

FRONT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

Homes (2019) Limited

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**FRONT ELEVATION - END UNITS** 

3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT

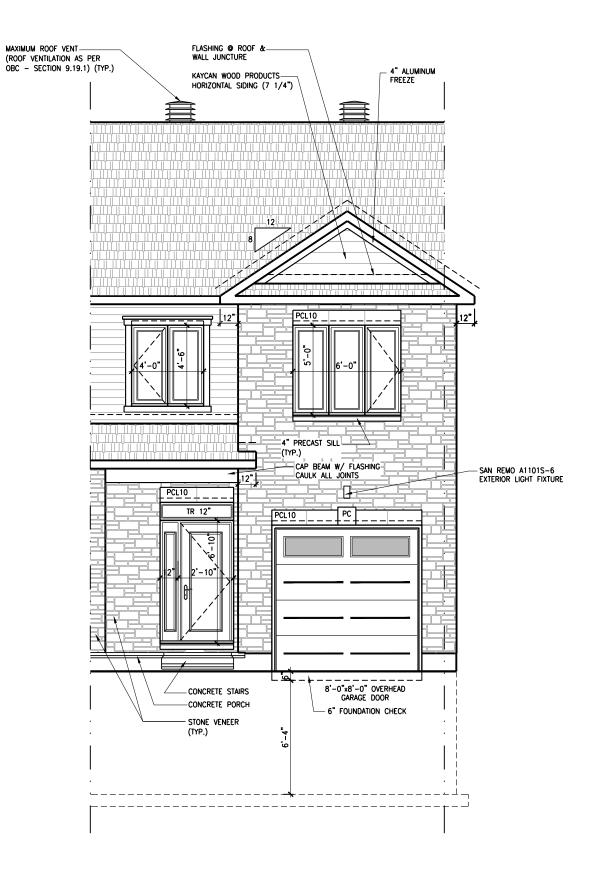
(STANDARD DRAWINGS)

A.1a

SHEET

FRONT ELEVATION - PORCH END UNIT ( A.1a )

SCALE: 3/16" = 1'-0"



FRONT ELEVATION - MID UNIT SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

DANIEL QUERIN , ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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B=1A AND ANY 880'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

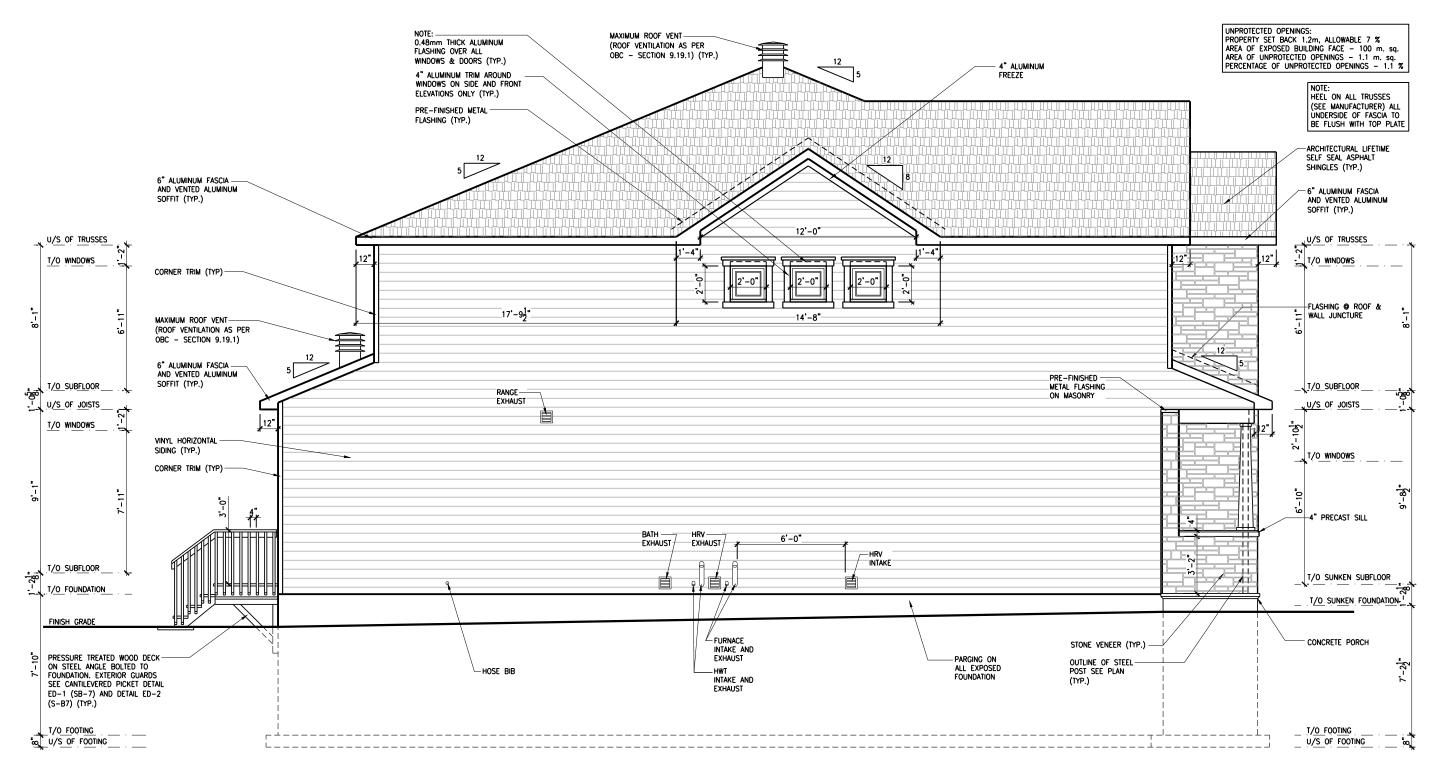
FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.1b





# **LEFT ELEVATION - PORCH END UNIT**

 $\sigma$  | SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REQUIATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S APPLIETCHED AND DEPORT ERRORS AND OMISSIONS TO VALECRAFT'S

DIMENSIONS AND DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STORM

SITE.
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF
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NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER
ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.				
	RSONAL BCIN #19896 RION REGISTRATION NUMBER #611			
** SI	EE SIGNED SCHEDULE 1: DESIGNER INF	ORMATION FOR	M **	
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V−1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
).	DESCRIPTION	MM/DD/YYYY	BY	

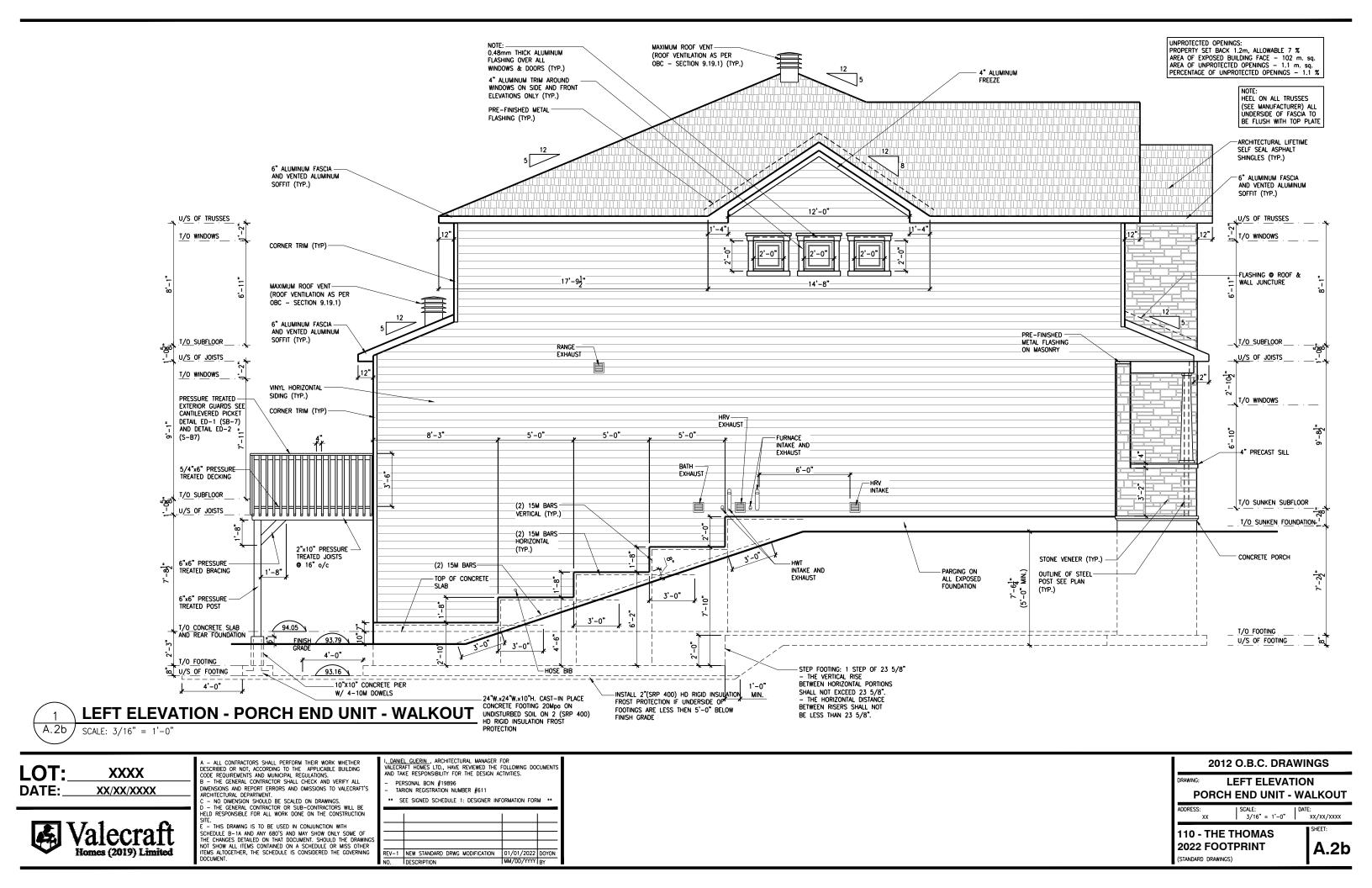
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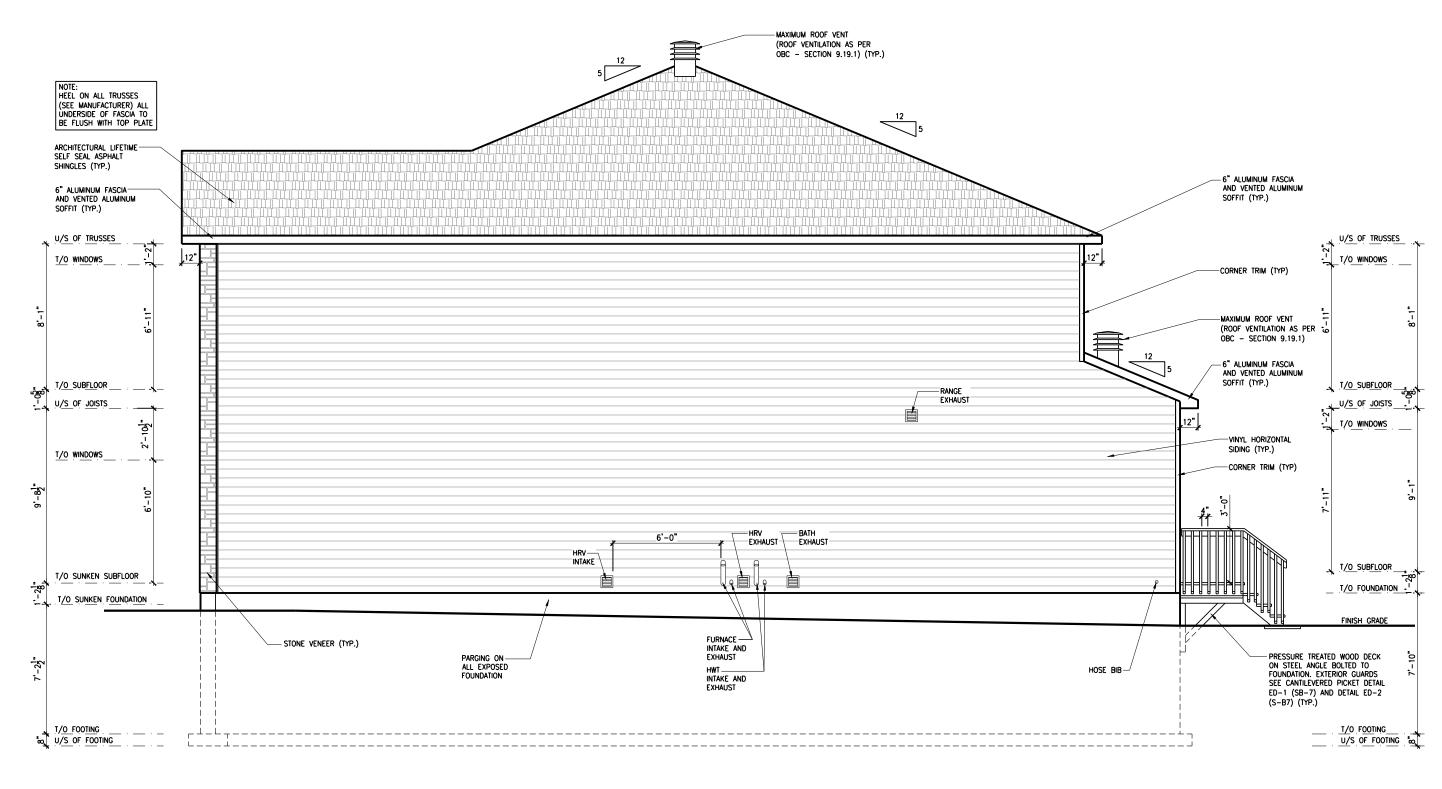
2012 O.B.C. DRAWINGS

DRAWING: LEFT ELEVATION
PORCH END UNIT
ADDRESS: | SCALE: | DATE:

110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS) A.2a

XX/XX/XXXX







# **RIGHT ELEVATION - GARAGE END UNIT**

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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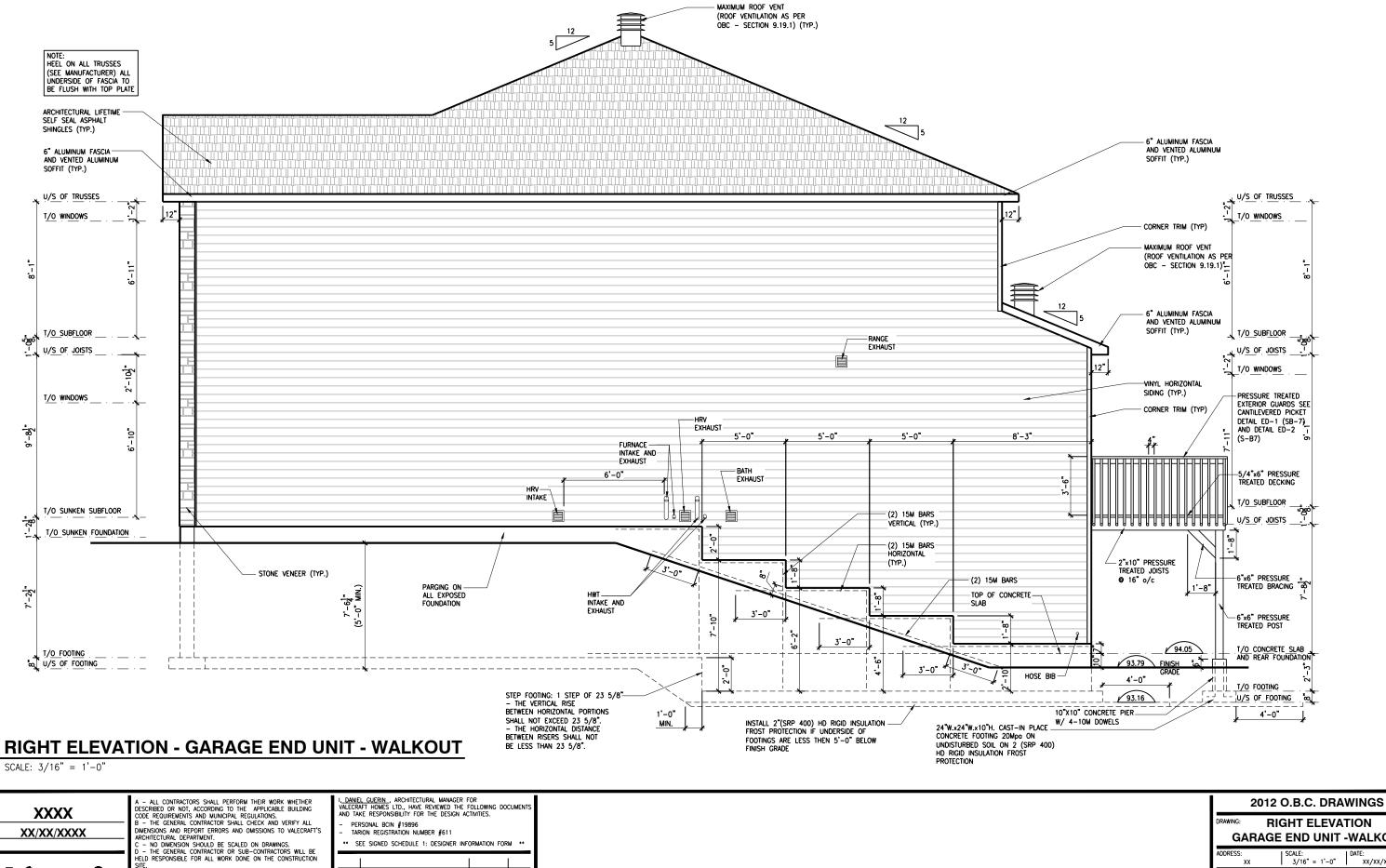
	I. <u>Daniel Guerin</u> . Architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.				
	- Personal Bcin #19896 - Tarion registration number #611				
	** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **				
ı	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
	NO.	DESCRIPTION	MM/DD/YYYY	BY	

2012 O.B.C. DRAWINGS **RIGHT ELEVATION** 

**GARAGE END UNIT** ADDRESS: SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2c



Valecraft Homes (2019) Limited

LOT:

DATE:

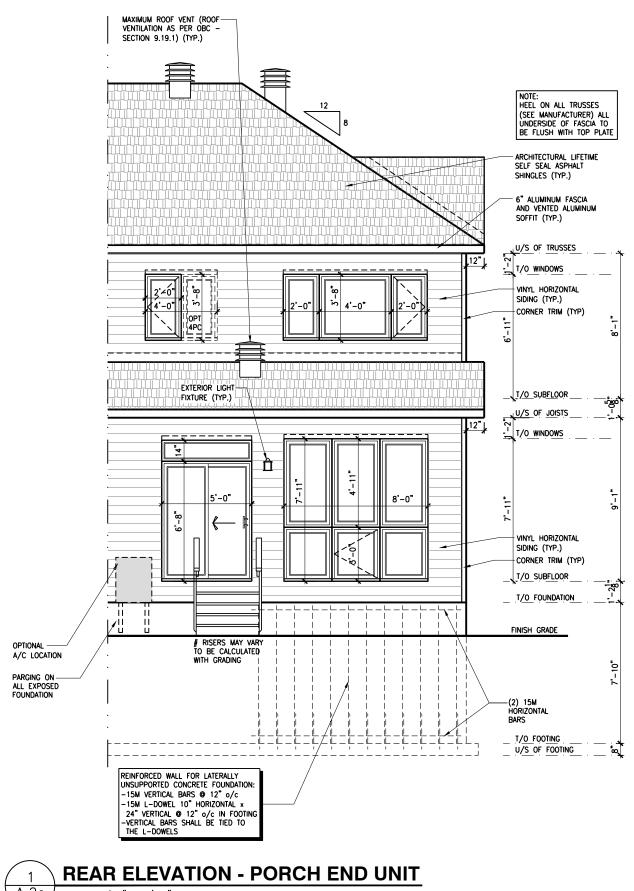
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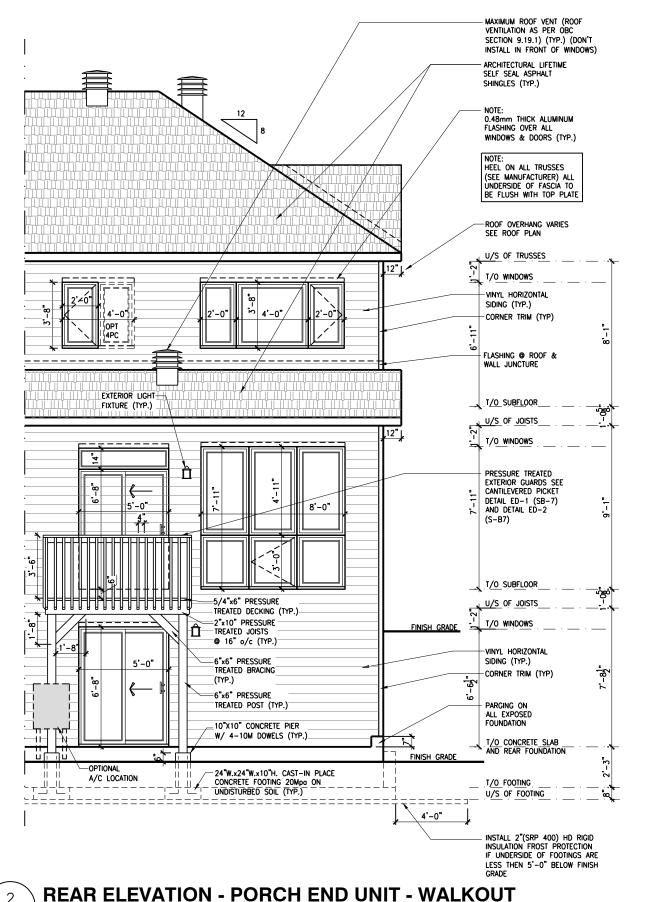
	VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.				
	RSONAL BCIN #19896 RION REGISTRATION NUMBER #611				
** 9	SEE SIGNED SCHEDULE 1: DESIGNER INI	FORMATION FOR	м **		
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022			
NO.	NO.   DESCRIPTION   MM/DD/YYYY   BY				

**RIGHT ELEVATION** 

**GARAGE END UNIT -WALKOUT** XX/XX/XXXX

110 - THE THOMAS **2022 FOOTPRINT** (STANDARD DRAWINGS)





