\%$ ) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

**DRAWING:**

### FOOTING PLAN -PORCH END UNIT

|                |                         |                     |
|----------------|-------------------------|---------------------|
| ADDRESS:<br>XX | SCALE:<br>3/16" = 1'-0" | DATE:<br>XX/XX/XXXX |
|----------------|-------------------------|---------------------|

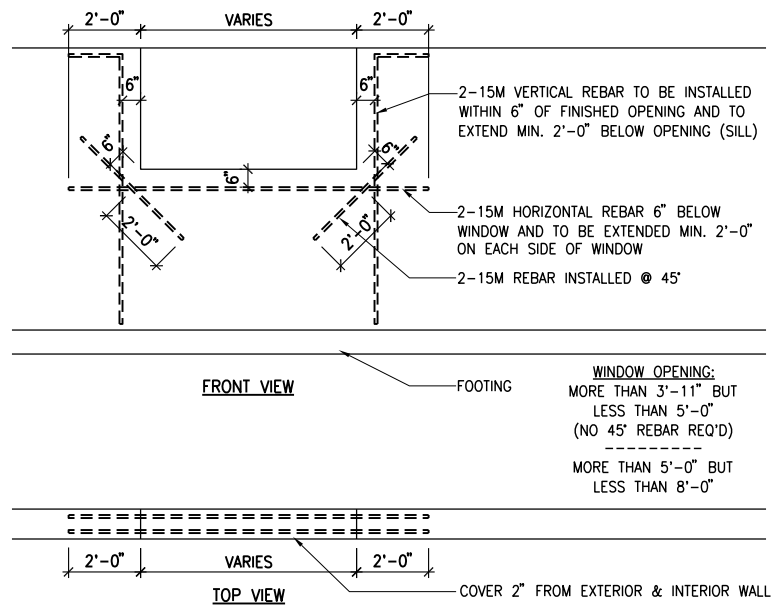
# 130 - THE LEWIS 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET:

**A.4a**

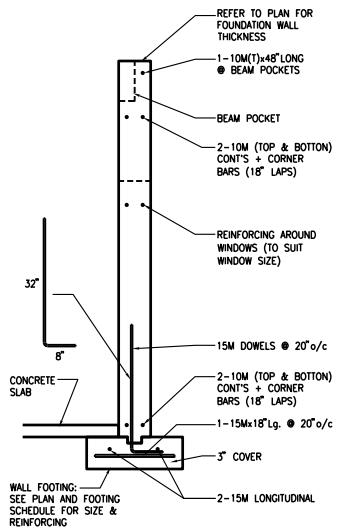


| FOOTING SCHEDULE                                                               |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
|--------------------------------------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| WALL FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| <b>WF1</b>                                                                     | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 36"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 40"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 48"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 72"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 58" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| <b>WF2</b>                                                                     | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 70"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| <b>WF3</b>                                                                     | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 42"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 64"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| <b>WF4</b>                                                                     | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 32"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS   | 58"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| <b>WF5</b>                                                                     | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 52"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| <b>WF6</b>                                                                     | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 30"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| <b>WF7</b>                                                                     | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| PAD FOOTING SCHEDULE                                                           |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| POST FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| <b>F1</b>                                                                      | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY | 38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY                            | 40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY                            | 44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY                            | 54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY                            |
| <b>F2</b>                                                                      | 24"W. x 24"W. x 10"H.                                         | 24"W. x 24"W. x 10"H.                                                                    | 24"W. x 24"W. x 10"H.                                                                    | 28"W. x 28"W. x 10"H.                                                                    | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY                            |



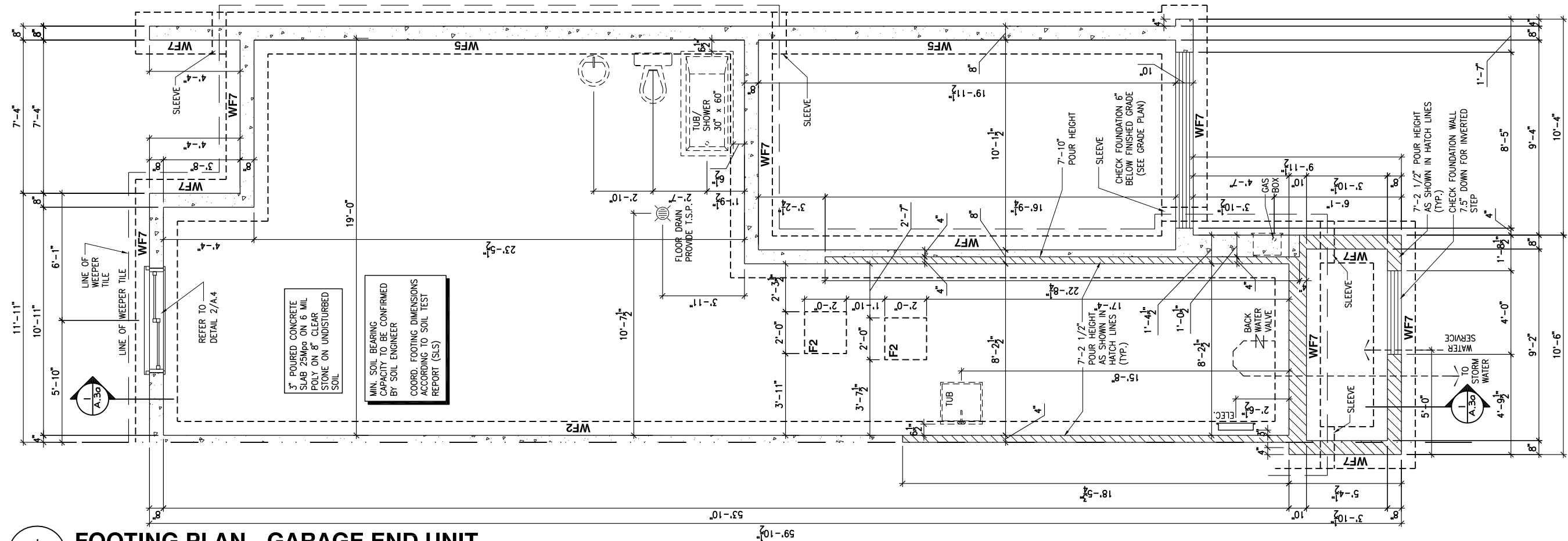
## 2 BASEMENT WINDOW REINFORCING

A.4c) SCALE:  $3/16" = 1'-0"$



## CONCRETE WALL REINFORCING

SCALE:  $1/4" = 1'-0"$



## FOOTING PLAN - GARAGE END UNIT

SCALE:  $3/16'' = 1'-0''$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ( $\pm 1\%$ ) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

## 2012 O.B.C. DRAWINGS

|       |                                |            |       |
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | By    |

**DRAWING:**

**FOOTING PLAN - GARAGE END**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

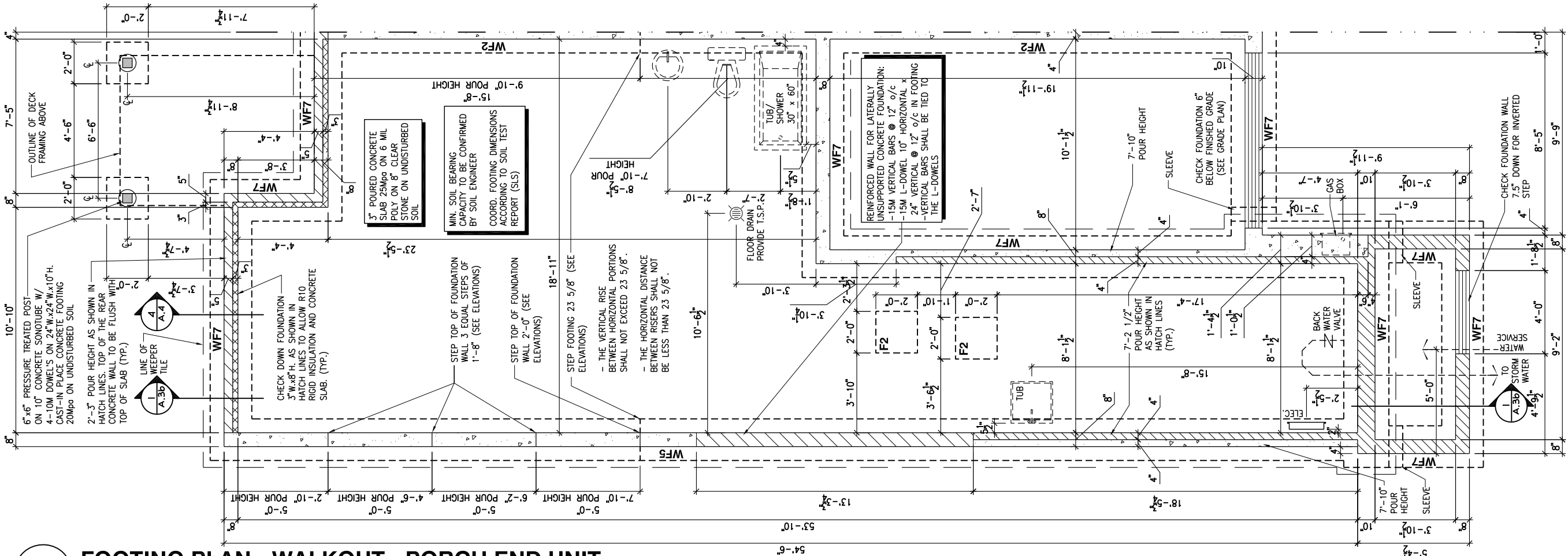
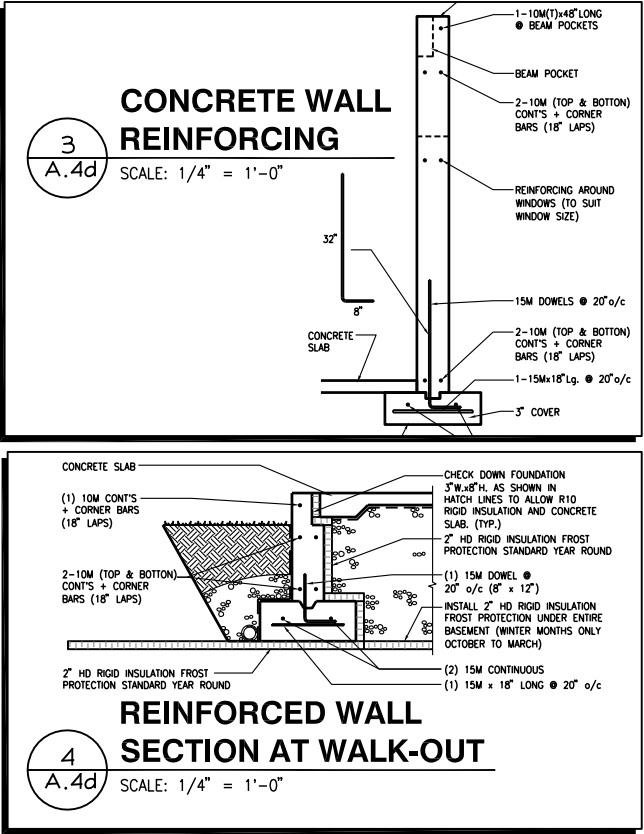
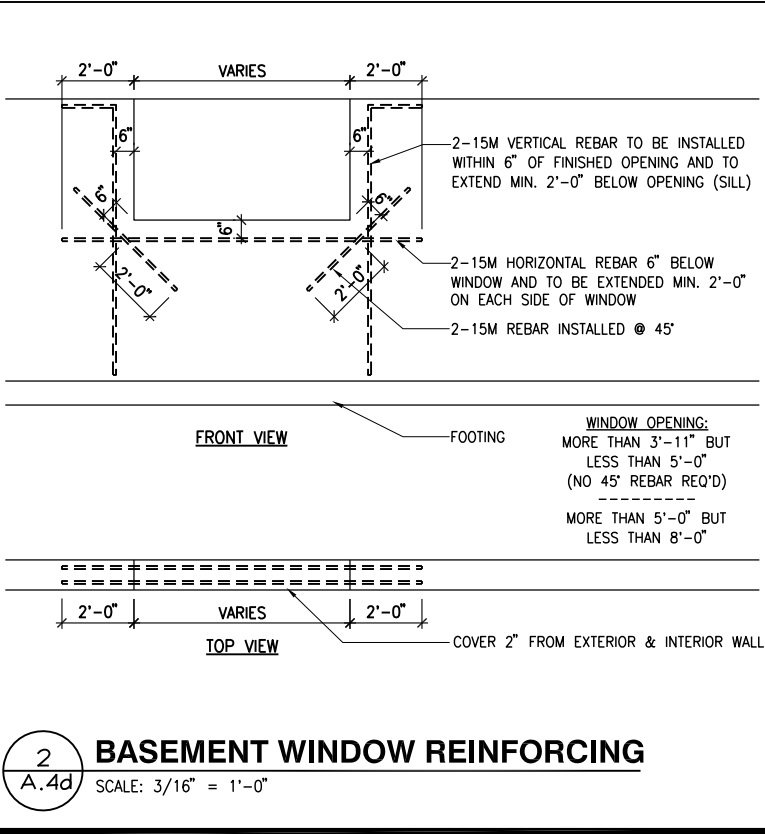
# 130 - THE LEWIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

**A.4c**

| FOOTING SCHEDULE                                                               |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
|--------------------------------------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| WALL FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| WF1                                                                            | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 36"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 40"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 48"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 72"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c<br>5-15M LONGITUDINAL BARS |
| WF2                                                                            | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 70"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF3                                                                            | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 42"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 64"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF4                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 32"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS   | 58"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF5                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS   | 52"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF6                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 30"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS   | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| WF7                                                                            | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS   | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| PAD FOOTING SCHEDULE                                                           |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| POST FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| F1                                                                             | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY | 38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY                            | 40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY                            | 44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY                            | 54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY                            |
| F2                                                                             | 24"W. x 24"W. x 10"H.                                         | 24"W. x 24"W. x 10"H.                                                                    | 24"W. x 24"W. x 10"H.                                                                    | 28"W. x 28"W. x 10"H.                                                                    | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY                            |



LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

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REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022 DOYON

NO.

DESCRIPTION

NM/DD/YYYY BY

DRAWING:FOOTING PLAN

WALKOUT - PORCH END UNIT

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

130 - THE LEWIS

2022 FOOTPRINT

(STANDARD DRAWINGS)

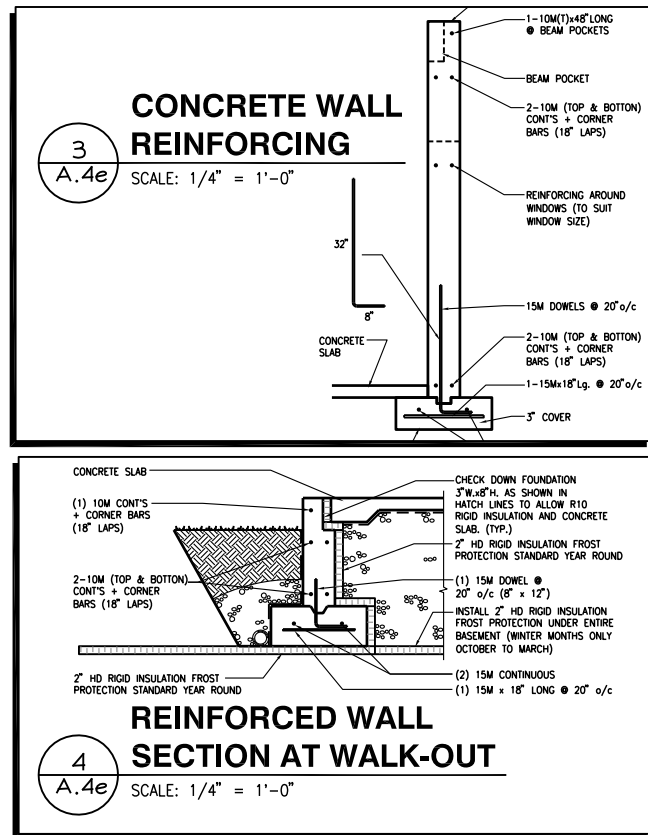
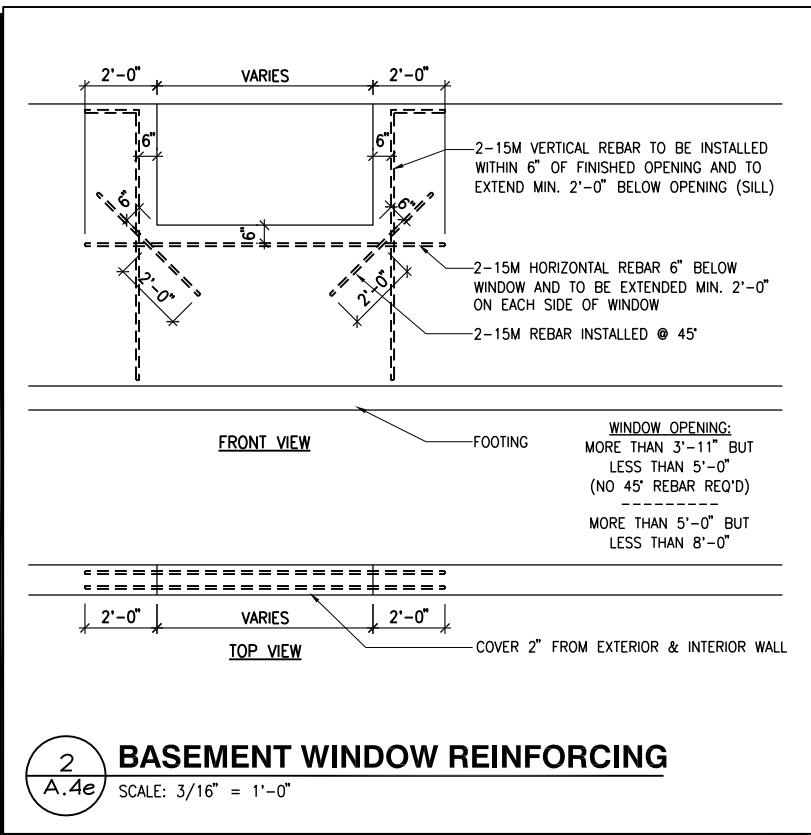
CONSTRUCTION SITES:

SHEA VILLAGE

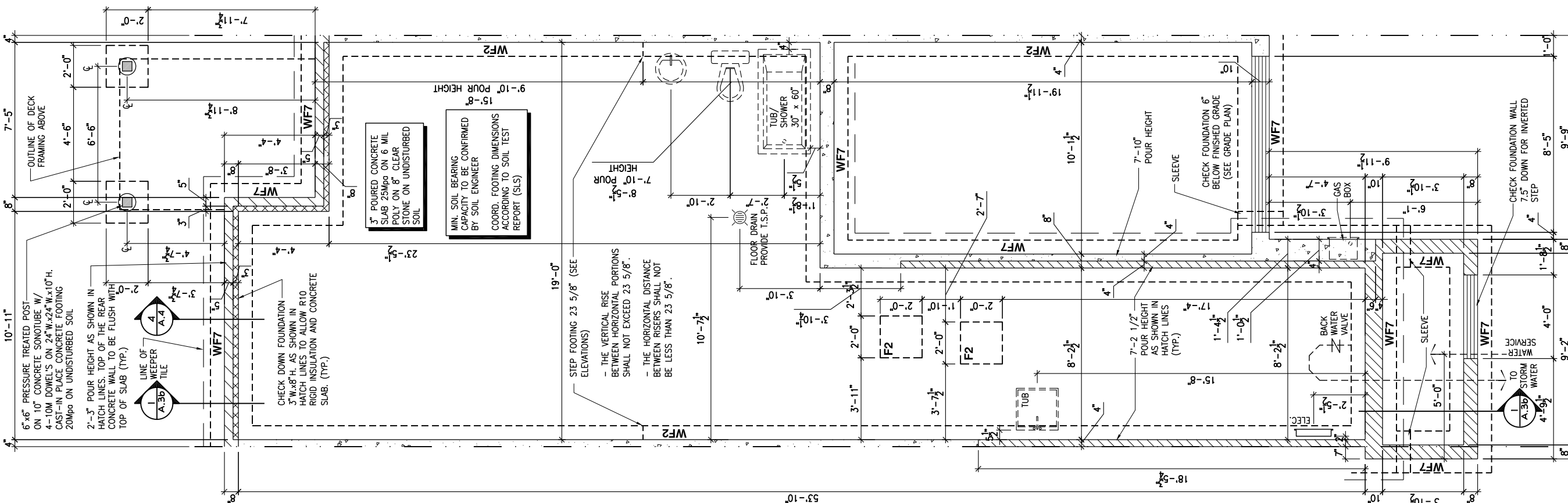
SHEET:

A.4d

| FOOTING SCHEDULE                                                               |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
|--------------------------------------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| WALL FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| WF1                                                                            | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 36"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 40"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 48"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 72"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c<br>5-15M LONGITUDINAL BARS |
| WF2                                                                            | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 70"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF3                                                                            | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 42"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 64"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF4                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 32"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS   | 58"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF5                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 52"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF6                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 30"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| WF7                                                                            | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"x8" DP.<br>2-15M LONGITUDINAL BARS                                                    | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| PAD FOOTING SCHEDULE                                                           |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| POST FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| F1                                                                             | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY | 38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY                            | 40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY                            | 44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY                            | 54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY                            |
| F2                                                                             | 24"W. x 24"W. x 10"H.                                         | 24"W. x 24"W. x 10"H.                                                                    | 24"W. x 24"W. x 10"H.                                                                    | 28"W. x 28"W. x 10"H.                                                                    | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY                            |



|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|
| <b>LOT:</b> XXXX                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                           |
| <b>DATE:</b> XX/XX/XXXX                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                           |
| <hr/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                           |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <b>Valecraft<br/>Homes (2019) Limited</b> |
| I, <b>DANIEL GUERIN</b> , ARCHITECTURAL MANAGER FOR<br><b>VALECRAFT HOMES LTD.</b> , HAVE REVIEWED THE FOLLOWING DOCUMENTS<br>AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                           |
| <ul style="list-style-type: none"><li>- PERSONAL BCIN #19896</li><li>- TARIOR REGISTRATION NUMBER #611</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                           |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                           |
| <hr/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                           |
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| <hr/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                           |
| ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER<br>DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING<br>CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                           |
| THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL<br>DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S<br>ARCHITECTURAL DEPARTMENT.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                           |
| NO DIMENSION SHOULD BE SCALED ON DRAWINGS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                           |
| THE GENERAL CONTRACTOR OR SUB-CONTRACTOR WILL BE HELD<br>RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                           |
| <hr/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                           |
| <b>NOTES:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                           |
| <ul style="list-style-type: none"><li>- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL<br/>BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND<br/>DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT<br/>PREPARED BY PATERSON GROUP AND/OR OTHERS<br/>(AVAILABLE UPON REQUEST);</li><li>- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE<br/>AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY<br/>GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;</li><li>- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.<br/>THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT<br/>OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED<br/>AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT<br/>THE TIME OF EXCAVATION;</li><li>- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING<br/>SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR<br/>INSTRUCTIONS;</li><li>- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL<br/>= 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD<br/>HAVE 6% (±1%) AIR ENTRAINMENT;</li><li>- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;</li></ul> |                                           |
| THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE<br>ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL<br>AND ARCHITECTURAL SPECIFICATION.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                           |



**FOOTING PLAN - WALKOUT - MID UNIT**  
 SCALE: 3/16" = 1'-0"

| 2012 O.B.C. DRAWINGS |                                |            |       |
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|                      |                                |            |       |
| REV-1                | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.                  | DESCRIPTION                    | MM/DD/YYYY | By    |

**DRAWING:                      FOOTING PLAN**

**WALKOUT - MID UNIT**

|                                  |                                           |                                       |
|----------------------------------|-------------------------------------------|---------------------------------------|
| ADDRESS:                      XX | SCALE:                      3/16" = 1'-0" | DATE:                      XX/XX/XXXX |
|----------------------------------|-------------------------------------------|---------------------------------------|

**130 - THE LEWIS**

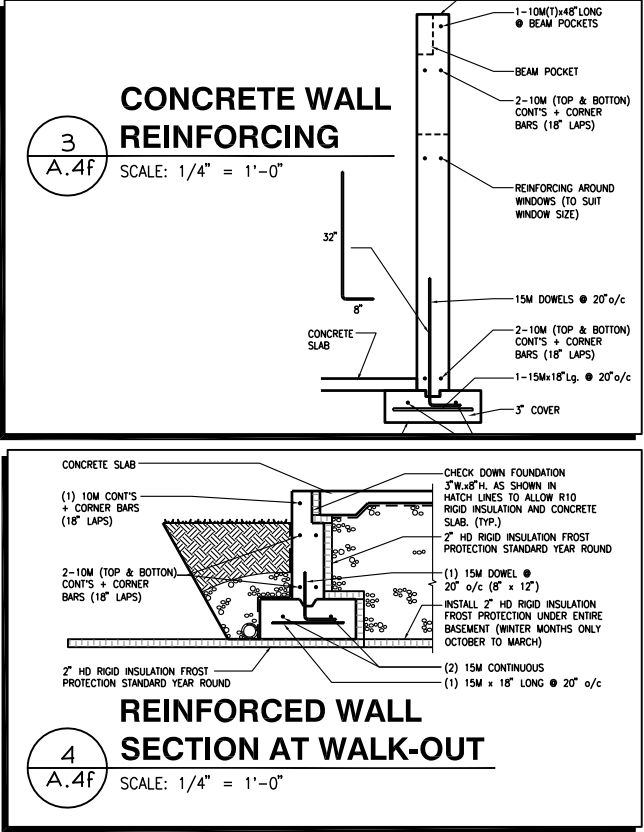
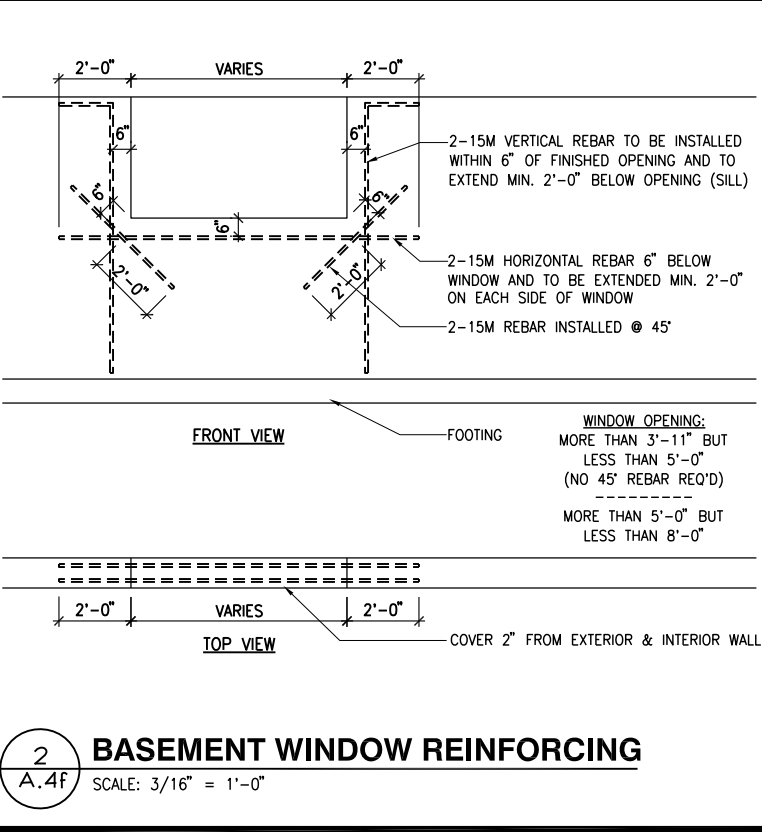
**2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A.4e**

| FOOTING SCHEDULE                                                               |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
|--------------------------------------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| WALL FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| WF1                                                                            | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 36"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 40"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 48"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 72"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c<br>5-15M LONGITUDINAL BARS |
| WF2                                                                            | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 70"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF3                                                                            | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 30"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 34"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 42"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS | 64"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF4                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 28"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 32"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"x8" DP.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c<br>3-15M LONGITUDINAL BARS   | 58"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF5                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 26"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 52"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS | 52"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c<br>4-15M LONGITUDINAL BARS |
| WF6                                                                            | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 24"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 46"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| WF7                                                                            | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                       | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 20"W. x 8"H.<br>2-15M LONGITUDINAL BARS                                                  | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS | 38"W. x 8"H.<br>15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c<br>3-15M LONGITUDINAL BARS |
| PAD FOOTING SCHEDULE                                                           |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                                               |                                                                                          |                                                                                          |                                                                                          |                                                                                          |
| POST FOOTINGS                                                                  | 100KPa                                                        | 85KPa                                                                                    | 75KPa                                                                                    | 60KPa                                                                                    | 40KPa                                                                                    |
| F1                                                                             | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY | 38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY                            | 40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY                            | 44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY                            | 54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY                            |
| F2                                                                             | 24"W. x 24"W. x 10"H.                                         | 24"W. x 24"W. x 10"H.                                                                    | 24"W. x 24"W. x 10"H.                                                                    | 28"W. x 28"W. x 10"H.                                                                    | 36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY                            |



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited  
DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

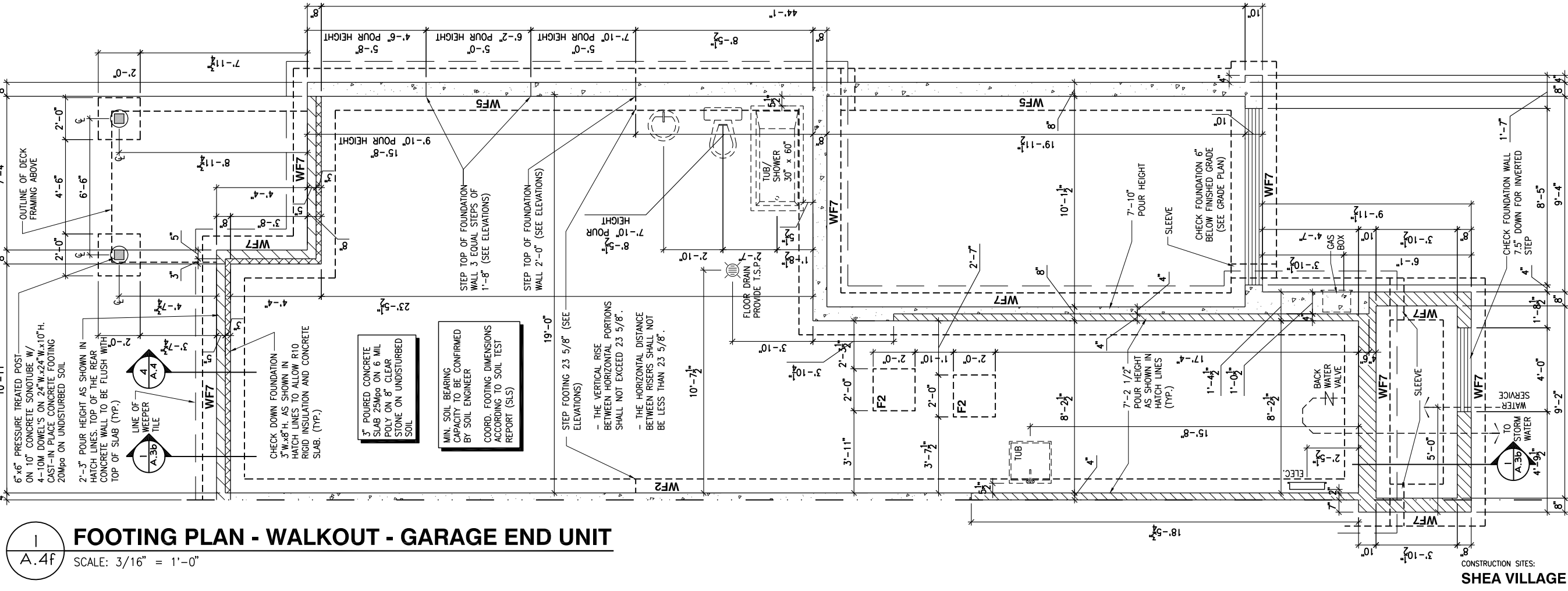
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **FOOTING PLAN WALKOUT - GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A.4f**



FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX  
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- STEEL LINTEL:
- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

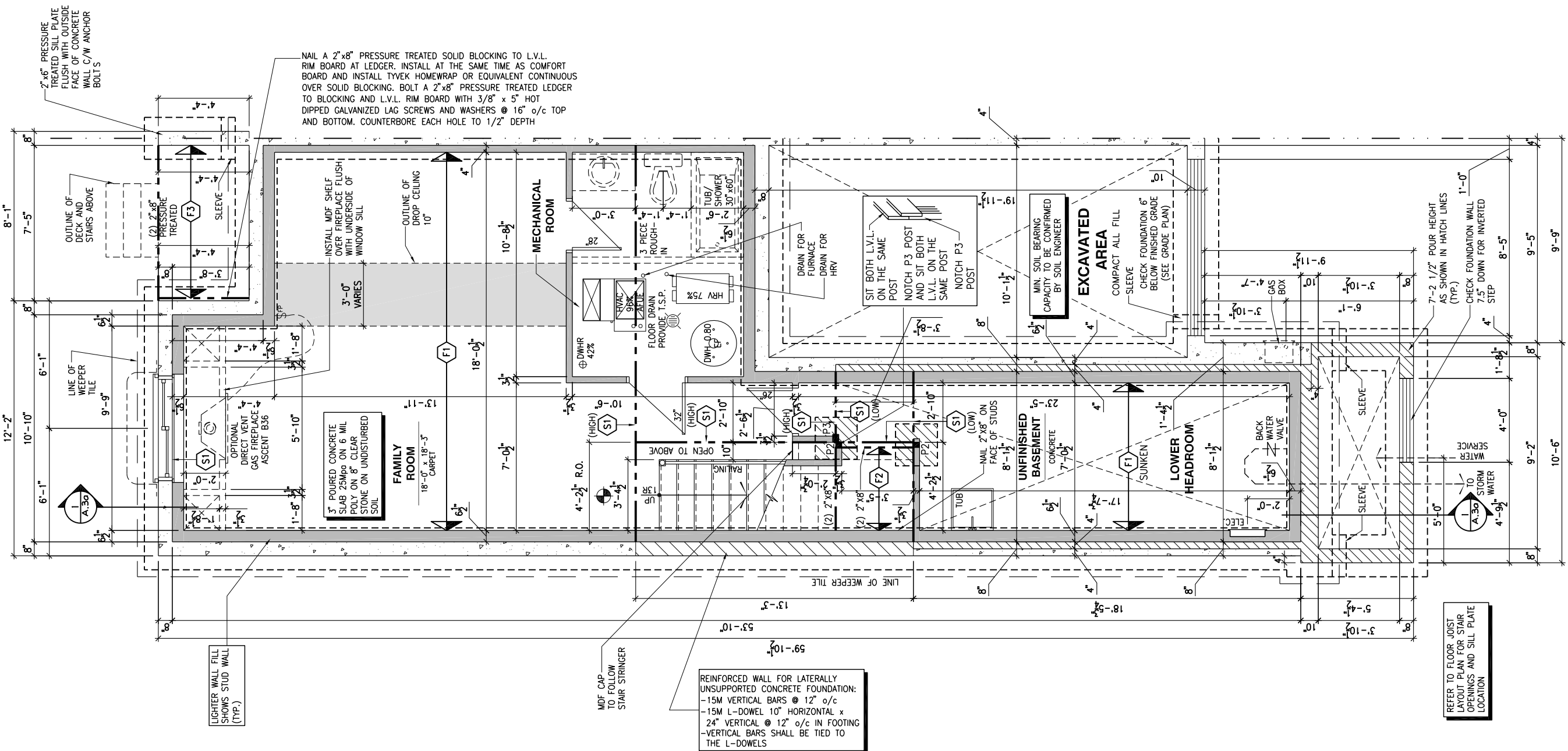
DRAWING: BASEMENT FLOOR PLAN  
2x6 FROST WALL - PORCH END