Homes (2019) Limited

DANIEL GUERIN., ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

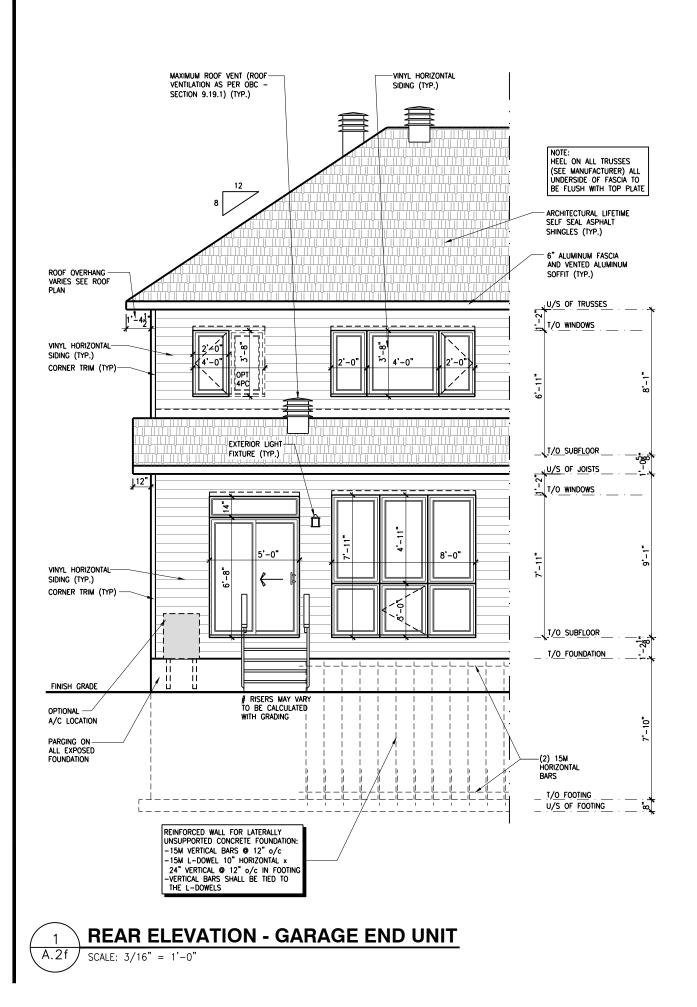
**REAR ELEVATION PORCH END UNITS** 

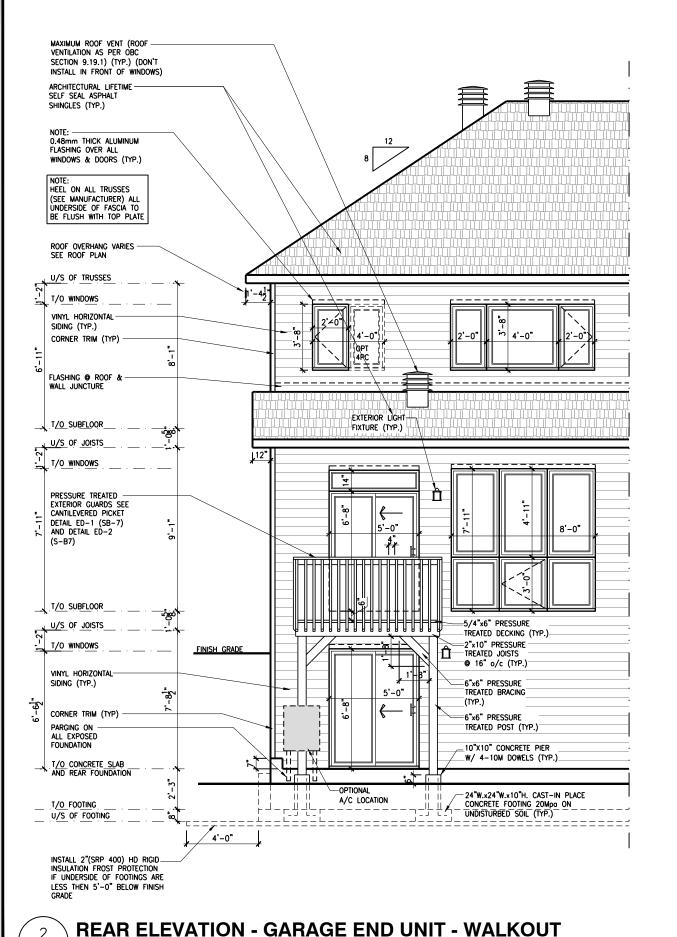
SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.2e (STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"





SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX Homes (2019) Limited <u>Daniel Guerin</u>, architectural Manager for Alecraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities. PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

**REAR ELEVATION** 

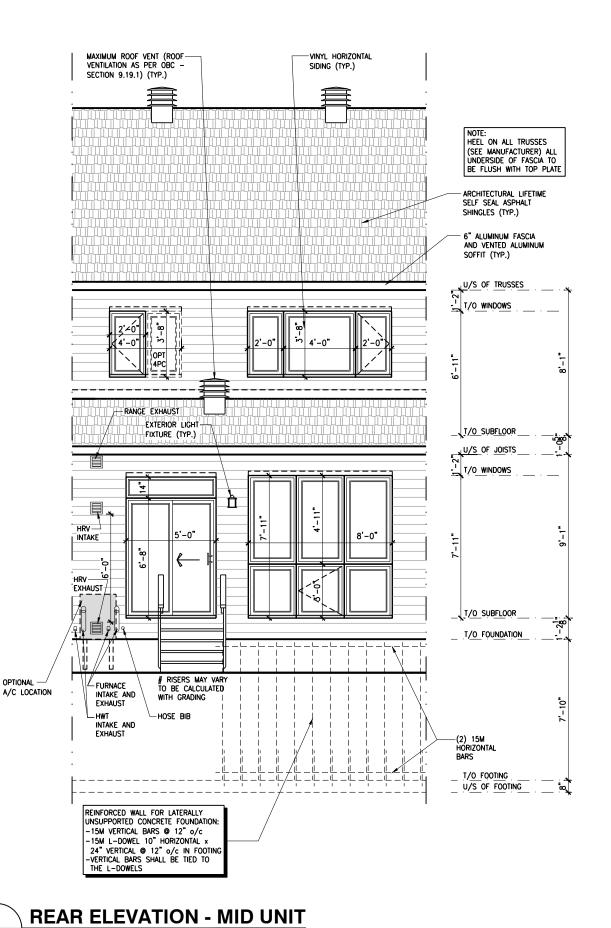
**GARAGE END UNITS** 

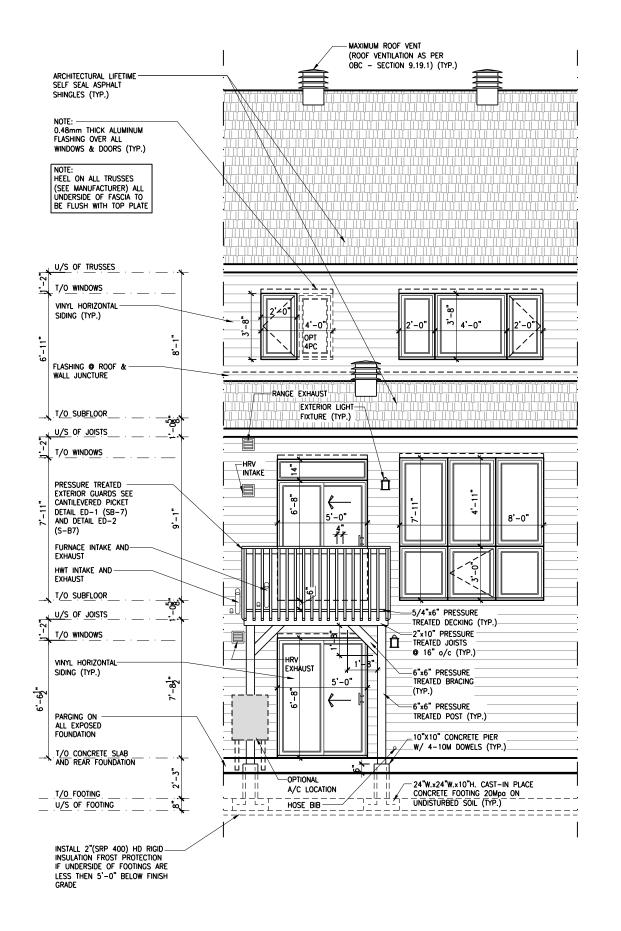
SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.2f





**REAR ELEVATION - MID UNIT - WALKOUT** 

( A.2g

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

NO DESCRIPTION

SHEET A.2g

xx/xx/xxxx

(STANDARD DRAWINGS)

LOT:

DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

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PC - PRECAST KEYSTONE

PCL10 - 10" PRECAST LINTEL

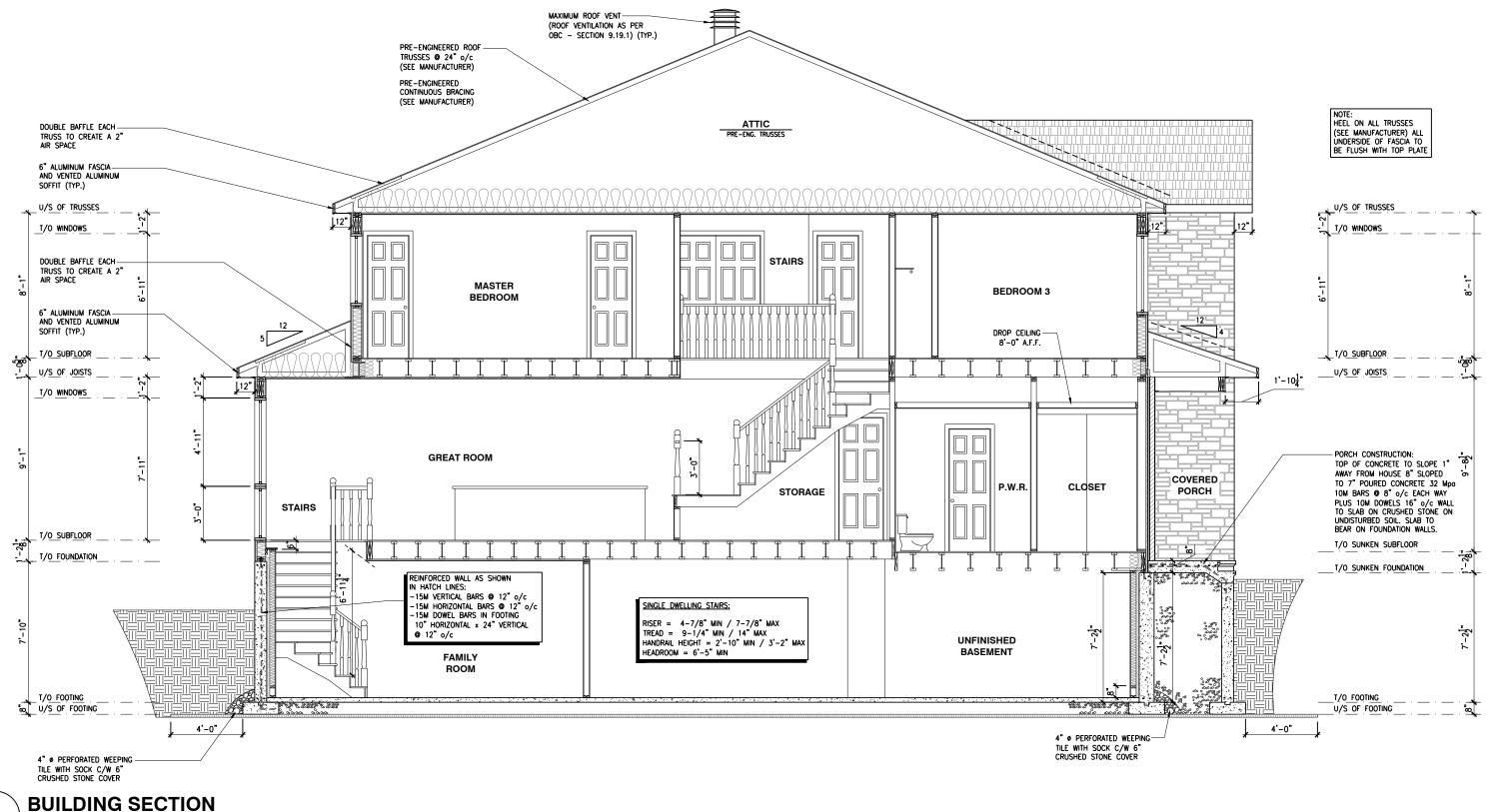
PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

**REAR ELEVATION - MID UNITS** 

SCALE: 3/16" = 1'-0"





Homes (2019) Limited

LOT: **XXXX** DATE: XX/XX/XXXX Valecraft A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REQUIATIONS.
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	SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM				
S	 REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
	NO.	DESCRIPTION			

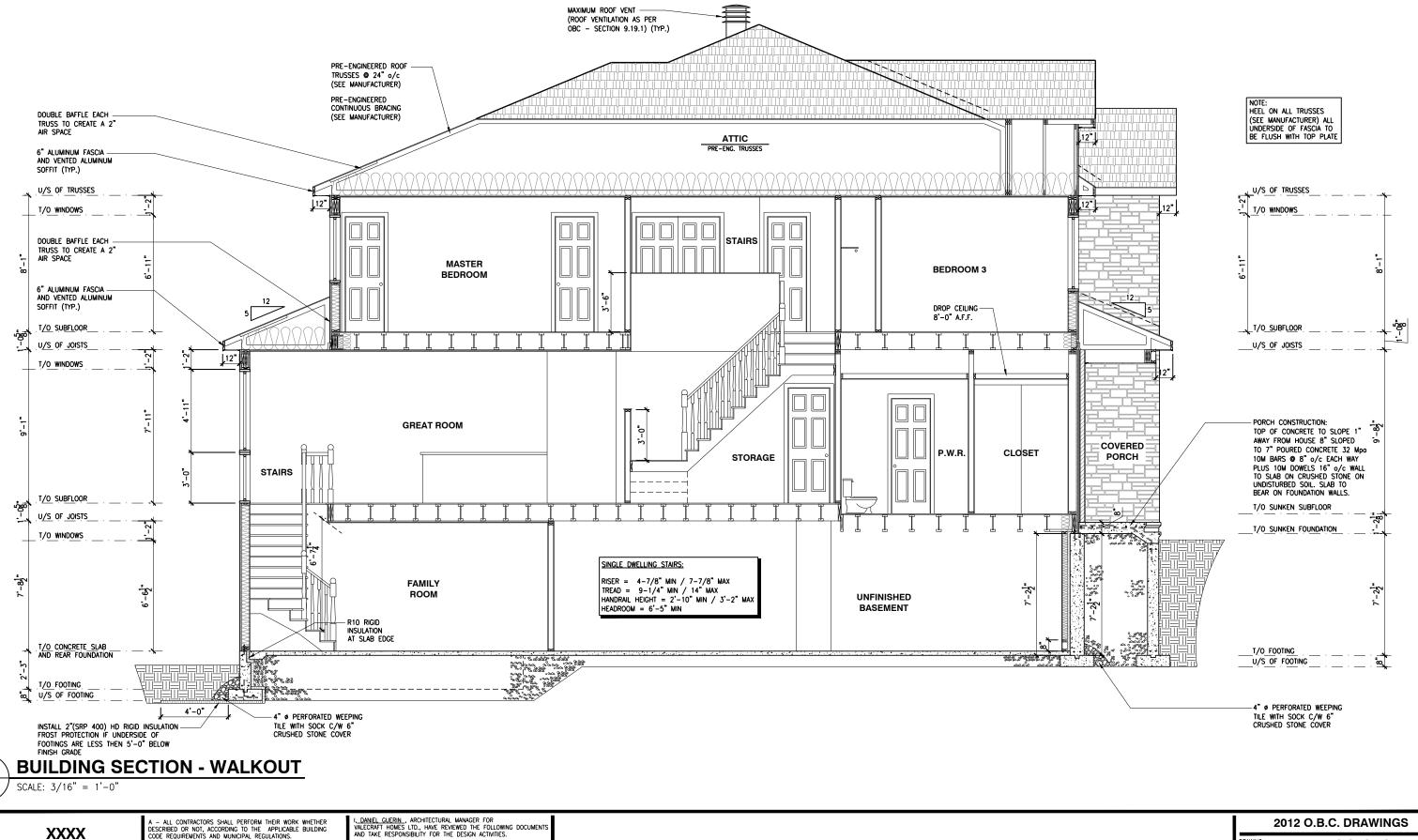
2012 O.B.C. DRAWINGS

**BUILDING SECTION** 

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS **2022 FOOTPRINT** (STANDARD DRAWINGS)

A.3a



LOT: **XXXX** DATE: XX/XX/XXXX Valecraft
Homes (2019) Limited

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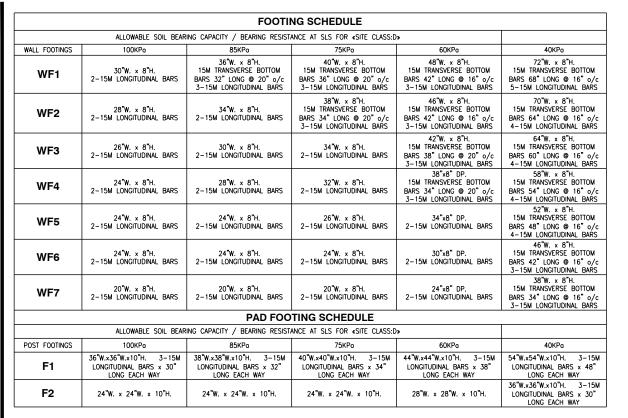
PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NAM/DD/YYYY BY

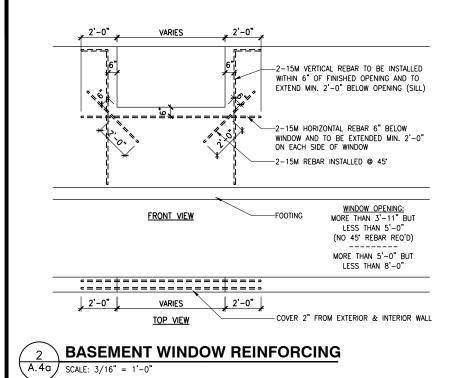
**BUILDING SECTION WALKOUT** 

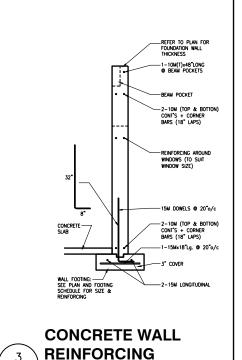
ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS **2022 FOOTPRINT** (STANDARD DRAWINGS)

A.3b

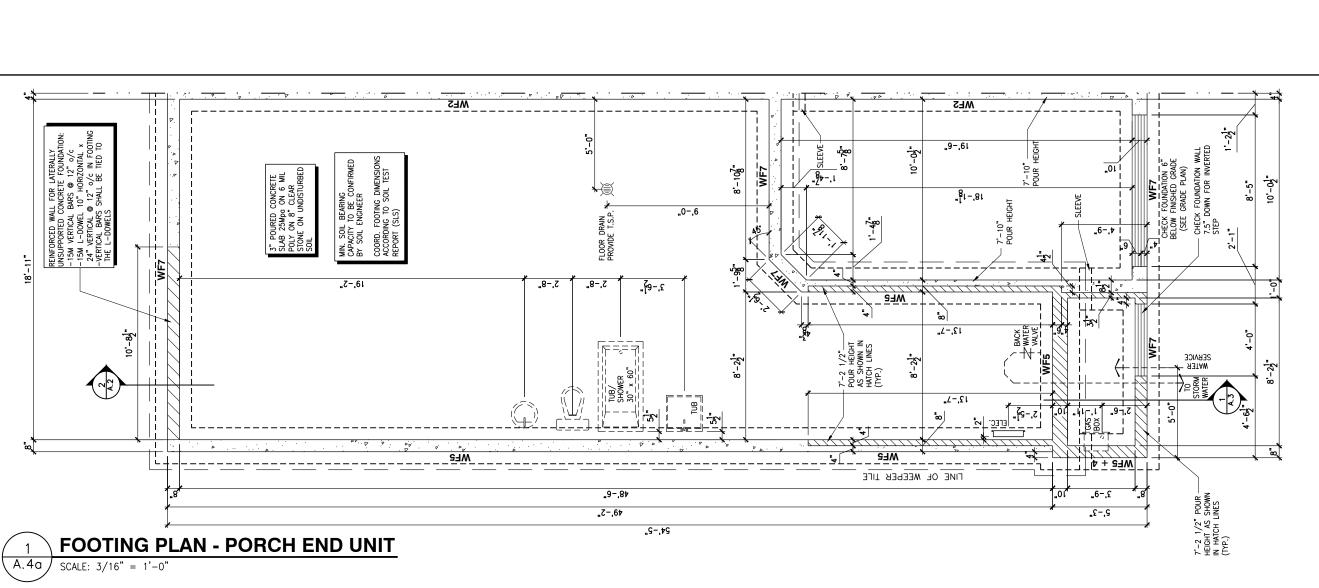






A.4a /

SCALE: 1/4" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- TARION REGISTRATION NUMBER #611
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#### NOTE

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
  THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
  OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
  AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
  THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL
  = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- This drawing is to be read in conjunction with the architectural foundation plan for the specific model and architectural specification.

2012 O.B.C. DRAWINGS

REV-1		01/01/2022	
١0.	DESCRIPTION	MM/DD/YYYY	BY

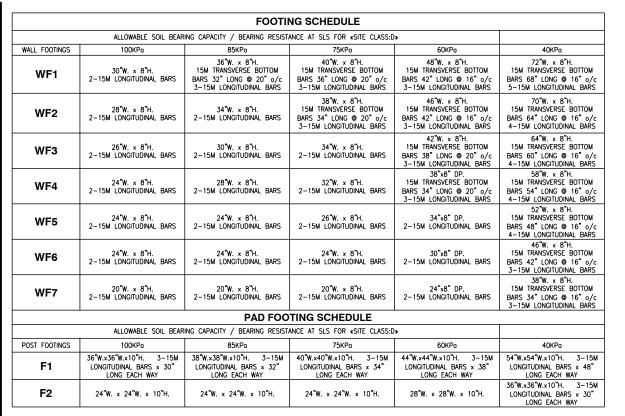
DRAWING

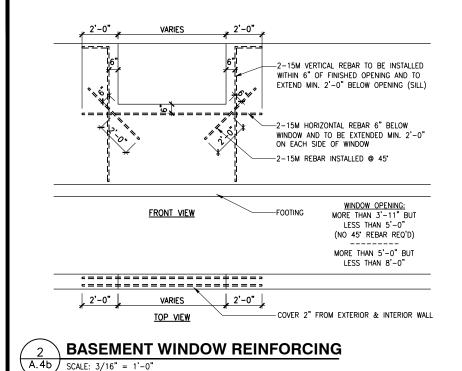
FOOTING PLAN -PORCH END UNIT

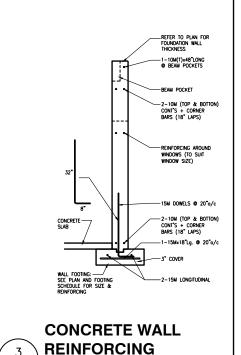
ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)







A.4b

SCALE: 1/4" = 1'-0"



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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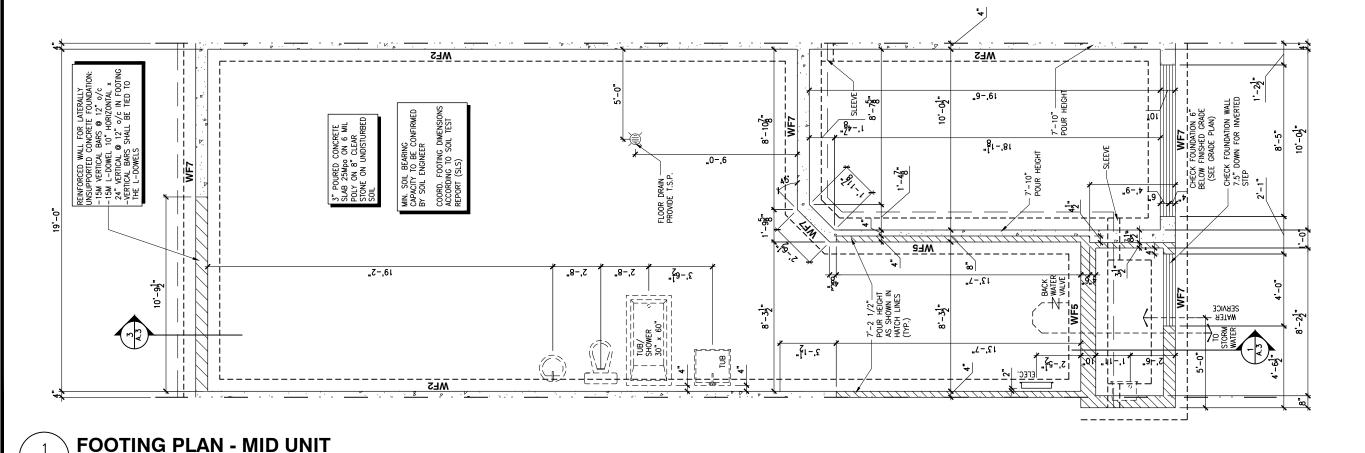
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  AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
  THE TIME OF EXCAVATION
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- CONCRETE STRENGTH ⊕ 28 DAYS FOR FOOTINGS AND WALL
   20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD
   HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- This drawing is to be read in conjunction with the architectural foundation plan for the specific model and architectural specification.



2012 O.B.C. DRAWINGS

DRAWING:

FOOTING PLAN - MID UNIT

DDRESS: | SCALE: | DATE: | XX/XX/XXXX | 3/16" = 1'-0" | DATE: | XX/XX/XXXX | SHEET:

A.4b

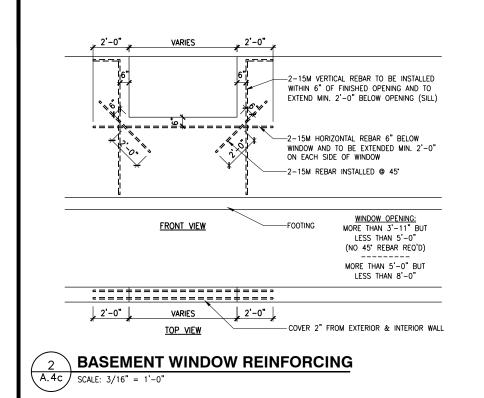
110 - THE THOMAS 2022 FOOTPRINT

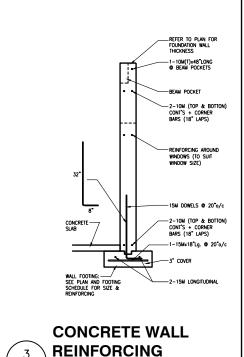
(STANDARD DRAWINGS)

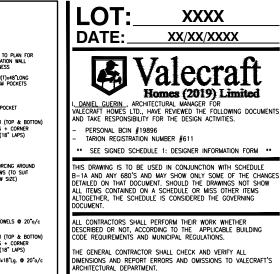
SCALE: 3/16" = 1'-0"

A.4b

		FOOTII	NG SCHEDULE		
	ALLOWABLE SOIL BEAR	ING CAPACITY / BEARING RESISTA	ANCE AT SLS FOR «SITE CLASS:D	)»	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG ூ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. × 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. × 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG ❷ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. × 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG ◎ 16" o/c 3-15M LONGITUDINAL BARS
		PAD FOO	TING SCHEDULE		
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. × 24"W. × 10"H.	28"W. × 28"W. × 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY







NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

(AVAILABLE UPON REQUEST);

THE TIME OF EXCAVATION;

AND ARCHITECTURAL SPECIFICATION.

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- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

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THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ( $\pm$ 1%) AIR ENTRAINMENT; - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400; - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL

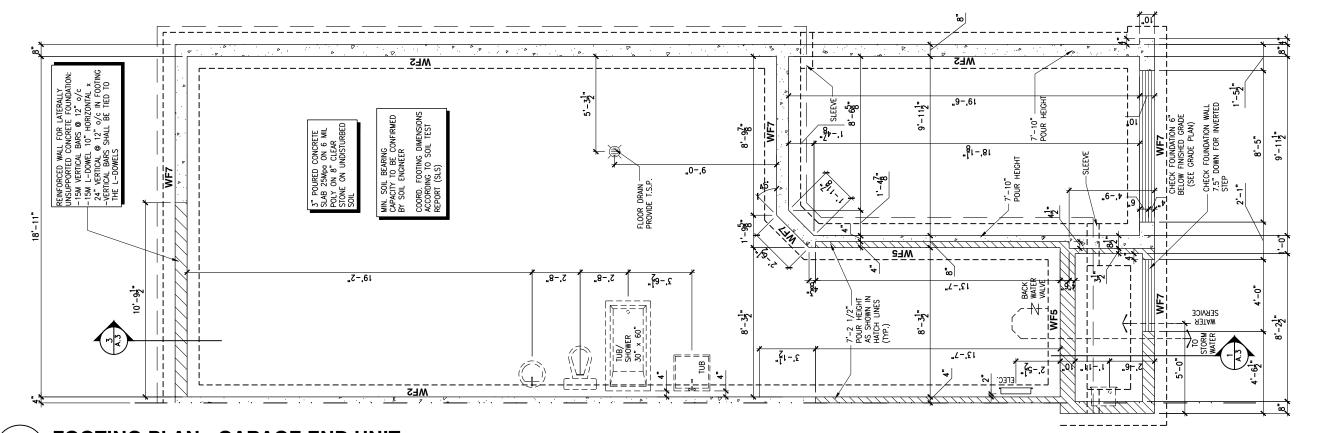
REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS

**XXXX** 

XX/XX/XXXX

 $\left(\begin{array}{c} 3\\ A.4c \end{array}\right)$ 

SCALE: 1/4" = 1'-0"



2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**FOOTING PLAN - GARAGE END** 

3/16" = 1'-0" XX/XX/XXXX

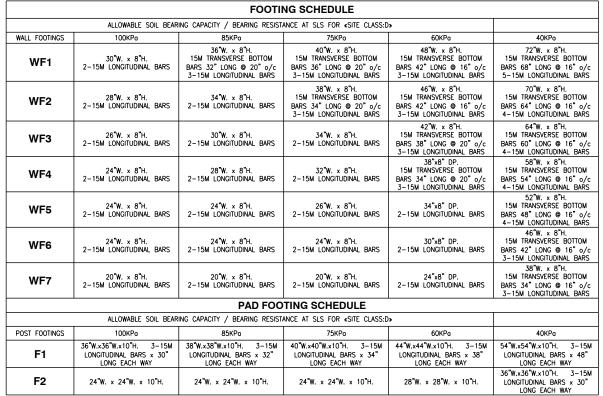
110 - THE THOMAS 2022 FOOTPRINT

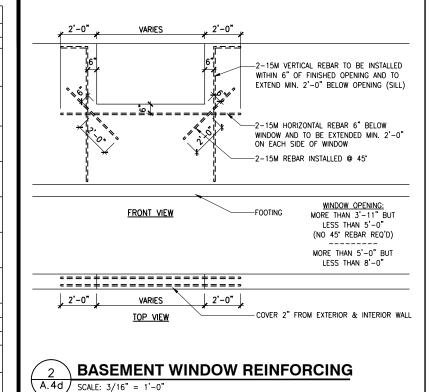
(STANDARD DRAWINGS)

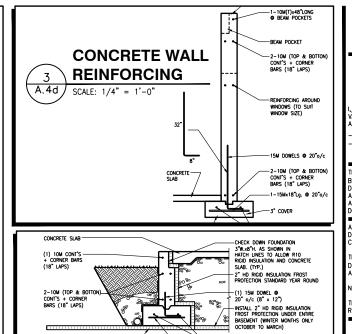
A.4c

**FOOTING PLAN - GARAGE END UNIT** 

(A.4c SCALE: 3/16" = 1'-0"



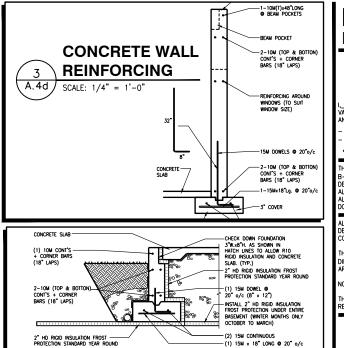


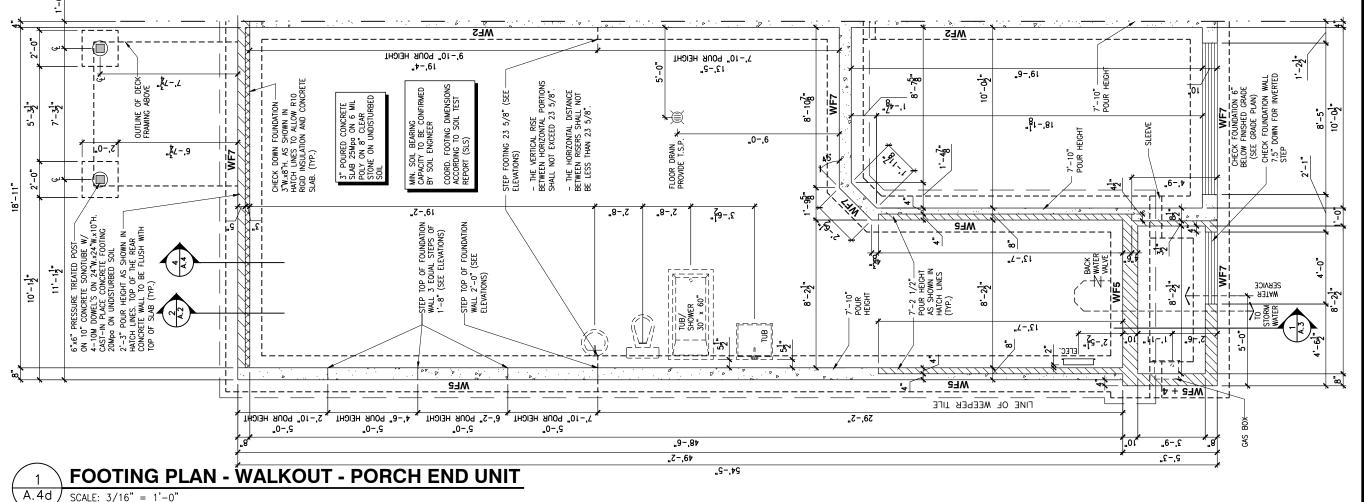


**REINFORCED WALL** 

A.4d SCALE: 1/4" = 1'-0"

**SECTION AT WALK-OUT** 





LOT: DATE: XX/XX/XXXX

Homes (2019) Limited

**XXXX** 

<u>Daniel Guerin</u>, architectural manager for Alecraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

IIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE –1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW I ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS. TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

LL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER ESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

HE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S RCHITECTURAL DEPARTMENT.

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  THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
  OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
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- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

**FOOTING PLAN WALKOUT - PORCH END UNIT** 

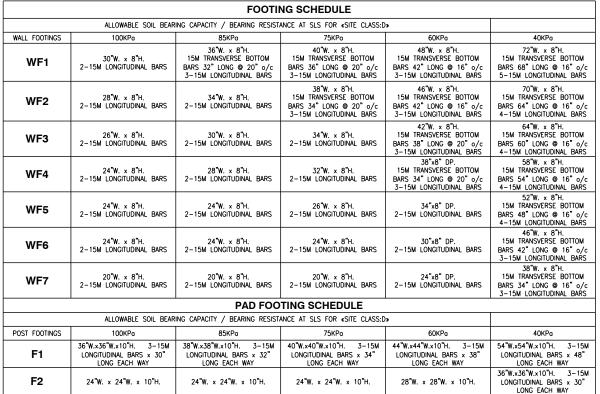
3/16" = 1'-0" XX/XX/XXXX

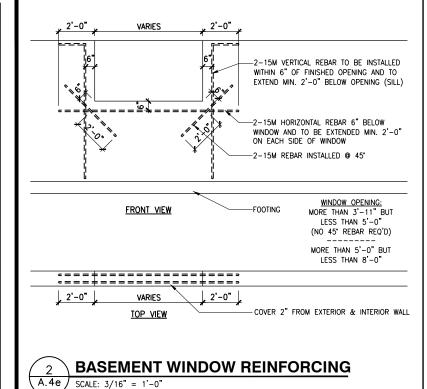
110 - THE THOMAS 2022 FOOTPRINT

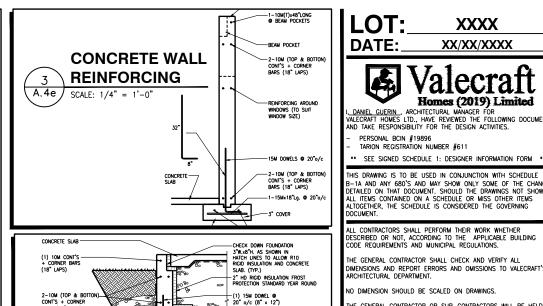
(STANDARD DRAWINGS)

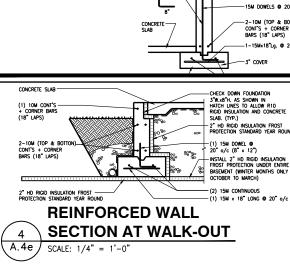
A.4d

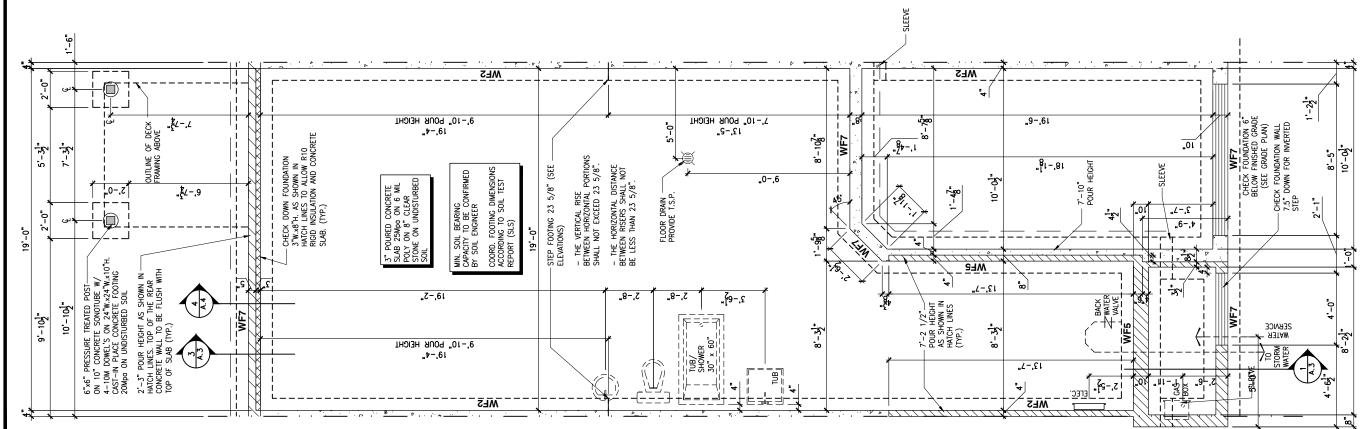
SHEET











**FOOTING PLAN - WALKOUT - MID UNIT** 

SCALE: 3/16" = 1'-0"

A.4e

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION **FOOTING PLAN** 

2012 O.B.C. DRAWINGS

**WALKOUT - MID UNIT** 

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

LOT:

PERSONAL BCIN #19896

RCHITECTURAL DEPARTMENT.

(AVAILABLE UPON REQUEST);

THE TIME OF EXCAVATION;

AND ARCHITECTURAL SPECIFICATION.

TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS

HE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL

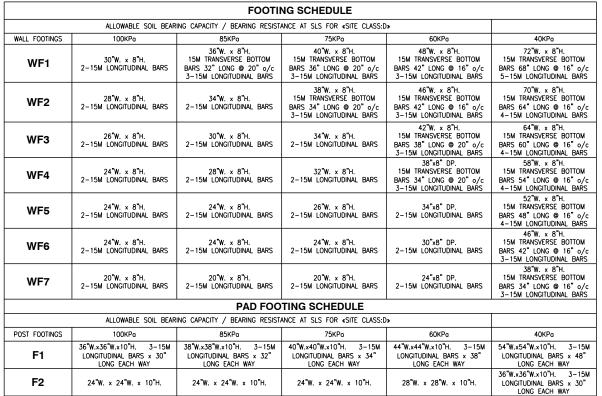
O DIMENSION SHOULD BE SCALED ON DRAWINGS.

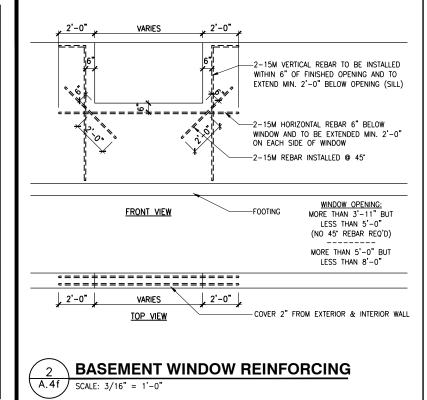
–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW

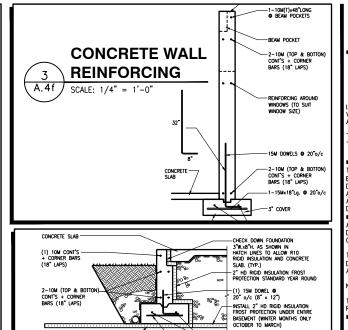
STANDARD DRAWINGS)

A.4e

SHEET





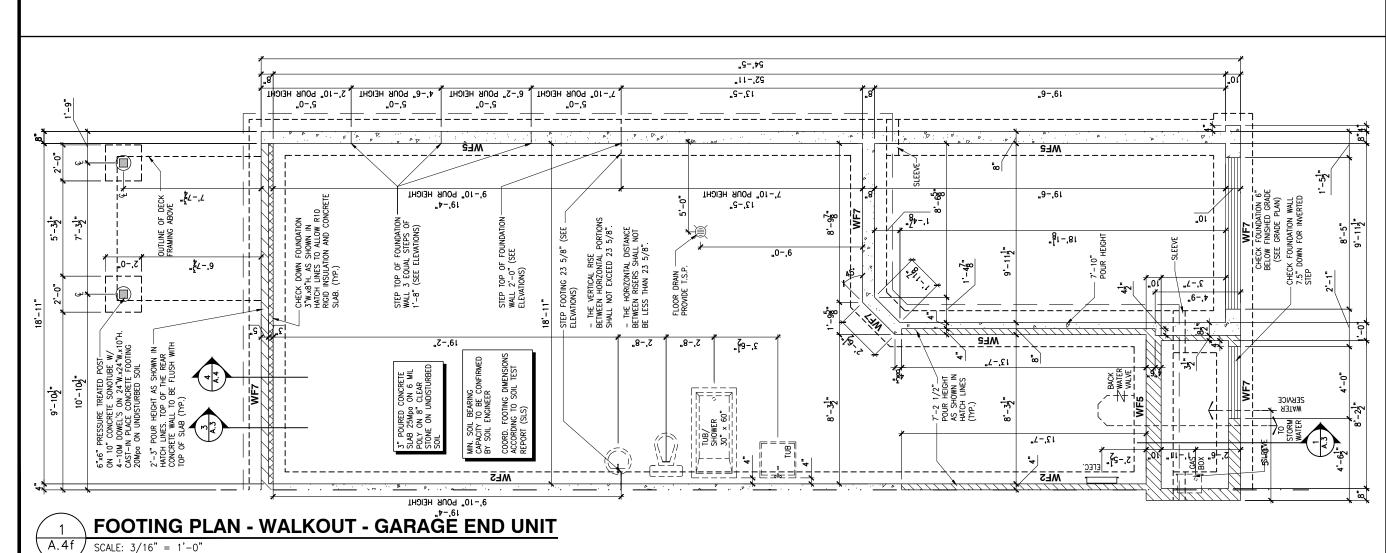


2" HD RIGID INSULATION FROST —
PROTECTION STANDARD YEAR ROUND

A.4f / SCALE: 1/4" = 1'-0"

**REINFORCED WALL** 

**SECTION AT WALK-OUT** 



DATE: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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LL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER ESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING ODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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### NOTES:

- (2) 15M CONTINUOUS

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PEPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
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- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL
  = 20MPg AND CONCRETE FOR FOUNDATION WALLS SHOULD
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON MM/DD/YYYY BY

RAWING: FOOTING PLAN
WALKOUT - GARAGE END UNIT

RESS: | SCALE: | DATE: | XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

STANDARD DRAWINGS)

A.4f

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

.0-.9

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

2,-0,

## WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- (5) 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

## BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: **XXXX** DATE: XX/XX/XXXX



DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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## THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. IOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $S6 = 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3\* ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-224 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 = 3-2x4 OR 3-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED) POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

F IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

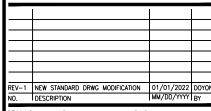
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE



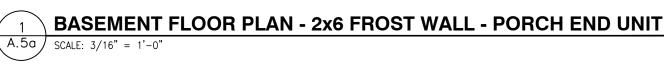
RAWING: BASEMENT FLOOR PLAN

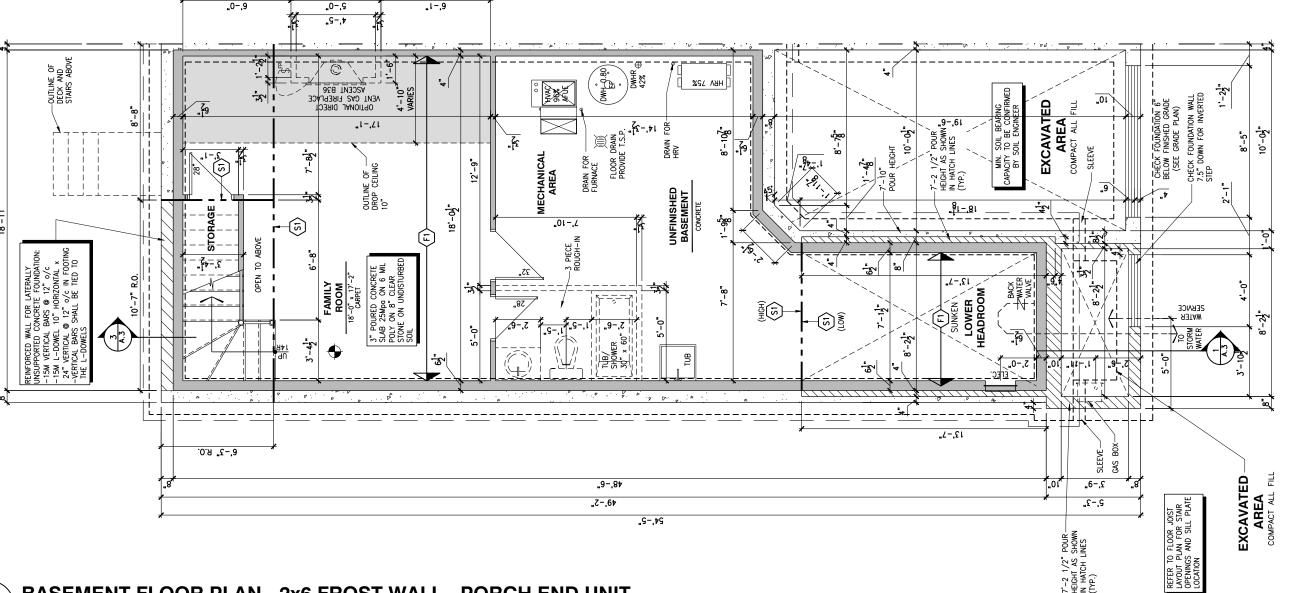
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2x6 FROST WALL - PORCH END 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS

2022 FOOTPRINT STANDARD DRAWINGS)





- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED

ETE FOUNDA © 12" o/c HORIZONTAL o/c IN FO L BE TIED

REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

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(S)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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OURED C 25Mpa ON 8" O

3" PC SLAB POLY STONE

## WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c

- (5) 3-2"x10" PRESSURE TREATED (FLUSH)

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JOIST HANGERS AT EVERY JOIST CONNECTION

2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM

RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND

 $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c

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BASEMENT

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- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN FIEVATION BELOW FROST PENETRATION:

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## BASEMENT NOTE:

EXCAVATE AREA

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CHECK BELOW 1 (SEE

SERVICE

WATER -

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

IS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW I ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

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## OTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10  $S6 = 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

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(\*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: BASEMENT FLOOR PLAN

3/16" = 1'-0" XX/XX/XXXX

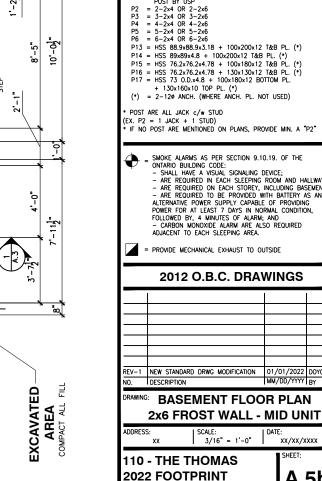
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110 - THE THOMAS

2022 FOOTPRINT (STANDARD DRAWINGS)





- 11 1/2" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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SS @ 12" o/
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"7" o/c IN
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REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

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6'-3" R.O.