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.5a

CONSTRUCTION SITES:  
SHEA VILLAGE



1 A.5a BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT  
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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|-------|-----|--------------------------------------------|--------------------------------|
| REV-1 | NO. | NEW STANDARD DRWG MODIFICATION DESCRIPTION | 01/01/2022 DOYON MM/DD/YYYY BY |
|-------|-----|--------------------------------------------|--------------------------------|

DRAWING: BASEMENT FLOOR PLAN  
2x6 FROST WALL - MID UNIT

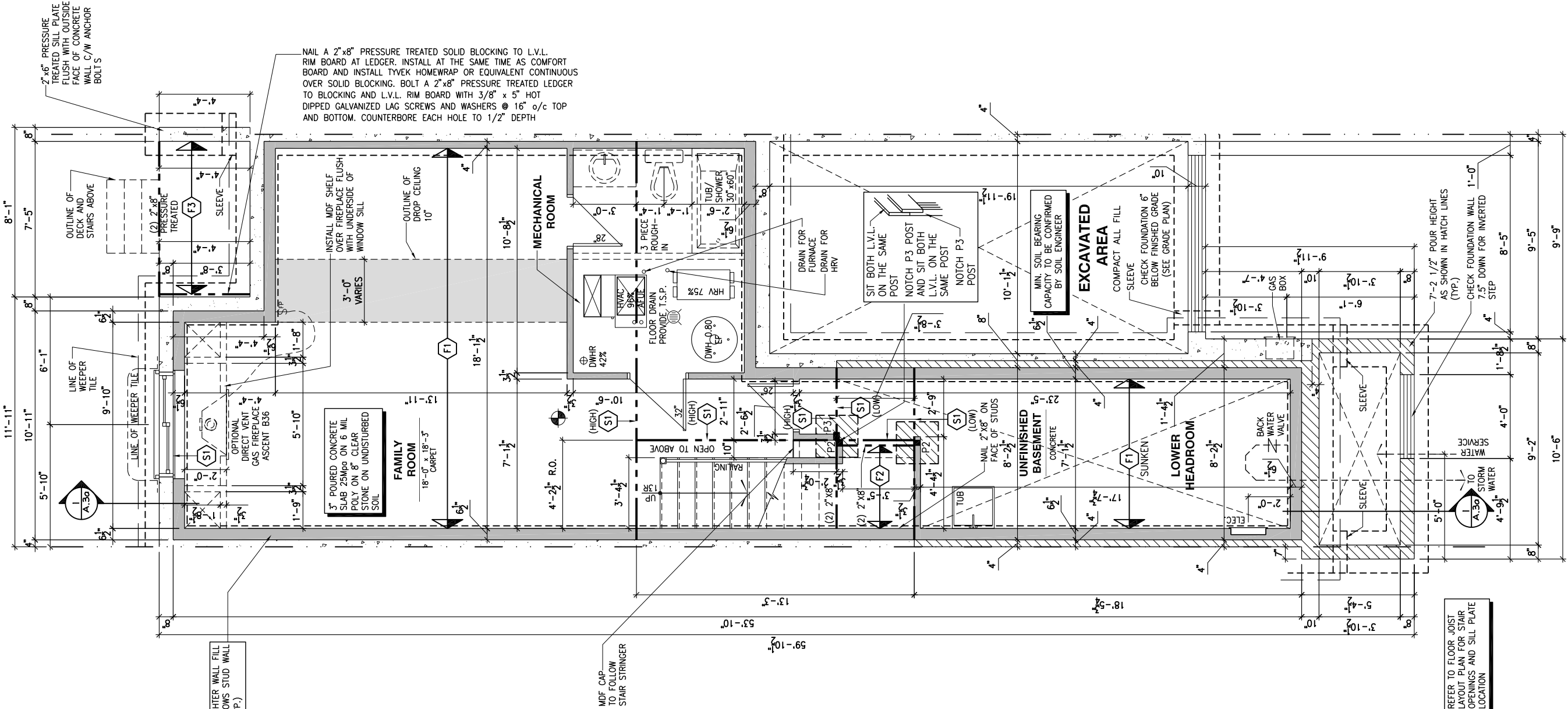
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| ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX |
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130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.5b

CONSTRUCTION SITES:  
SHEA VILLAGE



1 A.5b BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT  
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GENERAL NOTES:

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LOT: XXXX  
DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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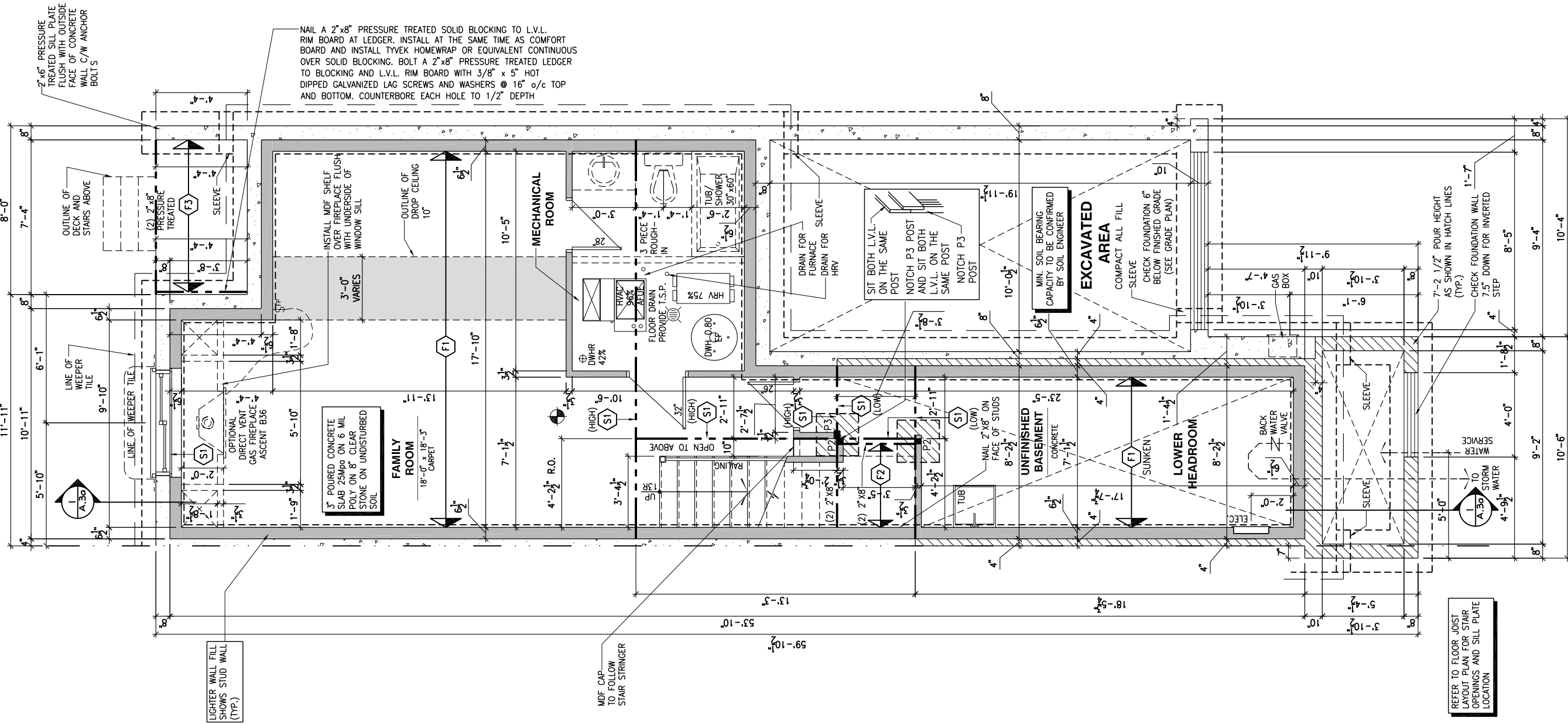
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: BASEMENT FLOOR PLAN  
2x6 FROST WALL - GARAGE END

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.5c



1 A.5c BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

|    |                                                                                                                             |
|----|-----------------------------------------------------------------------------------------------------------------------------|
| F1 | 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c<br>c/w STRAPPING UNLESS OTHERWISE NOTED (SEE<br>MANUFACTURER)              |
| F2 | 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED                                                                              |
| F3 | 2" x 8" PRESSURE TREATED JOIST @ 16" o/c<br>UNLESS OTHERWISE NOTED                                                          |
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P14 = HSS 89.6x94.8 + 100x200x12 T&B PL (\*)  
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2012 O.B.C. DRAWINGS

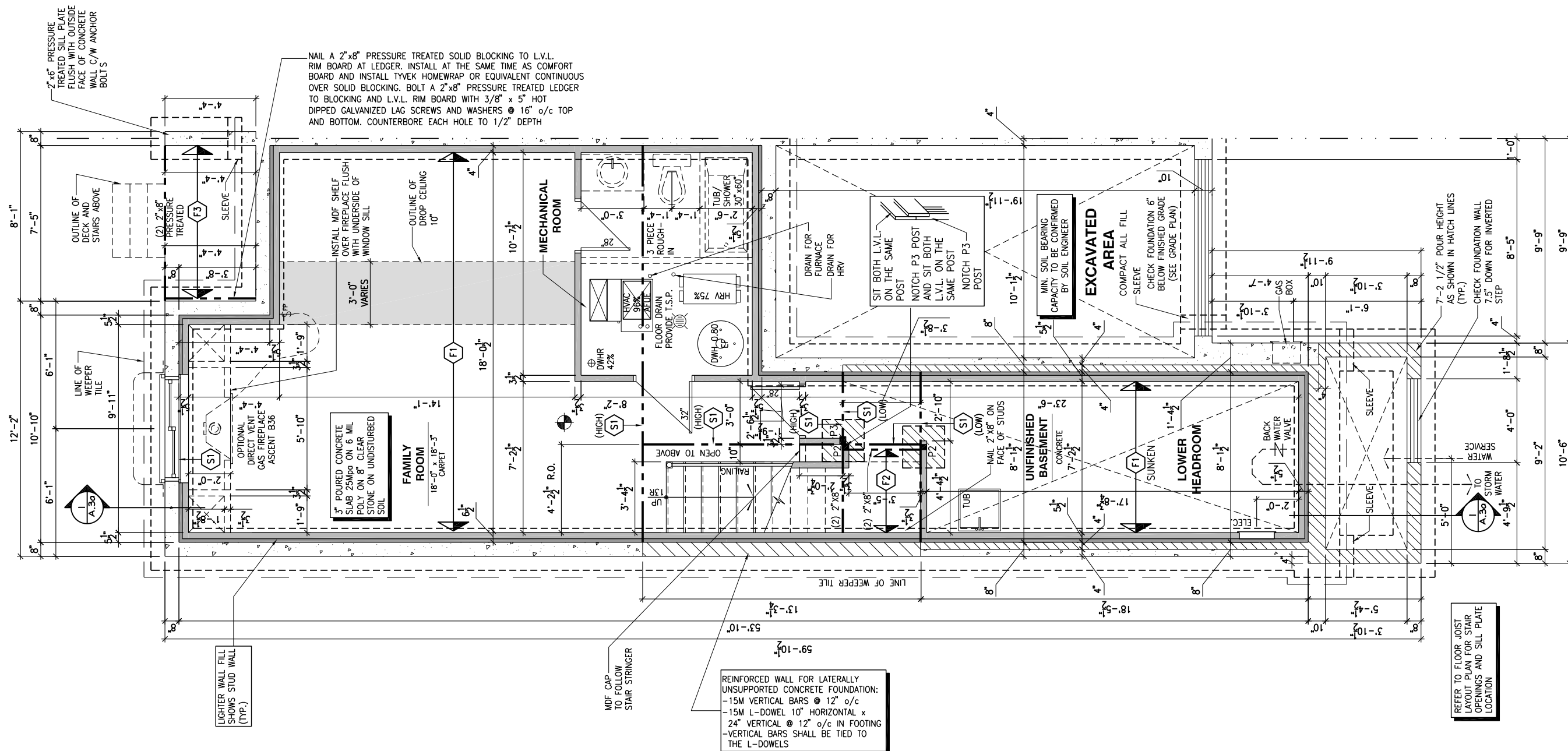
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

**DRAWING: BASEMENT FLOOR PLAN**  
**ENERGY STAR - PORCH END**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

# 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.5d**



## 1 BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE:  $3/16" = 1'-0"$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: BASEMENT FLOOR PLAN  
ENERGY STAR - MID UNIT

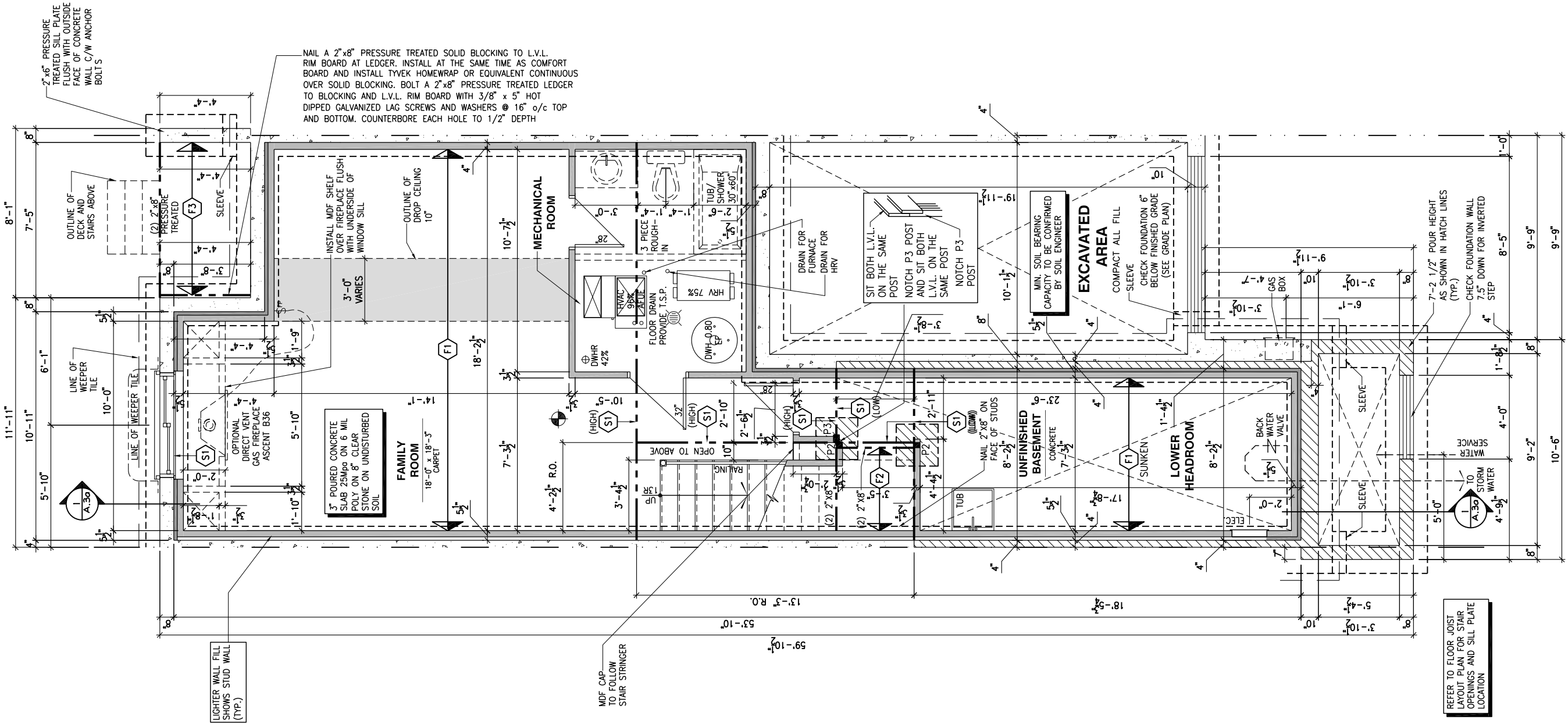
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.5e

CONSTRUCTION SITES:  
SHEA VILLAGE



1 A.5e BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT  
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

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LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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NOTES:

- STEEL LINTEL:
- S1 = L 90x90x6
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- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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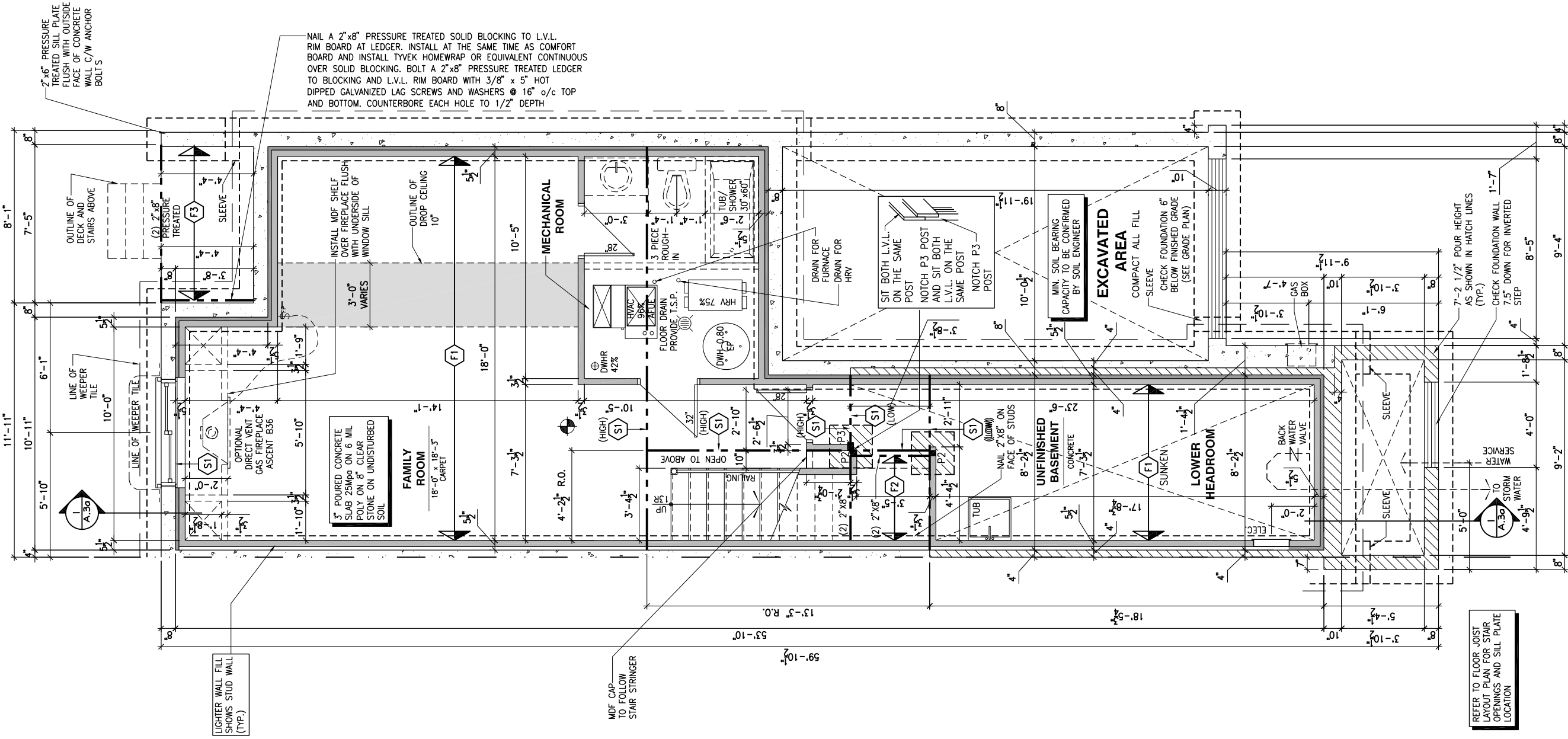
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | NM/DD/YYYY | BY    |

DRAWING: BASEMENT FLOOR PLAN  
ENERGY STAR - GARAGE END

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.5f



1 A.5f BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

|    |                                                                                                                             |
|----|-----------------------------------------------------------------------------------------------------------------------------|
| F1 | 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c<br>C/W STRAPPING UNLESS OTHERWISE NOTED (SEE<br>MANUFACTURER)              |
| F2 | 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED                                                                              |
| F3 | 2" x 8" PRESSURE TREATED JOIST @ 16" o/c<br>UNLESS OTHERWISE NOTED                                                          |
| S1 | REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR<br>ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING<br>(UNLESS OTHERWISE NOTED) |

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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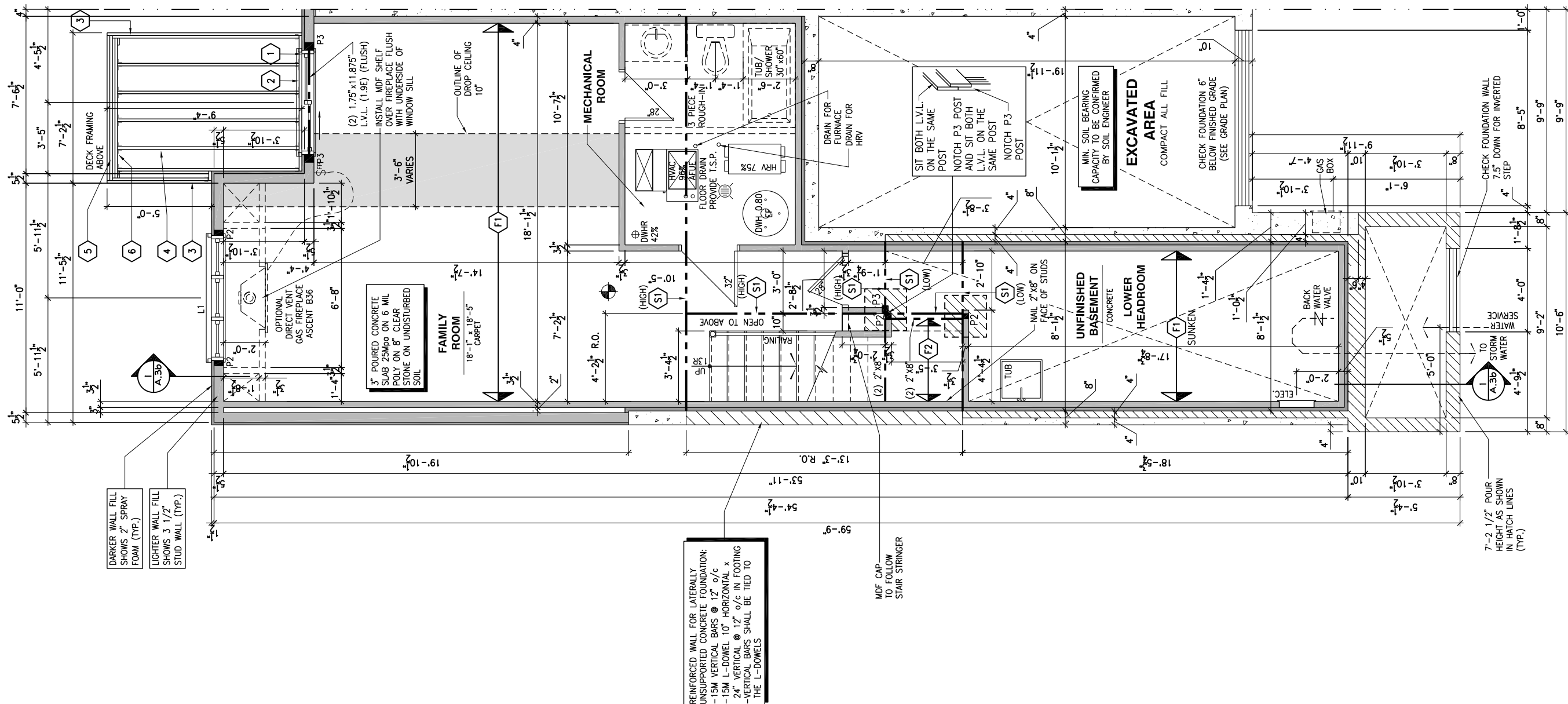
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**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



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S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

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L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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POST TABLE:

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POST BY USP  
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P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **BASEMENT FLOOR PLAN**  
**WALKOUT - PORCH END UNIT**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

# 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.5g**

## 1) BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

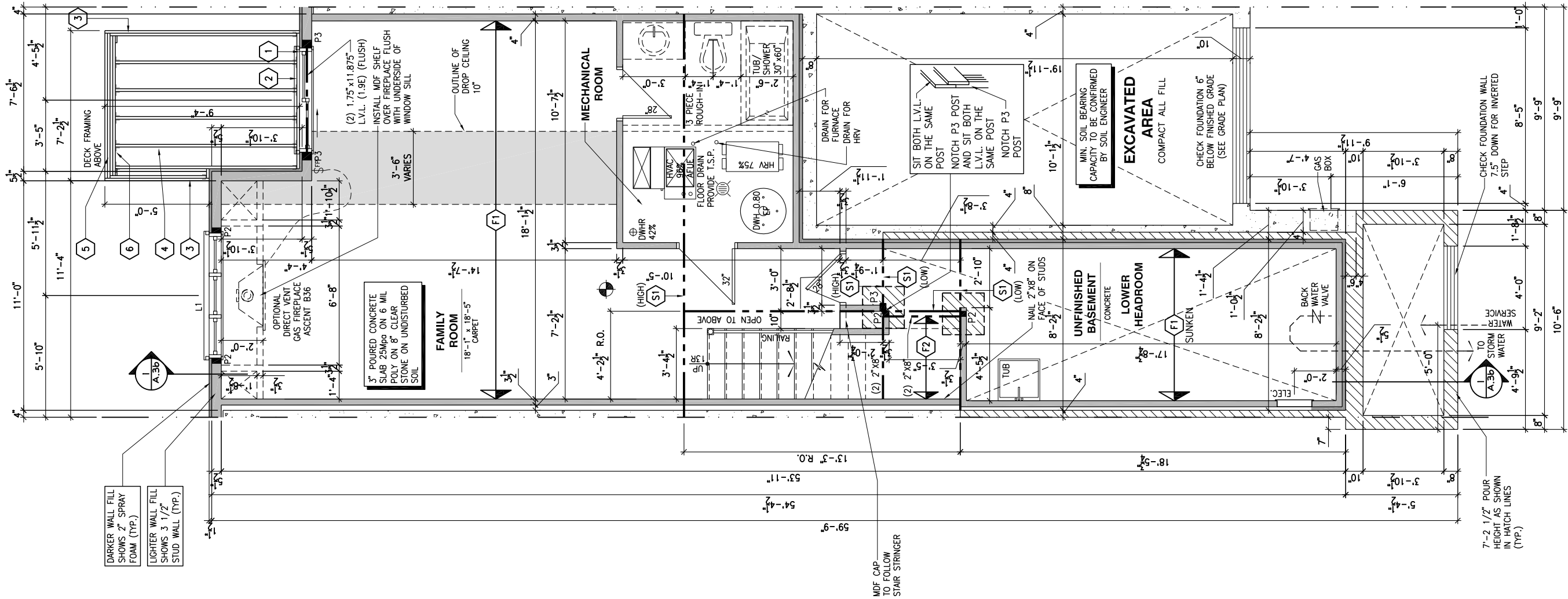
DRAWING: BASEMENT FLOOR PLAN  
WALKOUT - MID UNIT

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.5h



1 BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD  
AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT  
BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT  
CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH  
2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM  
THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES  
WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER  
POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.  
(21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR  
ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO  
AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS  
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LOT: XXXX  
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2012 O.B.C. DRAWINGS

| REV   | NO. | DESCRIPTION                    | DATE       | BY    |
|-------|-----|--------------------------------|------------|-------|
| REV-1 | 1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
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DRAWING: BASEMENT FLOOR PLAN  
WALKOUT - GARAGE END UNIT

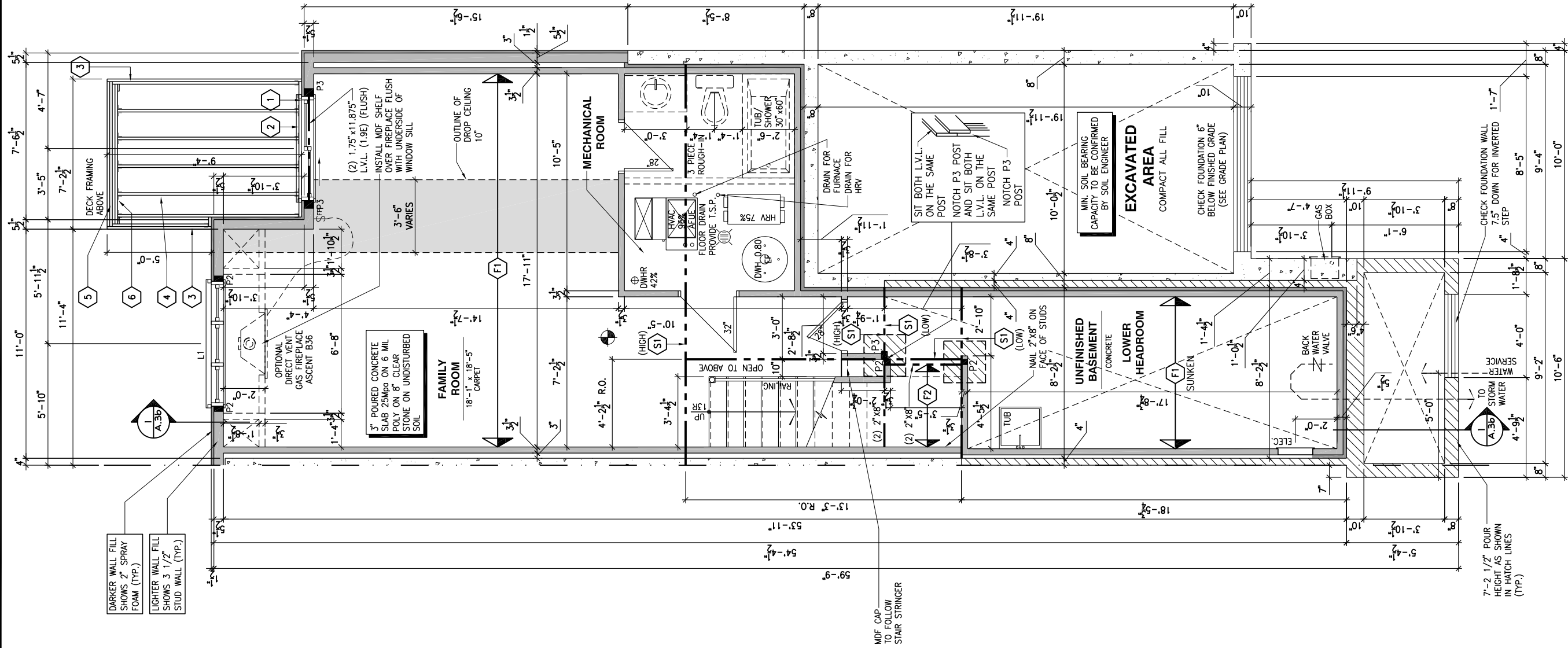
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

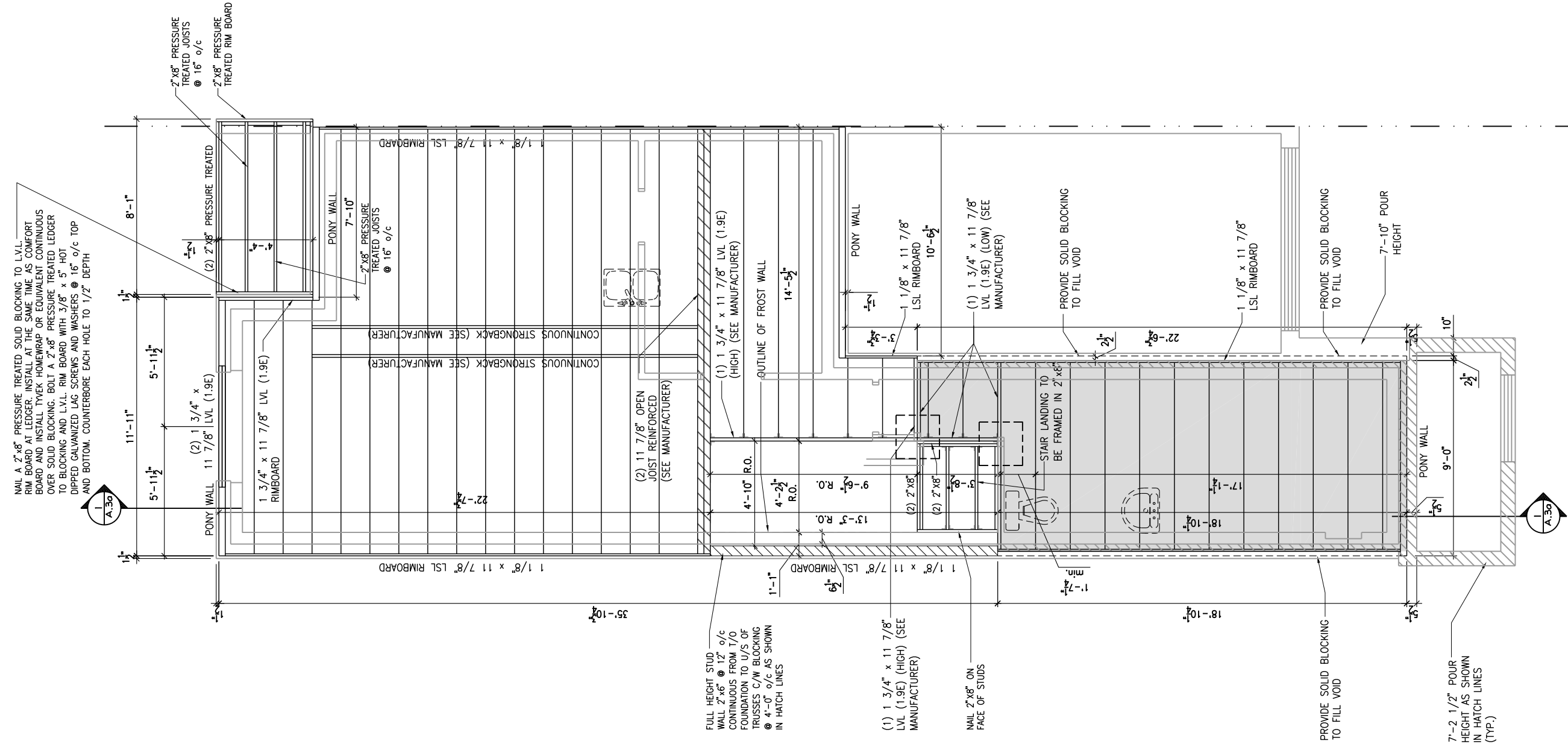
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.5i

CONSTRUCTION SITES:  
SHEA VILLAGE

1 BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT  
A.5i SCALE: 3/16" = 1'-0"





**1**  
**A.6a**

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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**2012 O.B.C. DRAWINGS**

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

**DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END**

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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

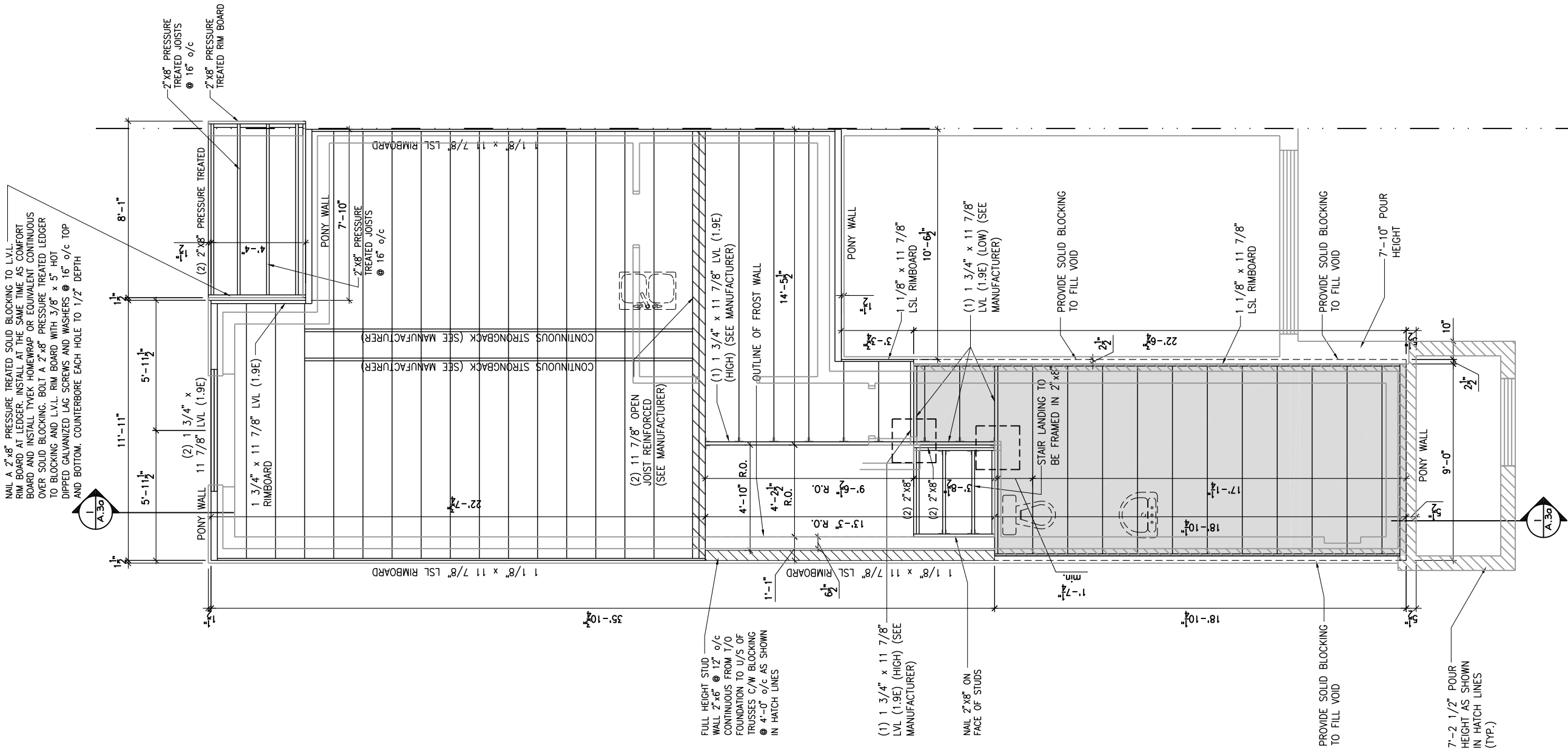
**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.6a**

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

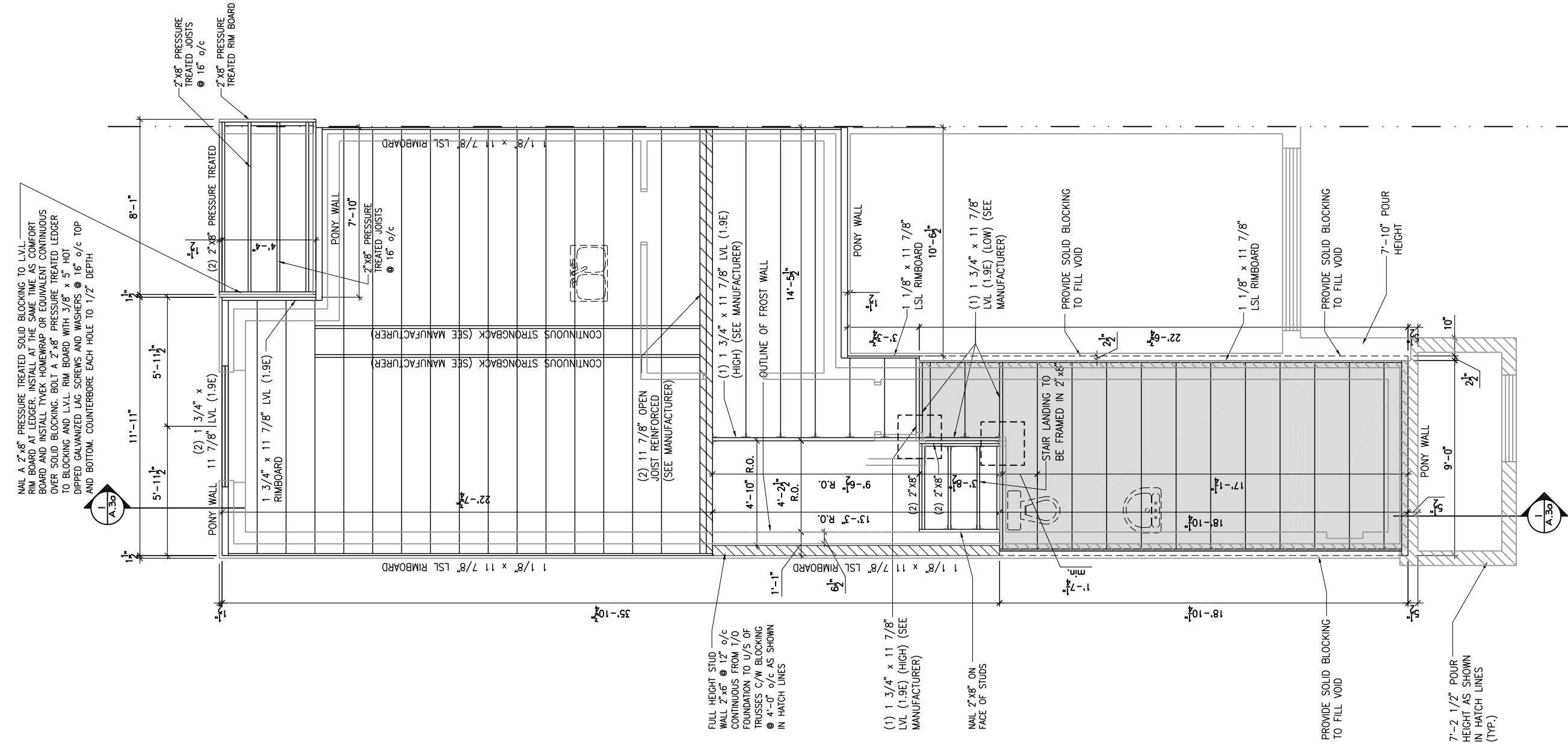
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6b

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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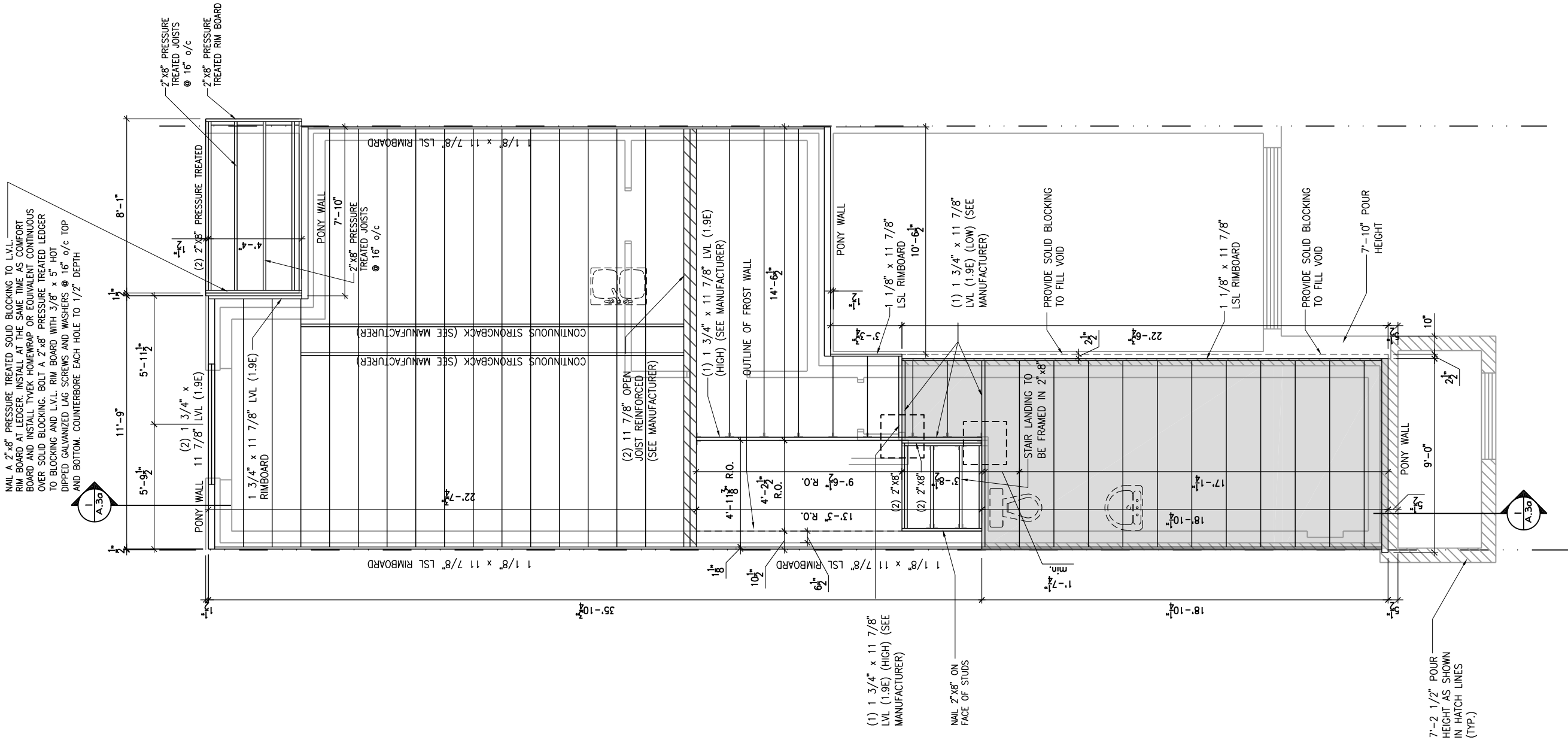
DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

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| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

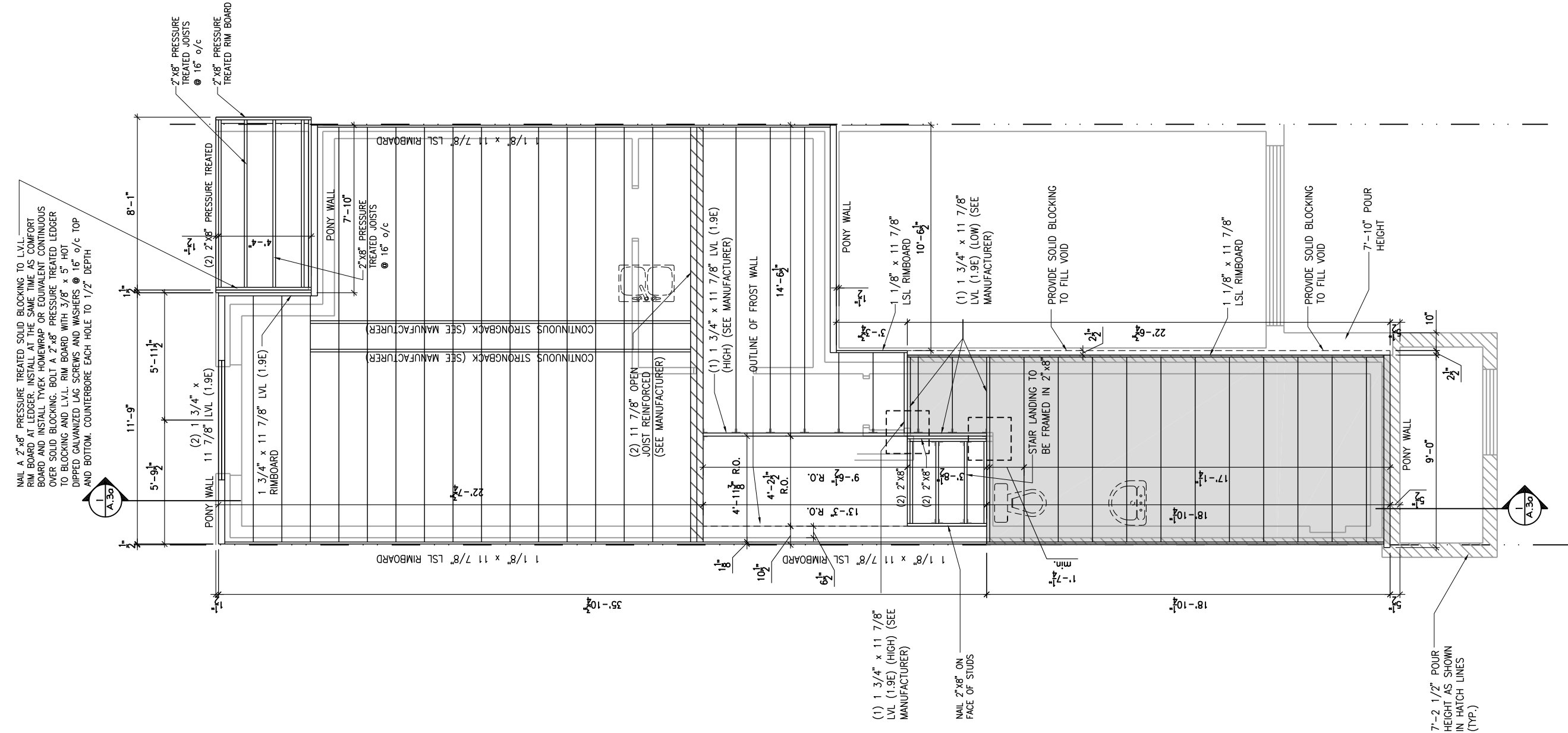
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130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6d

CONSTRUCTION SITES:  
SHEA VILLAGE



**1**  
**A.6e**

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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**2012 O.B.C. DRAWINGS**

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

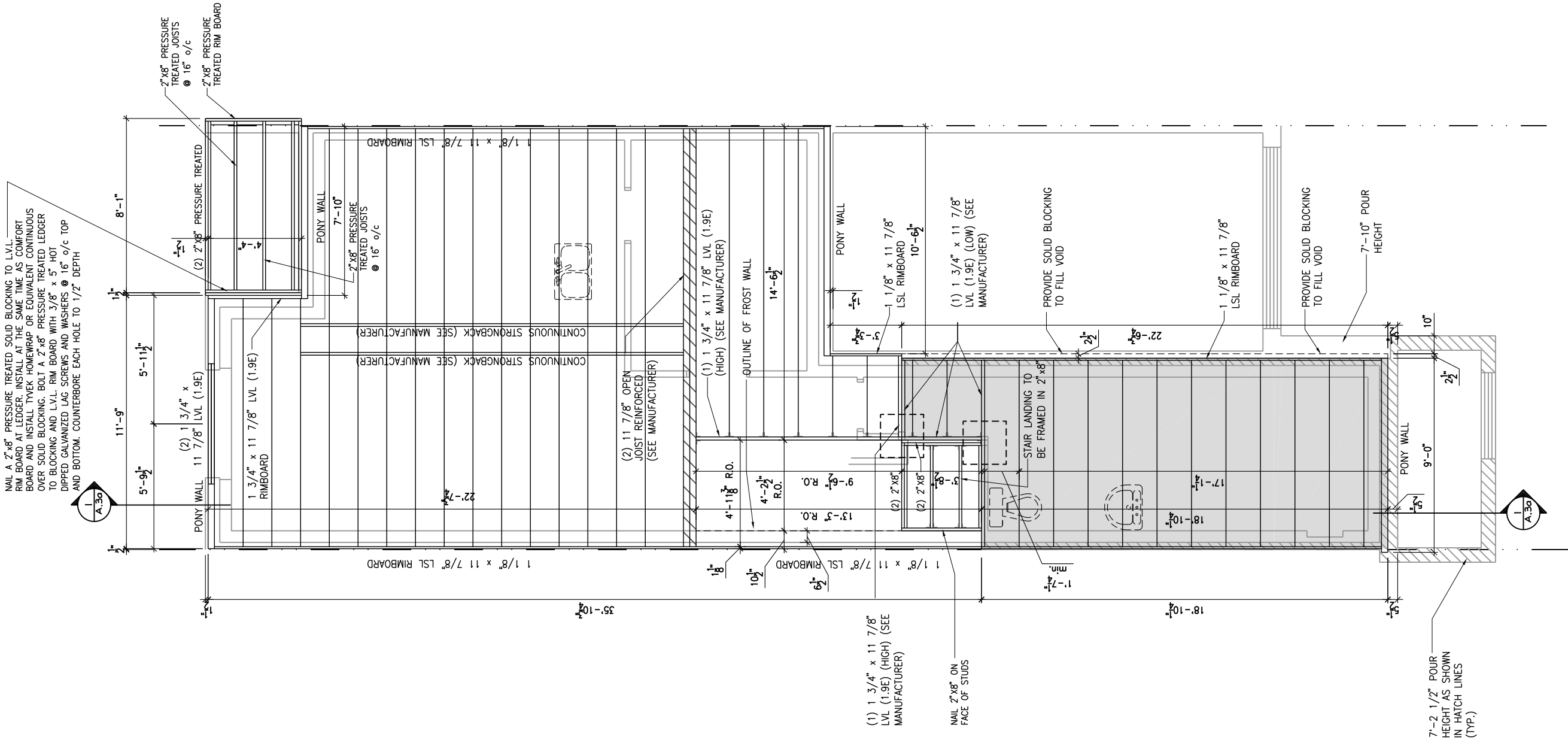
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.6e**

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

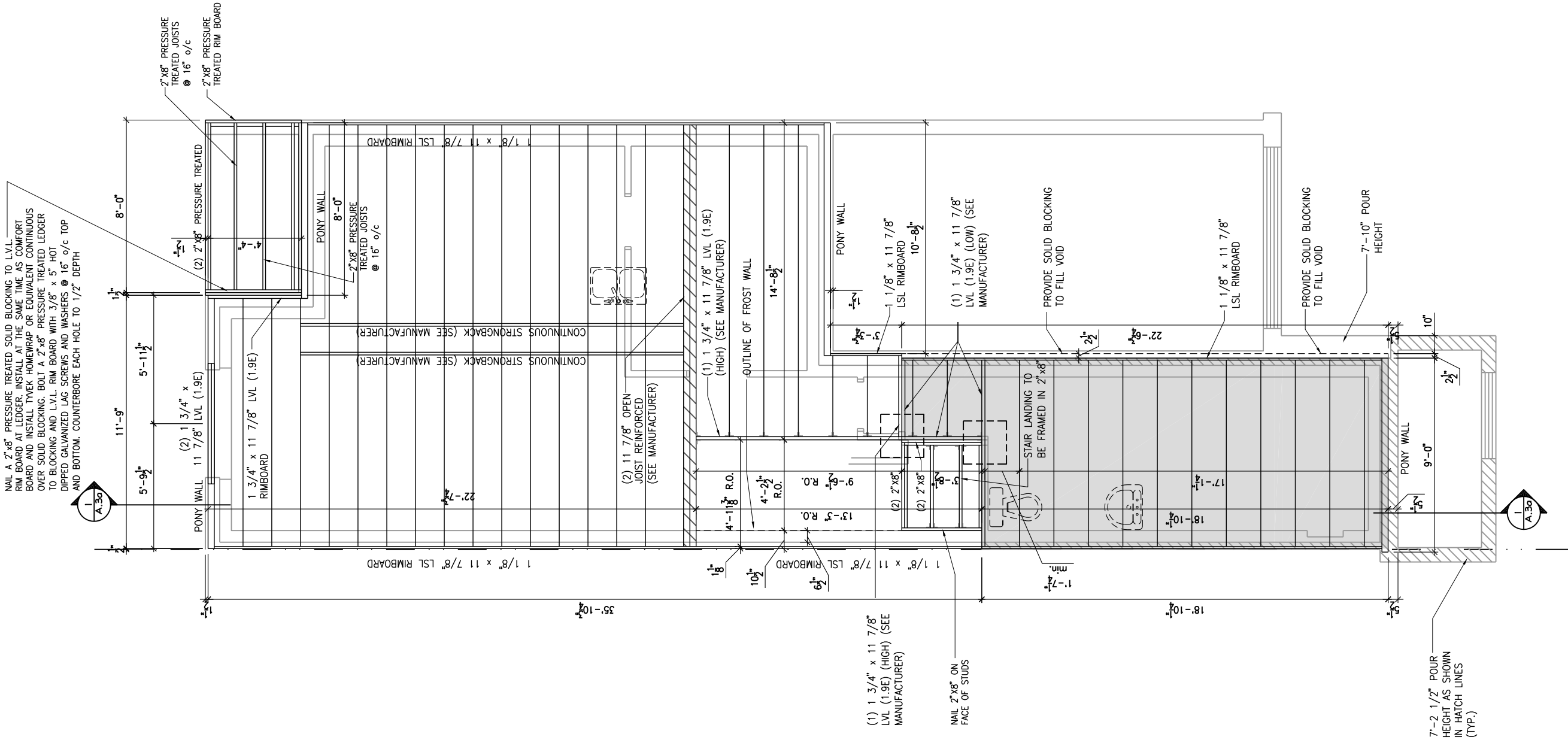
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6f

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR  
JOIST FRAMING - GARAGE END

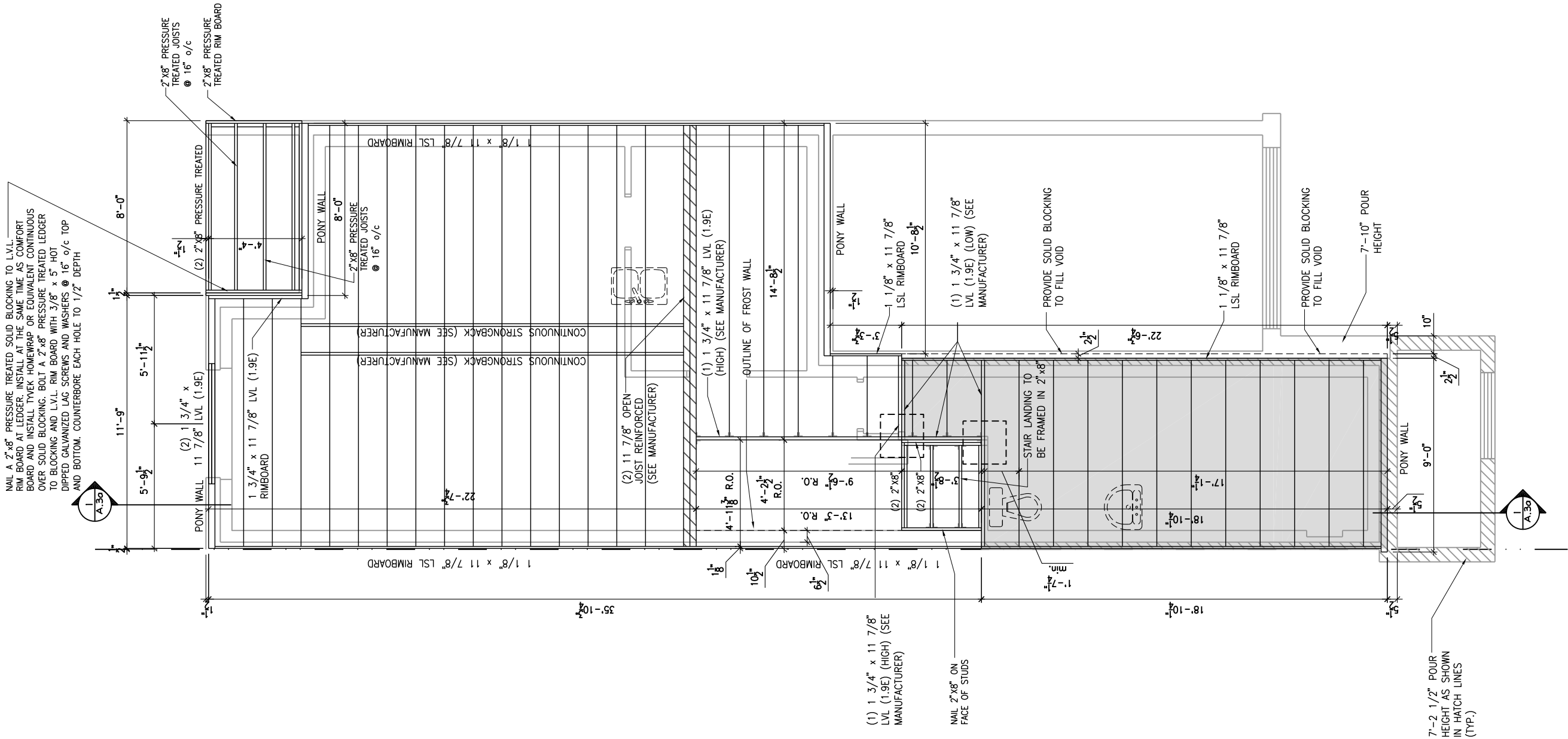
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| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

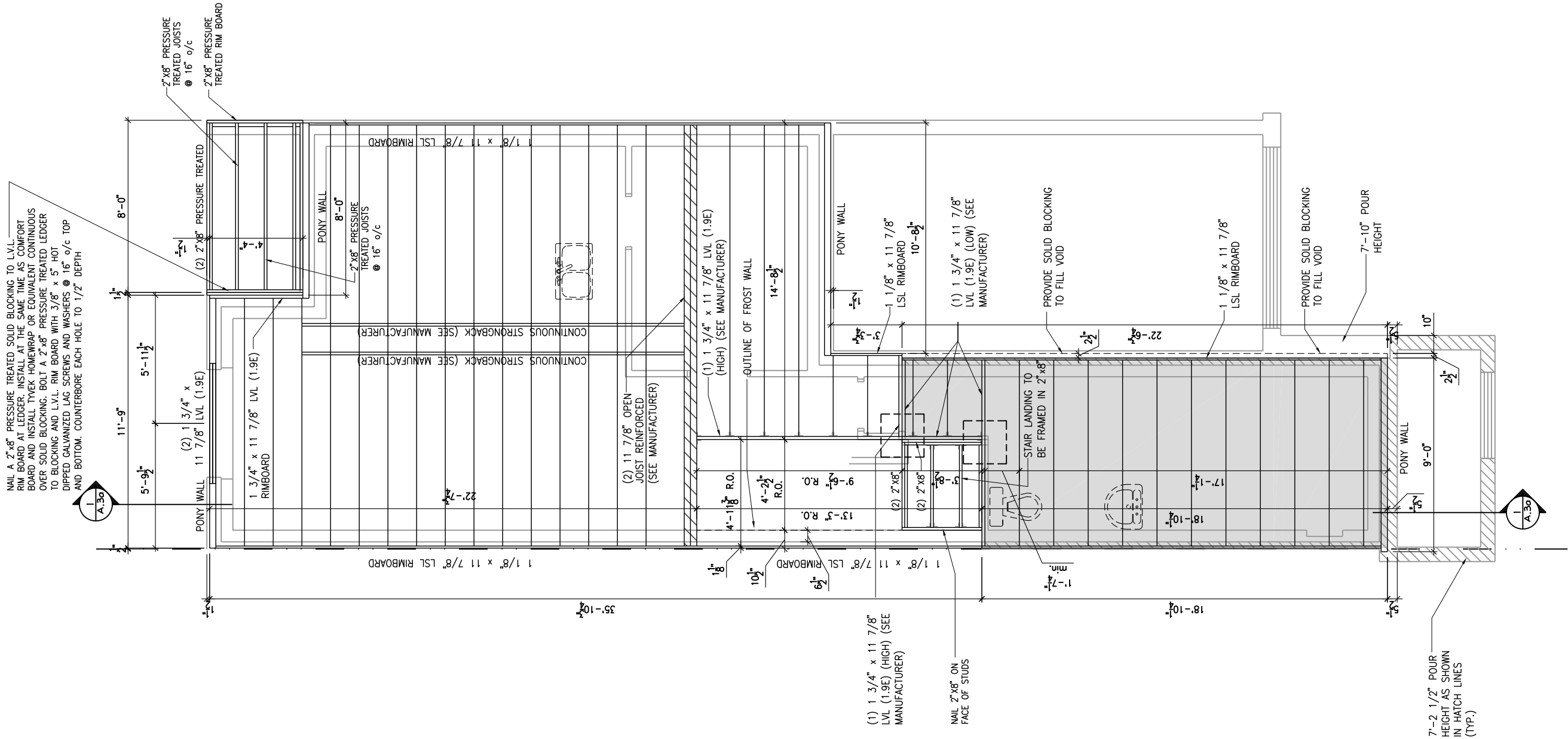
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.6h

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - FLOOR  
JOIST FRAMING - GARAGE END

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6i

CONSTRUCTION SITES:  
SHEA VILLAGE



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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CONSTRUCTION SITES:  
**SHEA VILLAGE**

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.6j**



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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CONSTRUCTION SITES:  
**SHEA VILLAGE**

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.6k**



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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CONSTRUCTION SITES:  
**SHEA VILLAGE**

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.61**

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



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- TARIION REGISTRATION NUMBER #611

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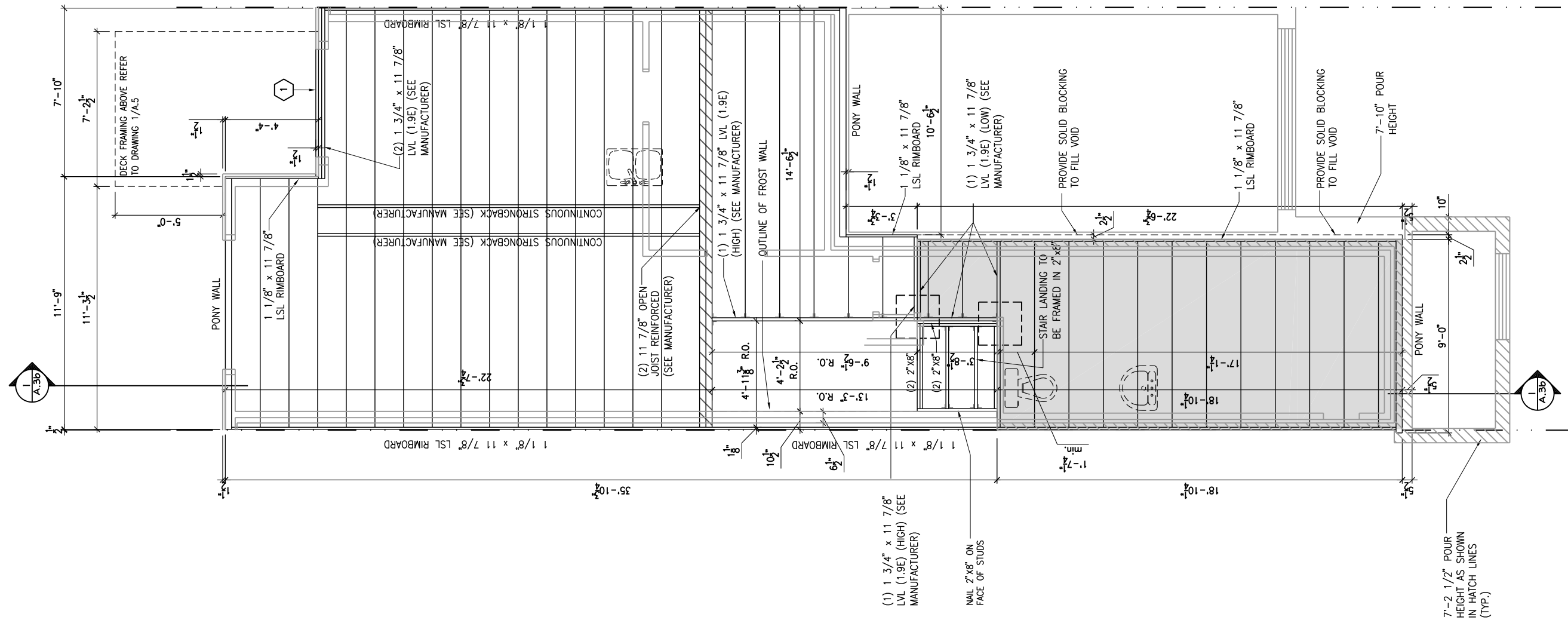
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**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT**