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3" PO SLAB POLY STONE SOIL

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- JOIST HANGERS AT EVERY JOIST CONNECTION

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RNACE ELOOR DRAIN PROVIDE T.S.P.

 $8' - 3\frac{1}{2}"$ 

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EXCAVATE AREA COMPACT ALL F

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FOUNDATION 6" FINISHED GRADE GRADE PLAN)

CHECK P BELOW F (SEE (

CHECK FOUNDATION 7.5" DOWN FOR I

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EXCAVATED - AREA COMPACT ALL FILL

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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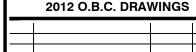
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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - GARAGE END

3/16" = 1'-0"

xx/xx/xxxx

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110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS)

**BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT** SCALE: 3/16" = 1'-0"

A.5c

ORCED WALL FOR LATERALLY
JPPORTED CONCRETE FOUNDATI
WERTICAL BARS © 12" o/c
A 1-DOWEL 10" HORIZONTAL
VERTICAL © 12" o/c IN FOO
FINCAL BARS SHALL BE TIED TO

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

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2 OPEN

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7'-10" POUR P

EXCAVATE AREA COMRACT ALL

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CHECK FOUNDATION 6"
BELOW FINISHED GRADE
(SEE GRADE PLAN)
HECK FOUNDATION WALL
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POUR SHOWI LINES

7'-2 1/2" HEIGHT AS IN HATCH L (TYP.)

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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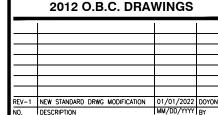
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RAWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END** 

3/16" = 1'-0" XX/XX/XXXX

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110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)



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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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## WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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- JOIST HANGERS AT EVERY JOIST CONNECTION

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EXCAVATED AREA COMPACT ALL FILL

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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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## POST TABLE:

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EXCAVATED-AREA COMPACT ALL FILL

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CHECK BELOW 1 (SEE

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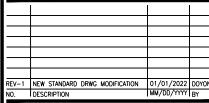
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## BASEMENT FLOOR PLAN **ENERGY STAR - MID UNIT**

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

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BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

A.5e

SCALE: 3/16" = 1'-0"

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OR 12" o/c

HORIZONTAL ×

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LL BE TIED TO

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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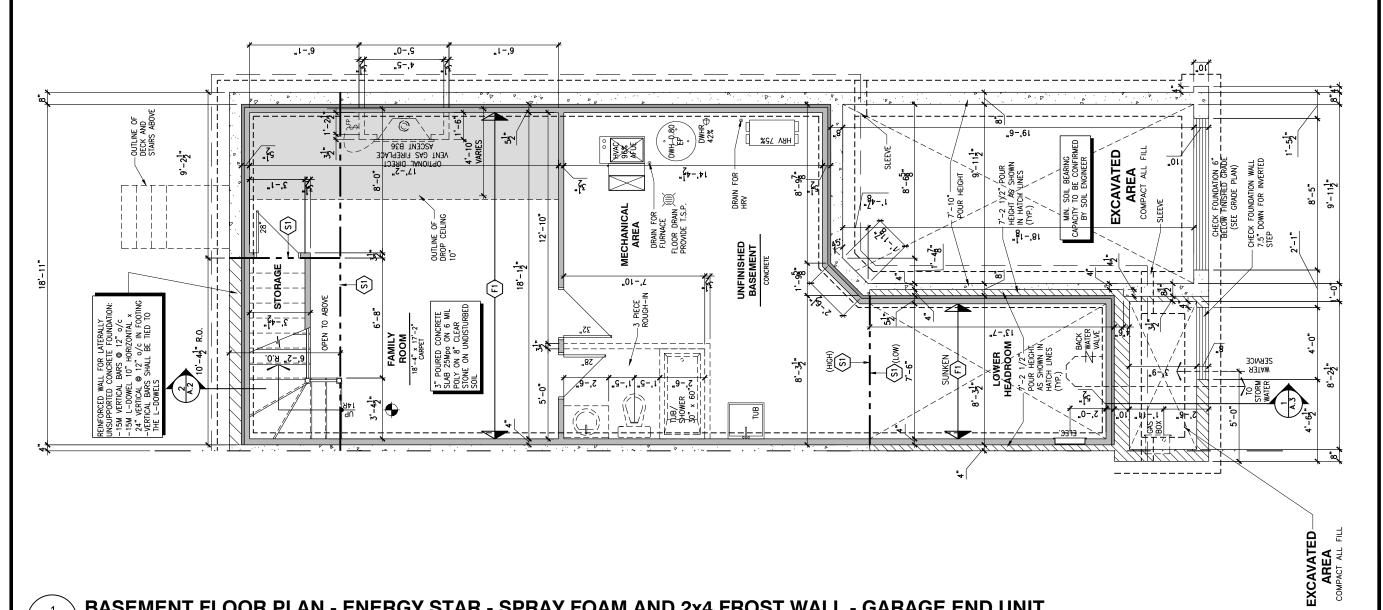
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BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

LOT: **XXXX** DATE: XX/XX/XXXX



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  POST BY USP
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: BASEMENT FLOOR PLAN

**ENERGY STAR - GARAGE END** 

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

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STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

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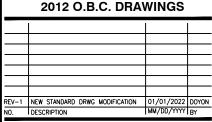
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE



## RAWING: BASEMENT FLOOR PLAN **WALKOUT - PORCH END UNIT**

3/16" = 1'-0"

110 - THE THOMAS

2022 FOOTPRINT

A.5g

XX/XX/XXXX

BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

EXCAVATED AREA COMPACT ALL FILL 8,-0 DRAIN T.S.P. K FOU CHECK BELOW P "हा-'81 \* 00 UNFINIS "0-'8 ۷.-۱0. 13,-1. CONC S S S -21-ZEKAICE <u>.</u> -\*- A∃TAW 3'-41" \_**.**\_0-.Z √..6−.Σ 2,-6 etec. -<u>1</u>2 5'-1<u>1</u>" R.O. 13,-1. "T-'84 ..6−.Σ

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EXCAVATED AREA
COMPACT ALL FILL <u>..</u>70−.6₽ 24.-3<sup>1</sup>..

POUR SHOW! LINES

7'-2 1/2" HEIGHT AS ! IN HATCH LI (TYP.) 7'-10 20UR

STANDARD DRAWINGS)

- 11 1/2" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL RIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

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3.-4]..

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MECHANICAL AREA

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DRAIN FOR FURNACE

FLOOR |

MRV 75%

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BACK WATER VALVE

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JOIST STAIR .L. PLATE

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FOUNDATION 6"
FINISHED GRADE
GRADE PLAN)
FOUNDATION WALL

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EXCAVATED AREA
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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

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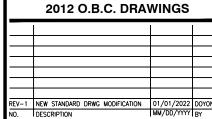
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE



# RAWING: BASEMENT FLOOR PLAN

**WALKOUT - MID UNIT** 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS

A.5h

SHEET

2022 FOOTPRINT STANDARD DRAWINGS)



A.5h

SCALE: 3/16" = 1'-0"

- 11 1/2" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED

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(2) 1.75"×11 L.V.L. (1.9E)

REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

## GENERAL NOTES:

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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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## WALK-OUT DECK FRAMING NOTES:

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- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- (5) 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

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- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

## BASEMENT NOTE:

EXCAVATED AREA COMPACT ALL FILL

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8'-31"

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GRADE PLAN)
FOUNDATION WALL

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EXCAVATED - AREA COMPACT ALL FILL

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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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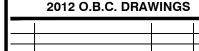
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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: BASEMENT FLOOR PLAN

**WALKOUT - GARAGE END UNIT** 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS

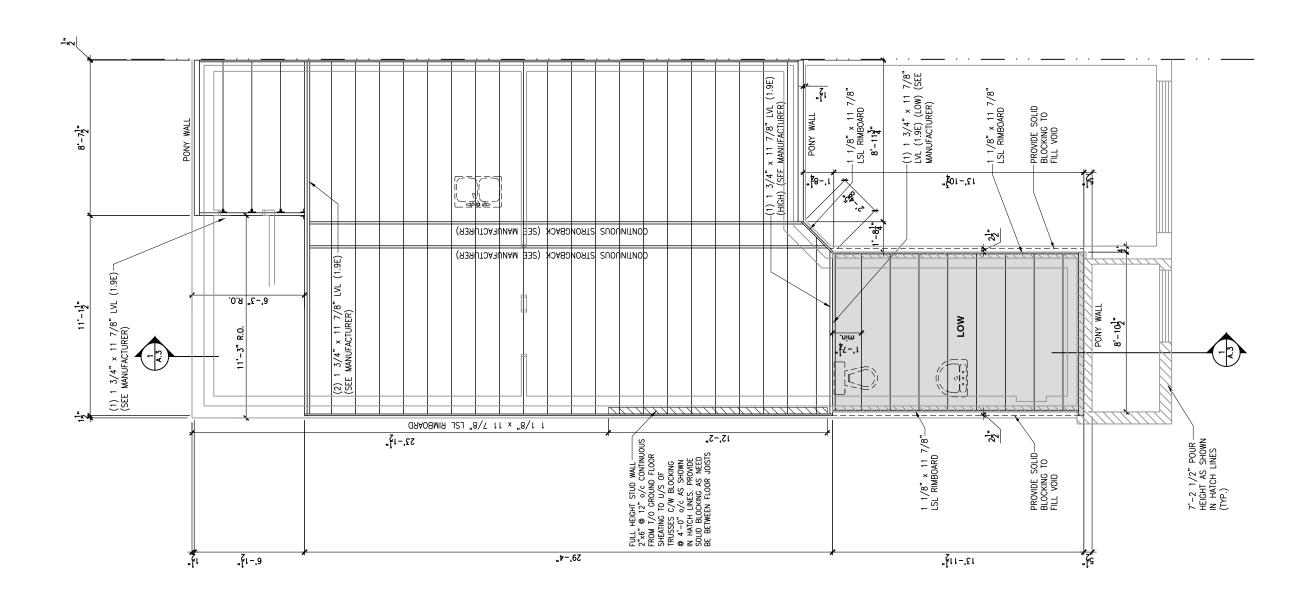
2022 FOOTPRINT (STANDARD DRAWINGS)

**A.5i** 

**BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT** 

A.5i

SCALE: 3/16" = 1'-0"





PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS

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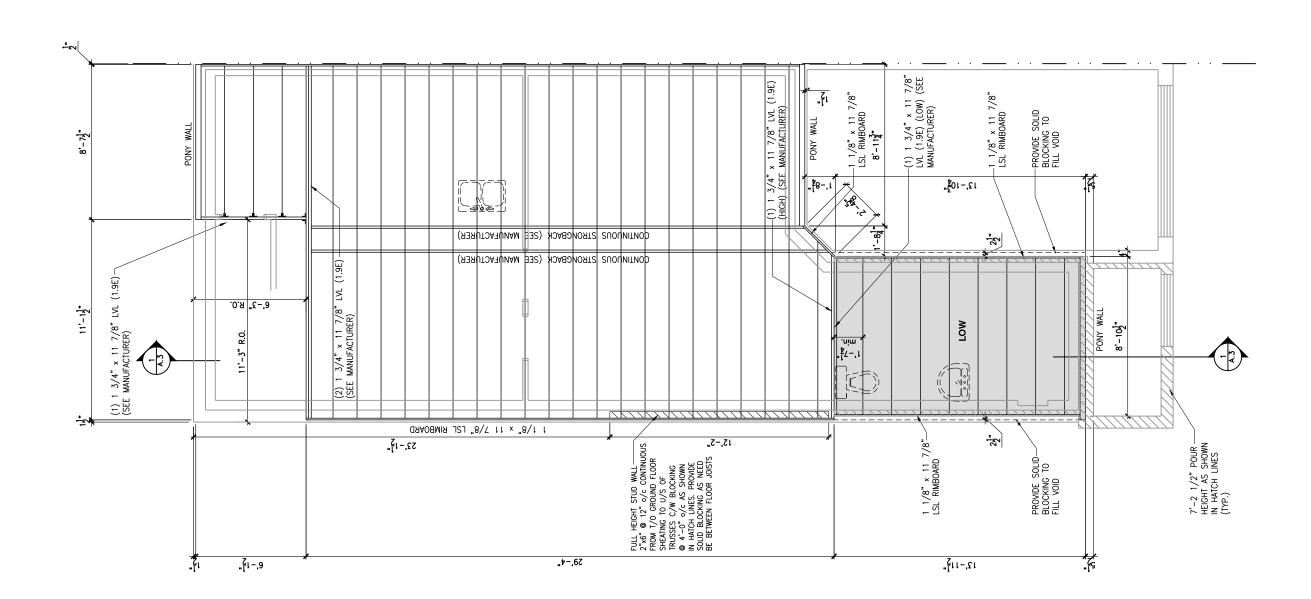
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS

2022 FOOTPRINT A.6a (STANDARD DRAWINGS)

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT** 





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NO. DESCRIPTION MM/DD/YYYY BY

RAWING: GROUND FLOOR - FLOOR

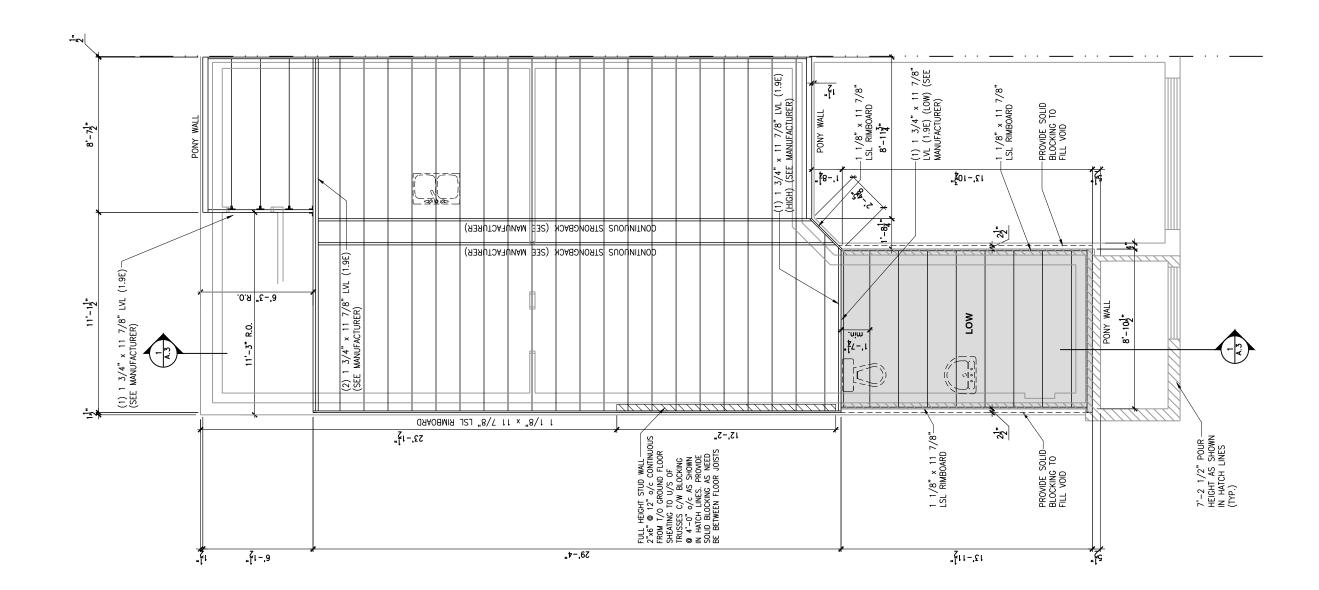
**JOIST FRAMING - PORCH END** SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6b

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

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RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END** 

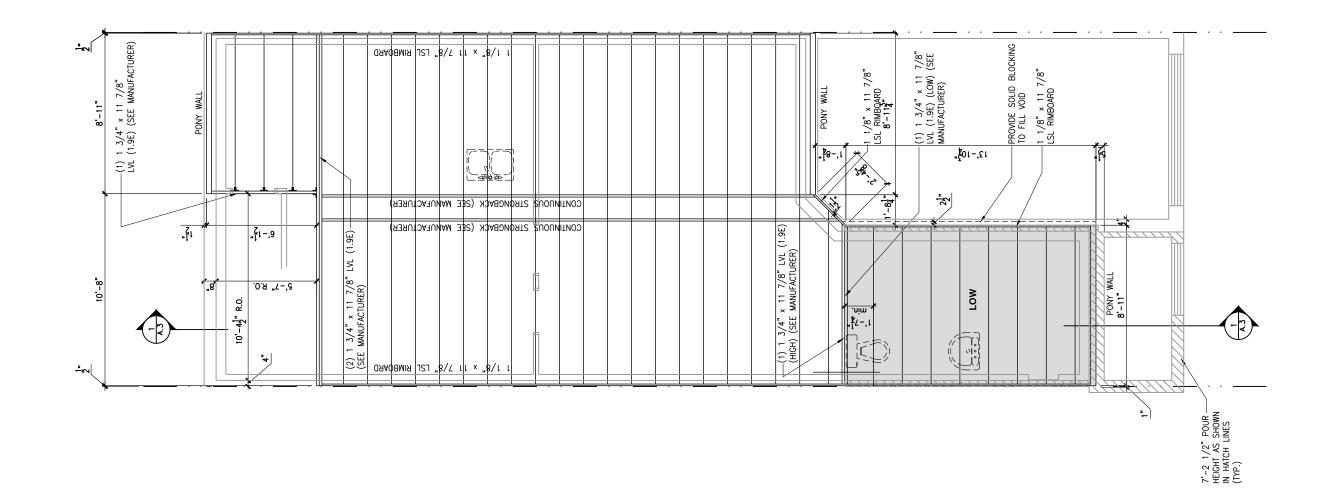
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.6c

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT** 



LOT: XXXX DATE: XX/XX/XXXX



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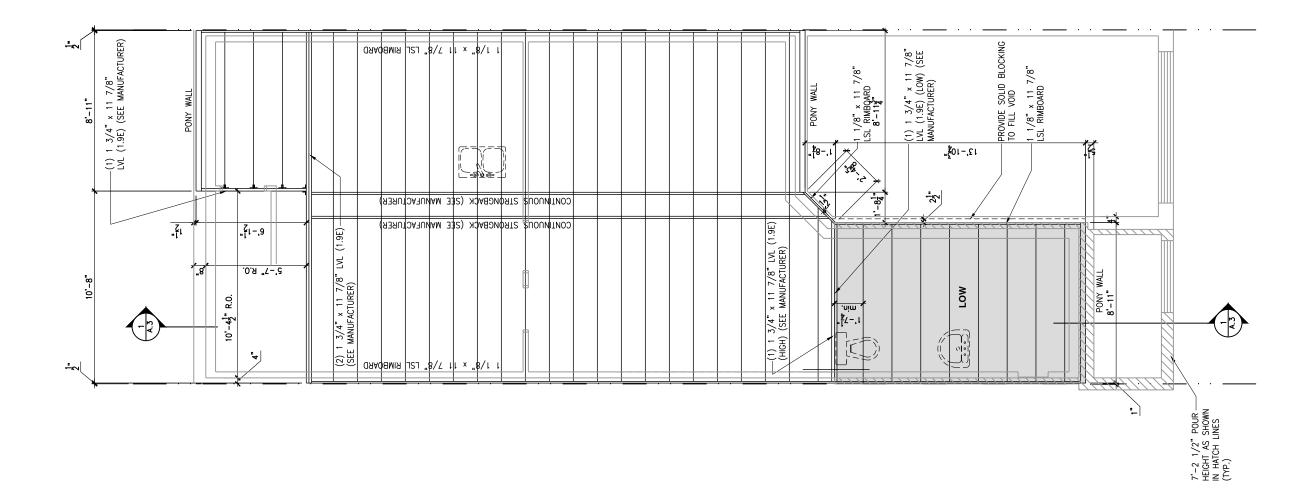
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ORAWING: GROUND FLOOR - FLOOR