SCALE:  $3/16" = 1'-0"$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

## 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.6m**



Valecraft  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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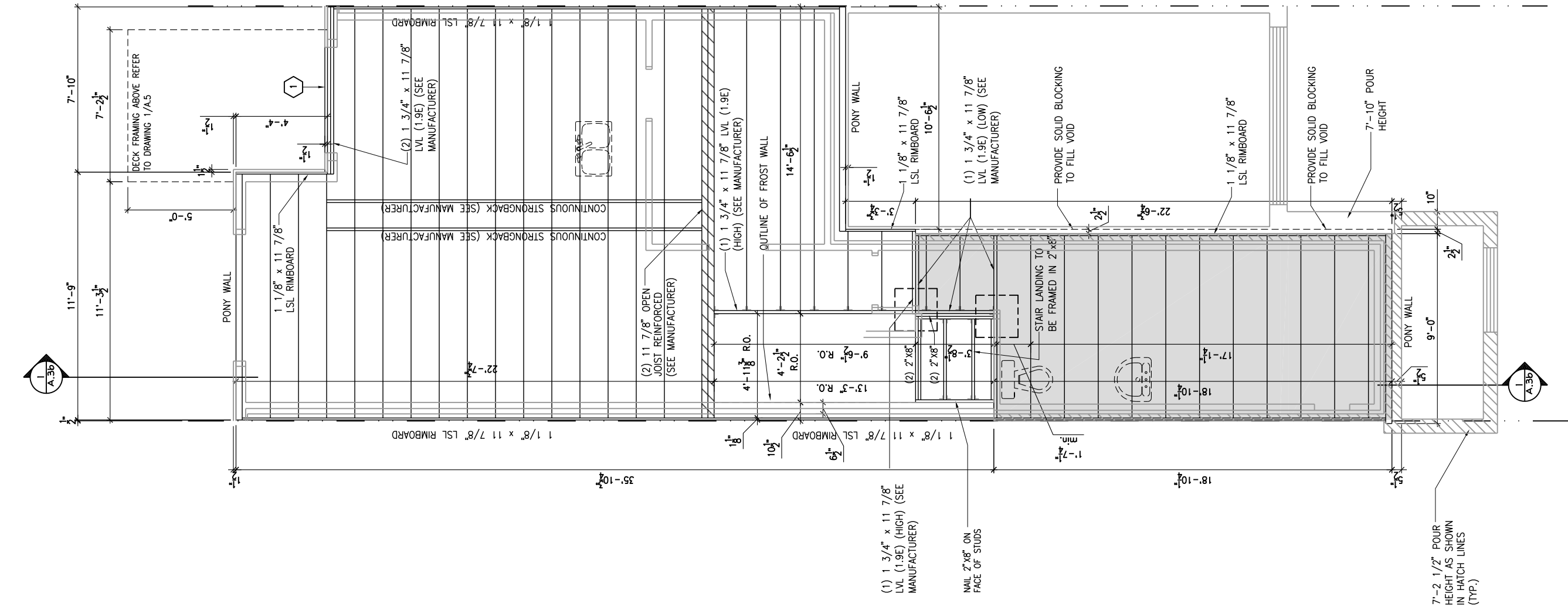
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CONSTRUCTION SITES:  
**SHEA VILLAGE**

### 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.6n**



1  
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

1  
A.60  
GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

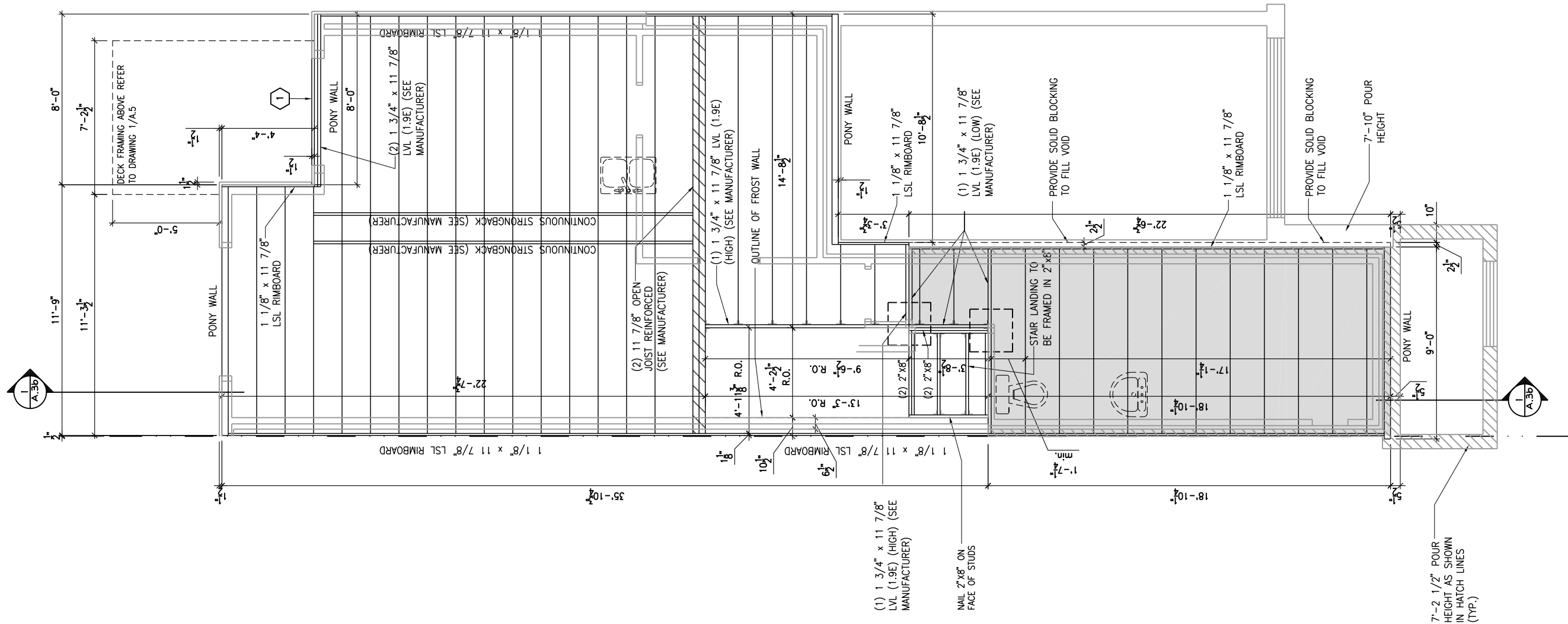
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)  
SHEET: A.60



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX  
DATE: XX/XX/XXXX



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#### 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

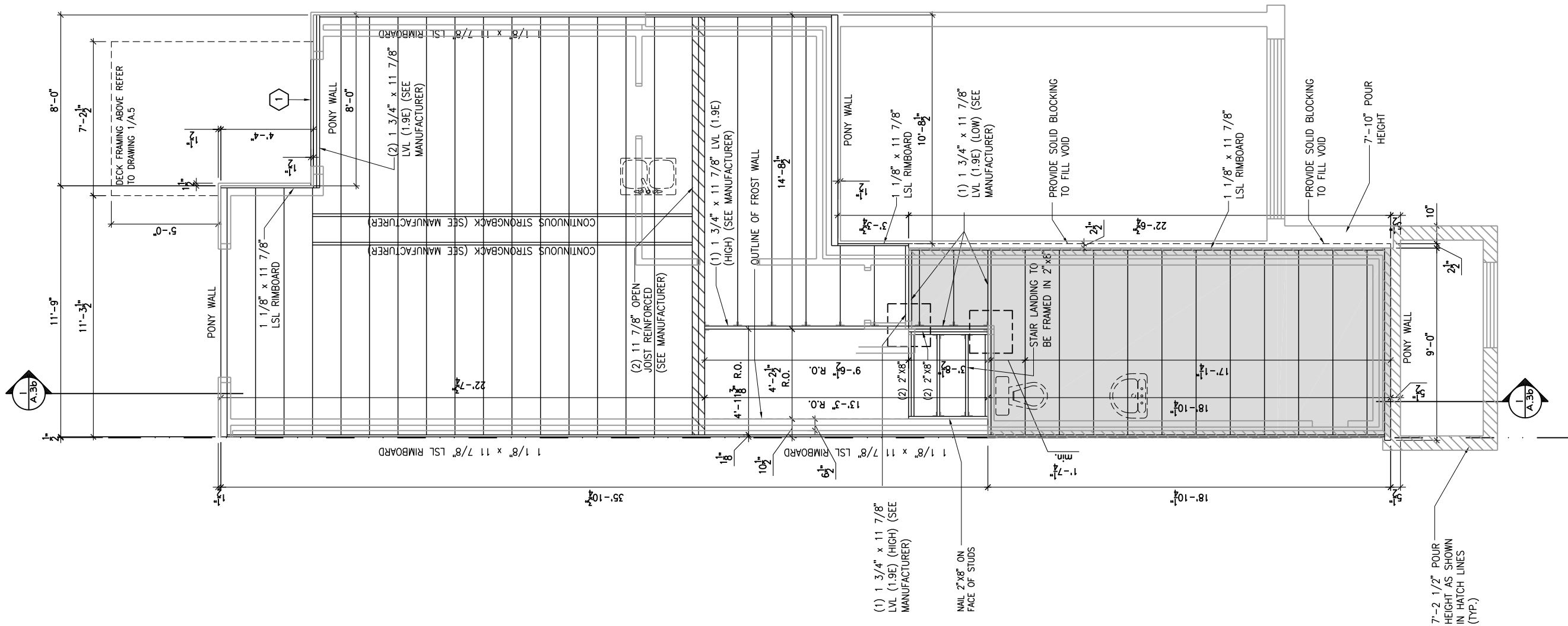
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A.6p

## GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

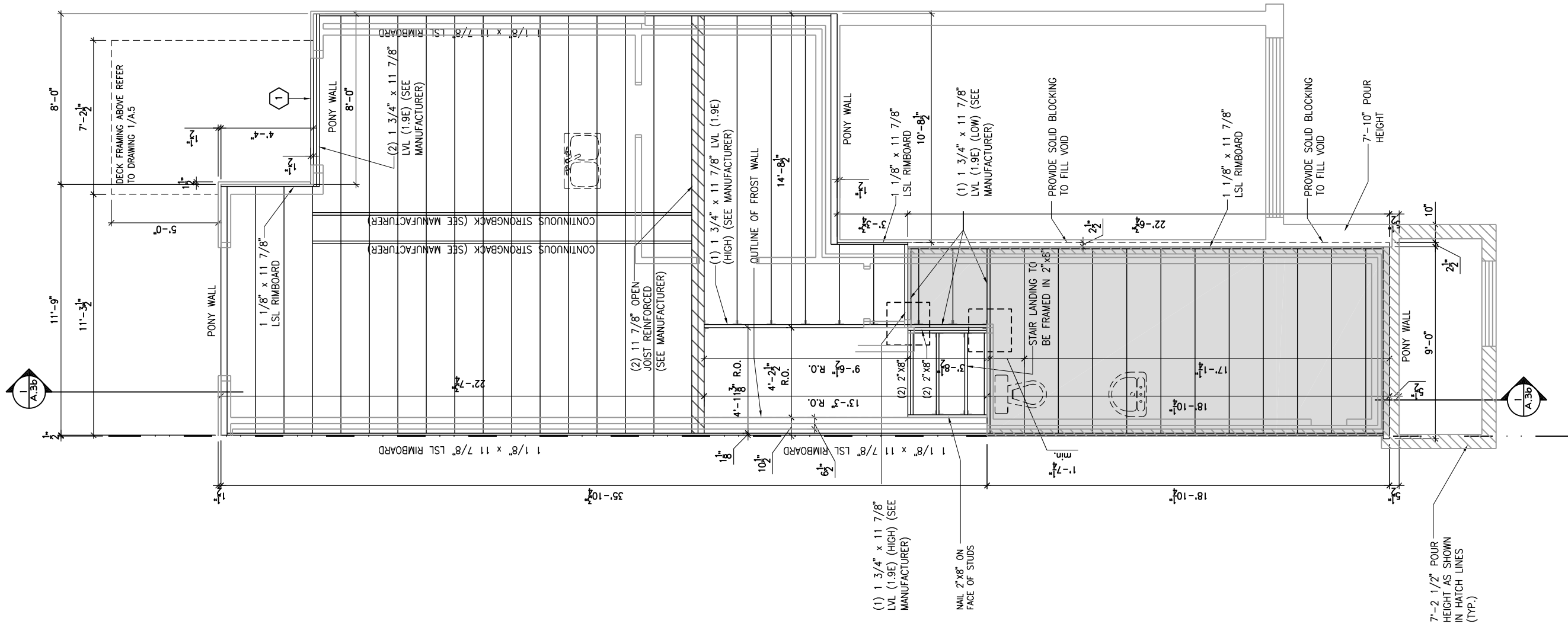
|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6q

CONSTRUCTION SITES:  
SHEA VILLAGE



1  
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.6r

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

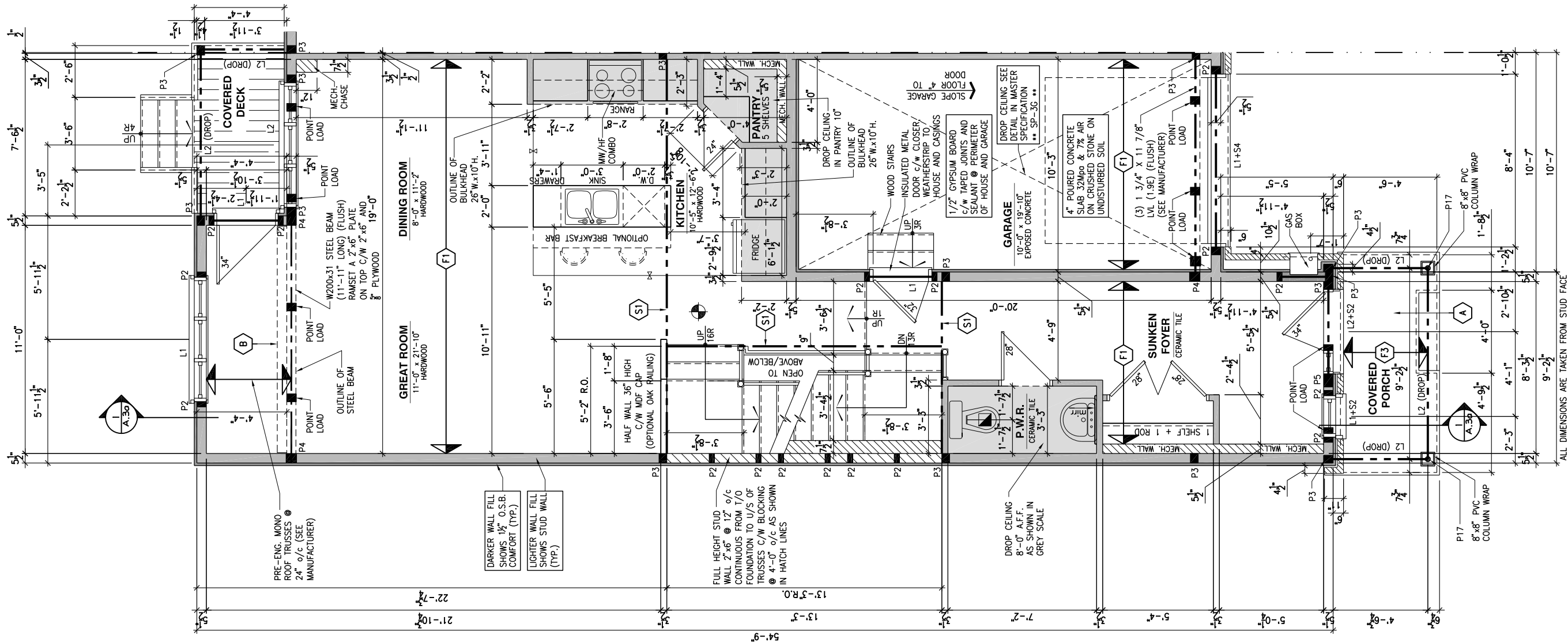
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - PORCH END**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7a**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

A.7a

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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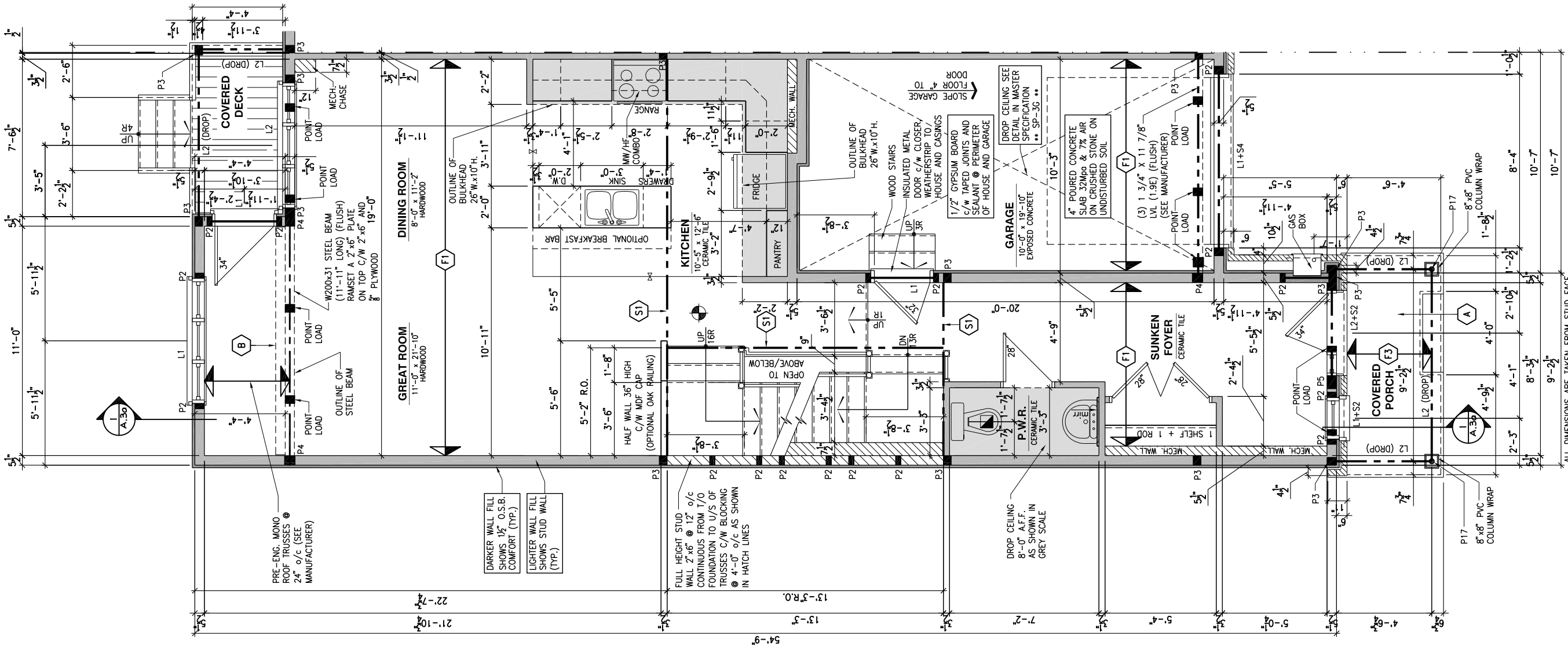
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



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Homes (2019) Limited

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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR PLAN  
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A.7b

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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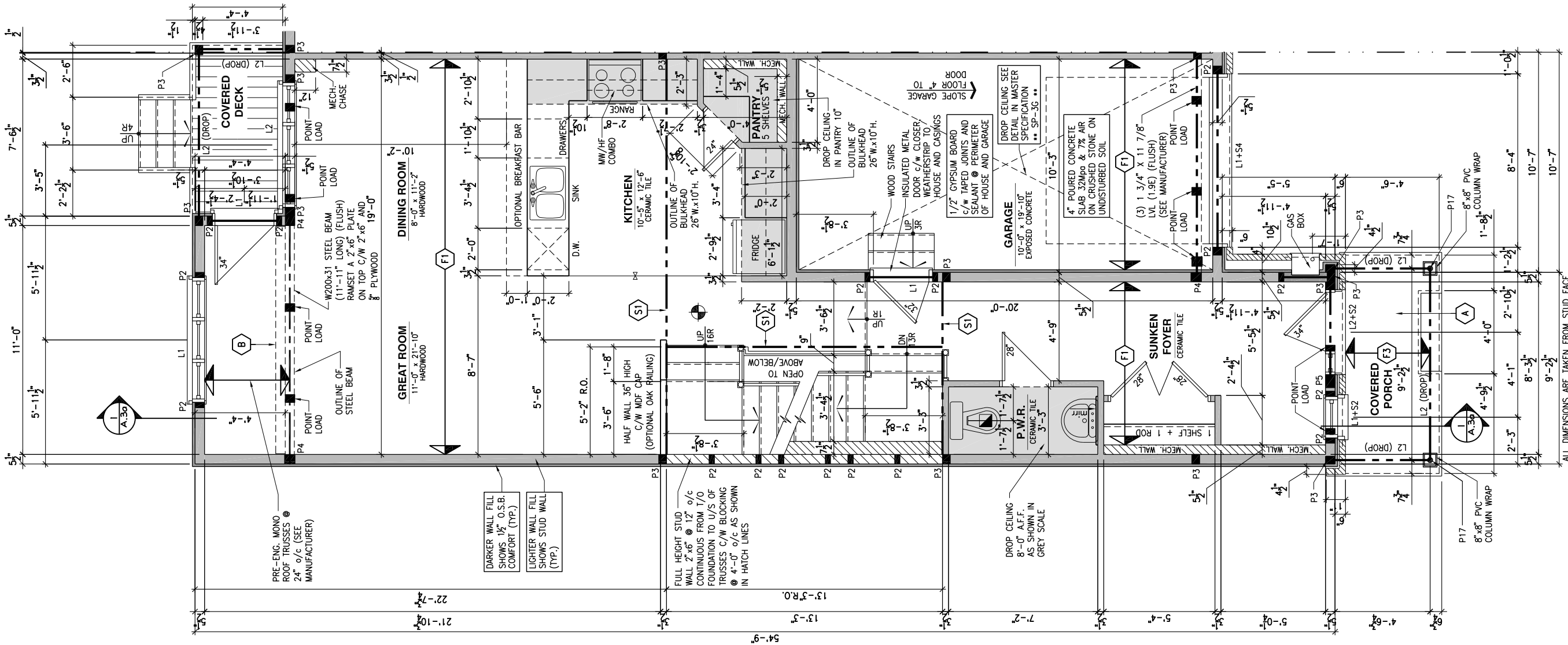
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #2 - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7c**

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- F1** 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2** 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3** 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1** REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
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(UNLESS OTHERWISE NOTED)

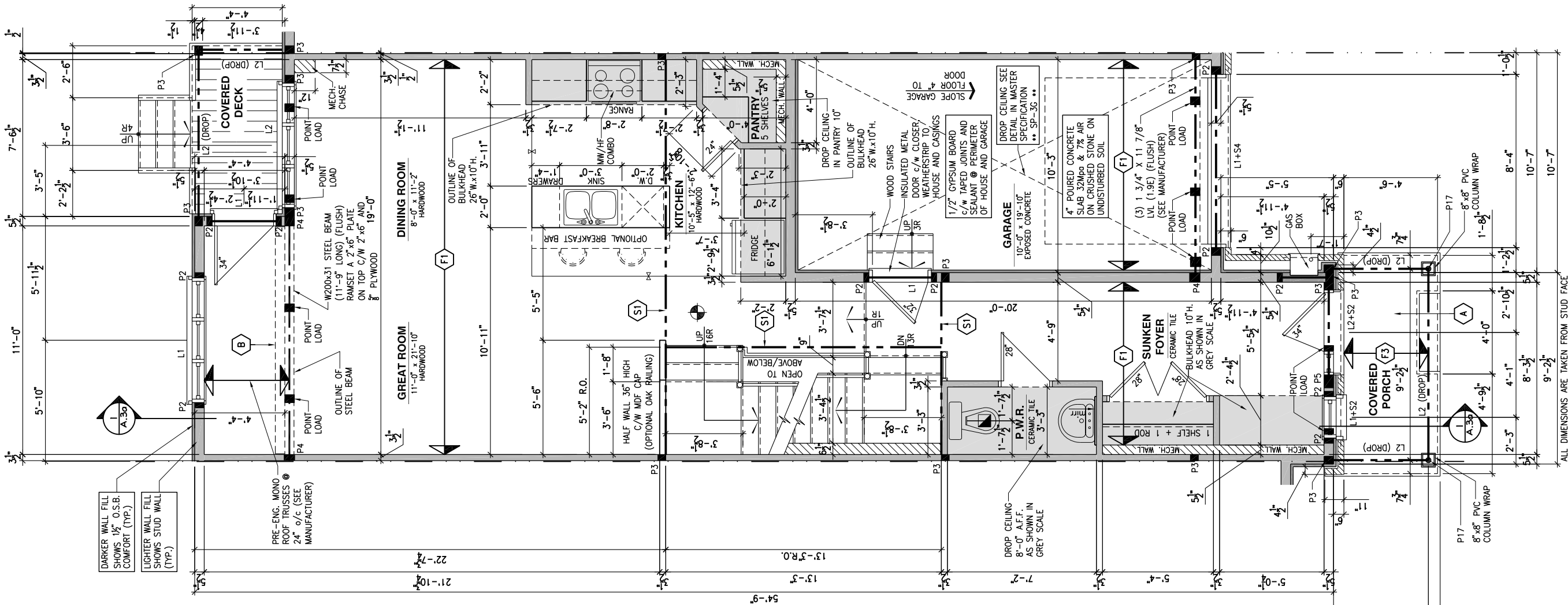
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
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BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 125x90x12
- S7 = L 200x100x12
- S8 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
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- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR PLAN  
STANDARD KITCHEN - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7d

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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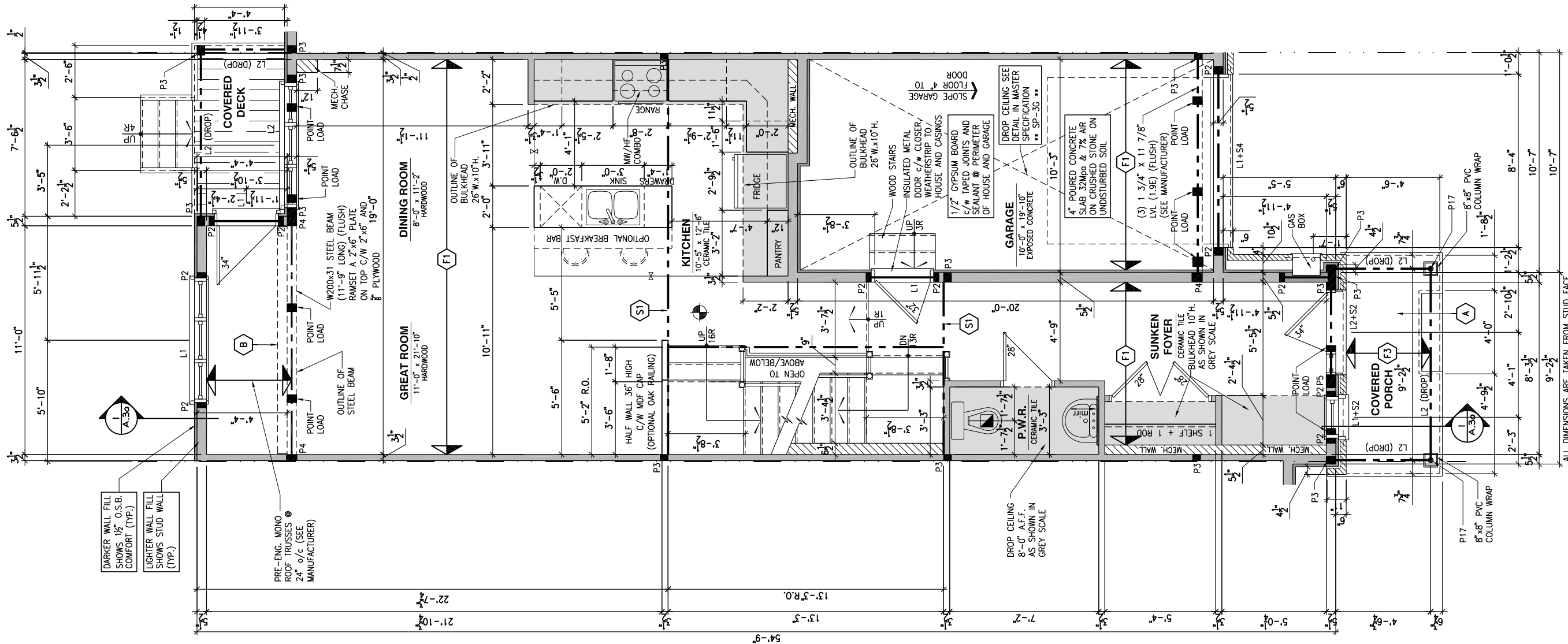
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LOT: XXXX  
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR PLAN  
OPTIONAL KITCHEN #1 - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

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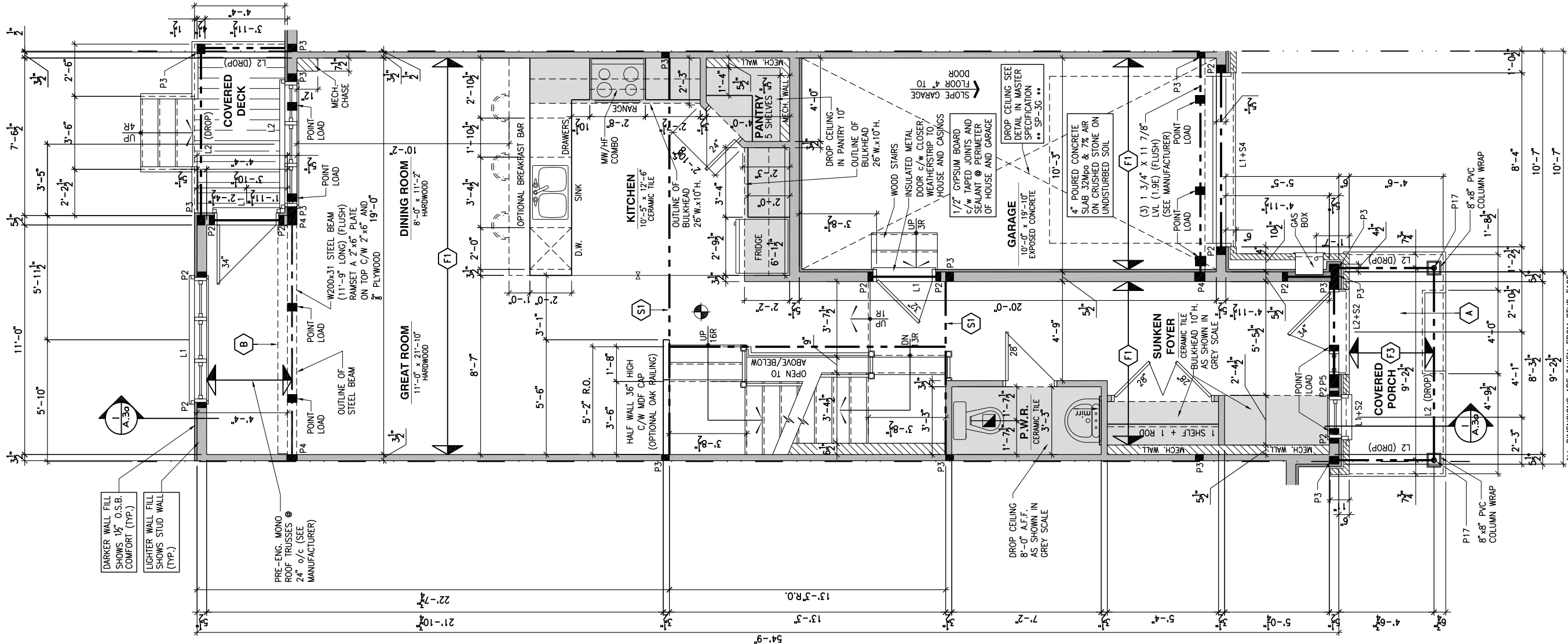
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LOT: XXXX  
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: GROUND FLOOR PLAN  
OPTIONAL KITCHEN #2 - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7f