**JOIST FRAMING PLAN - MID** | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

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110 - THE THOMAS 2022 FOOTPRINT





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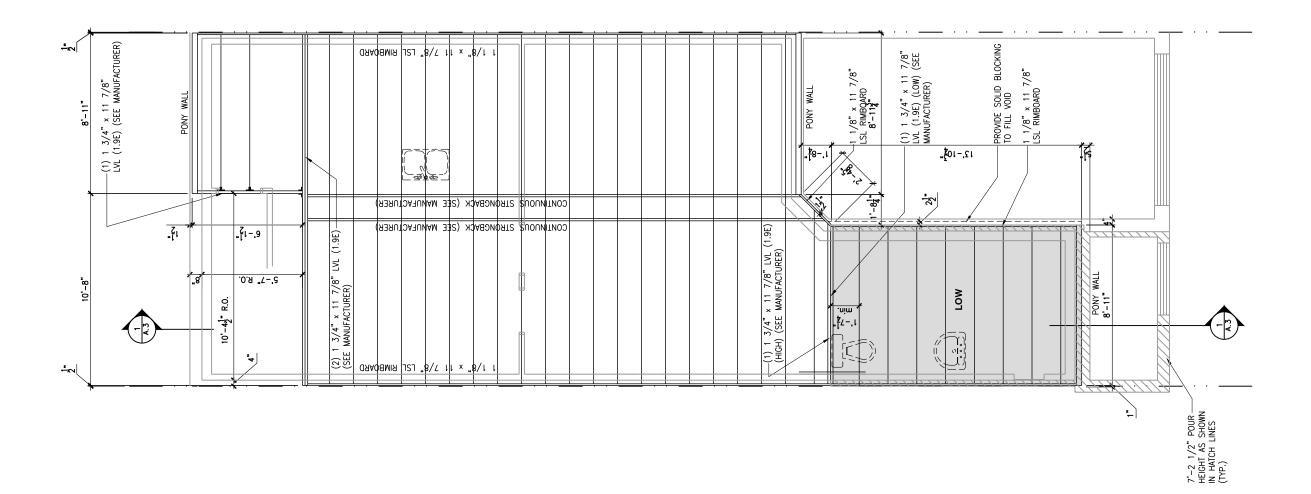
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 BY

DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

A.6e

110 - THE THOMAS 2022 FOOTPRINT



**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT** 

LOT: XXXX XX/XX/XXXX



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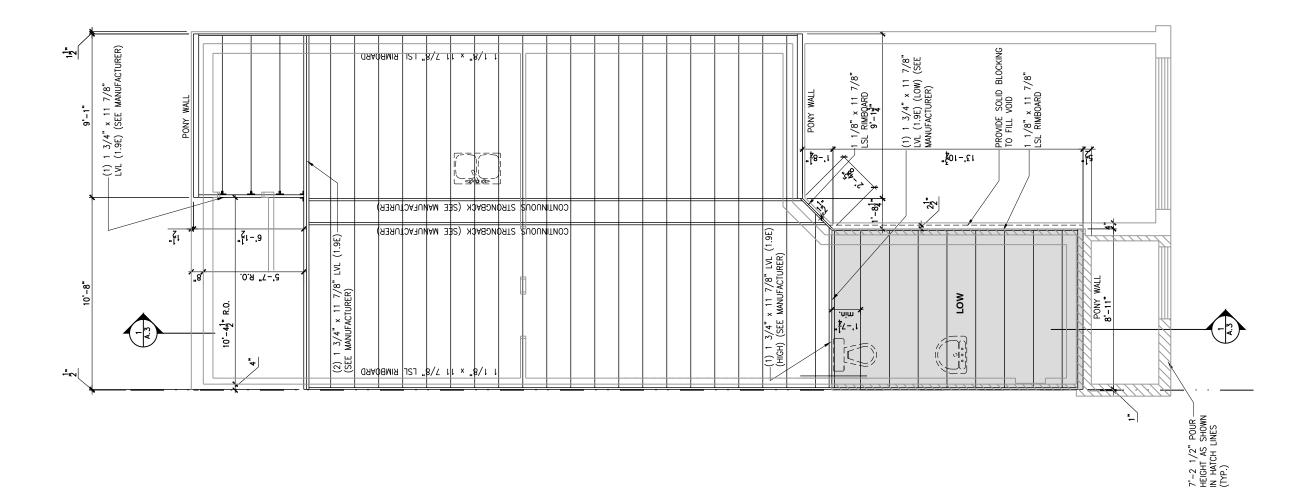
ORAWING: GROUND FLOOR - FLOOR

**JOIST FRAMING PLAN - MID** DATE: XX/XX/XXXX

A.6f

| SCALE: | 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT





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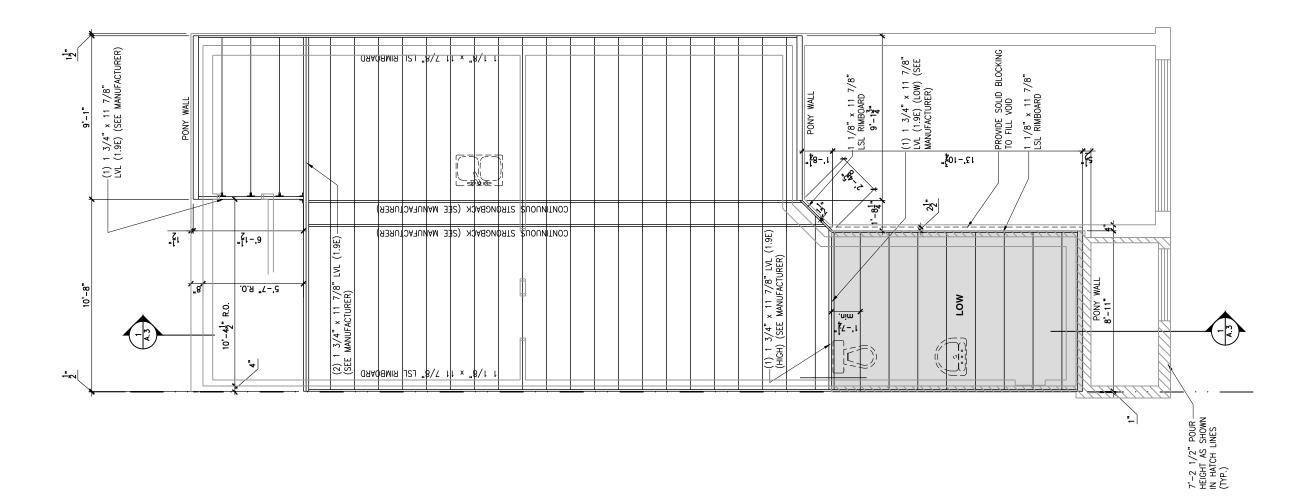
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END** 

(STANDARD DRAWINGS)

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110 - THE THOMAS 2022 FOOTPRINT

A.6g





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END** 

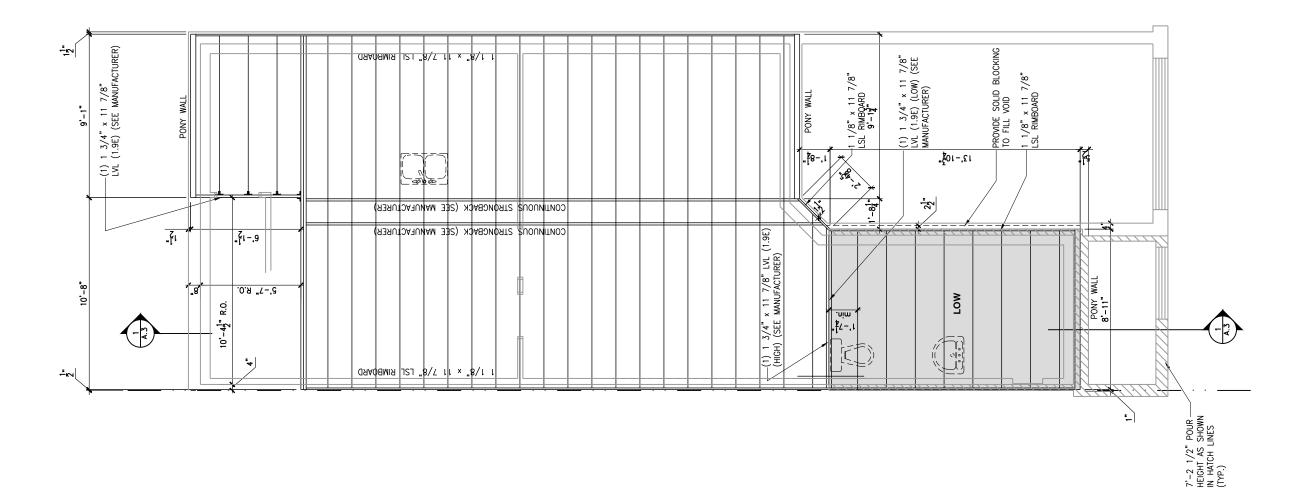
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.6h

**GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT** 



LOT: XXXX DATE: XX/XX/XXXX



PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

ORAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

A.6i

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT SCALE: 3/16" = 1'-0"

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX DATE: XX/XX/XXXX

Valectait
Homes (2019) Limited

1. DANIEL GUERIN. ARCHITECTURAL MANAGER FOR
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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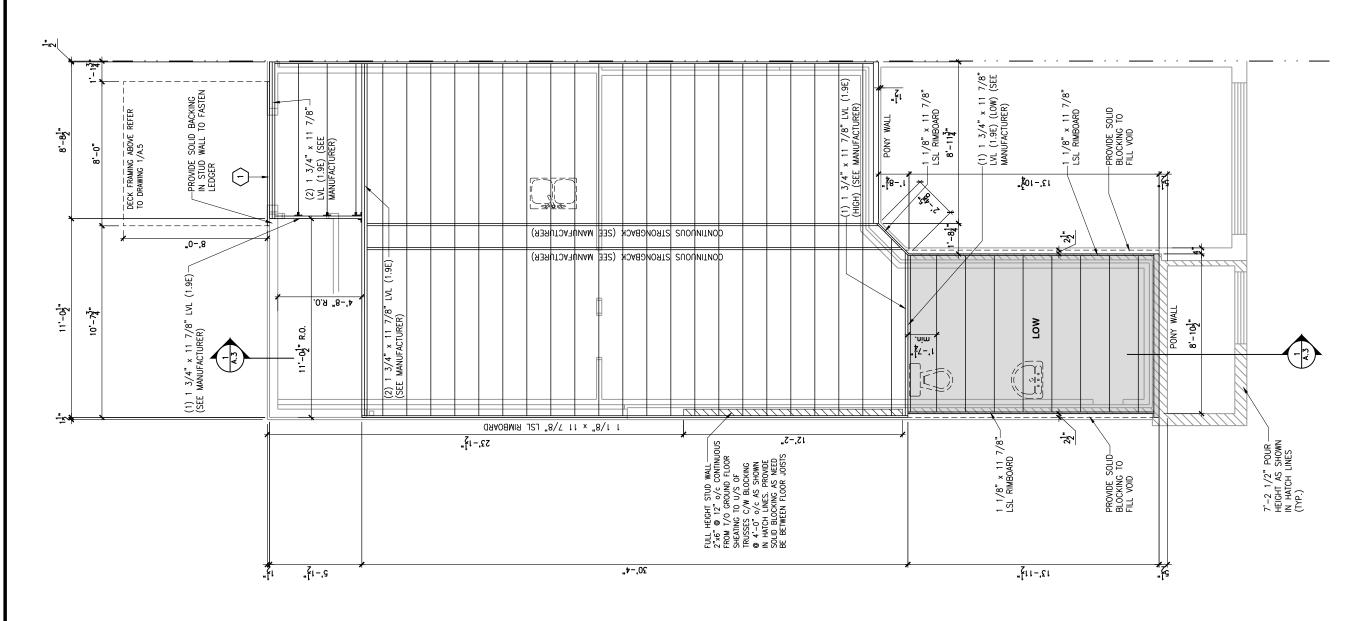
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2012 O.B.C. DRAWINGS

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NO. DESCRIPTION MM/DD/YYYY BY

PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-PORCH END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS

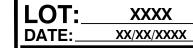
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2022 FOOTPRINT

A.6j

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

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Homes (2019) Limited

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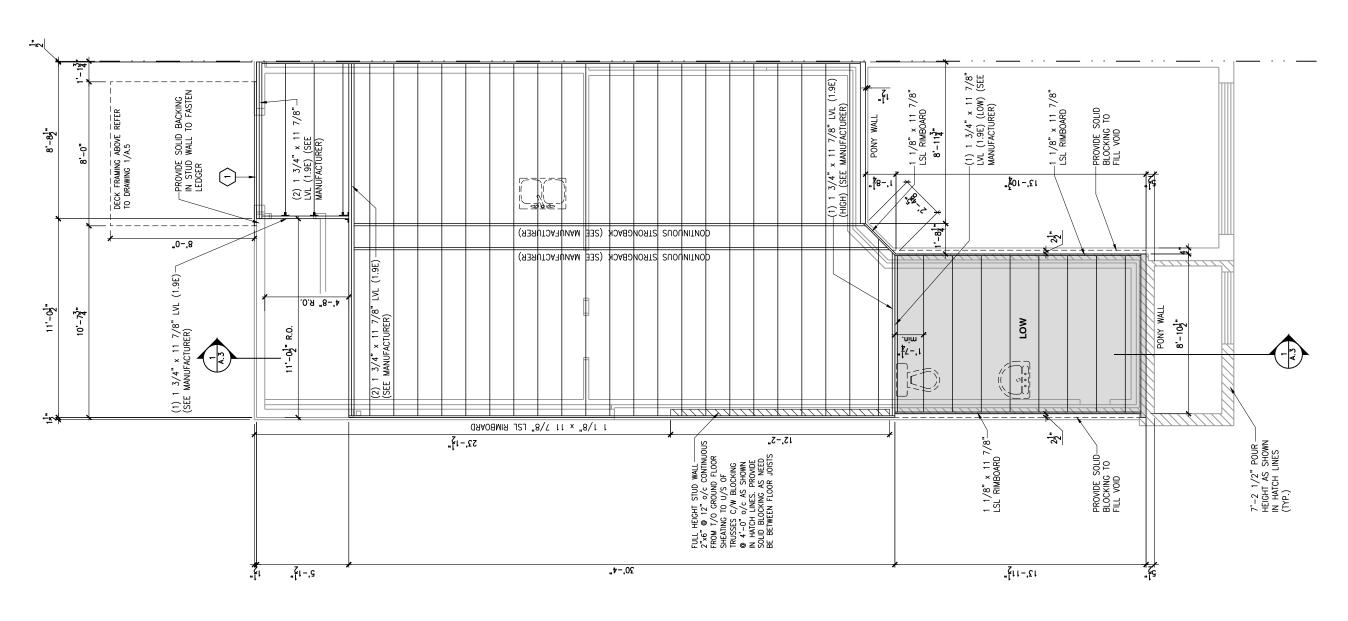
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NO. DESCRIPTION MM/DD/YYYY BY

RAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" xx/xx/xxxx

A.6k

2022 FOOTPRINT

110 - THE THOMAS (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

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LOT: DATE:

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Homes (2019) Limited

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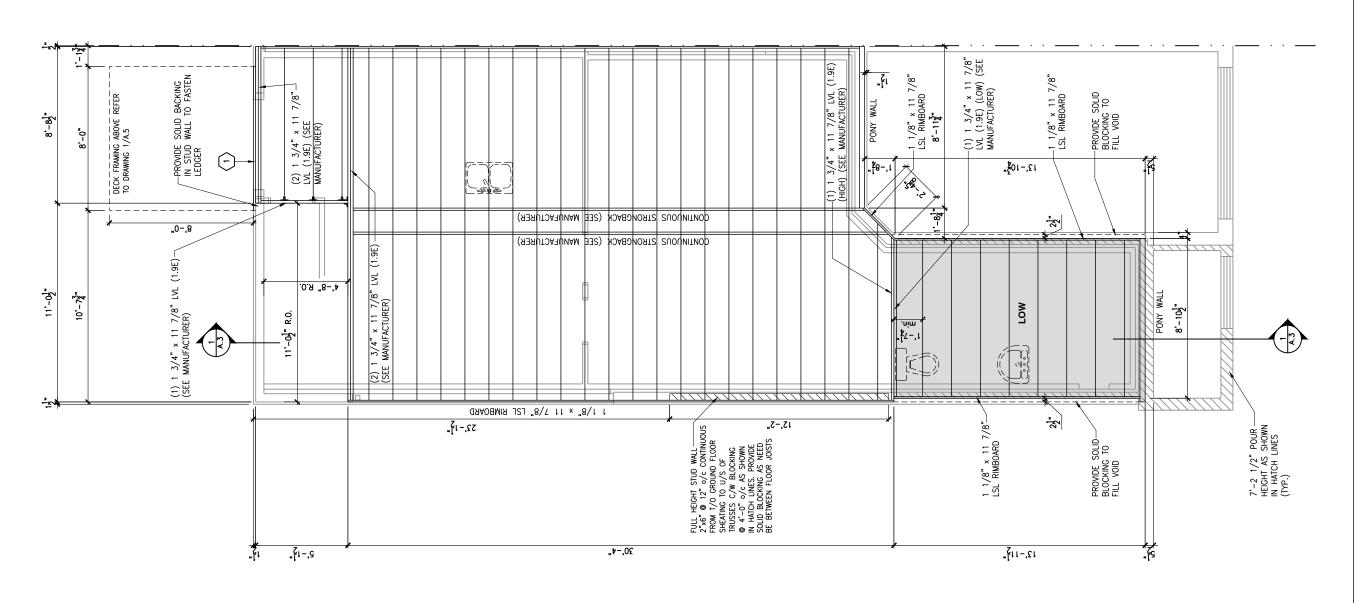
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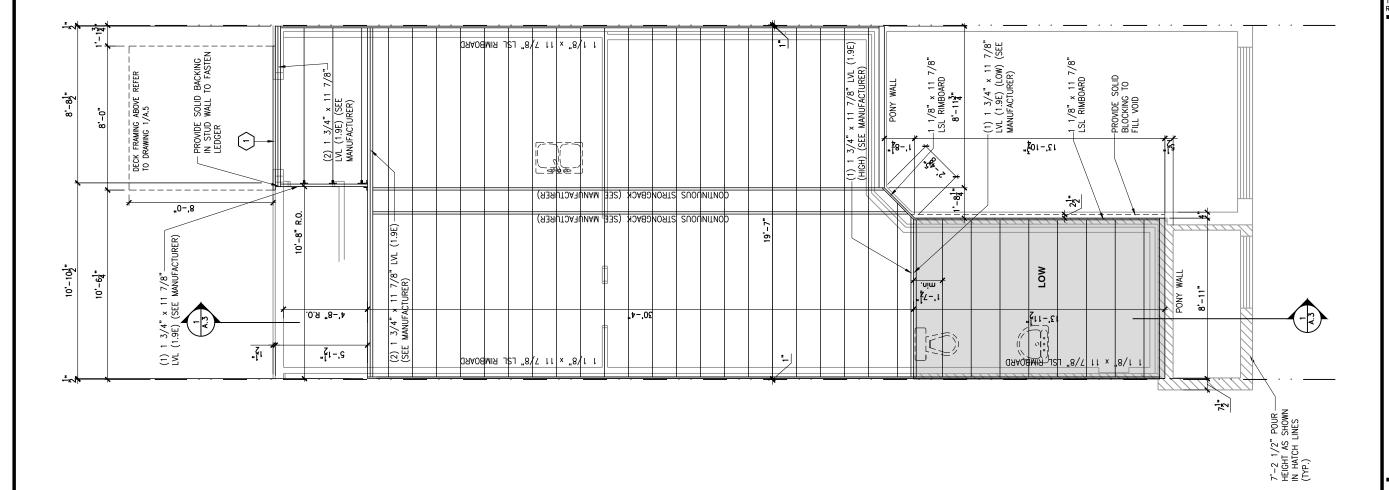
FRAMING-WALKOUT-PORCH END SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS

2022 FOOTPRINT **A.6**l (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

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NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6m

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES, INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING



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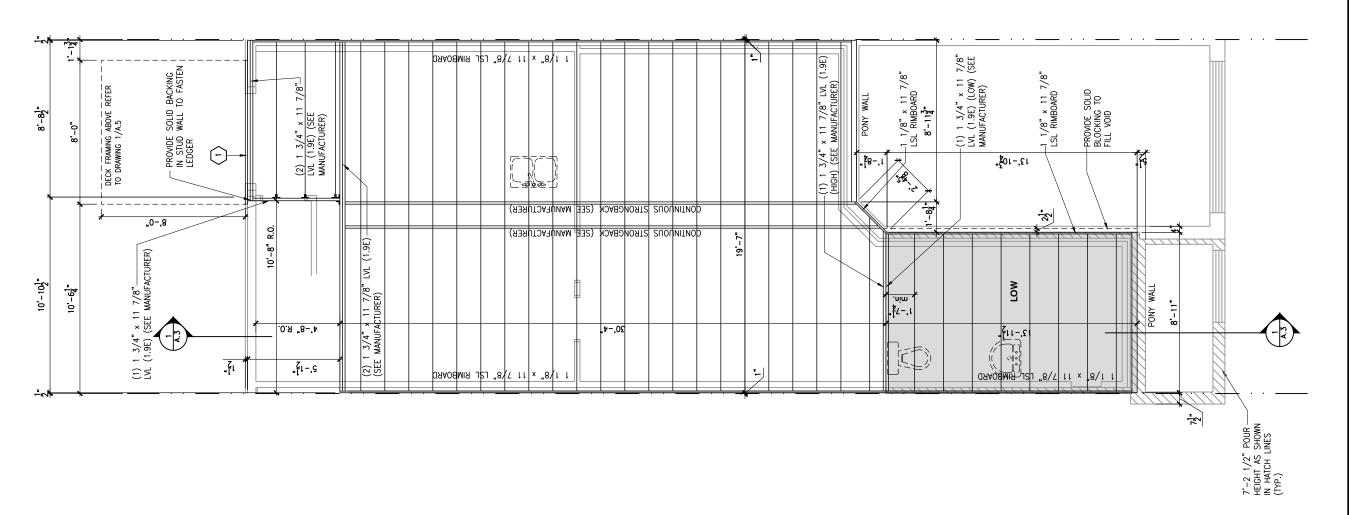
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 MM/DD/YYYY
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DRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID SCALE: 3/16" = 1'-0"

110 - THE THOMAS

(STANDARD DRAWINGS)