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
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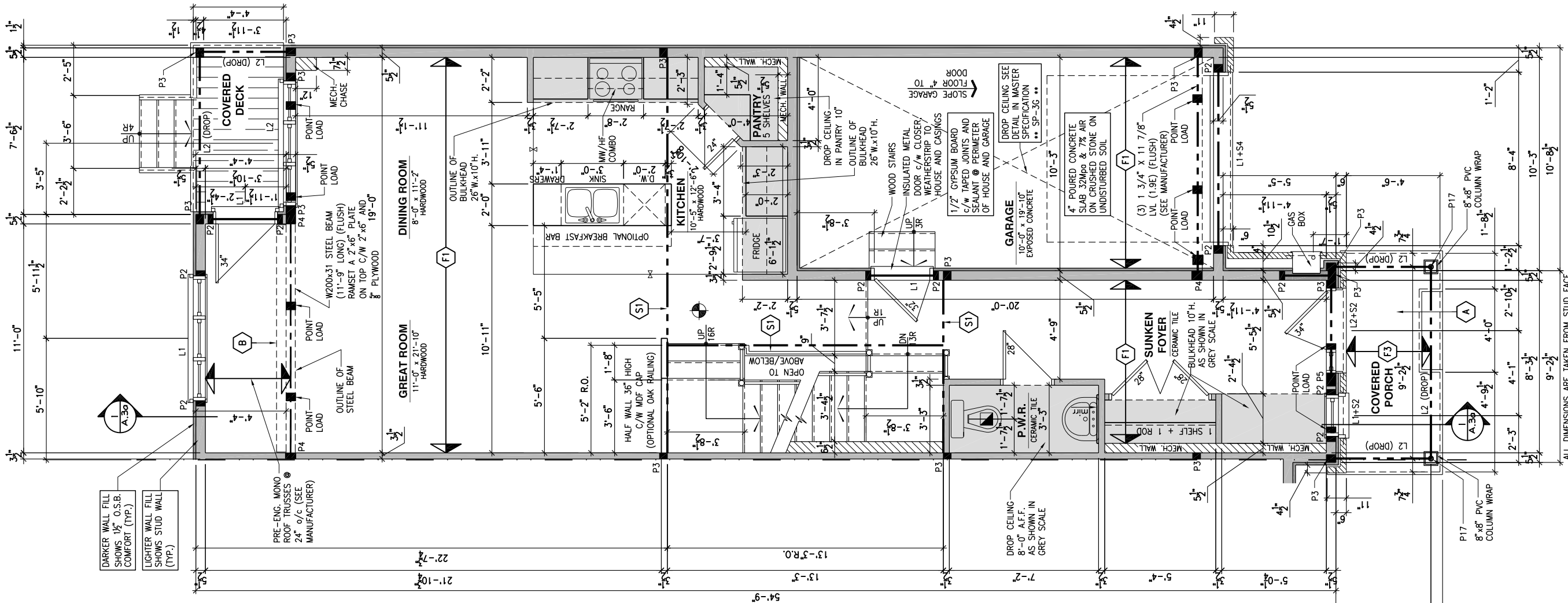
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN-GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7g**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT**

SCALE: 3/16" = 1'-0"

A.7g

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

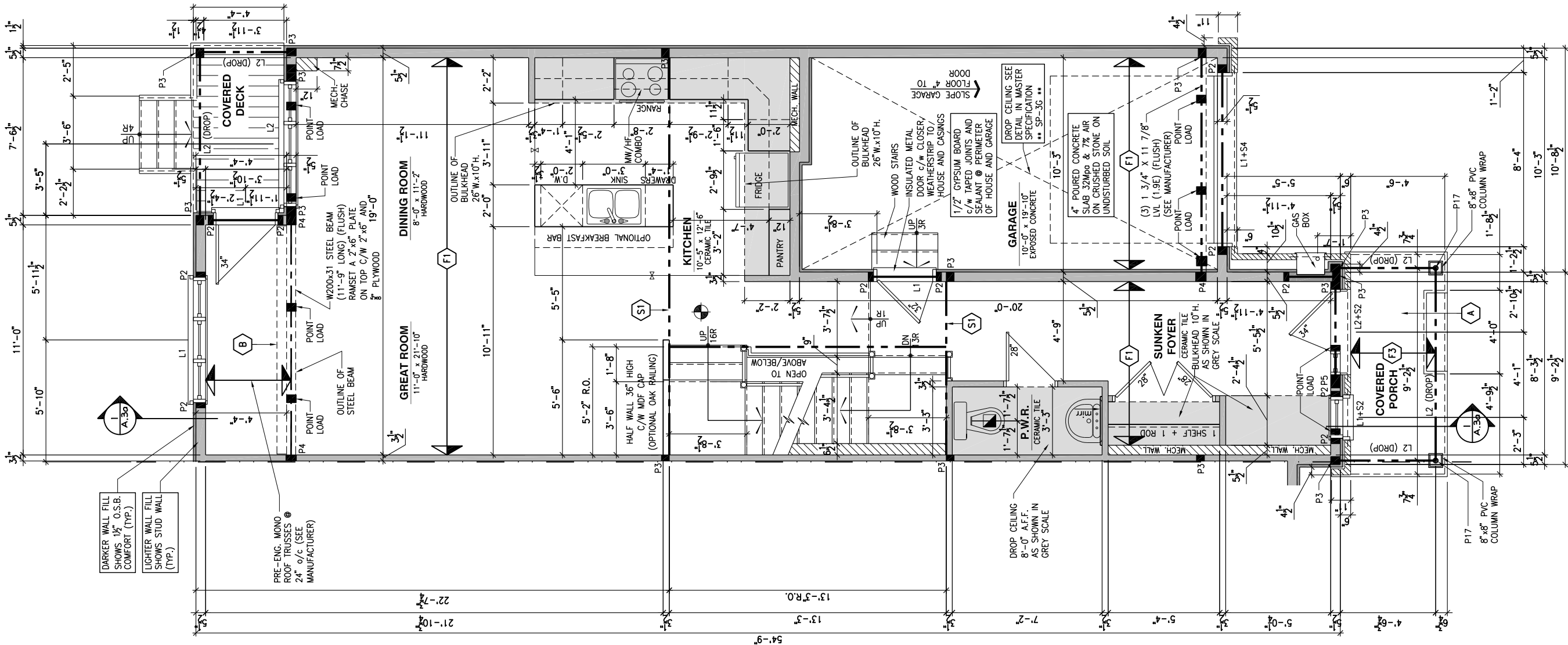
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

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POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (+)  
(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #1 - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7h

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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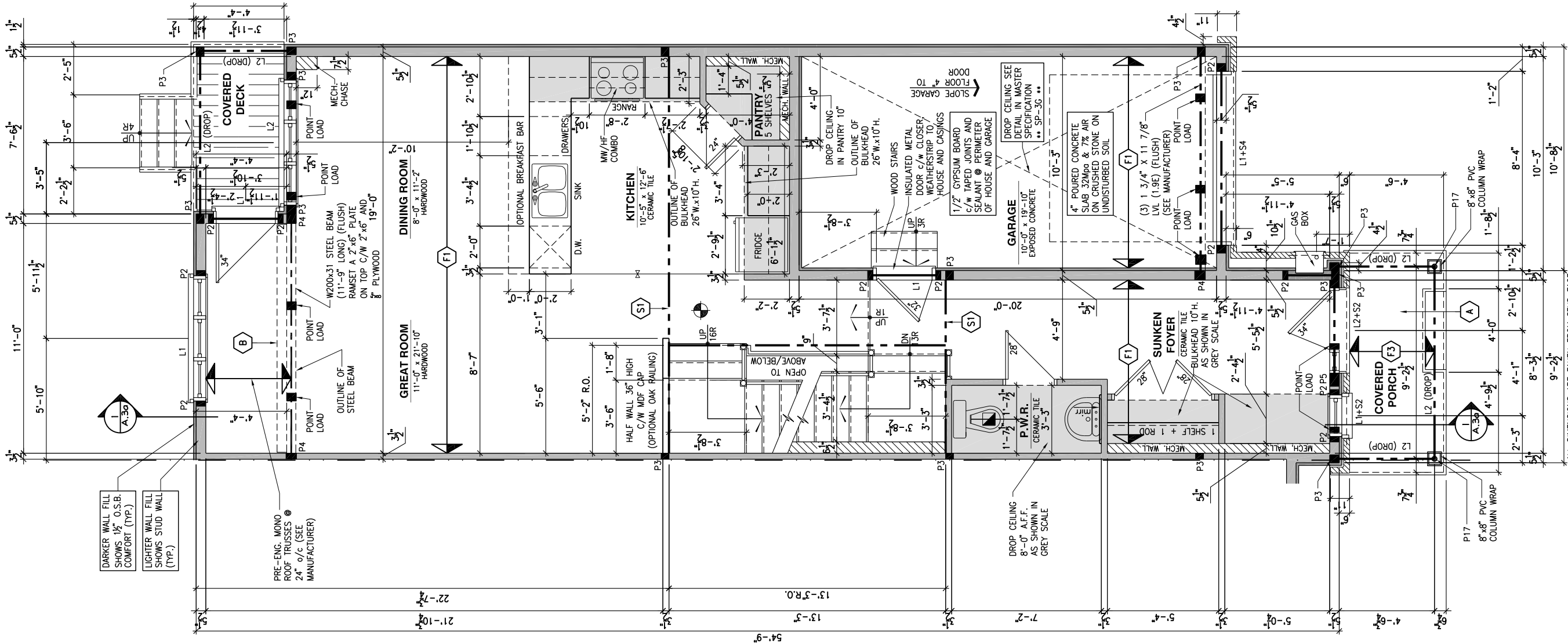
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BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
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LOT: XXXX  
DATE: XX/XX/XXXX

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TREATED LUMBER

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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #2 - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7i**

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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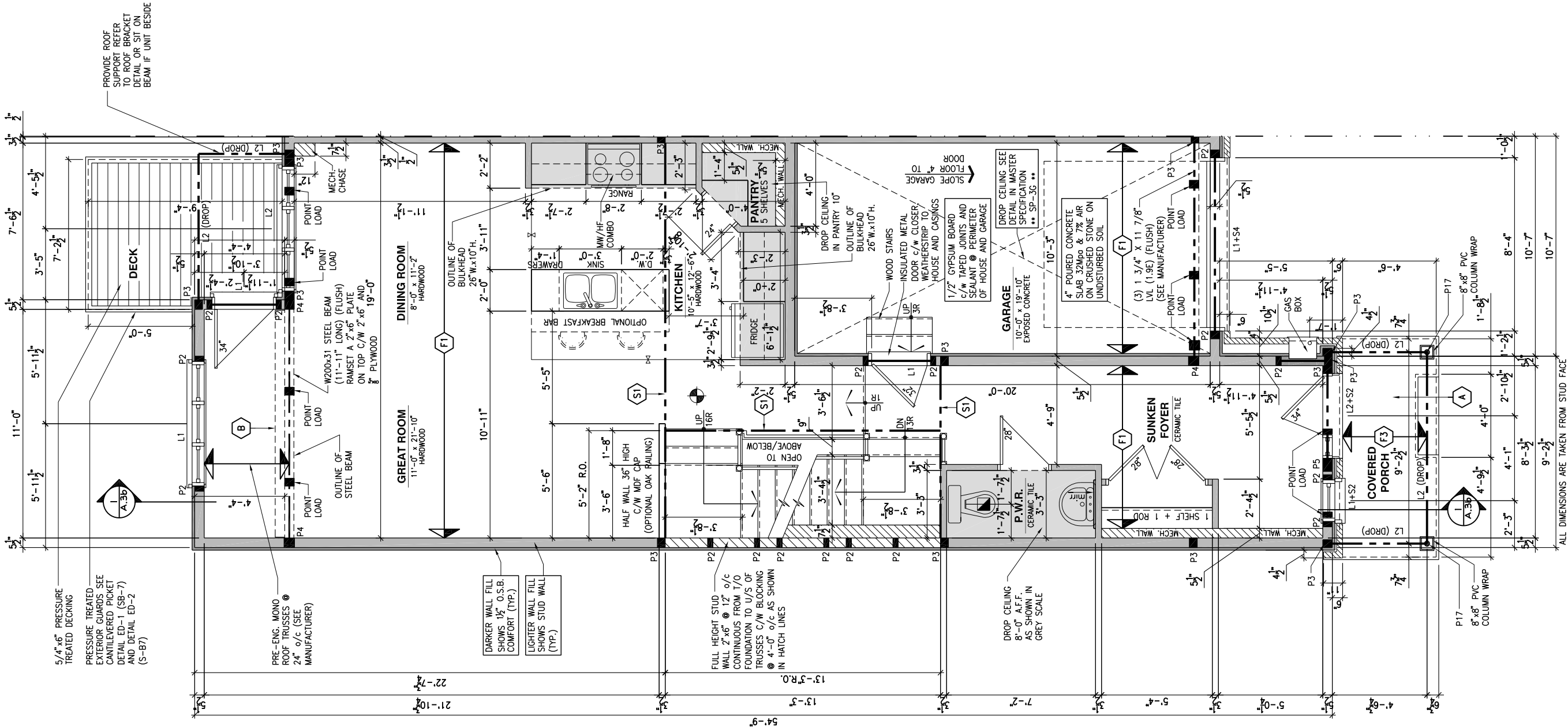
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PORCH CONSTRUCTION:

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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

GROUND FLOOR - WALKOUT  
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7j

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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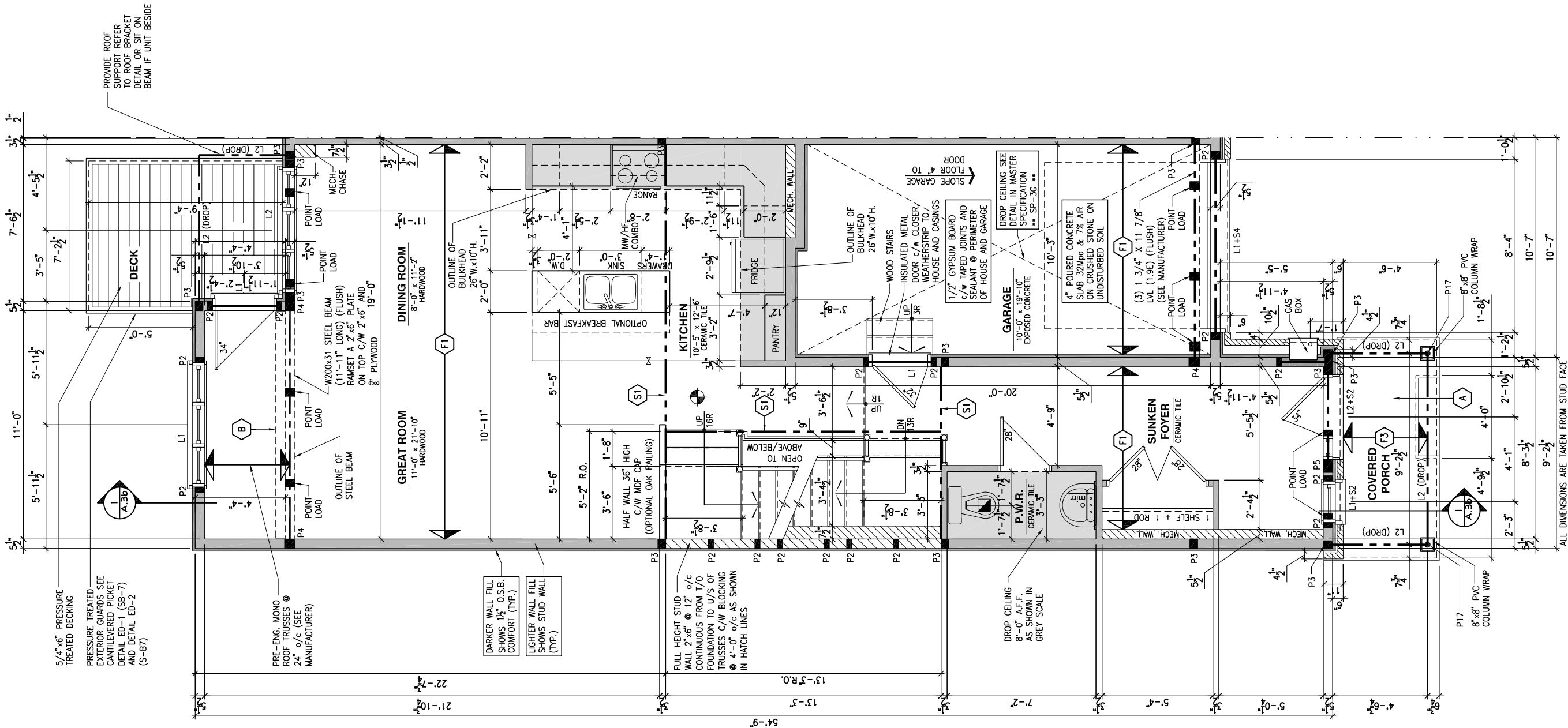
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LOT: XXXX

DATE: XX/XX/XXXX



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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP

- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: **GROUND FLOOR - WALKOUT  
OPT. KITCHEN #1 - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A.7k**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

## GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

A.7k

FLOOR FRAMING:

- (F1) 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- (F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

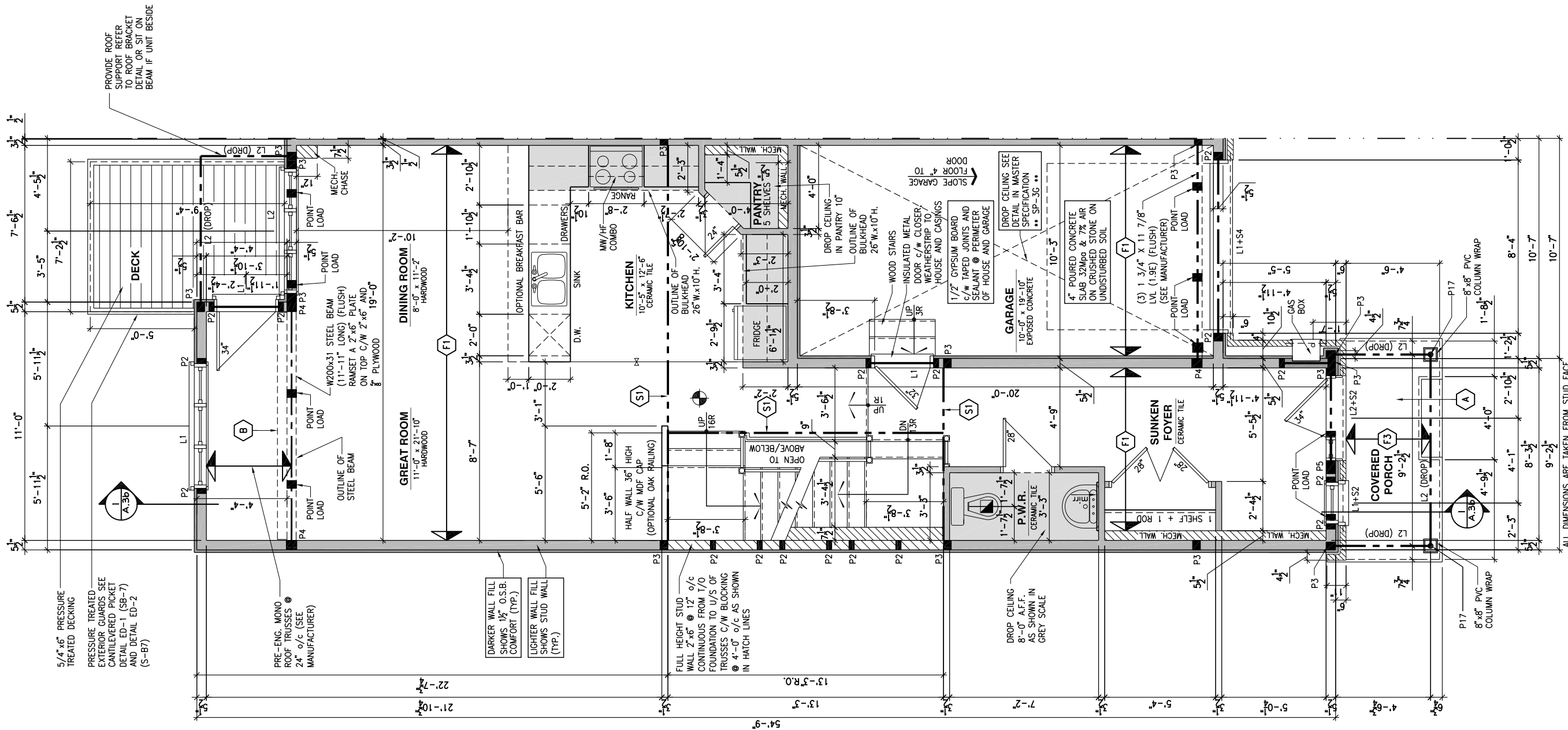
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6  
S2 = 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
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2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: GROUND FLOOR - WALKOUT  
OPT. KITCHEN #2 -PORCH END

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.71

CONSTRUCTION SITES:  
SHEA VILLAGE

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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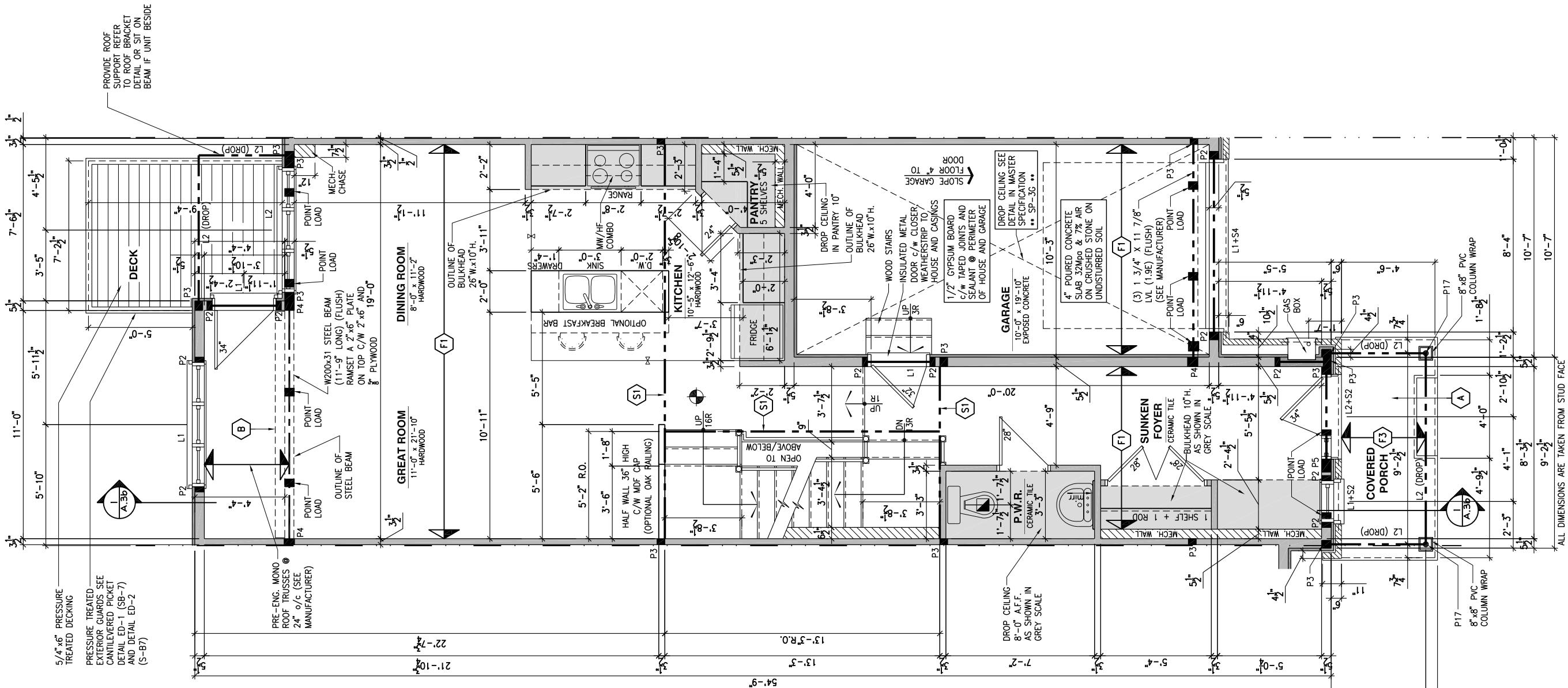
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

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8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
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LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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P6 = 6-2x4 OR 6-2x6
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
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ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON  
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - WALKOUT  
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.7m

CONSTRUCTION SITES:  
SHEA VILLAGE

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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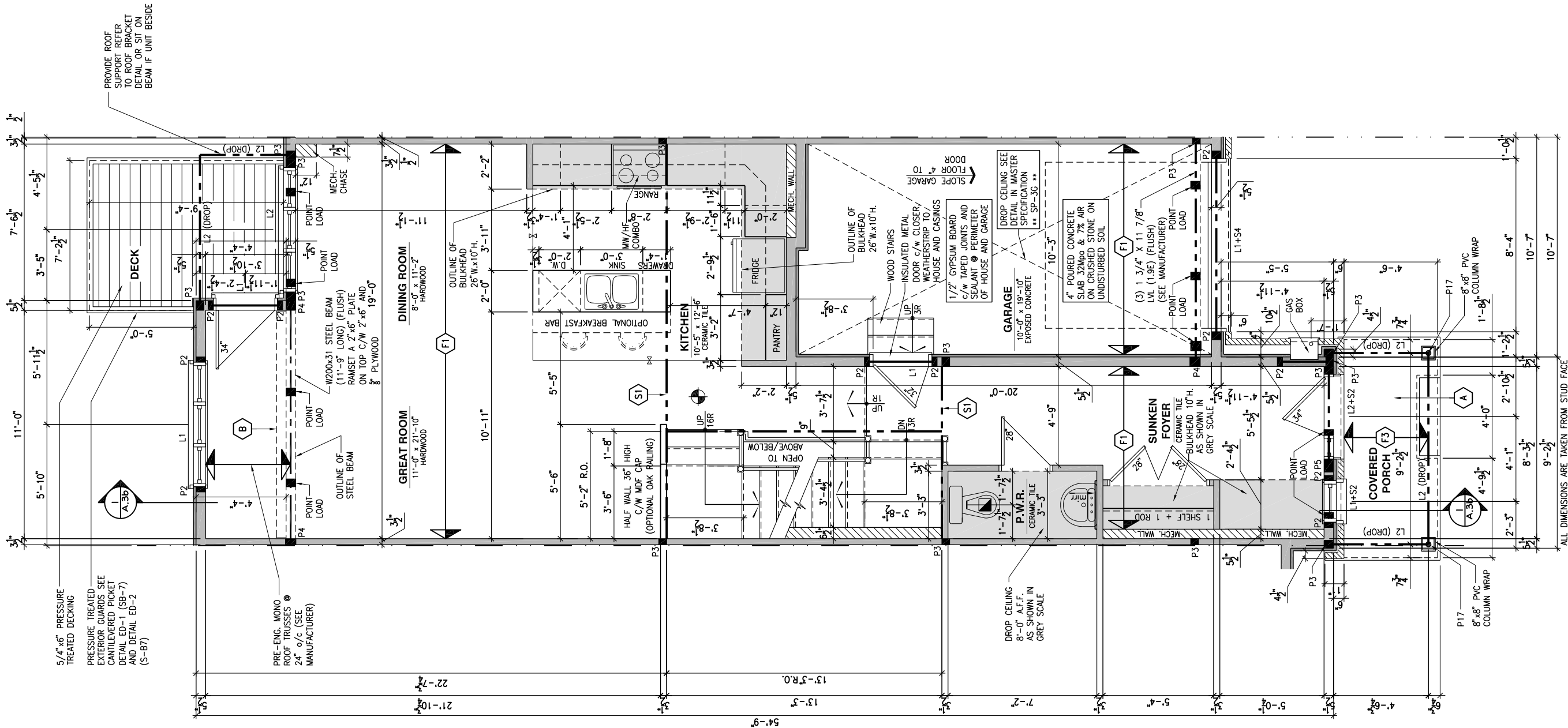
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: GROUND FLOOR - WALKOUT  
OPTIONAL KITCHEN #1 - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.7n**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

FLOOR FRAMING:

- (F1) 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- (F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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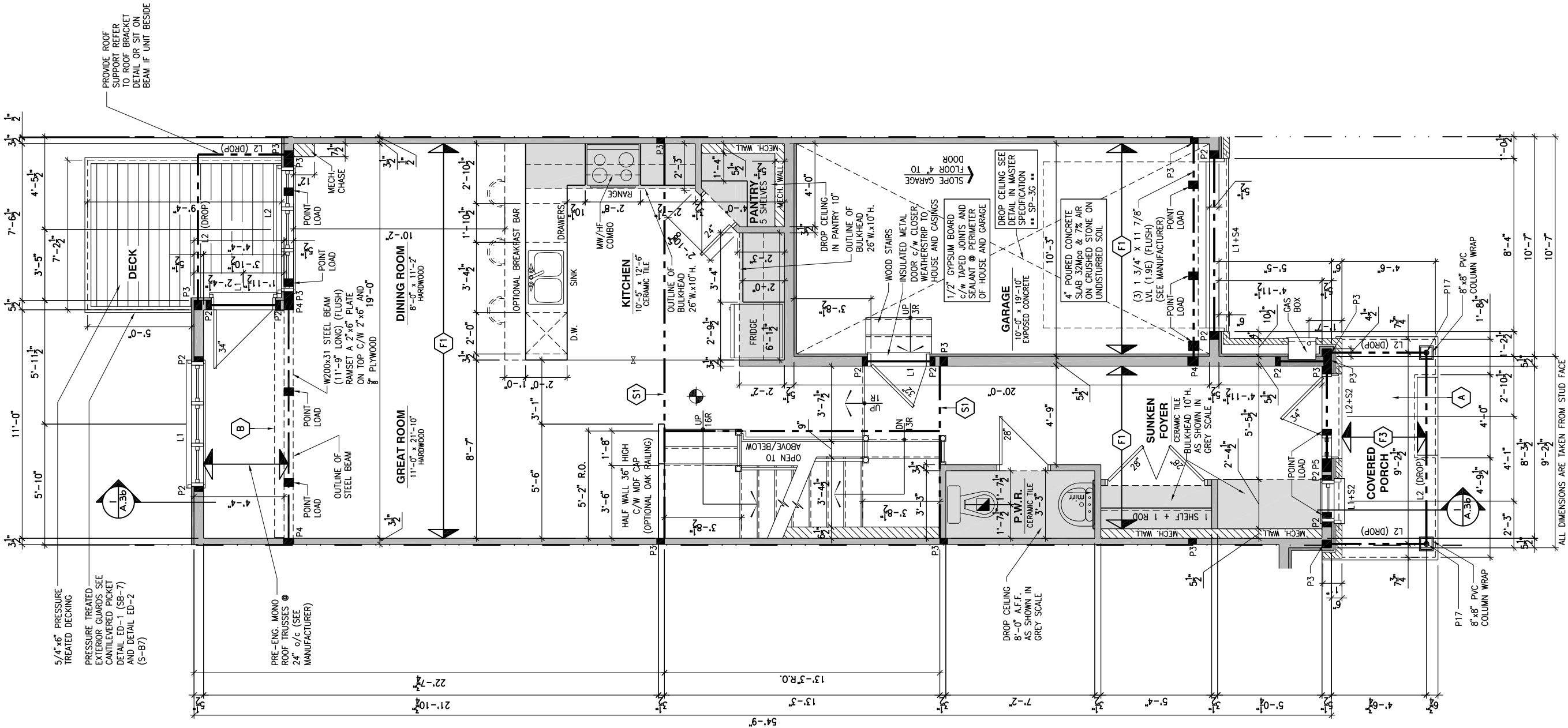
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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

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LOT: XXXX  
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
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- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (+)
- (+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD  
(EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE  
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  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
|-------|-----|-------------|--------------------------------|------------|-------|
|       |     |             |                                | MM/DD/YYYY | BY    |

DRAWING: GROUND FLOOR - WALKOUT  
OPTIONAL KITCHEN #2 - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.70

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c  
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR  
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING  
(UNLESS OTHERWISE NOTED)

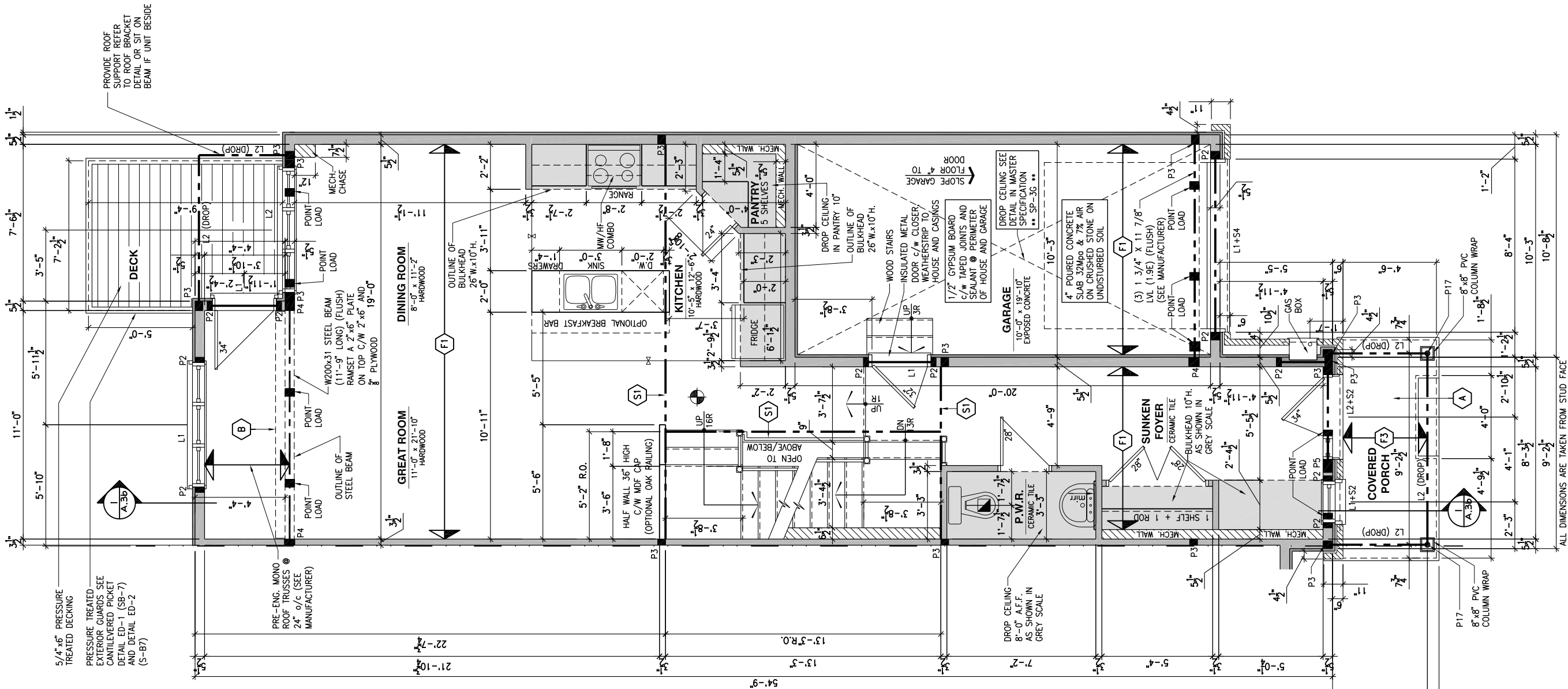
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE  
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER  
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M  
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c  
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED  
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"  
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL  
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH  
WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM  
TO ALLOW BEAM TO SIT ON TOP OF WALL)



## GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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LINTEL TABLE:

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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

### 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON  
NO. DESCRIPTION MM/DD/YYYY BY

DRAWN: GROUND FLOOR - WALKOUT  
STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.7p



FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE  
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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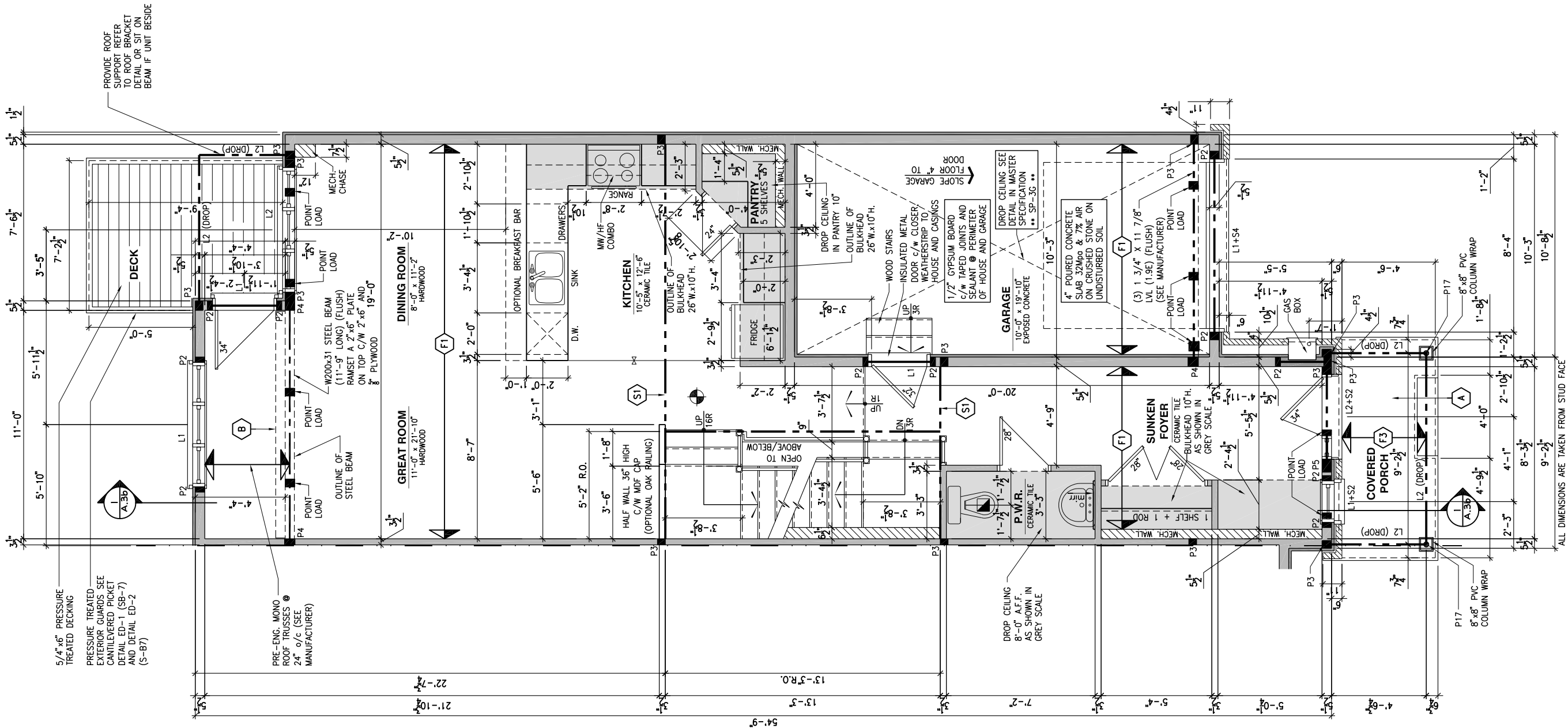
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.  
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## GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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Homes (2019) Limited

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### 2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
|-------|--------------------------------|------------------|
| NO.   | DESCRIPTION                    | NM/DD/YYYY BY    |

DRAWING: **GROUND FLOOR - WALKOUT  
OPT. KITCHEN #2 - GARAGE END**

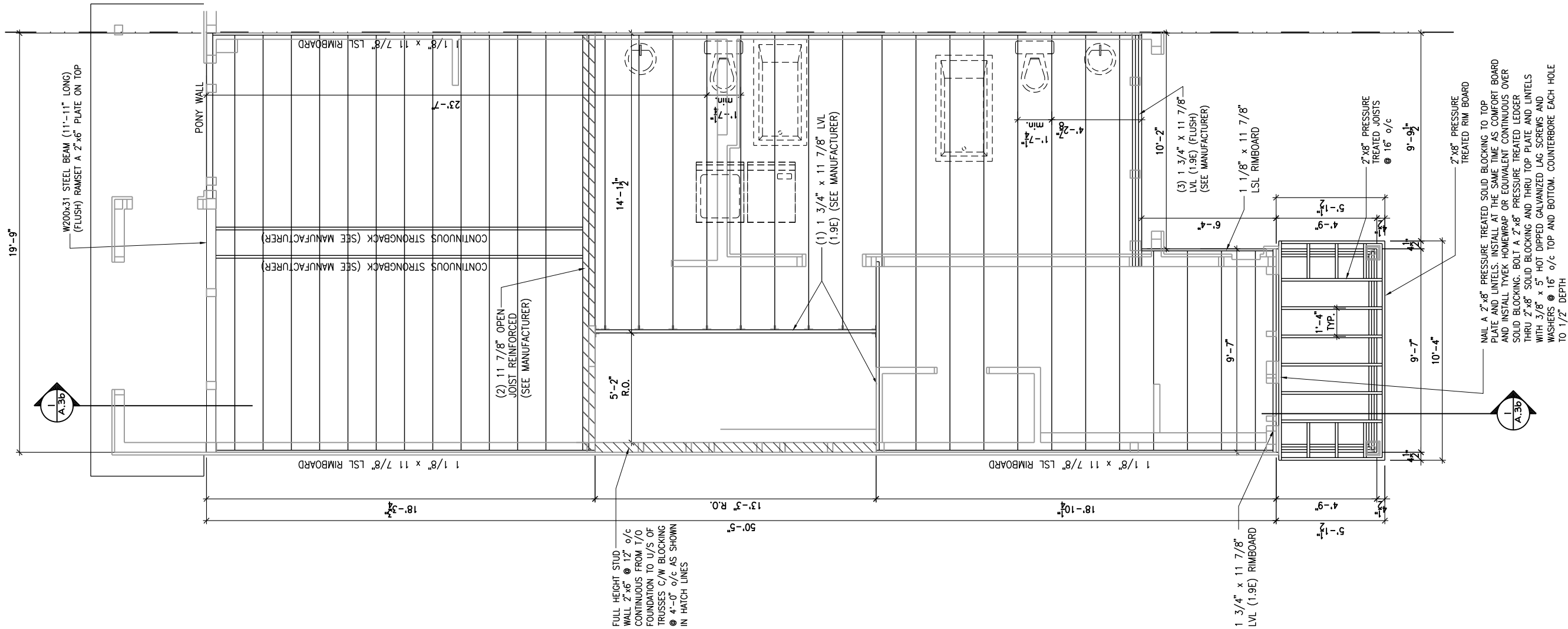
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.7r**

CONSTRUCTION SITES:  
**SHEA VILLAGE**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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**2012 O.B.C. DRAWINGS**

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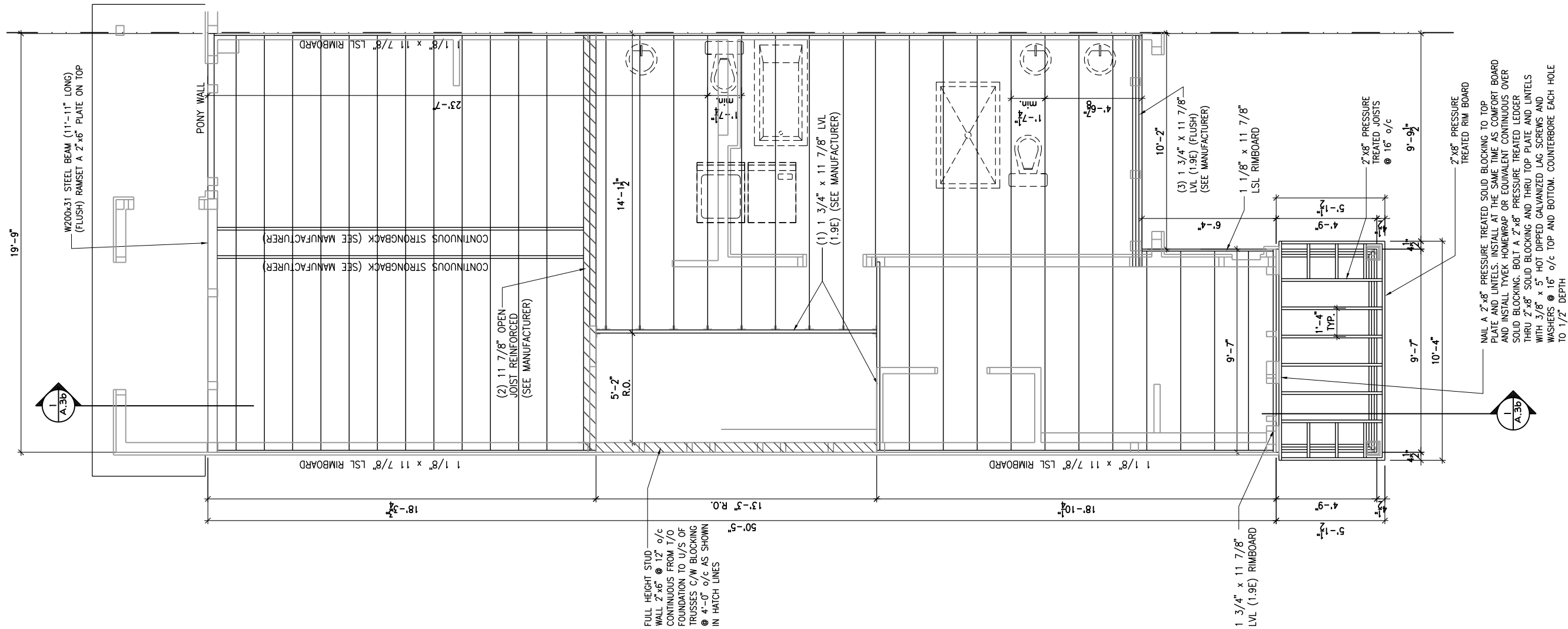
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8a**



**1**  
**A.8b**

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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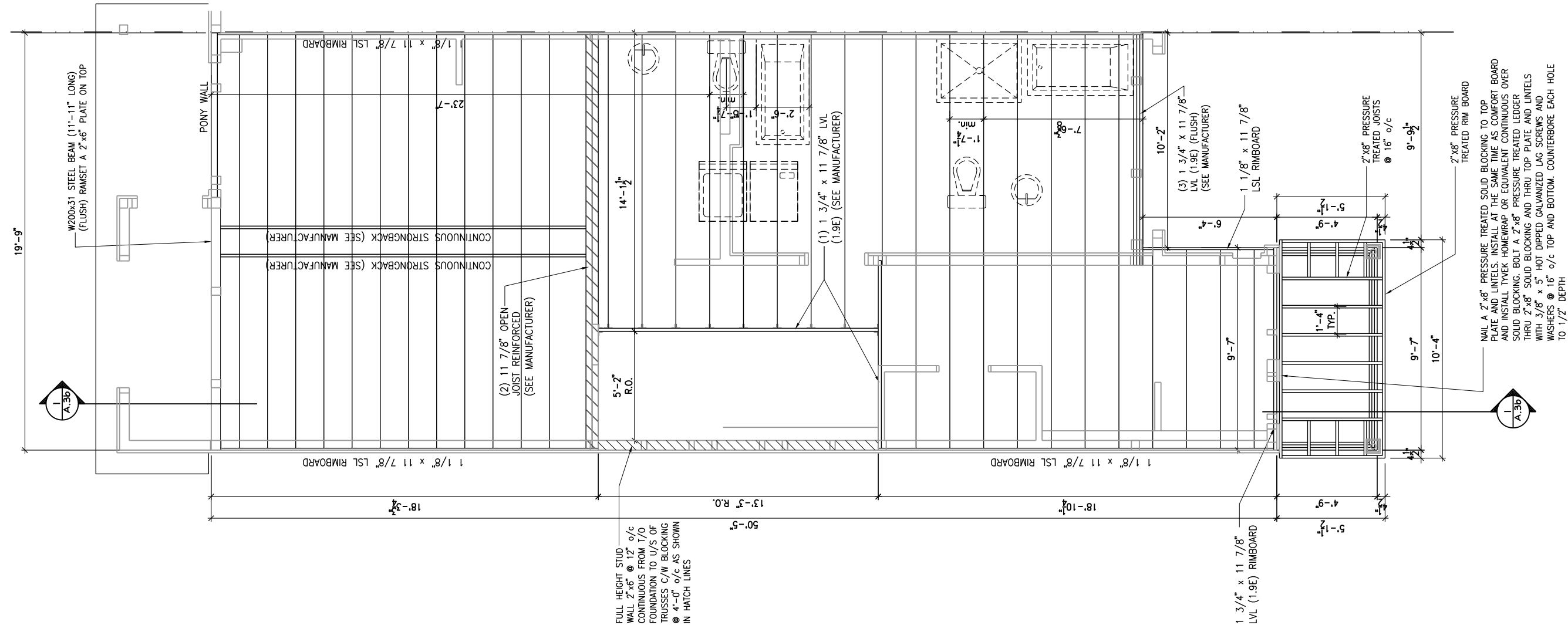
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DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

**A.8b**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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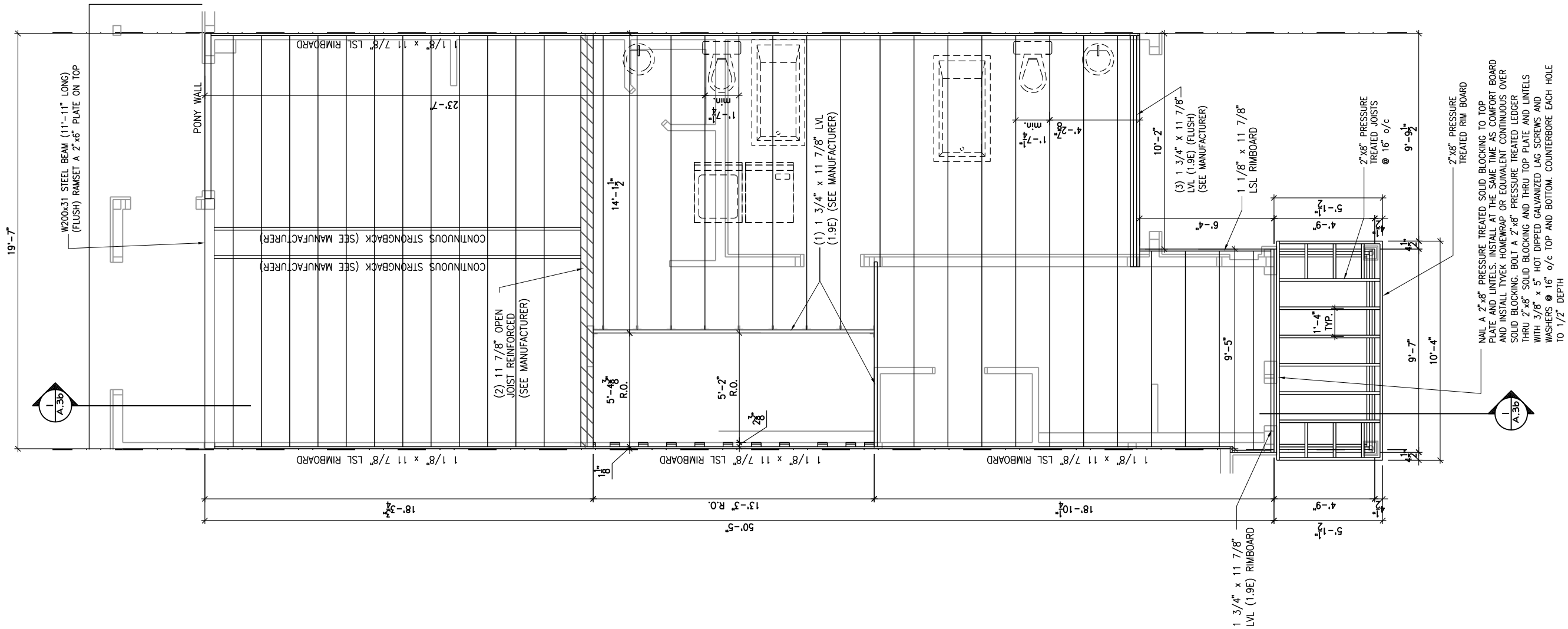
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|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A.8c**



1

A.8d

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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2012 O.B.C. DRAWINGS

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REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO.

DESCRIPTION

MM/DD/YYYY

BY

DRAWING:

SECOND FLOOR - FLOOR JOIST FRAMING PLAN -MID

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

XX/XX/XXXX

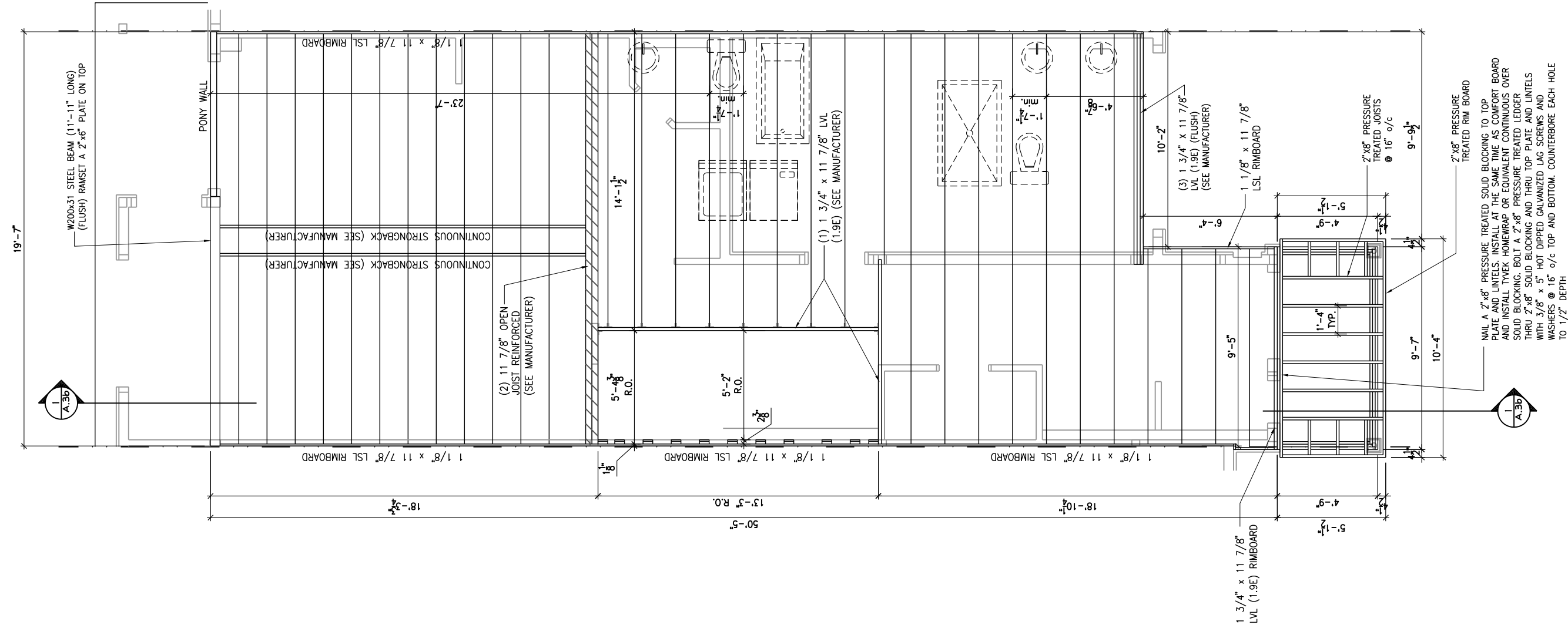
130 - THE LEWIS

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.8d



**1**  
**A.8e**

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT**

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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**2012 O.B.C. DRAWINGS**

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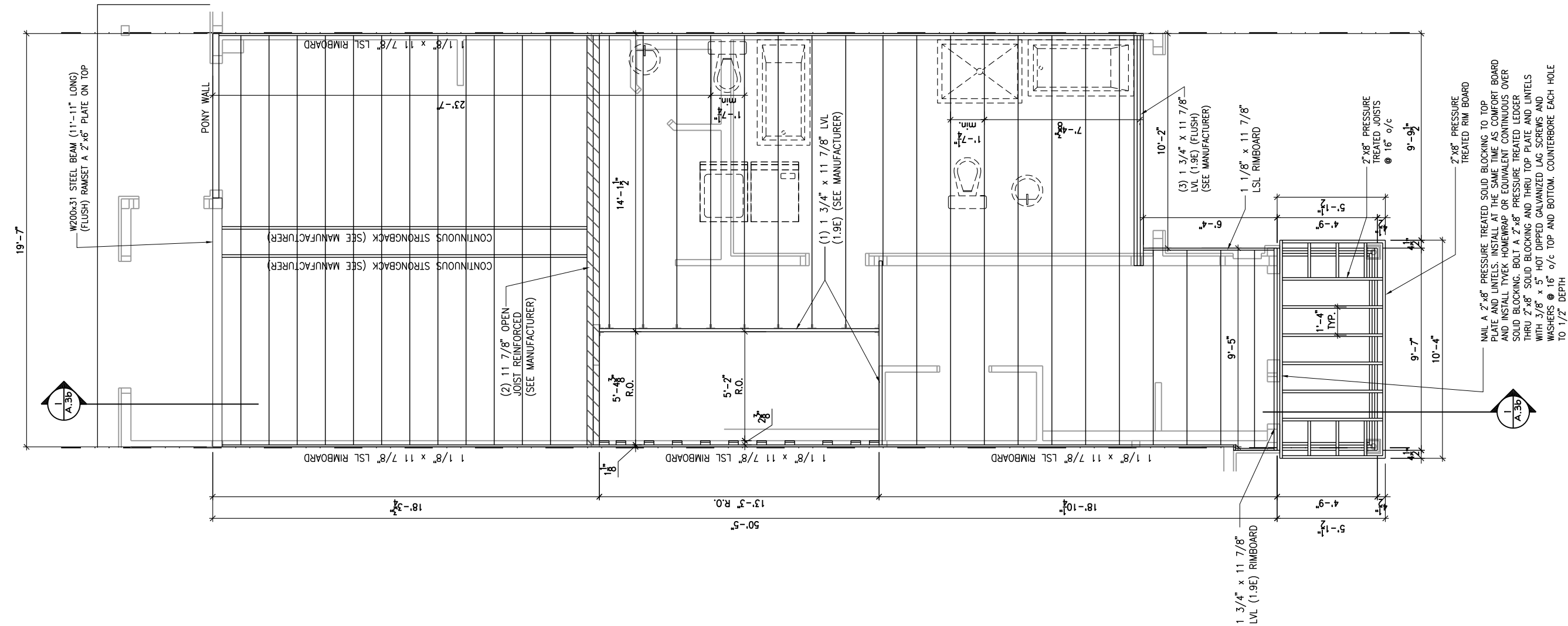
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET: **A.8e**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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**2012 O.B.C. DRAWINGS**

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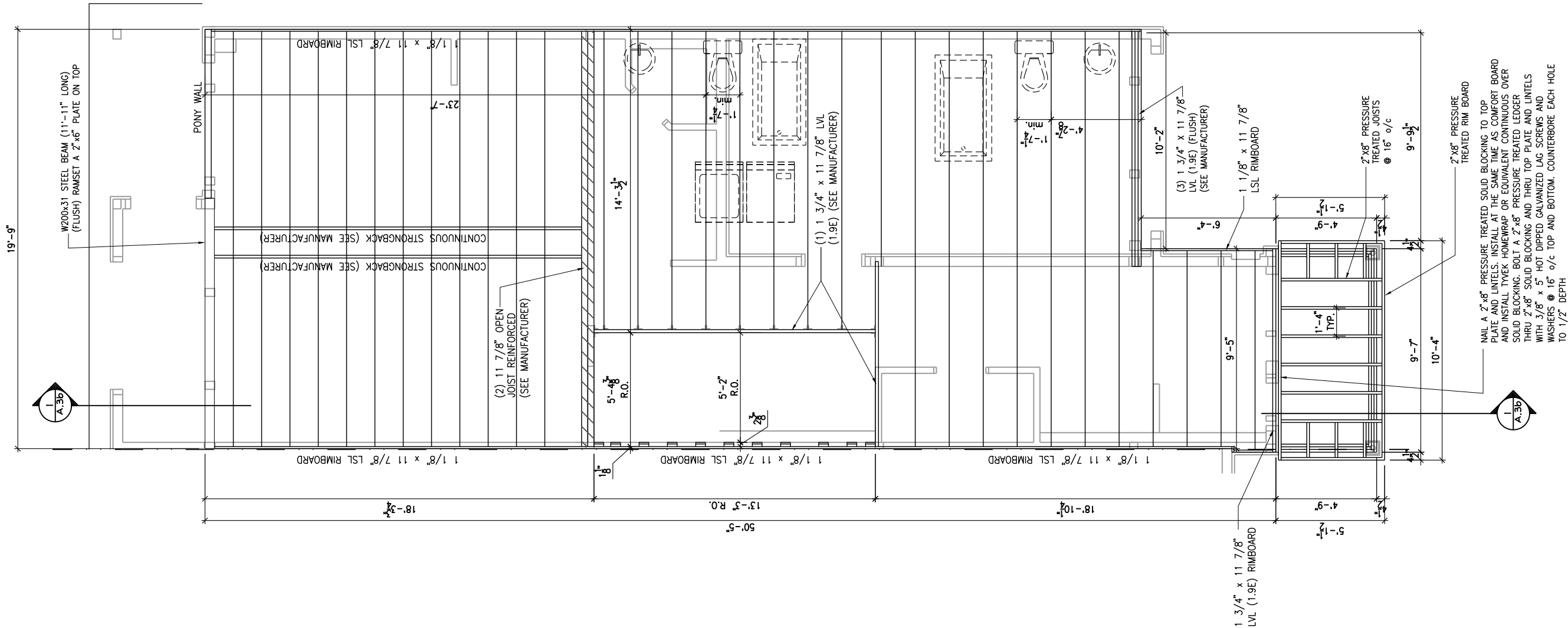
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS 2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8f**



**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.8g**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

 **Valecraft**  
Homes (2019) Limited  
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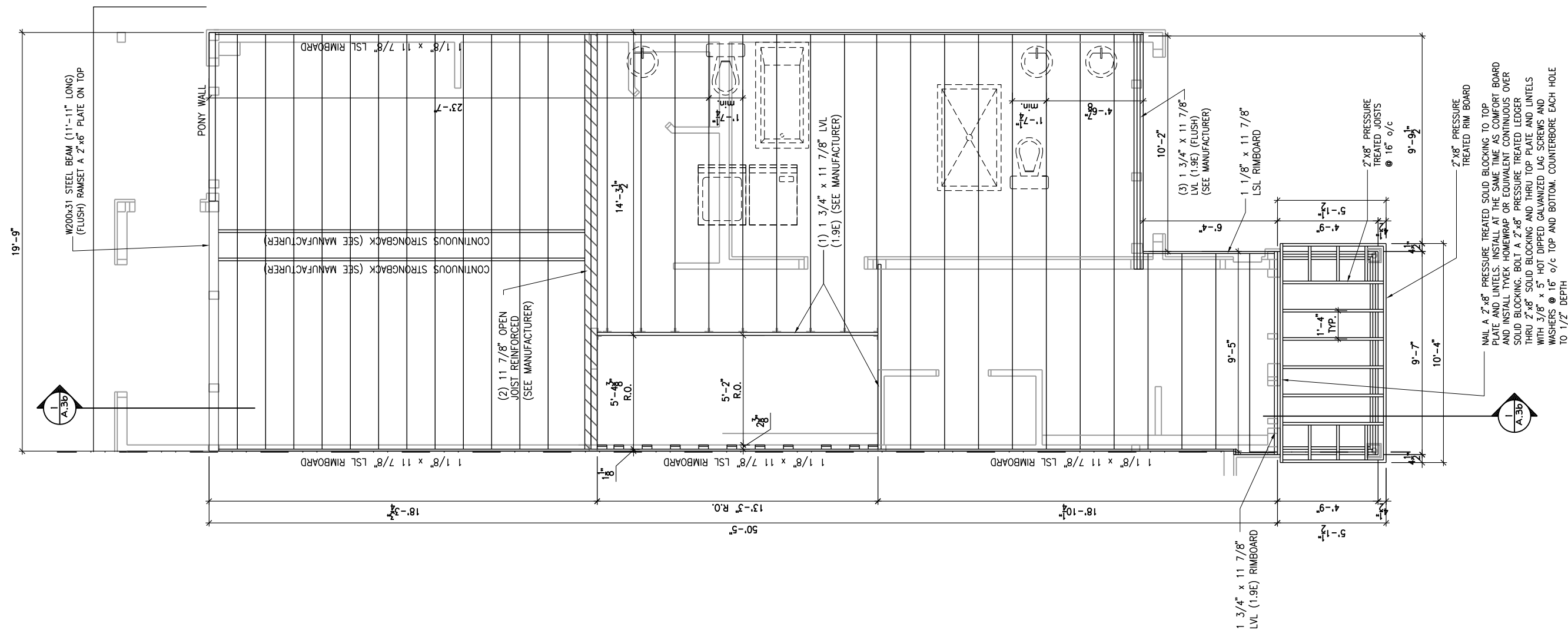
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CONSTRUCTION SITES:  
**SHEA VILLAGE**

**130 - THE LEWIS**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.8h**

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT**



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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| 2012 O.B.C. DRAWINGS |                                |            |       |
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| REV-1                | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.                  | DESCRIPTION                    | MM/DD/YYYY | BY    |

**DRAWING: SECOND FLOOR - FLOOR  
JOIST FRAMING - GARAGE END**

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|----------------|-------------------------|---------------------|
| ADDRESS:<br>xx | SCALE:<br>3/16" = 1'-0" | DATE:<br>xx/xx/xxxx |
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130 - THE LEWIS

2022 FOOTPRINT

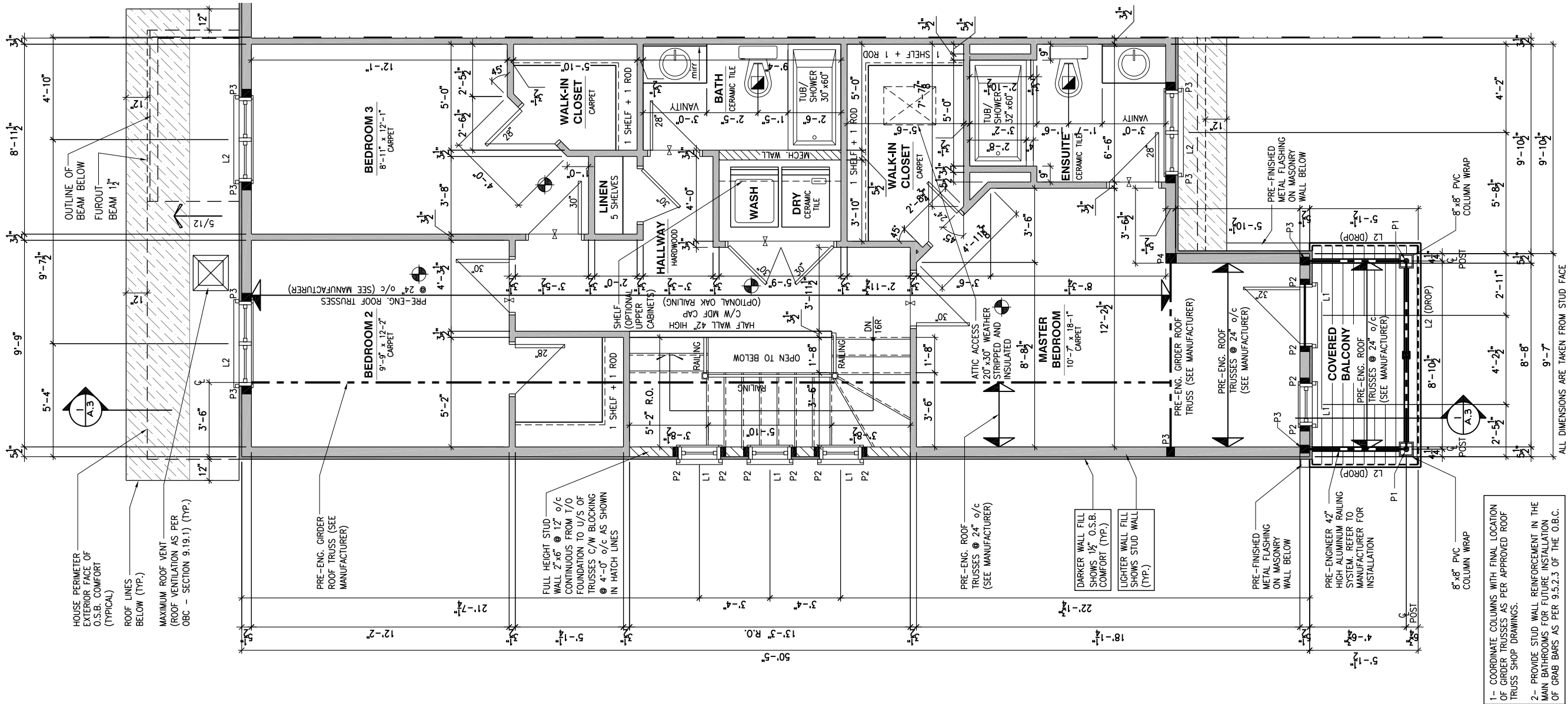
(STANDARD DRAWINGS)