2022 FOOTPRINT A.6n

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

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Homes (2019) Limited

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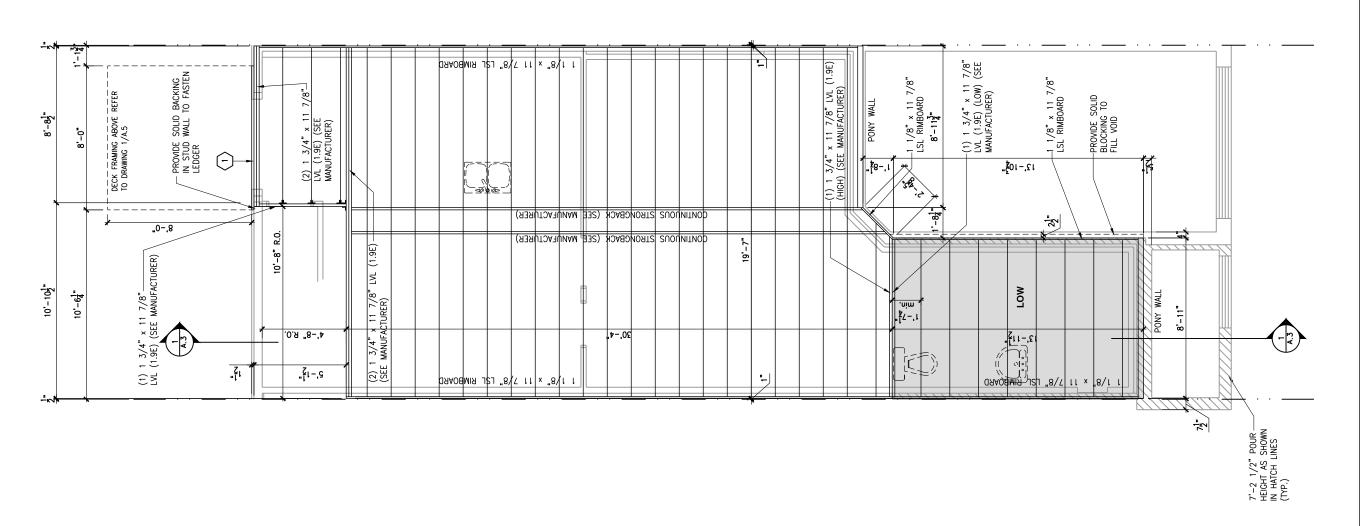
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FRAMING PLAN - WALKOUT - MID

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

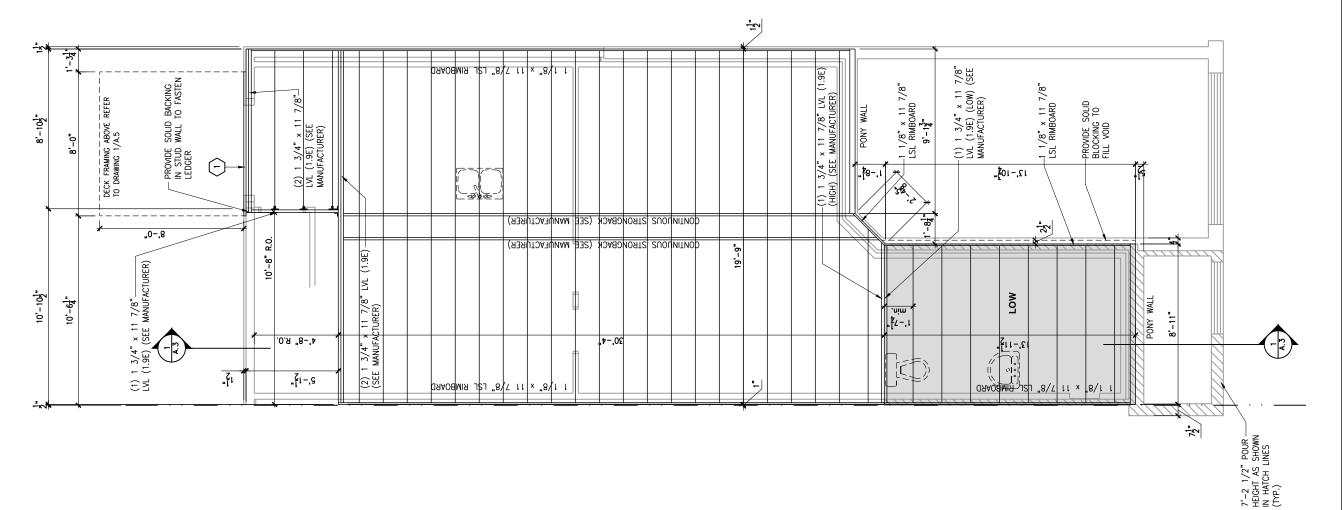
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A.60

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT

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xx/xx/xxxx

A.6p

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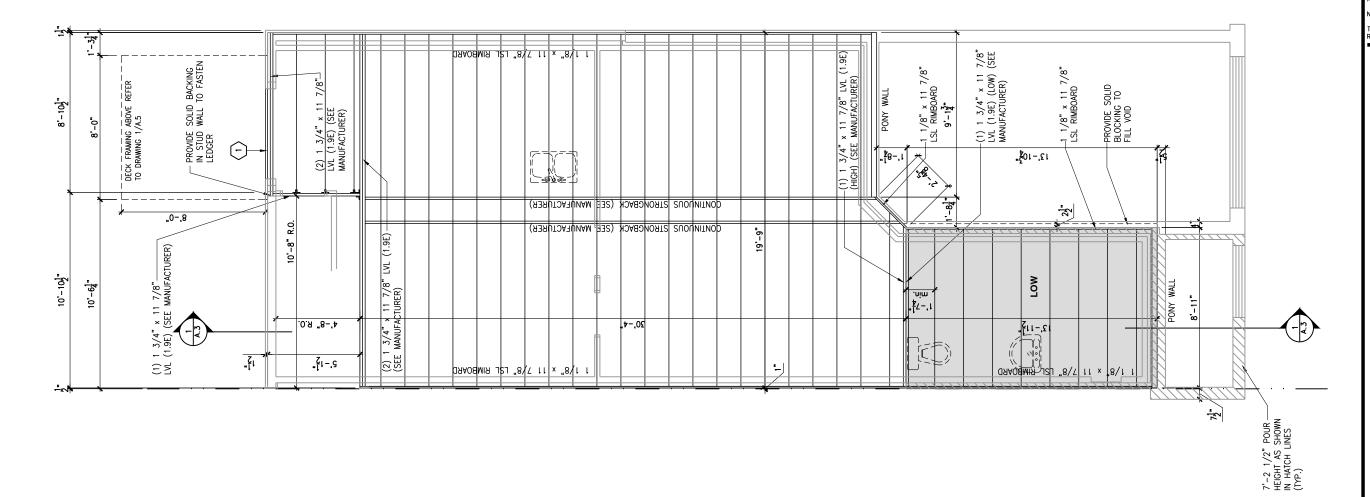
FRAMING-WALKOUT-GARAGE END

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

2022 FOOTPRINT

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PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END SCALE: 3/16" = 1'-0"

A.6q

xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS)

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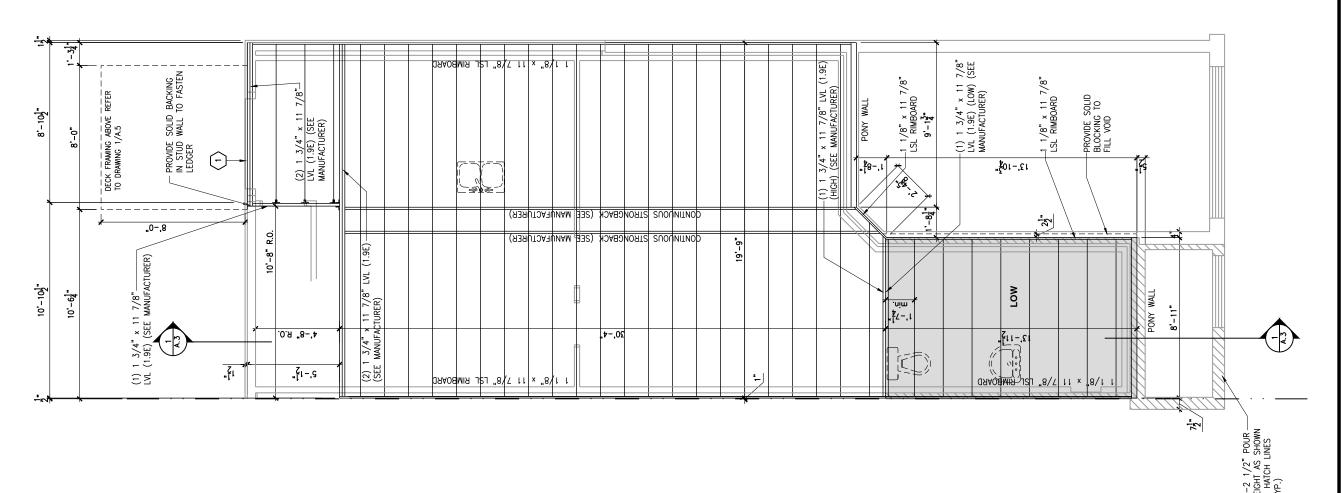
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NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6r

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

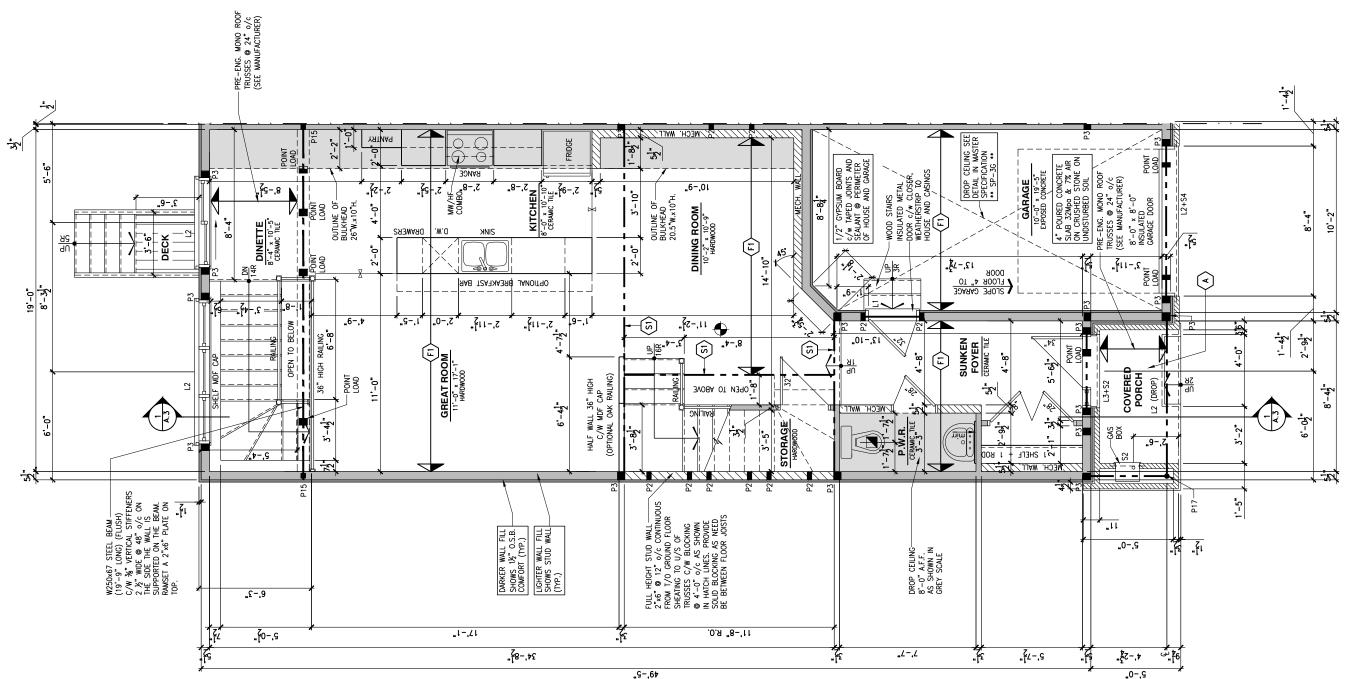
- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

> PROVIDE A 10 1/2"  $\times$  3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



**GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT** 

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

**A.7a** 

LOT: XXXX XX/XX/XXXX

NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10  $S6 = 1.200 \times 100 \times 12$ LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = USS 28 0x88 0x 38 x 100 200 x 12 TAB P1 13 63 89 89 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 89 x 89 x 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 76 2 x 76 2 x 4.7 8 + 100 x 180 x 12 Tab PL. (\*) P16 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) P17 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) POST ARE ALL JACK c/w STUD SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING 2012 O.B.C. DRAWINGS

Homes (2019) Limited

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- S7 = L 150x100x10 (8" BEARING)
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

- (EX. P2 = 1 JACK + 1 STUD)
   IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION RAWING: GROUND FLOOR PLAN

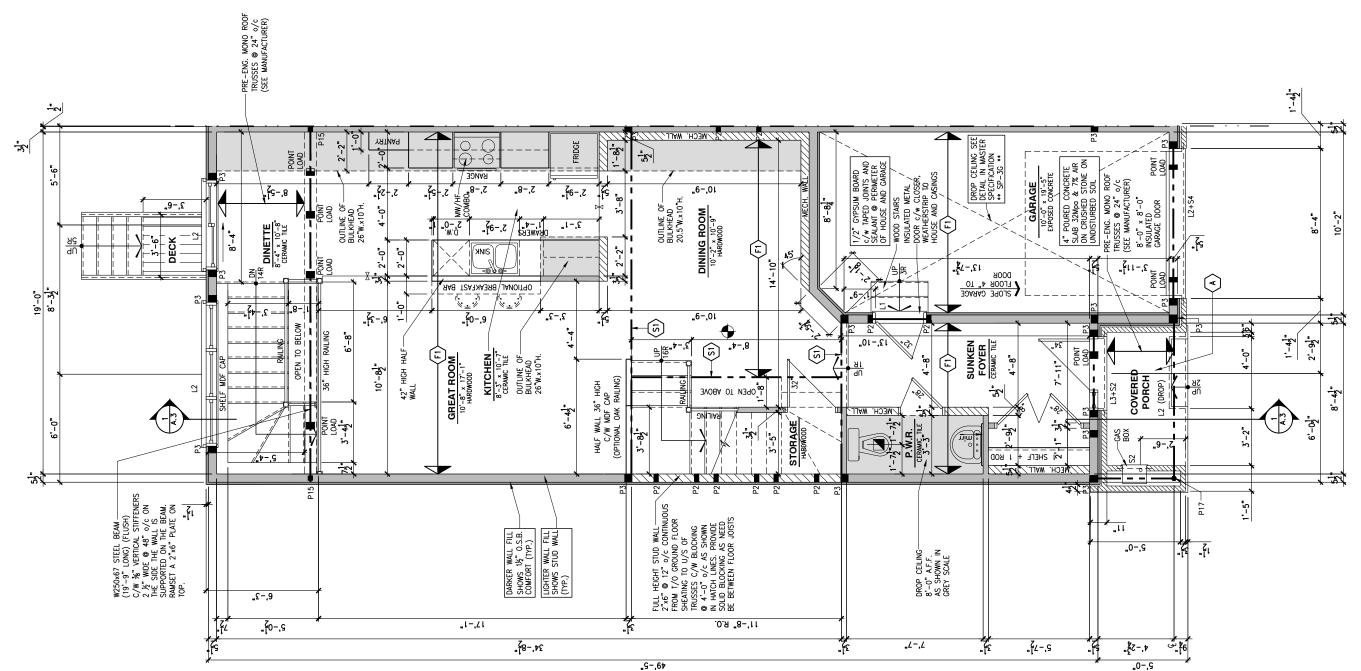
STANDARD KITCHEN - PORCH END 3/16" = 1'-0" XX/XX/XXXX

(STANDARD DRAWINGS)

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE ◎ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
  TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
  BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
  WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
  SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
  - PROVIDE A 10 1/2"  $\times$  3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



**GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT** 

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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#### OTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10
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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN

**OPT. KITCHEN #1 - PORCH END** 

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7b

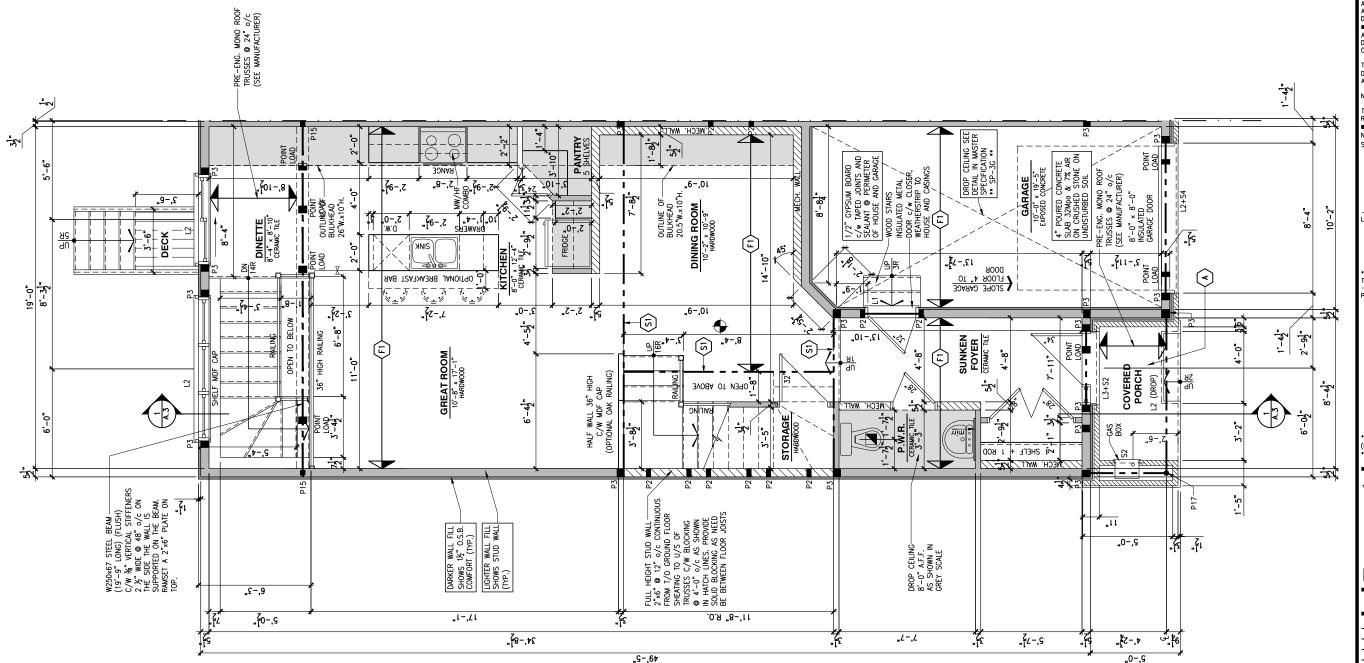
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**GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT** 

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

**A.7c** 

XX/XX/XXXX



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	2012 O.B.C.	<b>DRAWINGS</b>
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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #2 - PORCH END** 

3/16" = 1'-0"

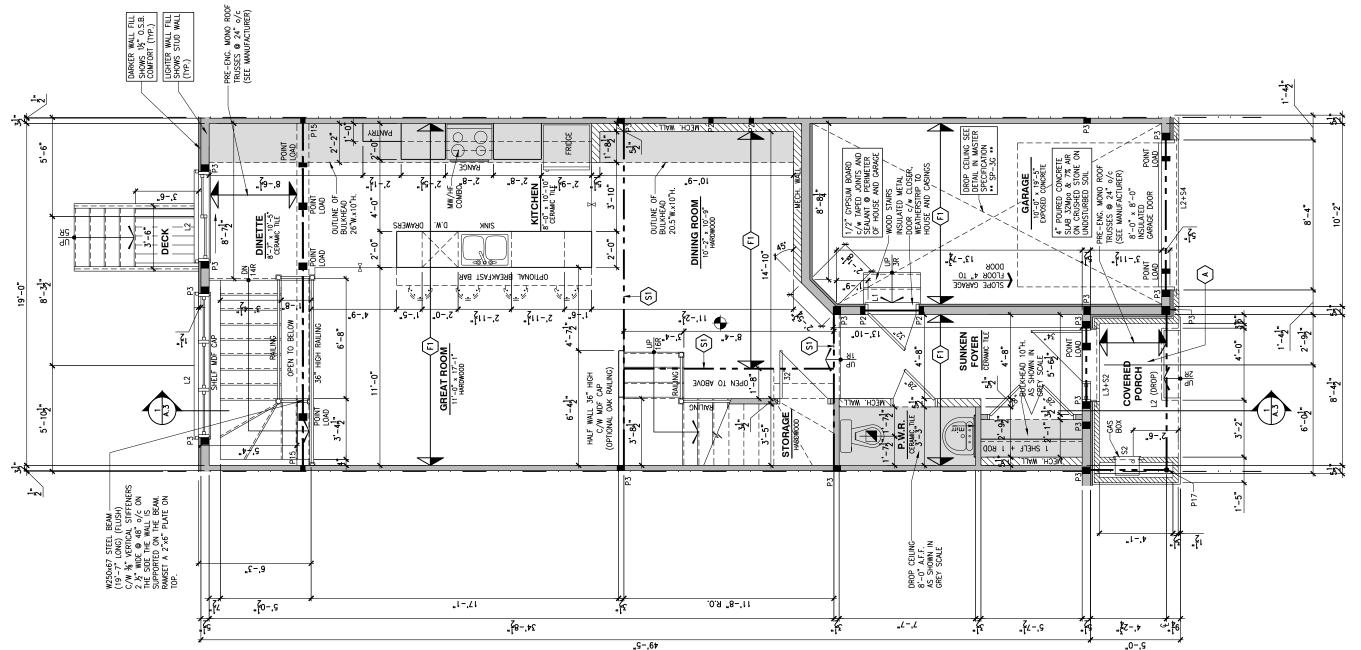
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**GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT** 

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

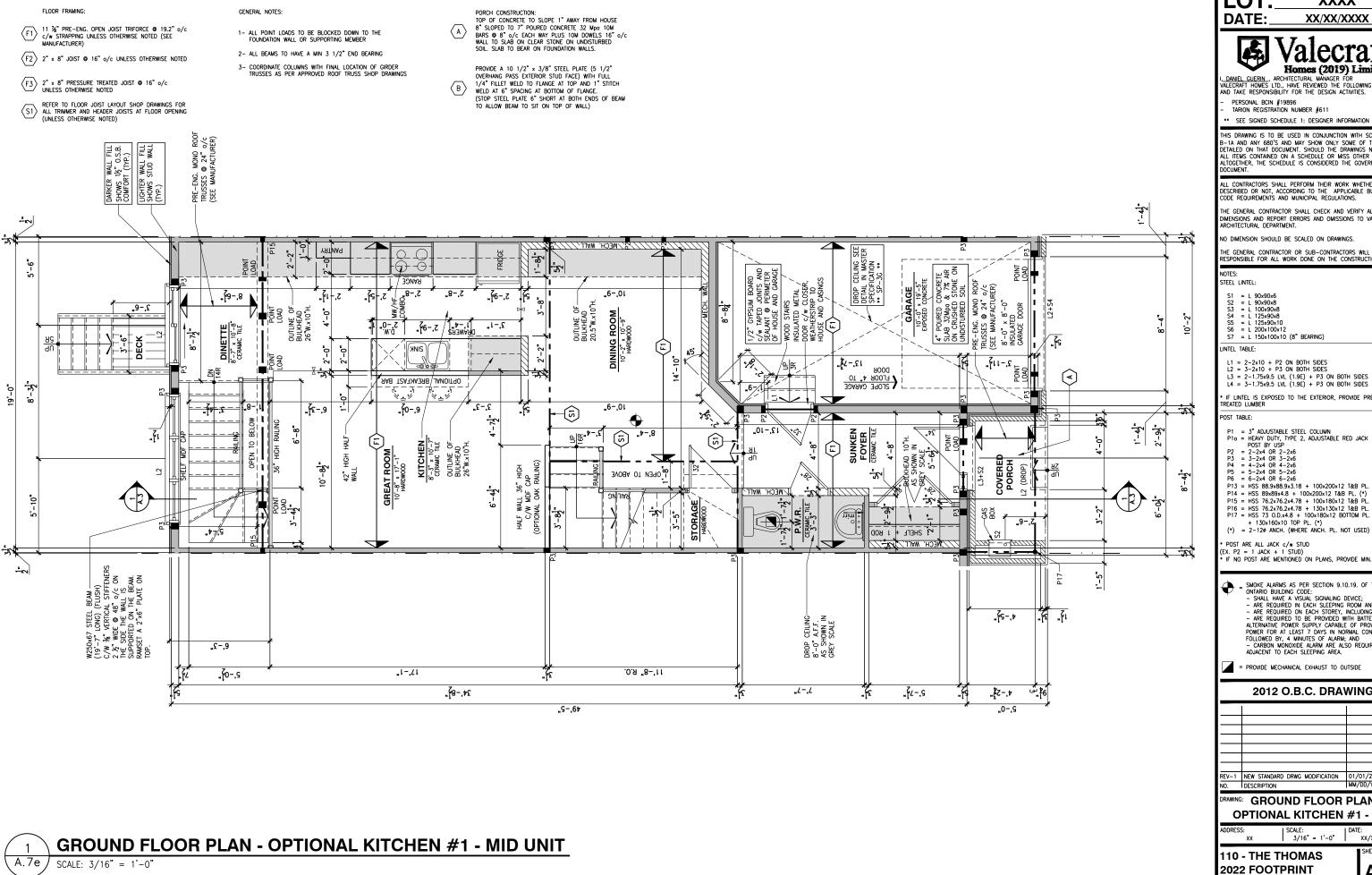
**GROUND FLOOR PLAN STANDARD KITCHEN - MID** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7d



LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
0.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #1 - MID** 

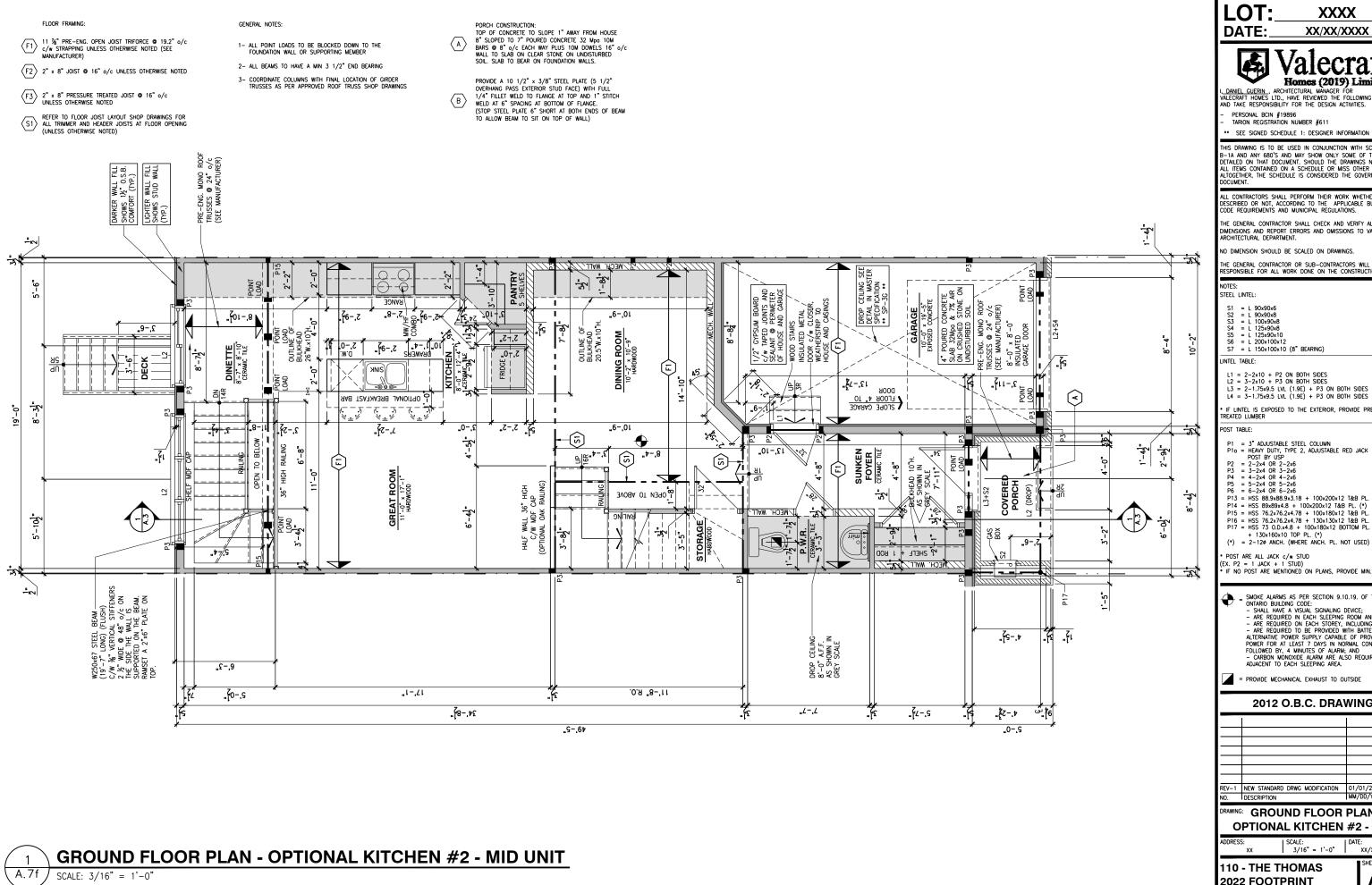
SCALE: 3/16" = 1'-0"

xx/xx/xxxx

2022 FOOTPRINT

**A.7e** 

(STANDARD DRAWINGS)



LOT: XXXX XX/XX/XXXX



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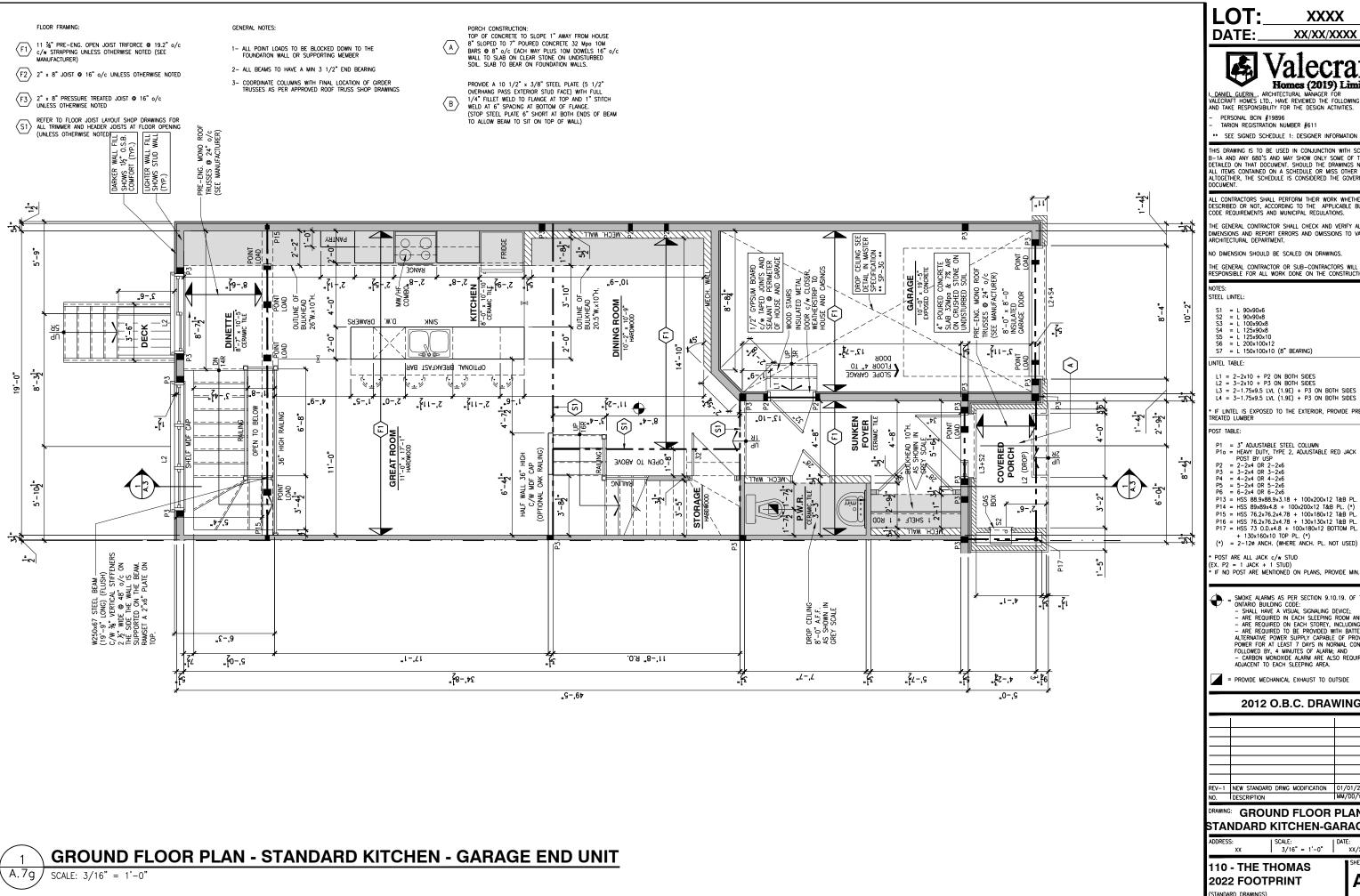
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2 - MID** 

SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)



LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN., ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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- $S6 = 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)
- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- 13 63 89 89 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 89 x 89 x 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 76 2 x 76 2 x 4.78 + 100 x 180 x 12 Tab PL. (\*) P16 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) P17 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*)
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0" 110 - THE THOMAS

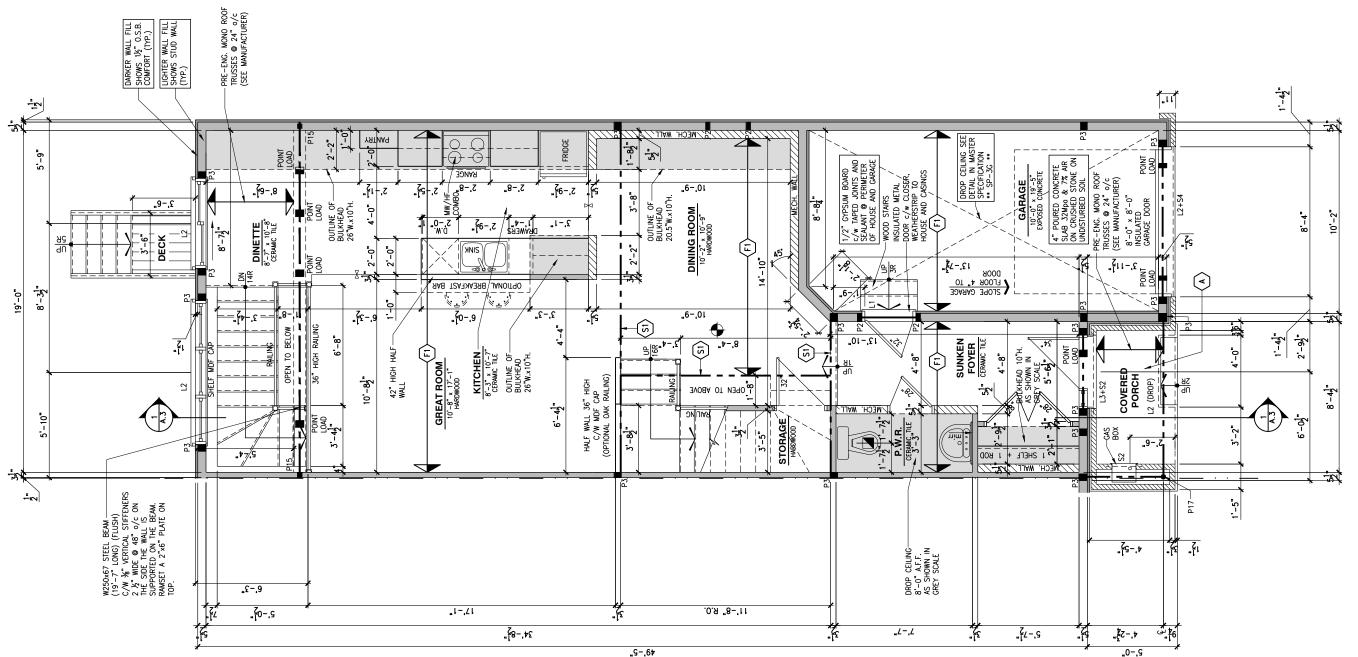
A.7g

XX/XX/XXXX

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**GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT** 

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #1 - GARAGE END** 

SCALE: 3/16" = 1'-0"

XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

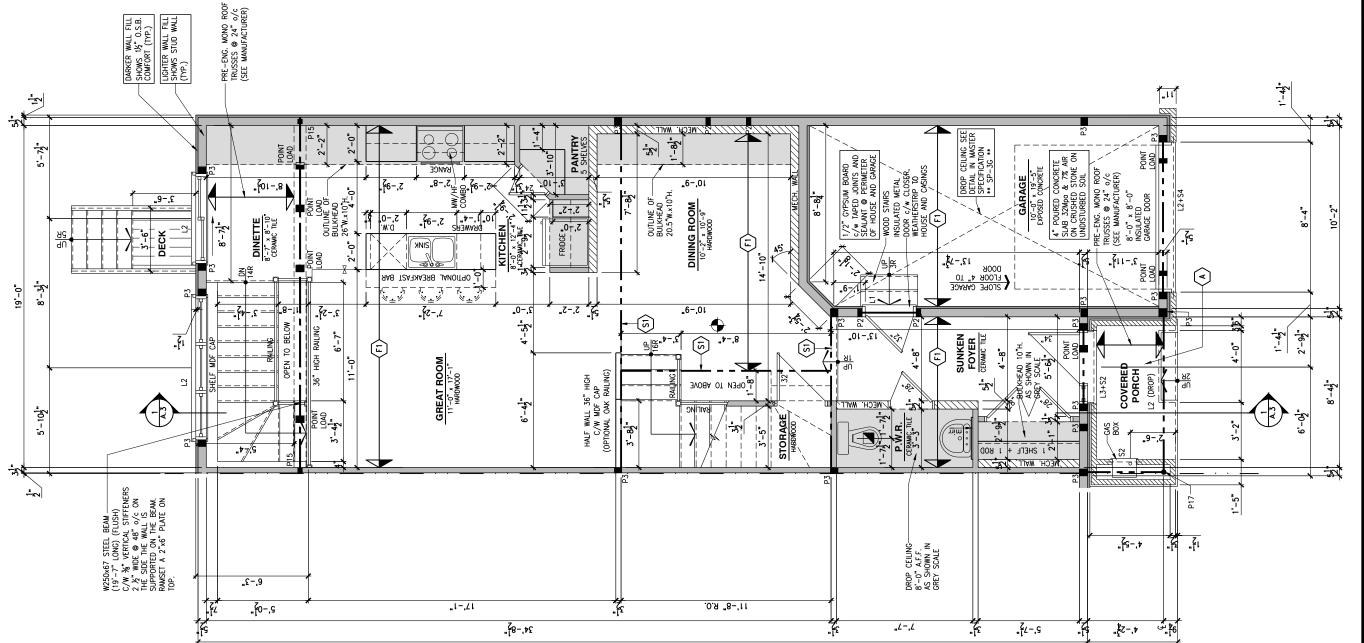
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A.7h

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**GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT** 

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #2 - GARAGE END** 

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

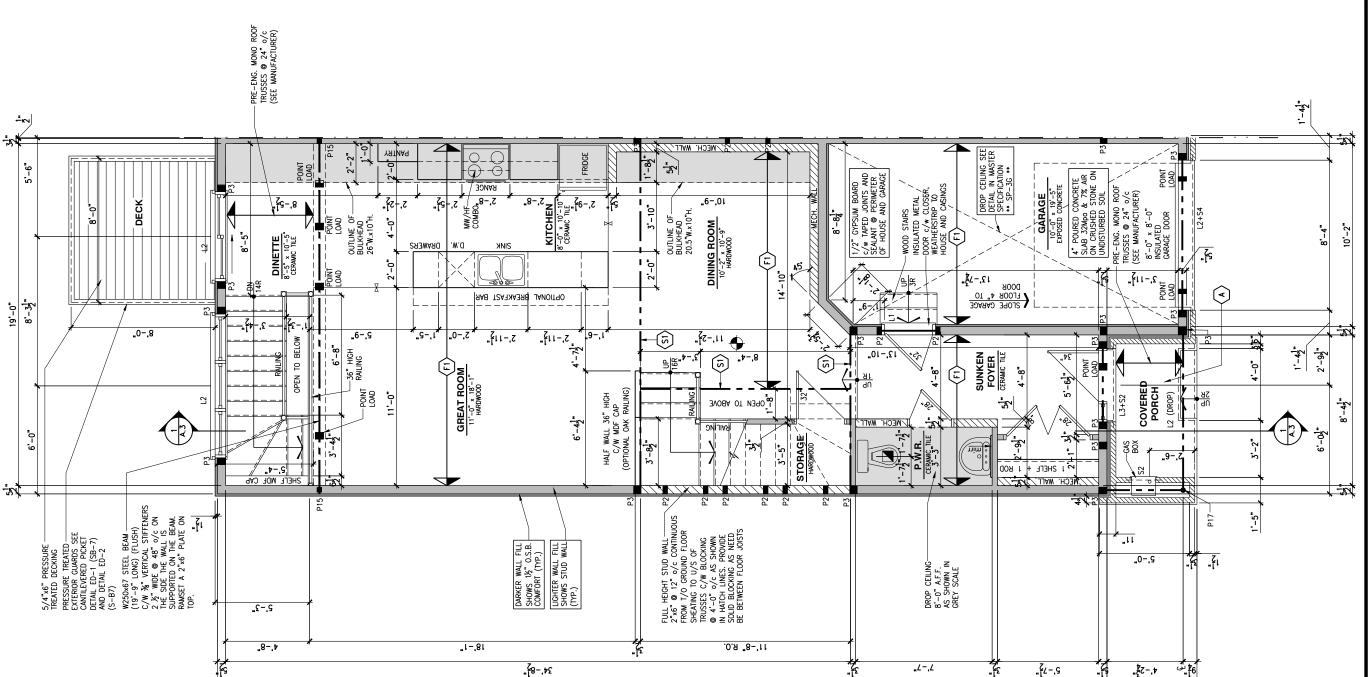
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<u>.</u>G-.67

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REV-1		01/01/2022	
٧0.	DESCRIPTION	MM/DD/YYYY	BY

AWGROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

2,-0,

**A.7**j

**GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT** 

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DECK

"0-'8

2

#### GENERAL NOTES:

DINETTE 8'-5" x 10'-8" CERAMIC TILE

"ξ−'č

4,-8"

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HALF

WALL

34.-8<u>1</u>"

.-6-.Z

SINK

OPTIONAL BREAKFAST BAR

KITCHEN-8-3" x 10'-7" CERAMIC TILE OUTLINE OF— BULKHEAD 26"W.x10"H.

..<sup>Z</sup>0−.9

GREAT ROOM 10'-8" x 18'-1" HARDWOOD

"ı-'8ı

 $\triangleleft$ 

42" HIGH WALL

OUTLINE OF— BULKHEAD 20.5"W.x10"H.

FIR. 4-15]

DINING ROOM 10'-2" x 10'-9" HARDWOOD

.6-.0ı

(s)

EIGHT STUD WALL—

3 12" o/c CONTINUO
//O GROUND FLOOR
IC TO U/S OF
S C/W BLOCKING
I" o/c AS SHOWN
H' LINES, PROVIDE
BLOCKING S NEED
WEEN FLOOR JOISTS

FULL HEIGH
2."x6" © 1:
FROM 1/0
SHEATING 1
TRUSSES C
© 4'-0" o
IN HATCH I
SOLID BLOG

11'-8" R.O.

(E)

14'-10"

45°\_

1/2" CYPSUM BOARI
c/w TAPED JONN'S ,
SEALANT @ PERIMET
OF HOUSE AND GAR
—WOOD STARES
MEATLE /
MEATHERSTRIP TO
HOUSE AND CASINGS

13,-10,,

1,2

13,-\<sup>5</sup>.

(E)

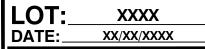
CEILING A.F.F. HOWN IN SCALE

FLOOR 4" TO

ST SHELF + 1 ROD

WECH. WALL

"<u>∫</u>7–'∂



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<del>1</del>6

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2,-0.

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6

- = 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6
- P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- 13 63 89 89 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 89 x 89 x 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 76 2 x 76 2 x 4.78 + 100 x 180 x 12 Tab PL. (\*) P16 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) P17 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*)
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)
- \* POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD)
   IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
  ONTARIO BUILDING CODE:
   SHALL HAVE A VISUAL SIGNALING DEVICE;
   ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
   ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,
   ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
  ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING.
- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - PORCH END** 

3/16" = 1'-0"

XX/XX/XXXX 110 - THE THOMAS

A.7k

2022 FOOTPRINT (STANDARD DRAWINGS)

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

-121-

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

"0-'8

5,4\*6" PRESSURE
TREATED DECKING
PRESSURE TREATED
EXTERNOR CUARDS SEE
CANTILEVERED POCKET
DETAIL ED-1 (SB-7)
AND DETAIL ED-2
(5-B7)
W250x67 STEEL BEAM
(19'-9" LONG) (FLUSH)
C/W %" VERTICAL SITERLERS
2,7% WE VERTICAL SITERLERS
2,1% WE OF 848" o/c ON
THE SIDE THE WALL IS
SUPPORTED ON THE BEAM.
THE SIDE THE WALL IS
SUPPORTED ON THE BEAM.
THE SIDE THE WALL IS
SUPPORTED ON THE BEAM.
THE SIDE THE WALL IS
SUPPORTED ON THE BEAM.