SHEET:

A.8i

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: XXXX  
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: SECOND FLOOR PLAN  
STANDARD ENSUITE - PORCH END

|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

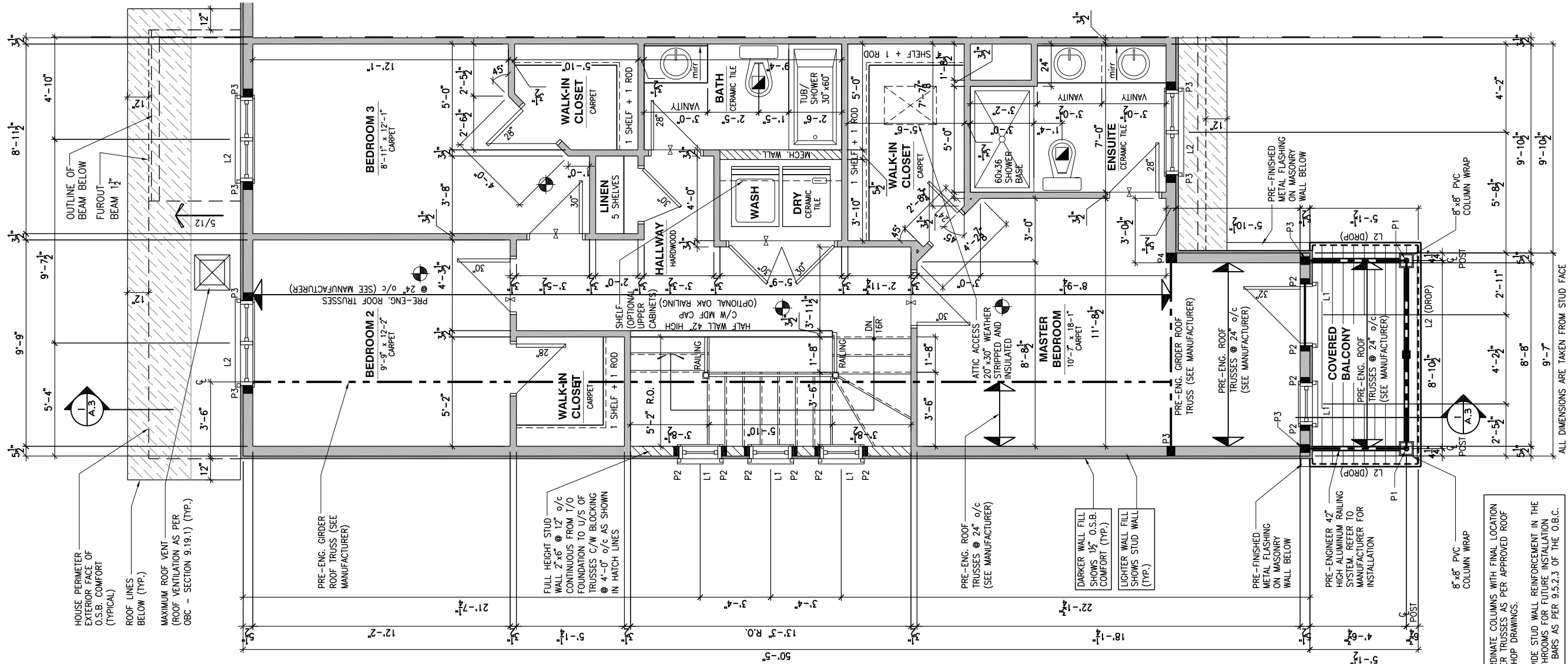
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.9a

CONSTRUCTION SITES:  
SHEA VILLAGE

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (•)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (•)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (•)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (•)
- (•) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY BY    |

DRAWING: **SECOND FLOOR PLAN**  
**OPT 4PC ENSUITE - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

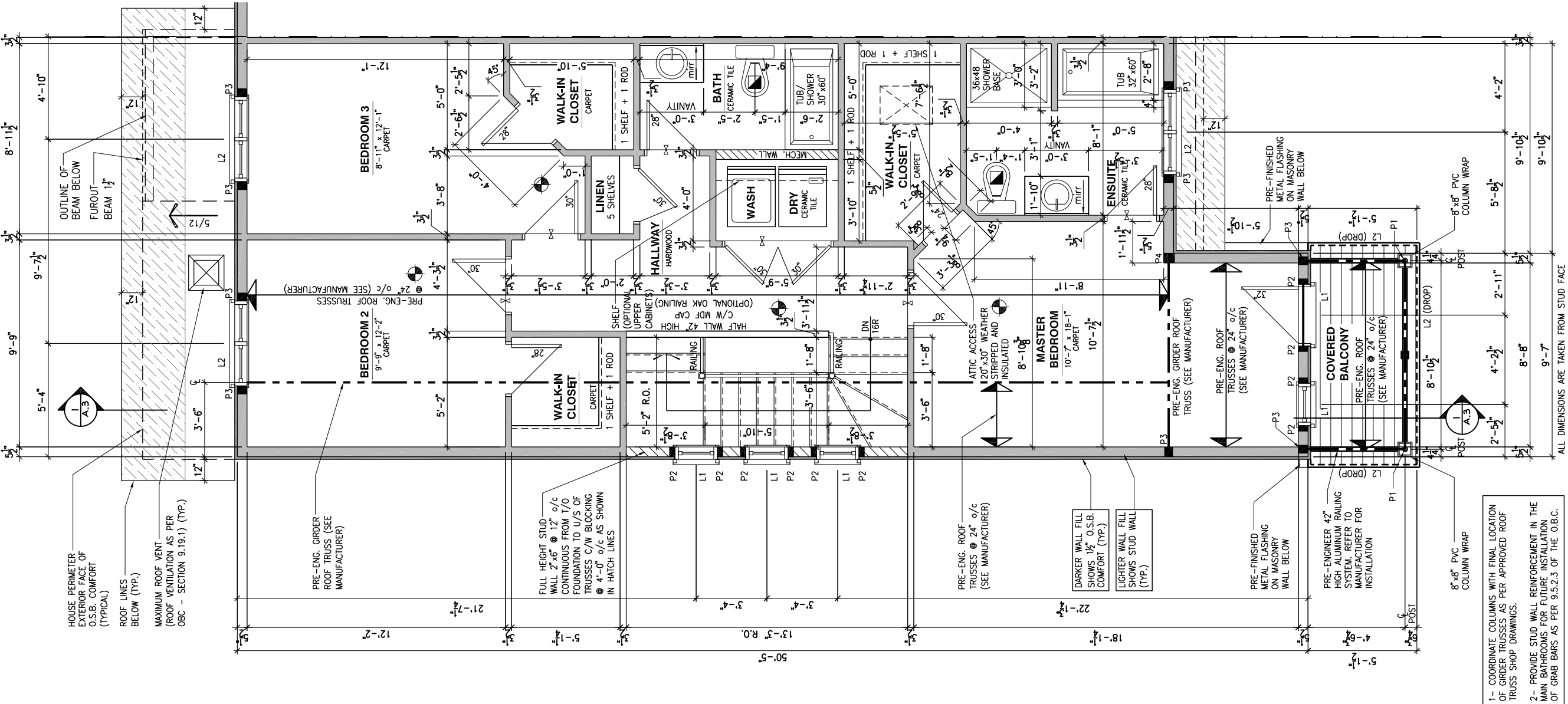
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.9b**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



## SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN POST BY USIP
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

### 2012 O.B.C. DRAWINGS

| REV   | NO.               | DESCRIPTION  | DATE       | BY    |
|-------|-------------------|--------------|------------|-------|
| REV-1 | NEW STANDARD DRWG | MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION       |              | MM/DD/YYYY | BY    |

### DRAWING: SECOND FLOOR PLAN OPT 5PC ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

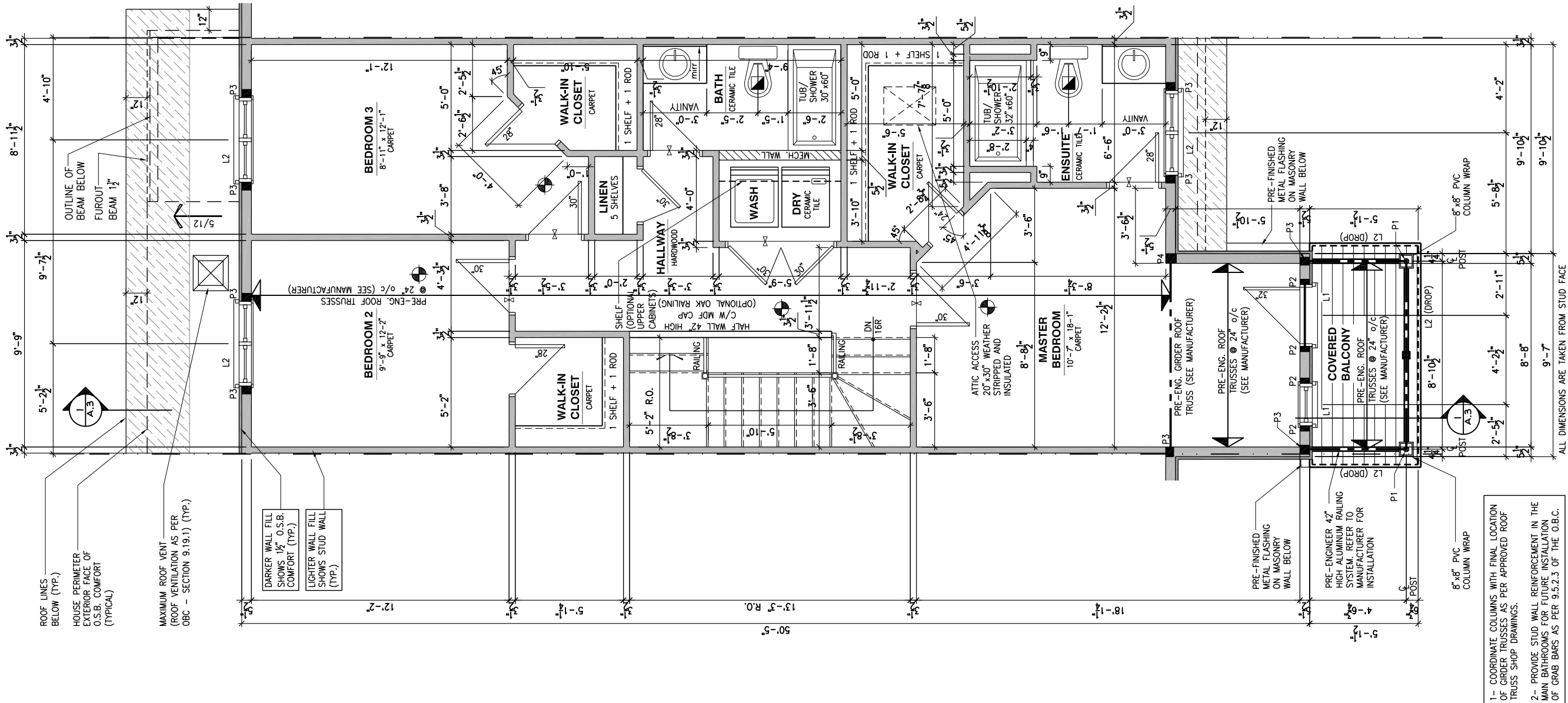
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.9c**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

SECOND FLOOR PLAN  
STANDARD ENSUITE - MID

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

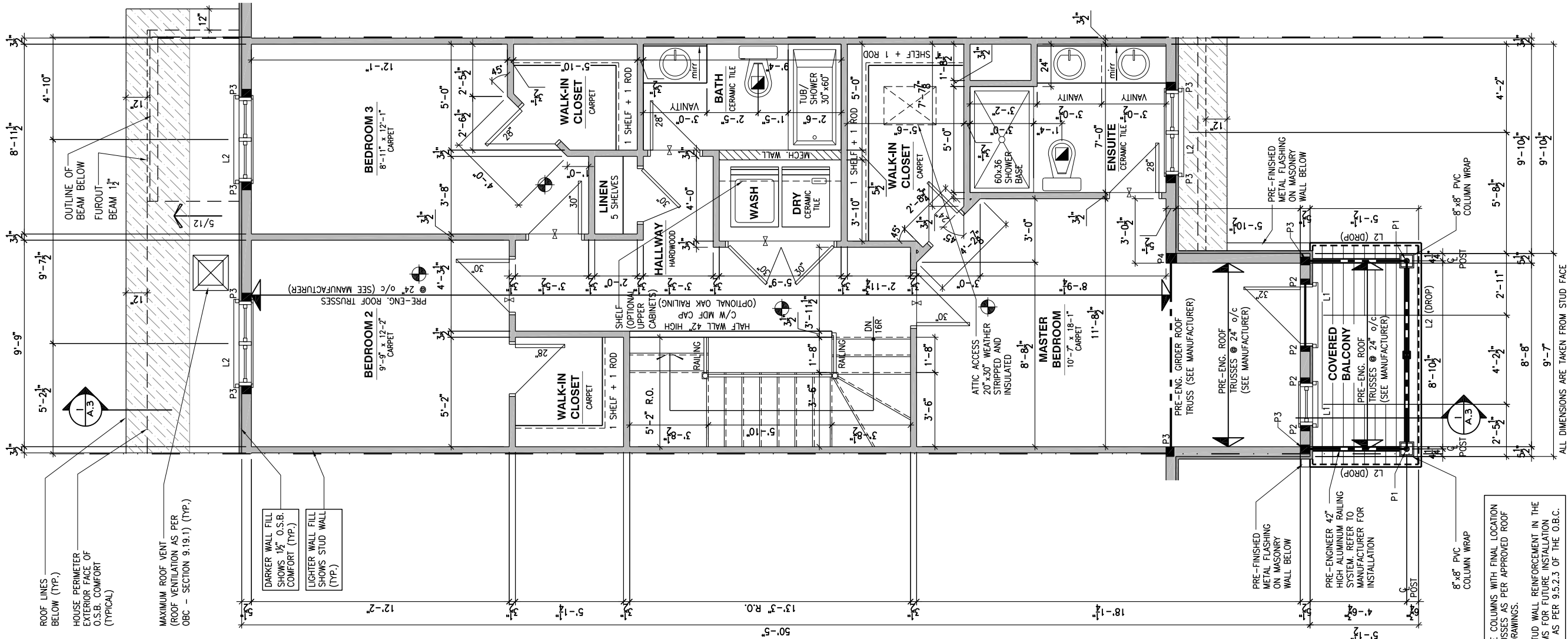
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A.9d

CONSTRUCTION SITES:  
SHEA VILLAGE

GENERAL NOTES:

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# SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

## DRAWING: SECOND FLOOR PLAN OPT 4 PC ENSUITE - MID

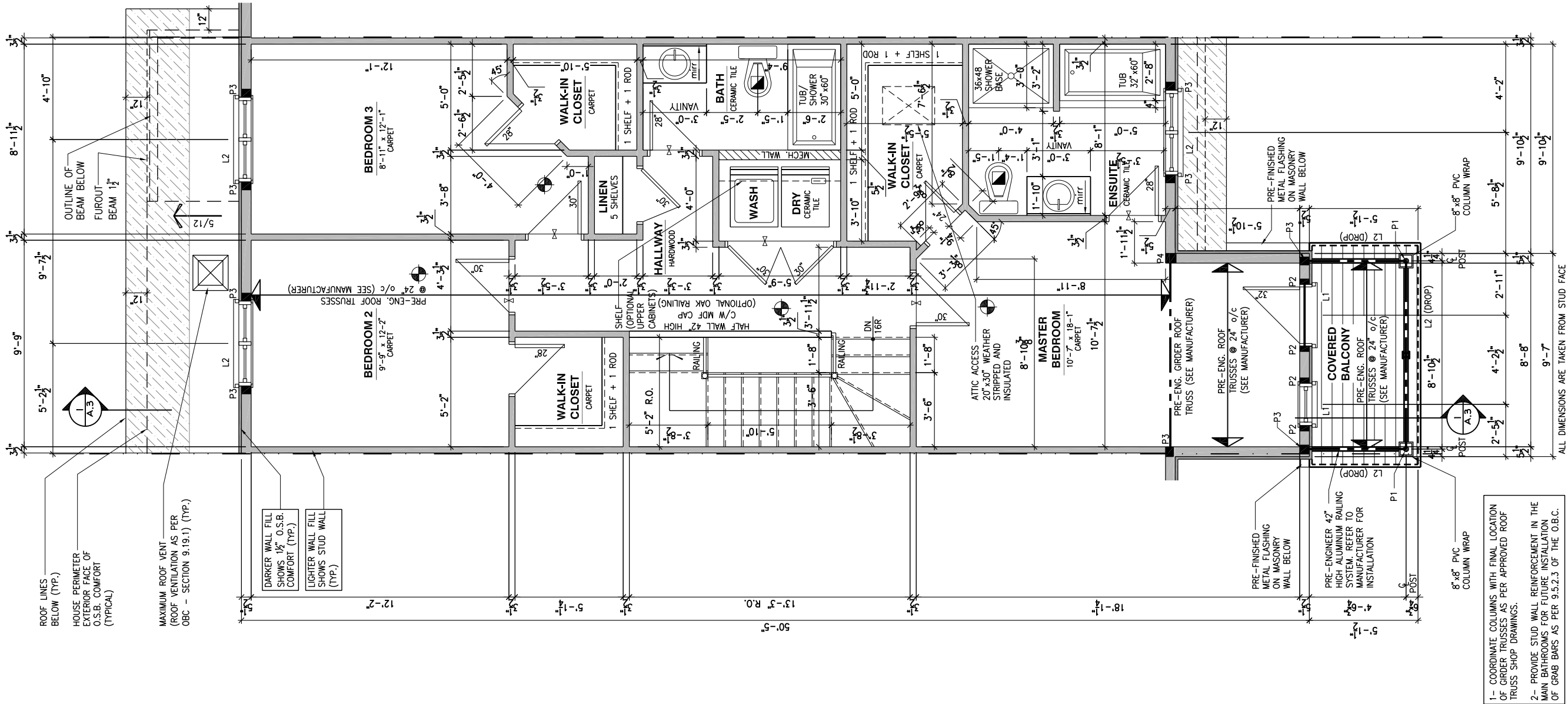
|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.9e**

GENERAL NOTES:

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## SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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LINTEL TABLE:

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POST TABLE:

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### 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

### DRAWING: SECOND FLOOR PLAN OPT 5 PC ENSUITE - MID

|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

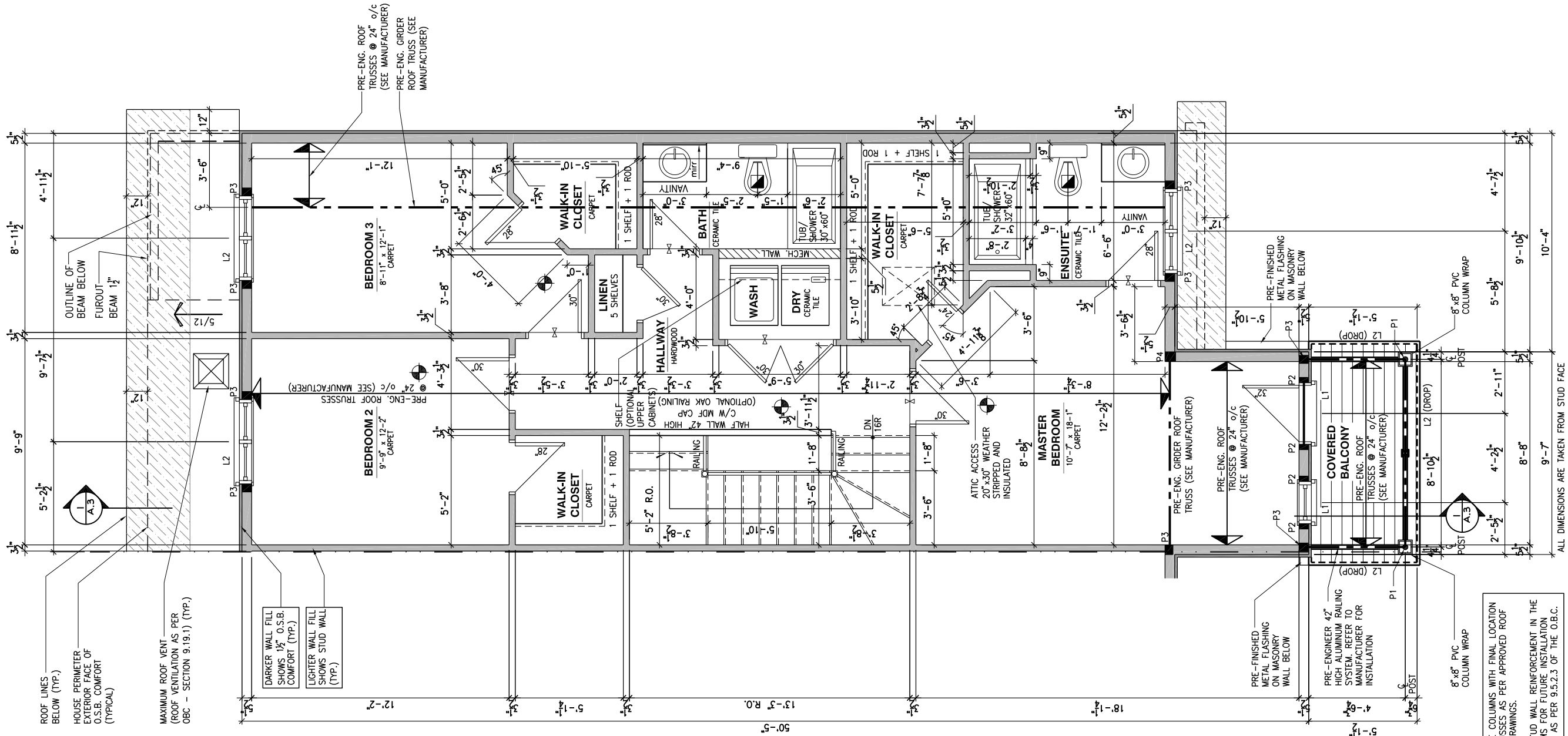
130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.9f**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

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LOT: XXXX  
DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR PLAN**  
**STANDARD ENSUITE-GARAGE END**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
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(STANDARD DRAWINGS)

SHEET:

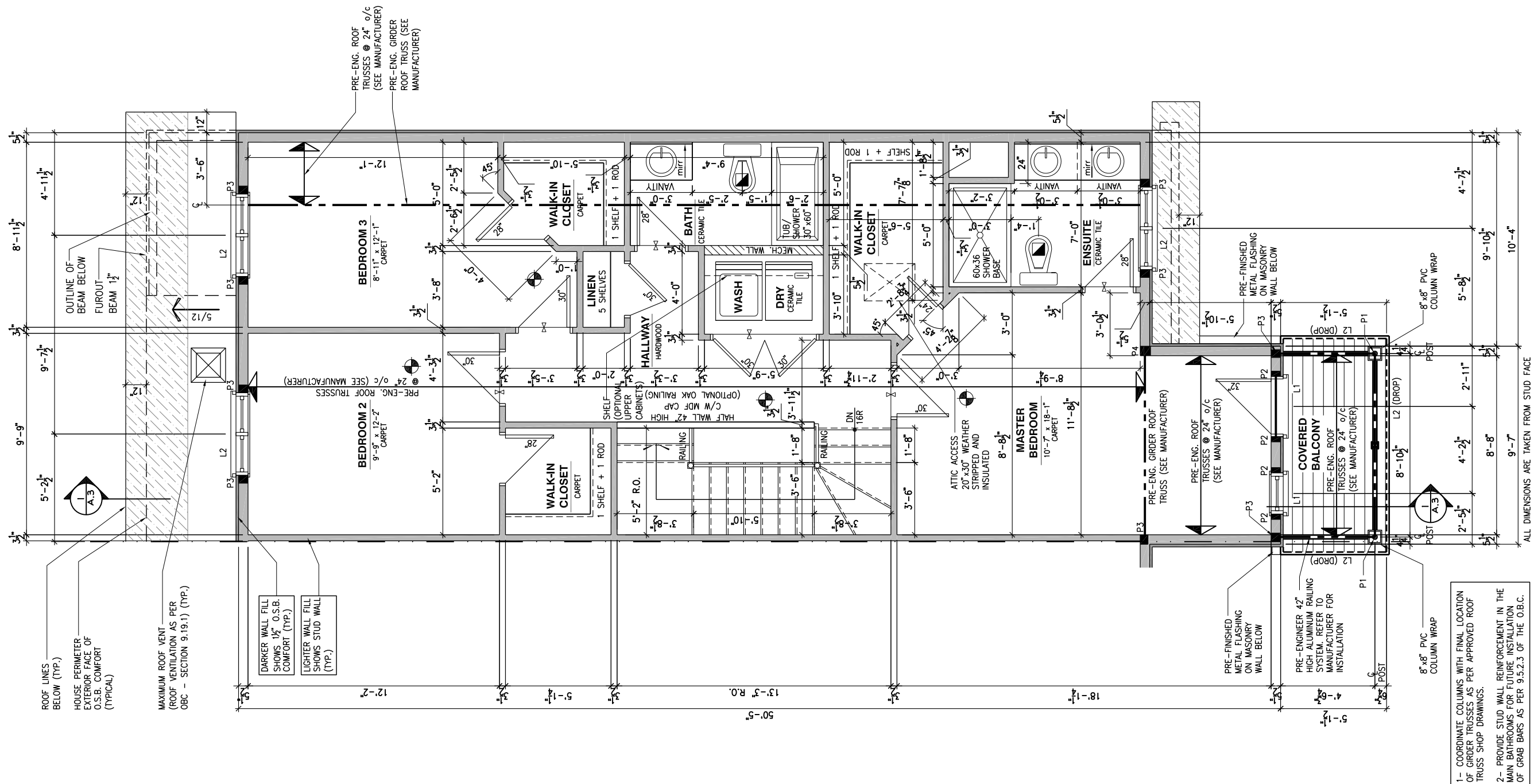
A.9g

CONSTRUCTION SITES:  
SHEA VILLAGE

## SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12 ANCH. WHERE ANCH. PL. NOT USED

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 30 MINUTES IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR PLAN**  
**OPT 4PC ENSUITE - GARAGE END**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

## 130 - THE LEWIS 2022 FOOTPRINT

SHEET:  
**A.9h**

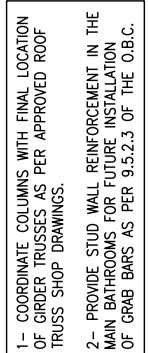
CONSTRUCTION SITES:  
**SHEA VILLAGE**

## SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE:  $3/16'' = 1'-0''$



- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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P6 = 6-2x4 OR 6-2x6

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P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
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+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **SECOND FLOOR PLAN**  
**OPT 5PC ENSUITE - GARAGE END**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

# 130 - THE LEWIS 2022 FOOTPRINT

**SHEET:**

## A.9i

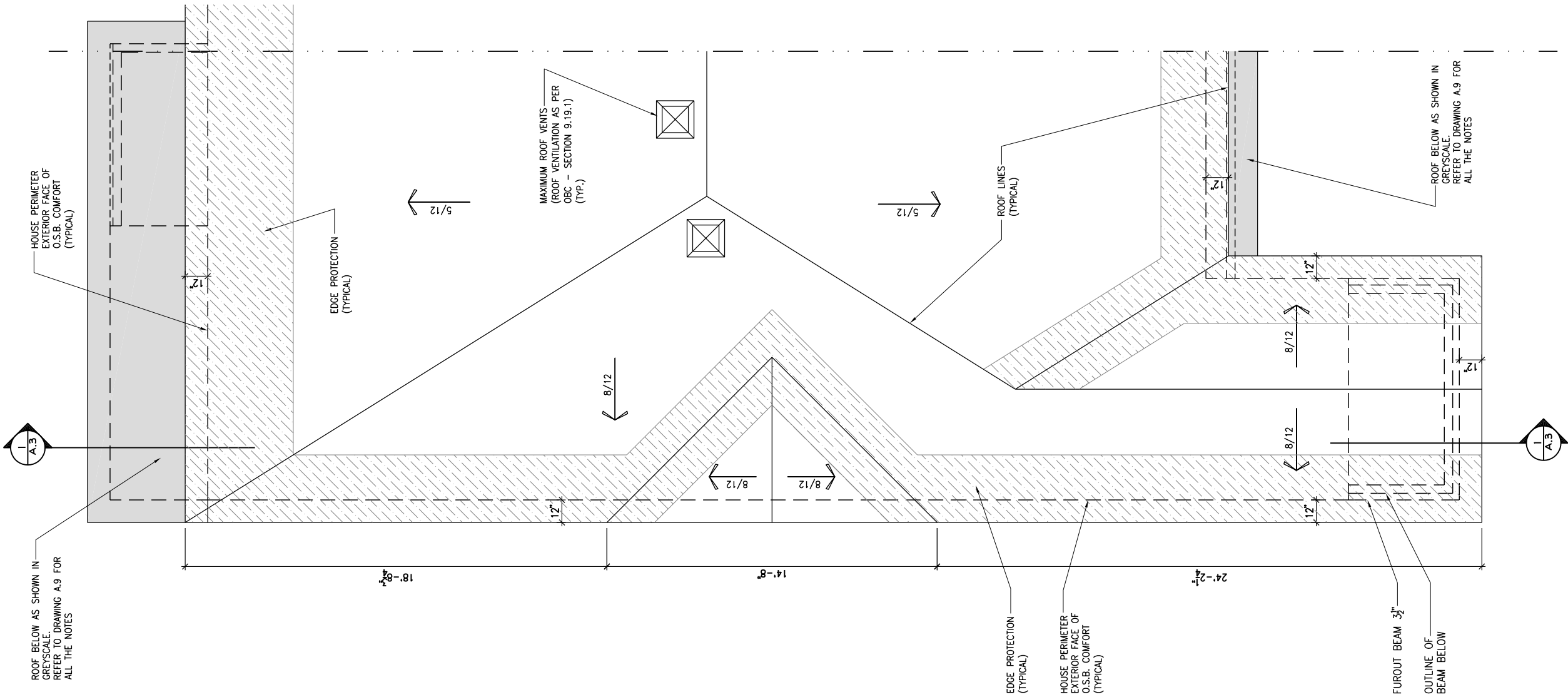
## SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE:  $3/16" = 1'-0"$

CONSTRUCTION SITES:  
**SHEA VILLAGE**

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING:  
ROOF PLAN - PORCH END UNIT

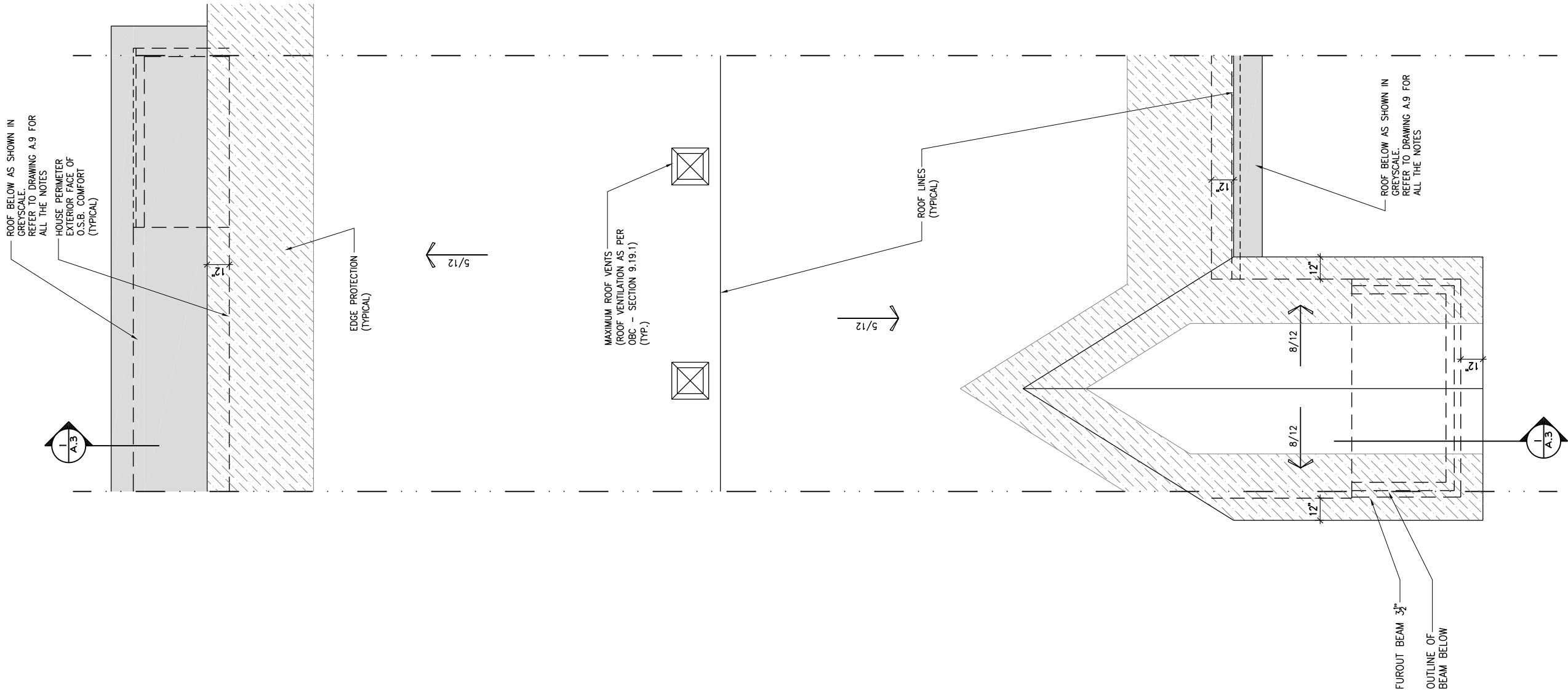
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

CONSTRUCTION SITES:  
SHEA VILLAGE

SHEET:

A.10a



Valecraft

Homes (2019) Limited

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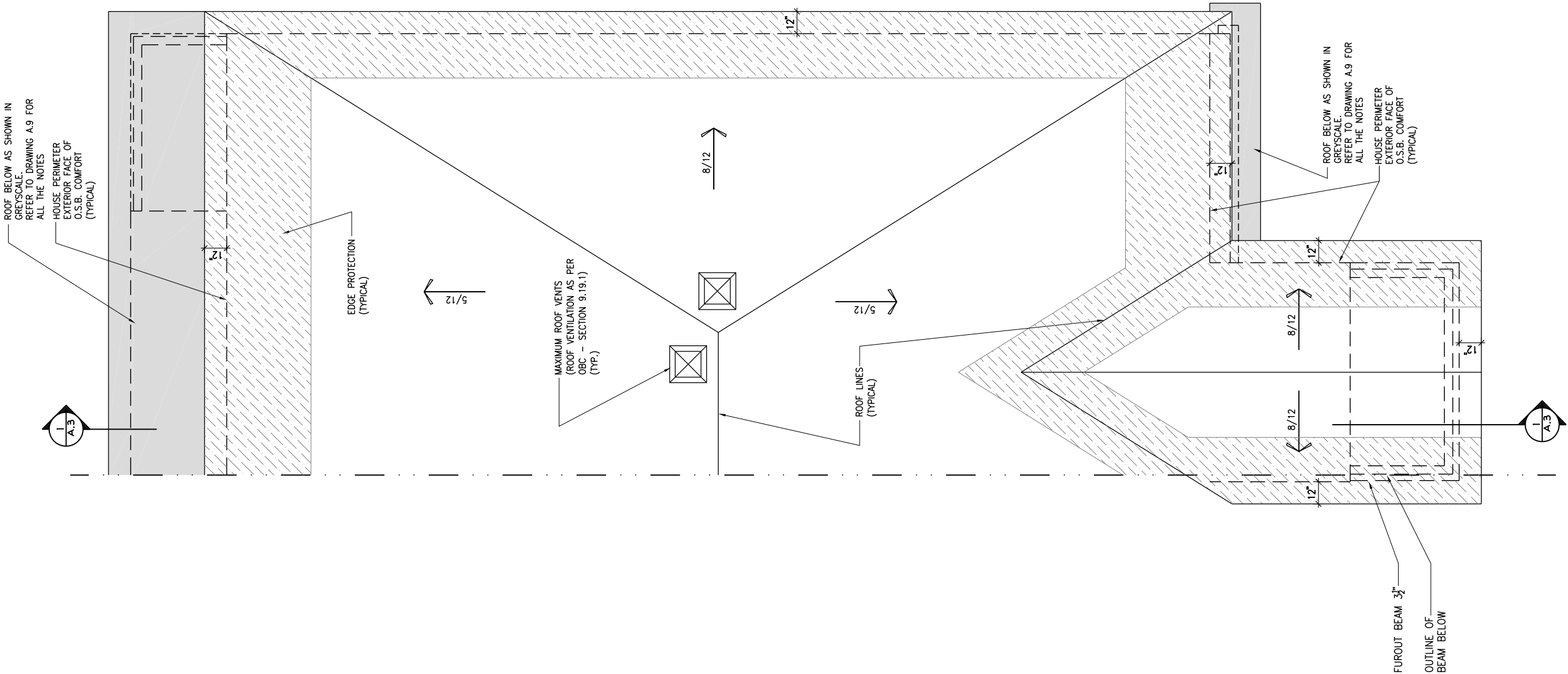
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| 2012 O.B.C. DRAWINGS                                     |                                |               |                 |
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| REV-1                                                    | NEW STANDARD DRWG MODIFICATION | 01/01/2022    | DOYON           |
| NO.                                                      | DESCRIPTION                    | MM/DD/YYYY    | BY              |
| DRAWING:                                                 |                                |               |                 |
| ROOF PLAN - MID UNIT                                     |                                |               |                 |
| ADDRESS:                                                 |                                | SCALE:        | DATE:           |
| XX                                                       |                                | 3/16" = 1'-0" | XX/XX/XXXX      |
| 130 - THE LEWIS<br>2022 FOOTPRINT<br>(STANDARD DRAWINGS) |                                |               | SHEET:<br>A.10b |

ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING:  
**ROOF PLAN - GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.10c

CONSTRUCTION SITES:  
**SHEA VILLAGE**

 **Valecraft**  
Homes (2019) Limited  
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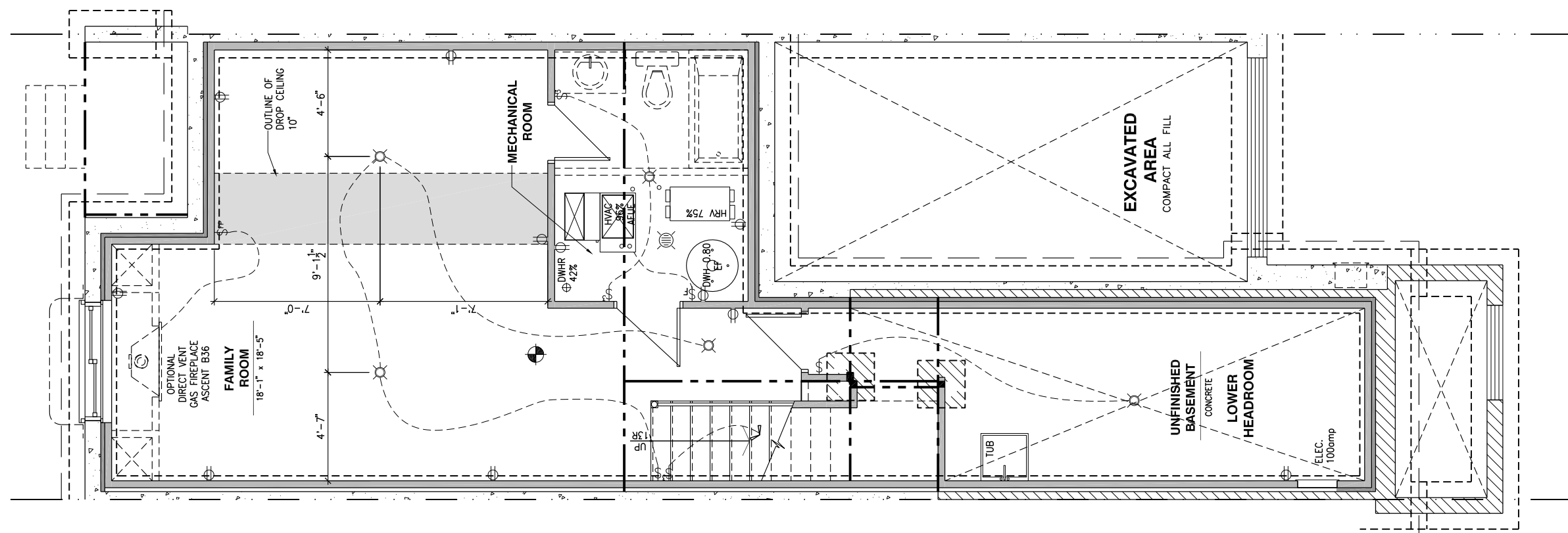
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-  SINGLE POLE SWITCH  
 3 WAY SWITCH  
 4 WAY SWITCH  
 FURNACE SWITCH  
 FIREPLACE SWITCH  
 DUPLEX OUTLET (12" HIGH)  
 DUPLEX OUTLET (UPPER HALF SWITCH)  
 GROUND FAULT INTERRUPT  
 WEATHER PROOF DUPLEX OUTLET  
 SPLIT OUTLET  
 220 VOLT OUTLET  
 WALL MOUNTED LIGHT FIXTURE  
 CEILING MOUNTED LIGHT FIXTURE  
 POT LIGHT  
 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
     - SHALL HAVE A VISUAL SIGNALING DEVICE;  
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## 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYOF |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: **ELECTRICAL PLAN**  
**BASEMENT**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

**ELECTRICAL PLAN - BASEMENT**

CONSTRUCTION SITES:  
**SHEA VILLAGE**

SHEET:  
**E.1a**

LOT: XXXX  
DATE: XX/XX/XXXX



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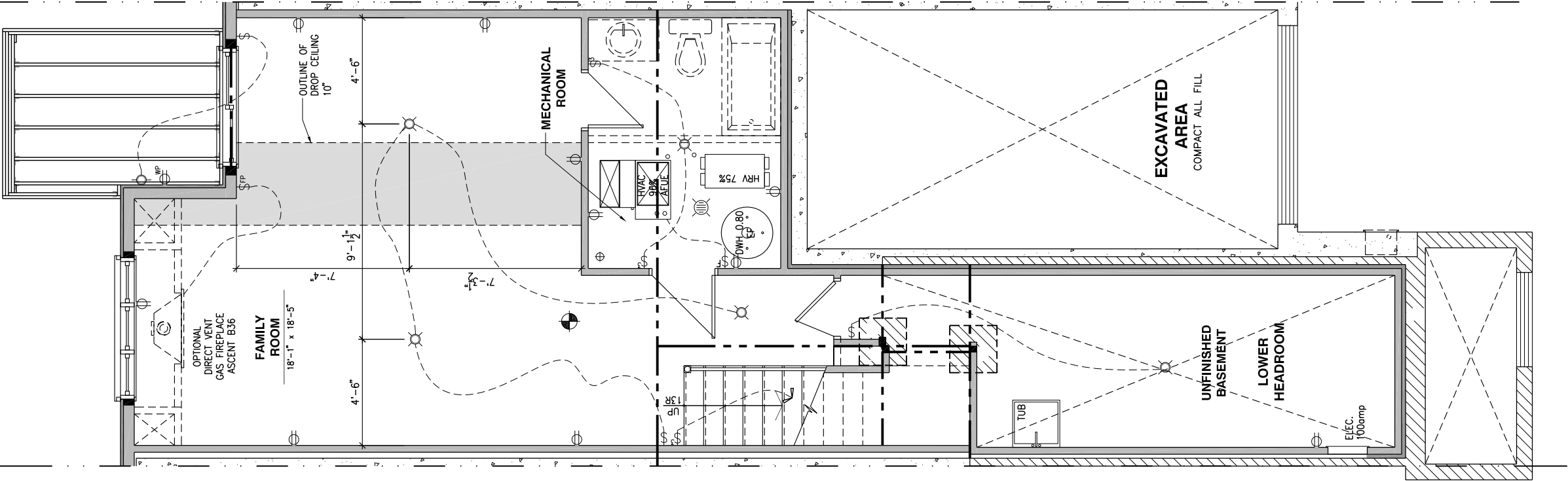
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- 4 FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GF I GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: ELECTRICAL PLAN  
BASEMENT - WALKOUT

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.1b**

**ELECTRICAL PLAN - BASEMENT - WALKOUT**  
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
**SHEA VILLAGE**

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- \$

SINGLE POLE SWITCH

3

3 WAY SWITCH

4

4 WAY SWITCH

F

FURNACE SWITCH

FP

FIREPLACE SWITCH

DU

DUPLEX OUTLET (12" HIGH)

DUH

DUPLEX OUTLET (UPPER HALF SWITCH)

GFI

GROUND FAULT INTERVOLT

WP

WEATHER PROOF DUPLEX OUTLET

S

SPLIT OUTLET

220

220 VOLT OUTLET

W

WALL MOUNTED LIGHT FIXTURE

C

CEILING MOUNTED LIGHT FIXTURE

P

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING:

ELECTRICAL PLAN

GROUND FLOOR

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

130 - THE LEWIS

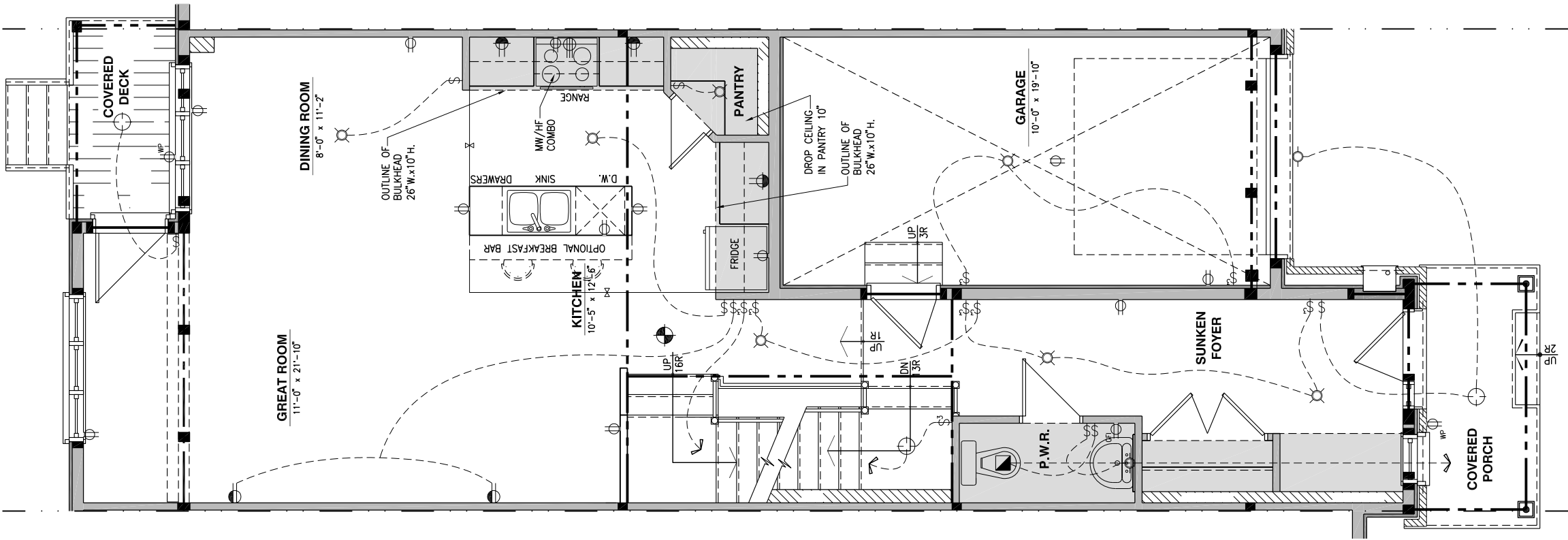
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E.2a

CONSTRUCTION SITES:  
SHEA VILLAGE





I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- S SPLIT OUTLET
- 220 VOLT OUTLET
- W WALL MOUNTED LIGHT FIXTURE
- C CEILING MOUNTED LIGHT FIXTURE
- P POT LIGHT
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

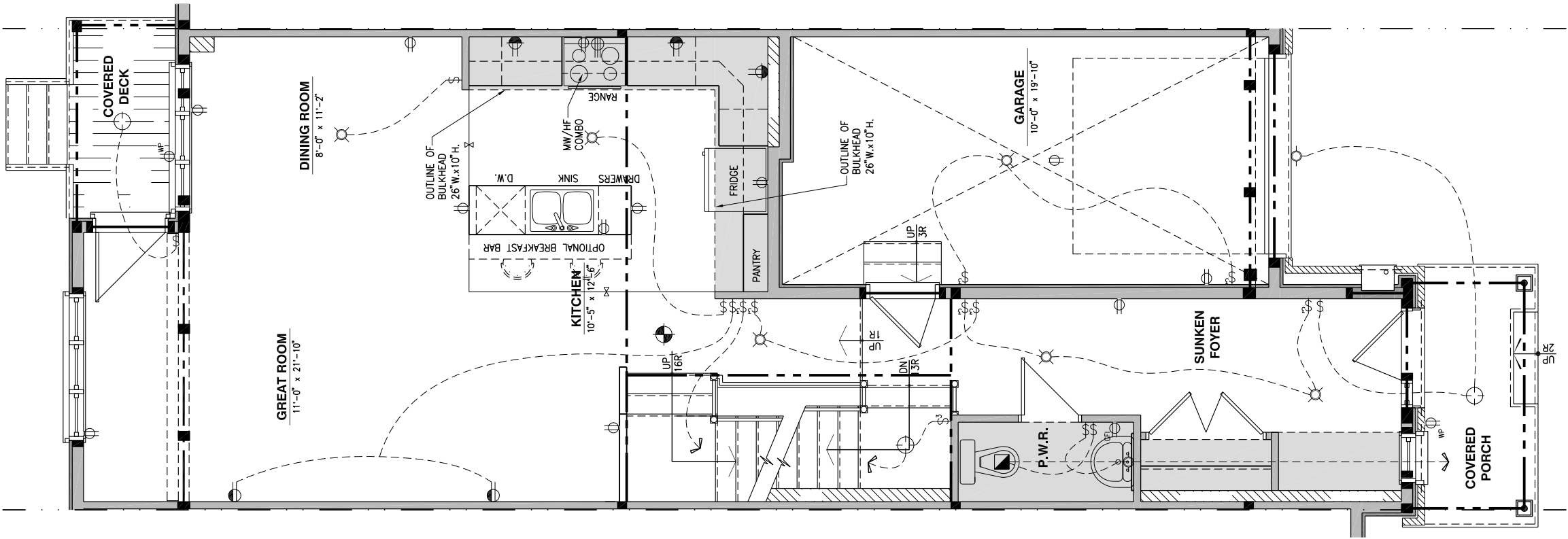
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

|          |               |            |
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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

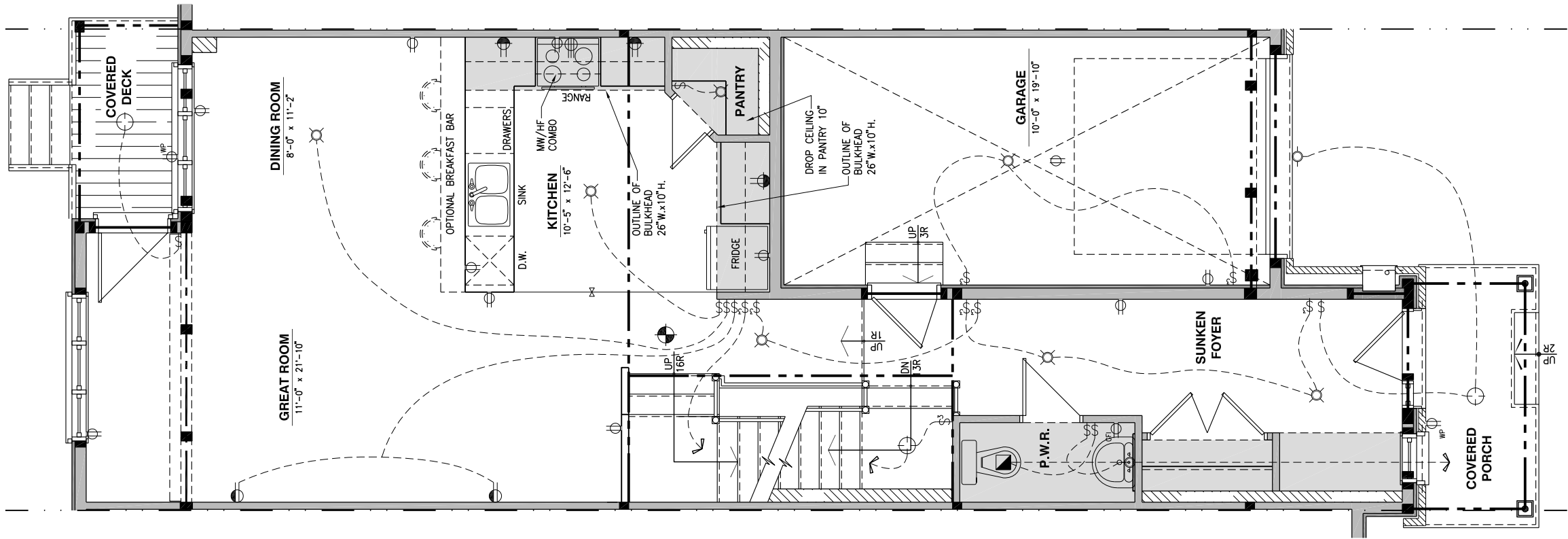
SHEET:  
E.2b

CONSTRUCTION SITES:  
SHEA VILLAGE



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
|-------|-----|-------------|--------------------------------|------------|-------|
|-------|-----|-------------|--------------------------------|------------|-------|

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2c

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



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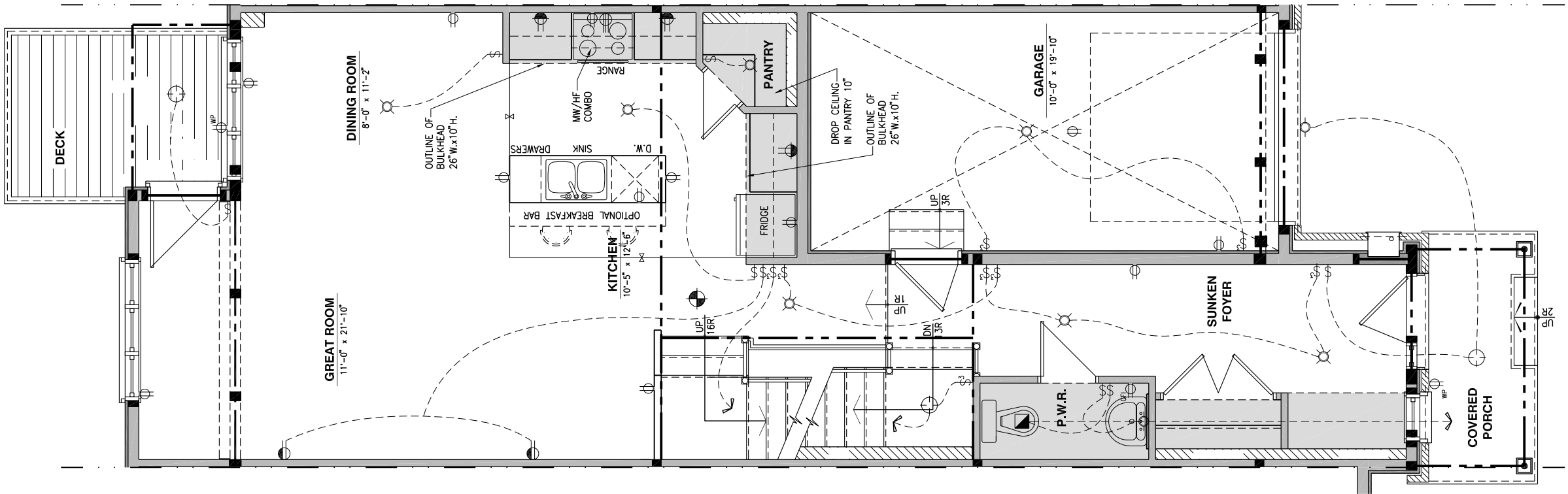
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- ⌚ FP FIREPLACE SWITCH
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#### 2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
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#### ELECTRICAL PLAN GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2d

1  
E.2d

## ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



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- ⚡ WP WEATHER PROOF DUPLEX OUTLET
- ⚡ SPLIT OUTLET
- ⚡ 220 VOLT OUTLET
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#### 2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

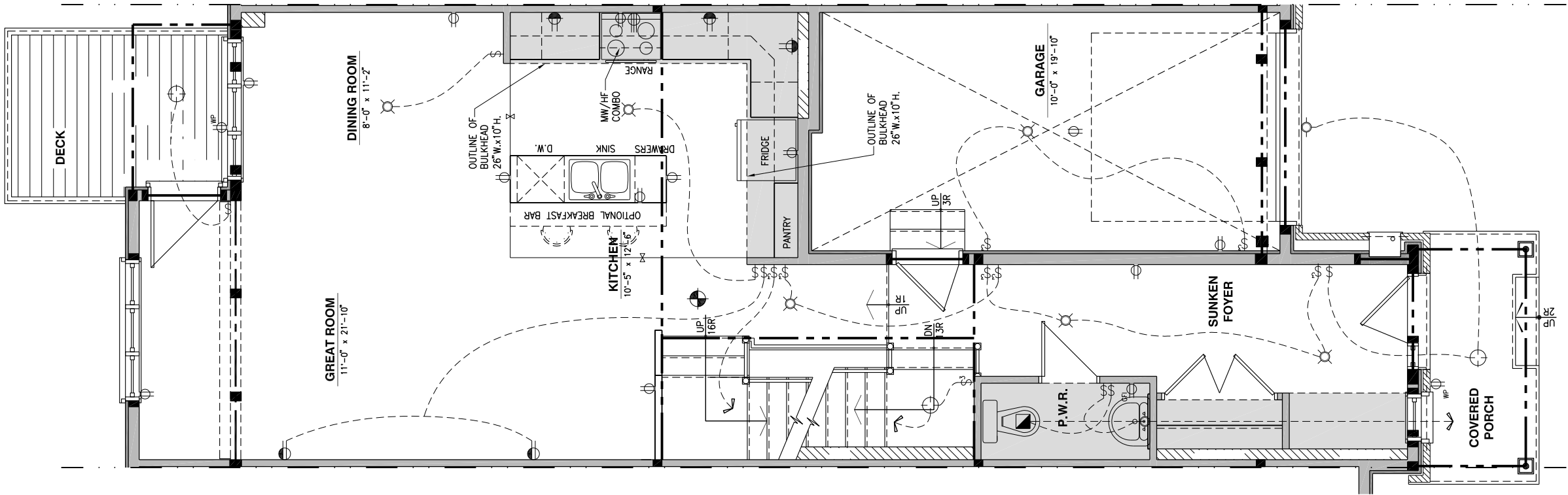
#### ELECTRICAL PLAN GROUND FLOOR

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| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2e



1  
E.2e

#### ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:  
SHEA VILLAGE

LOT: XXXX  
DATE: XX/XX/XXXX



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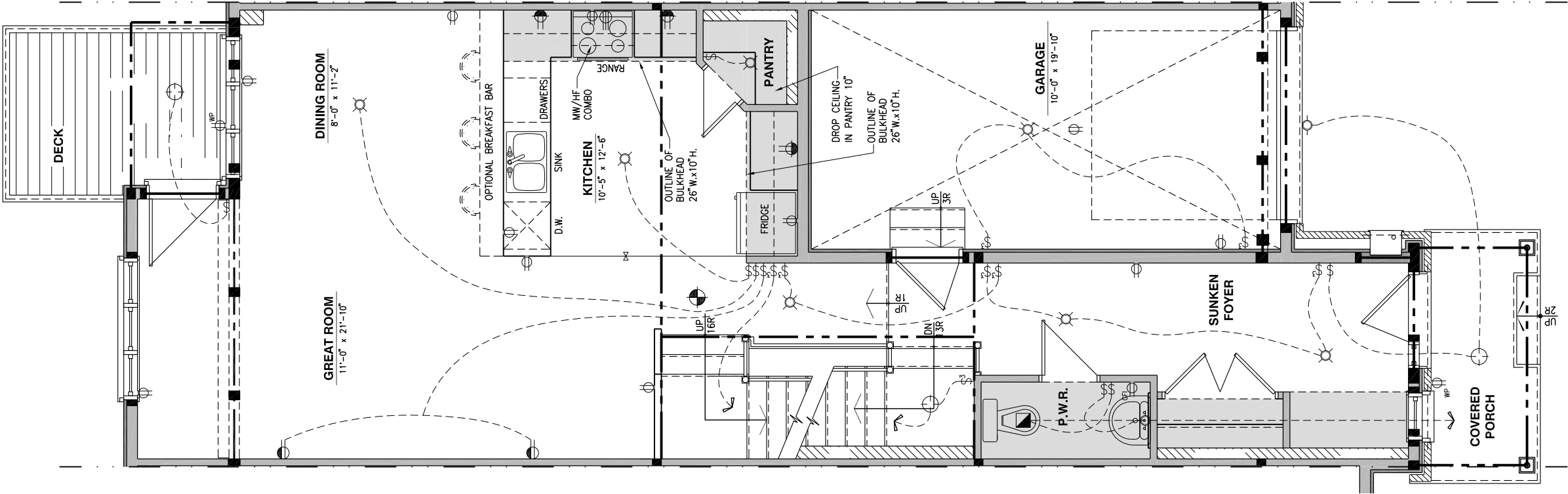
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2f



Valecraft

Homes (2019) Limited

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
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GROUND FAULT INTERVOLT
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SPLIT OUTLET
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

DRAWING:

ELECTRICAL PLAN  
SECOND FLOOR

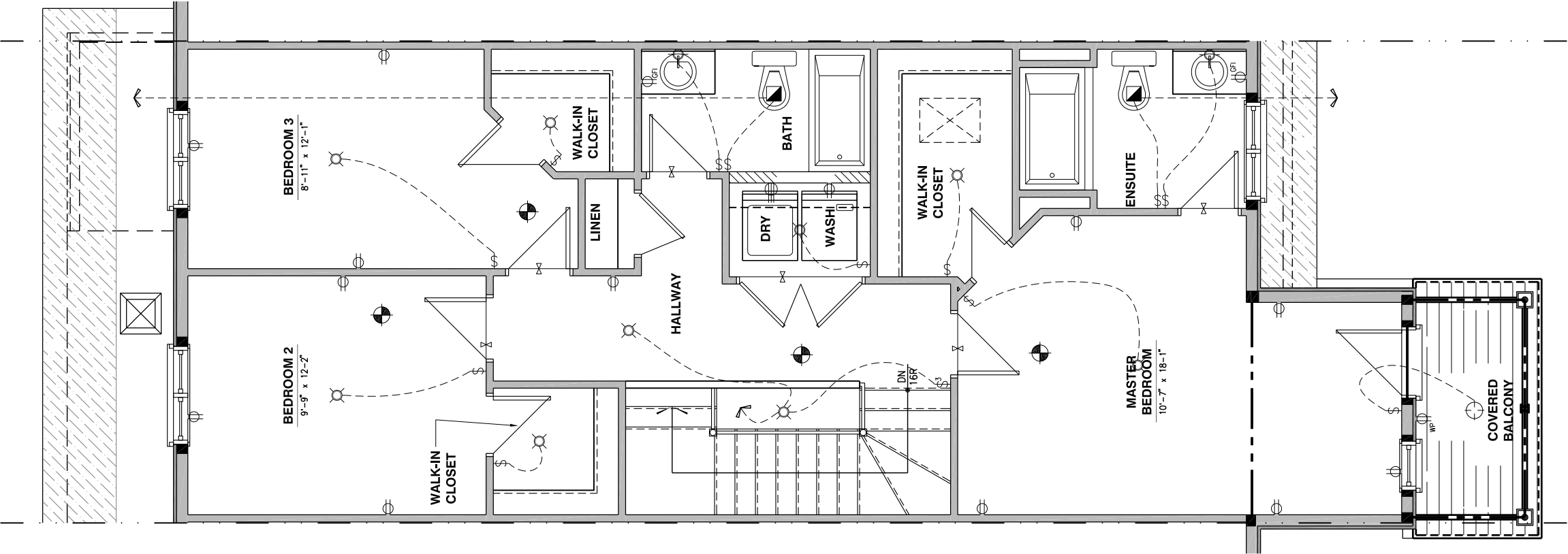
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130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3a



LOT: XXXX  
DATE: XX/XX/XXXX



Valecraft

Homes (2019) Limited

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DUPLEX OUTLET (12" HIGH)
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DUPLEX OUTLET (UPPER HALF SWITCH)
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SPLIT OUTLET
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220 VOLT OUTLET
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WALL MOUNTED LIGHT FIXTURE
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CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | MM/DD/YYYY | BY    |

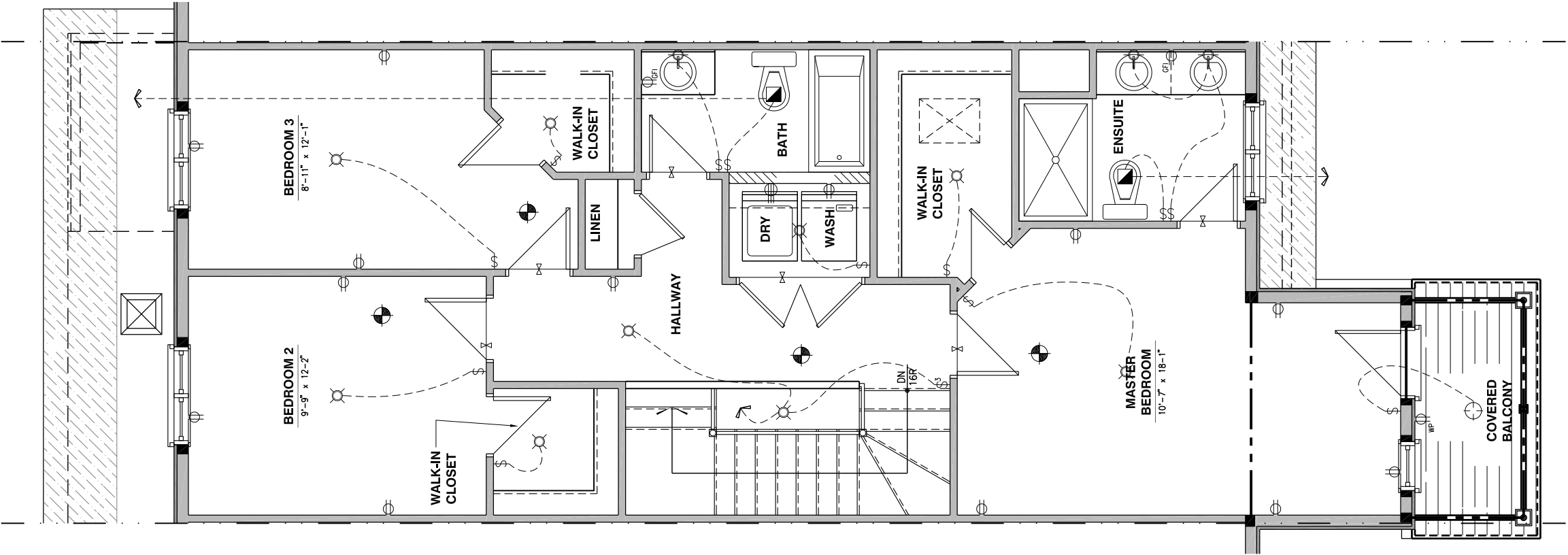
DRAWING: ELECTRICAL PLAN  
SECOND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3b

CONSTRUCTION SITES:  
SHEA VILLAGE



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

|       |                                |            |       |
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