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-127-

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

6'-8" " HIGH LING

2,-4,,

"£−'∂ "8-'4 36" RAIL

- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
  TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
  BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
  WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
  SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

<u>"\Z-'\Z</u>

HALF WALL 36 C/W MDF (OPTIONAL OAK

1/2" GYPSUM BOARD
c/w TAPED JOINTS AN
SEALANT @ PERIMETER
OF HOUSE AND CARAC
INSULATED METAL
MEATHERSTRIP TO
HOUSE AND CASINGS
(F1)

13,-10,

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(<u>v</u>)

FULL HEIGHT STUD WALL
2"6" @ 12" o/c CONTINUOUS
FROM T/O GROUND FLOOR
SHEATING TO U/S OF
TRUSSES C/W BLOCKING
@ 4"-0" o/c AS SHOWN
IN HATCH LINES. PROVIDE
BE BETWEEN FLOOR JOISTS

"G-,6<del>1</del>

OPEN TO ABOVE

11'-8" R.O.

(<u>5</u>)

DROP (DETAIL SPECIFICATE)

DOOR

7 J SHEFE + J BOD

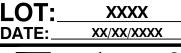
WECH. WALL, WELL

"<u>[</u>7-'2

SLOPE CARAGE

"\$√-'Eι

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Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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## IOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = 1.200 \times 100 \times 12$
- S7 = L 150×100×10 (8" BEARING)

### INTEL TABLE:

10'-2"

1-51

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4.-2<del>4</del>."

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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P6 = 6-2x4 OR 6-2x6
P13 = USS 28 0x88 0x 38 x 100 200 x 12 TAB P1

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

			1
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

WING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 -PORCH END

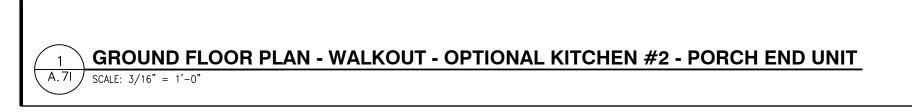
SCALE: 3/16" = 1'-0" XX/XX/XXXX

**A.7**I

110 - THE THOMAS

(STANDARD DRAWINGS)

2022 FOOTPRINT



RANCE

P OPTIONAL BREAKFAST BAR

WALL STUD 1

34,-8<u>1</u>"

"1-'81

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#### GENERAL NOTES:

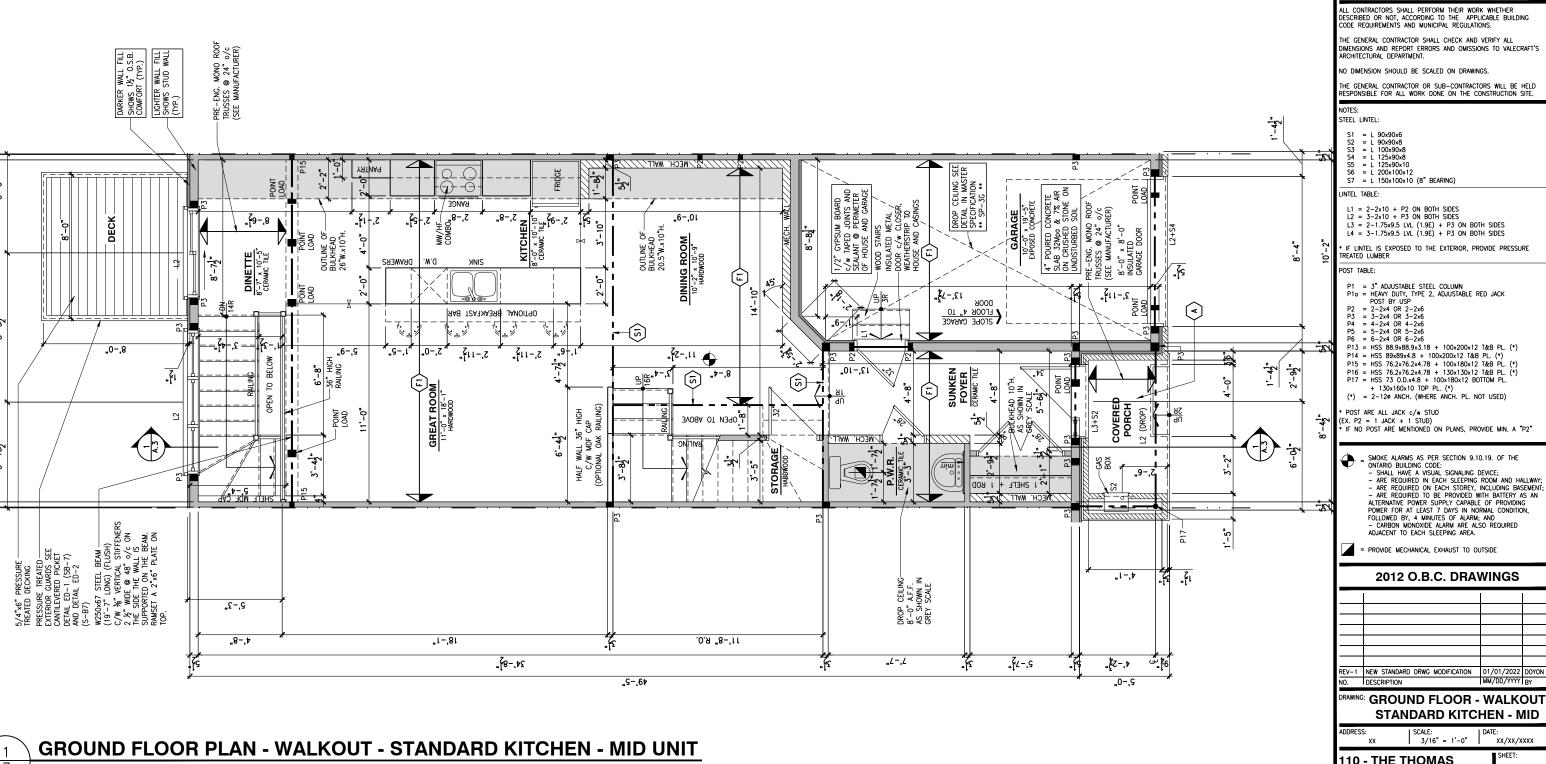
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110 - THE THOMAS 2022 FOOTPRINT

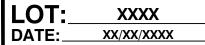
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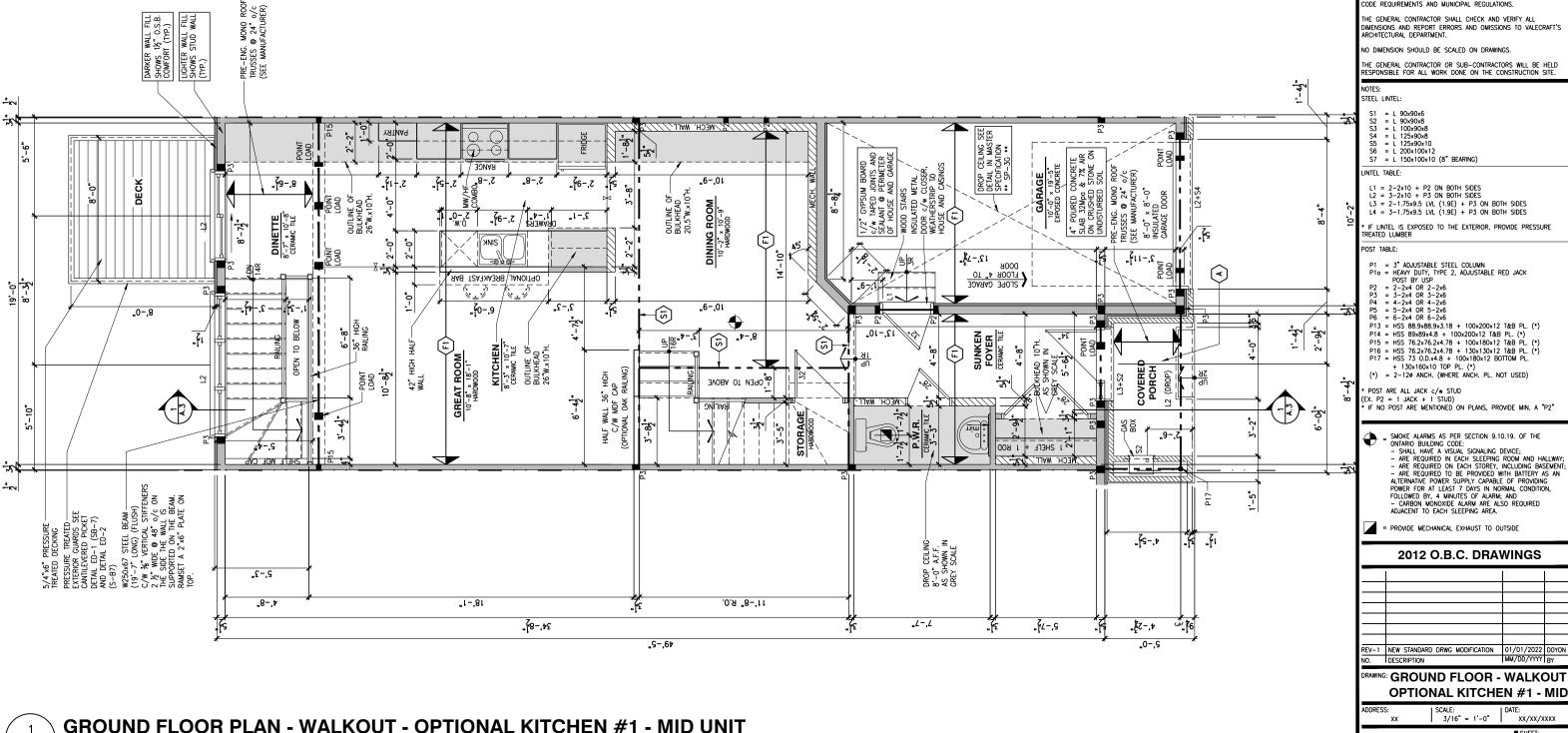
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**GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT** 

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

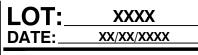
2022 FOOTPRINT (STANDARD DRAWINGS)

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Homes (2019) Limited

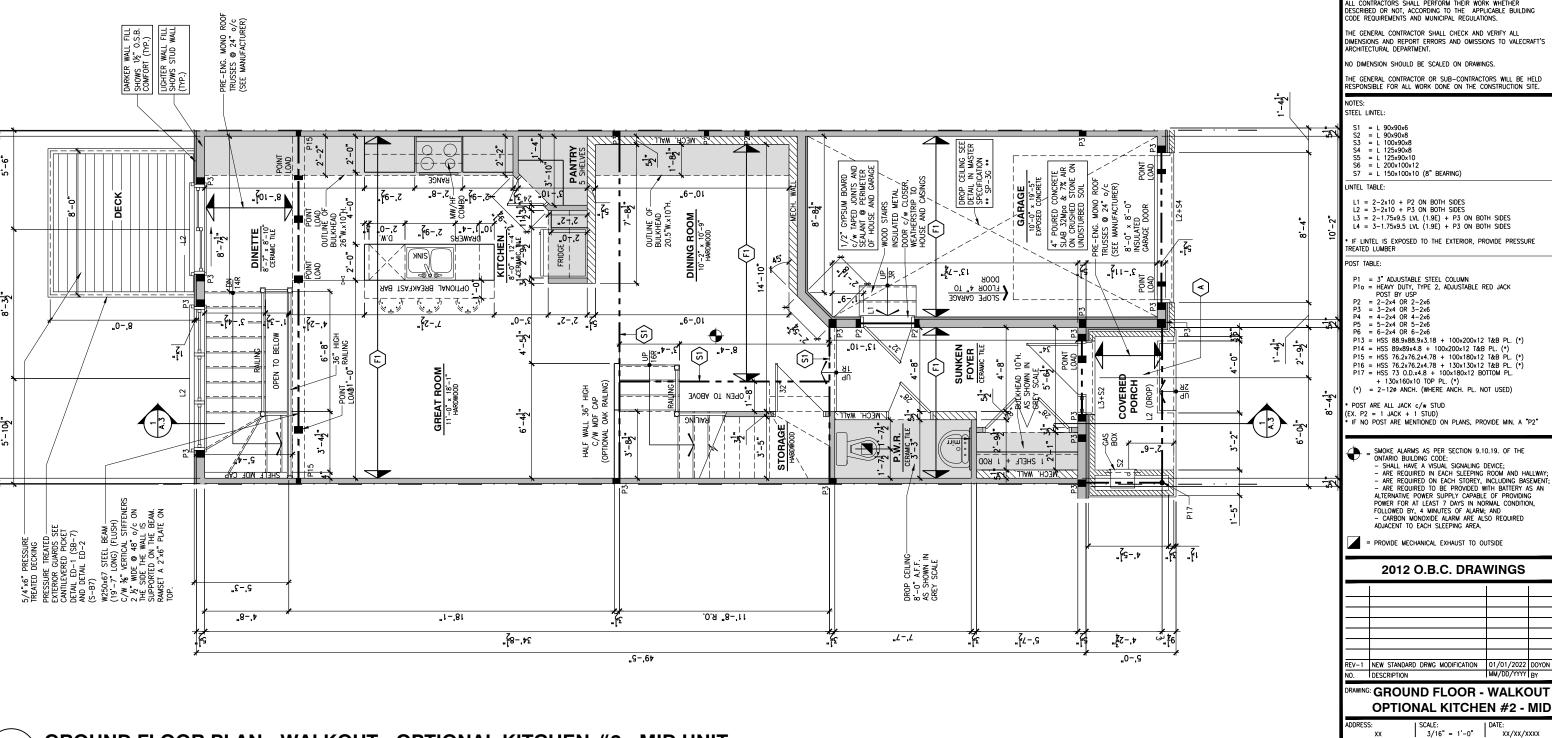
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**GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT** 

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

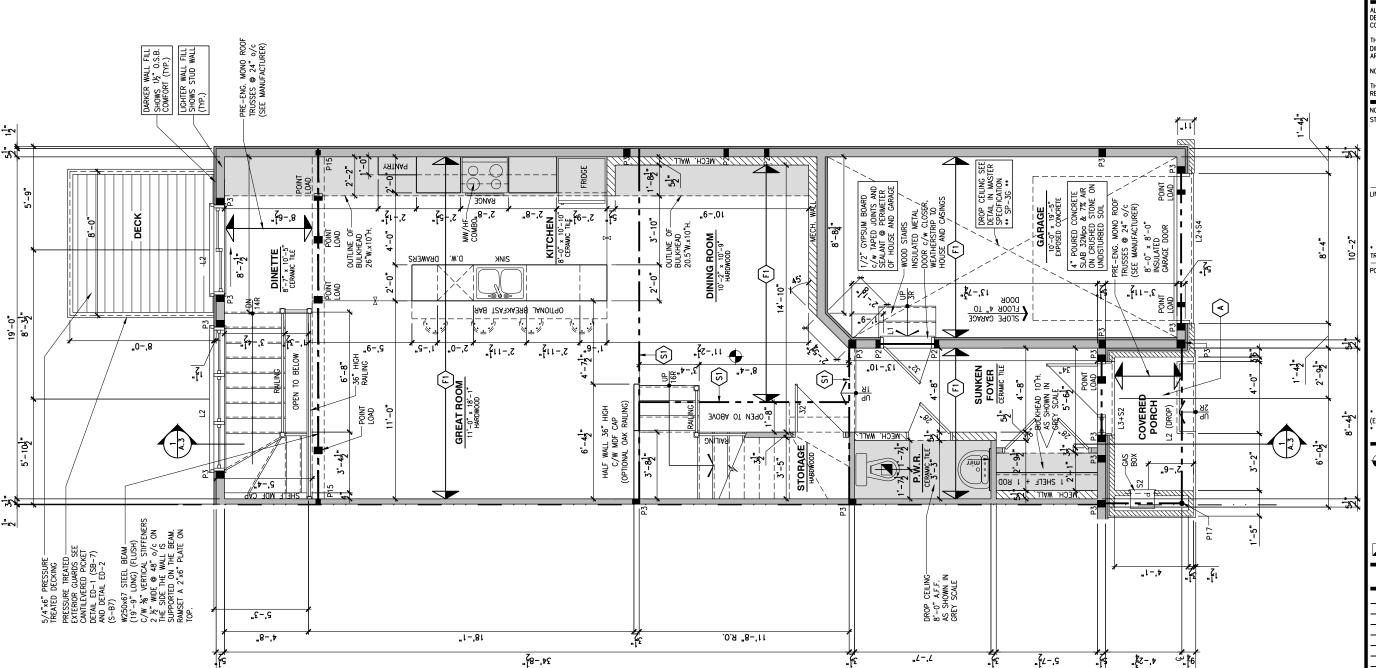
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**A.70** 

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**GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT** 

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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JIF2:	
EEL	LINTEL:

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- S7 = L 150x100x10 (8" BEARING)

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## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

AWGROUND FLOOR - WALKOUT

STANDARD KITCHEN-GARAGE END 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

2.-0.

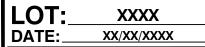
**A.7**p

XX/XX/XXXX

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
  TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
  BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
  WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
  SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
  - PROVIDE A 10 1/2"  $\times$  3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



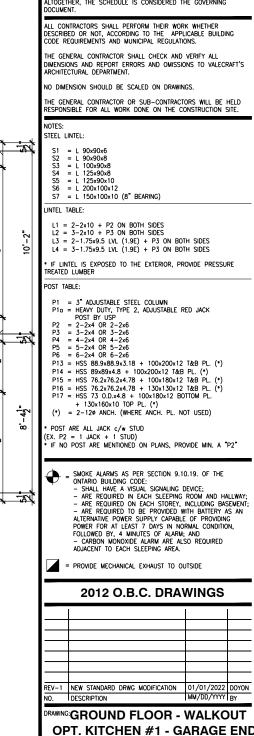
Homes (2019) Limited

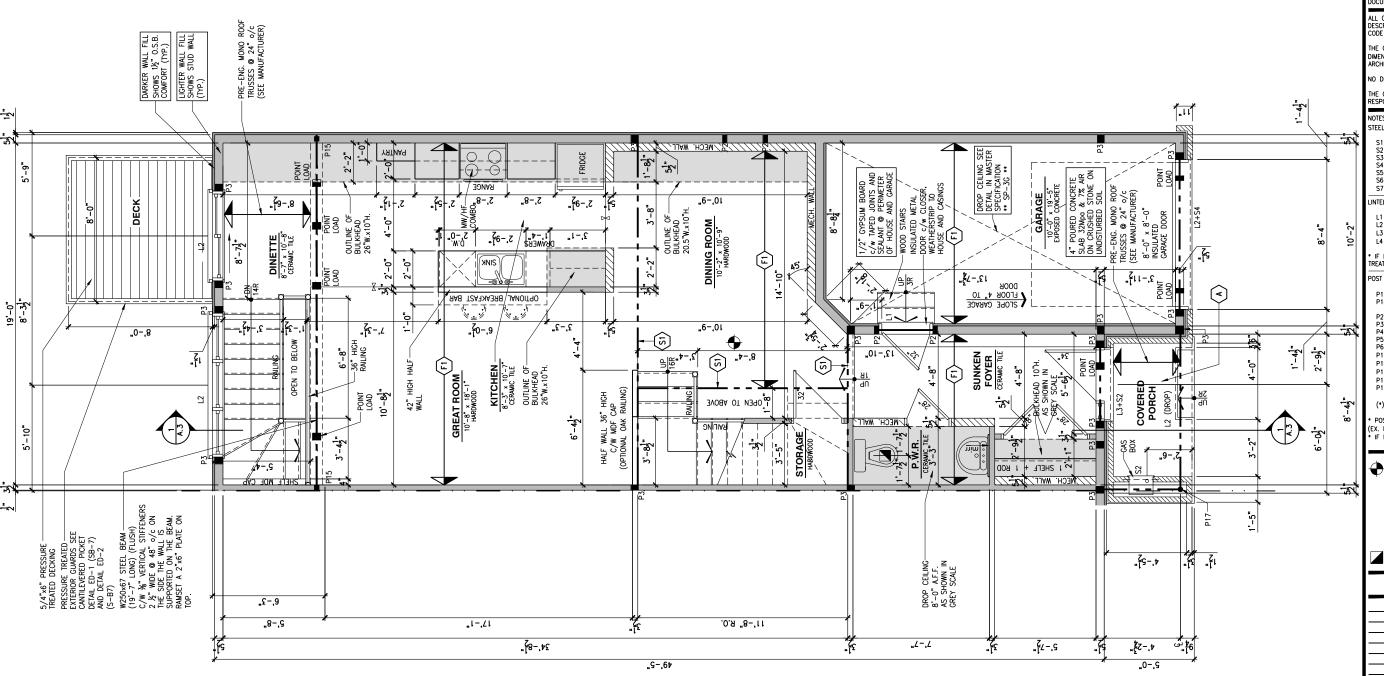
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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
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DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.





GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

3/16" = 1'-0"

(STANDARD DRAWINGS)

**A.7**q

XX/XX/XXXX

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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ON WENE

W250x67 STEEL BEAM—
(19'-7" LONG) (FLUSH)
(2/W % VERTICAL STIFFER
2 ½ WIDE @ 48" o/c 01
THE SIDE THE WALL IS
SUPPORTED ON THE BEAM
FAMSET A 2'x6" PLATE 01

PRESSURE TREATED —— EXTERIOR GUARDS SEE CANTILEVERED PICKET DETAIL ED-1 (SB-7) AND DETAIL ED-2 (S-B7)

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
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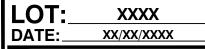
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11'-8" R.O.

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CEILING-AFF. HOWN IN SCALE

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72

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

# NO DIMENSION SHOULD BE SCALED ON DRAWINGS. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-224 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*) 13 63 89 89 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 89 x 89 x 4.8 + 100 x 200 x 12 Tab PL. (\*) P15 = HSS 76 2 x 76 2 x 4.78 + 100 x 180 x 12 Tab PL. (\*) P16 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) P17 = HSS 73 0.0 x 4.8 + 100 x 180 x 12 Tab PL. (\*) + 130×160×10 TOP PL. (\*) (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED) \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) • IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE: - SHALL HAVE A VISUAL SIGNALING DEVICE; - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY; - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT; - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 -GARAGE END

3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7r

XX/XX/XXXX

**GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT** 

.1-,21

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RANGE

OPTIONAL BREAKFAST BAR

7.-2<mark>]"</mark>

6'-8"
-36" HIGH
RAILING

2

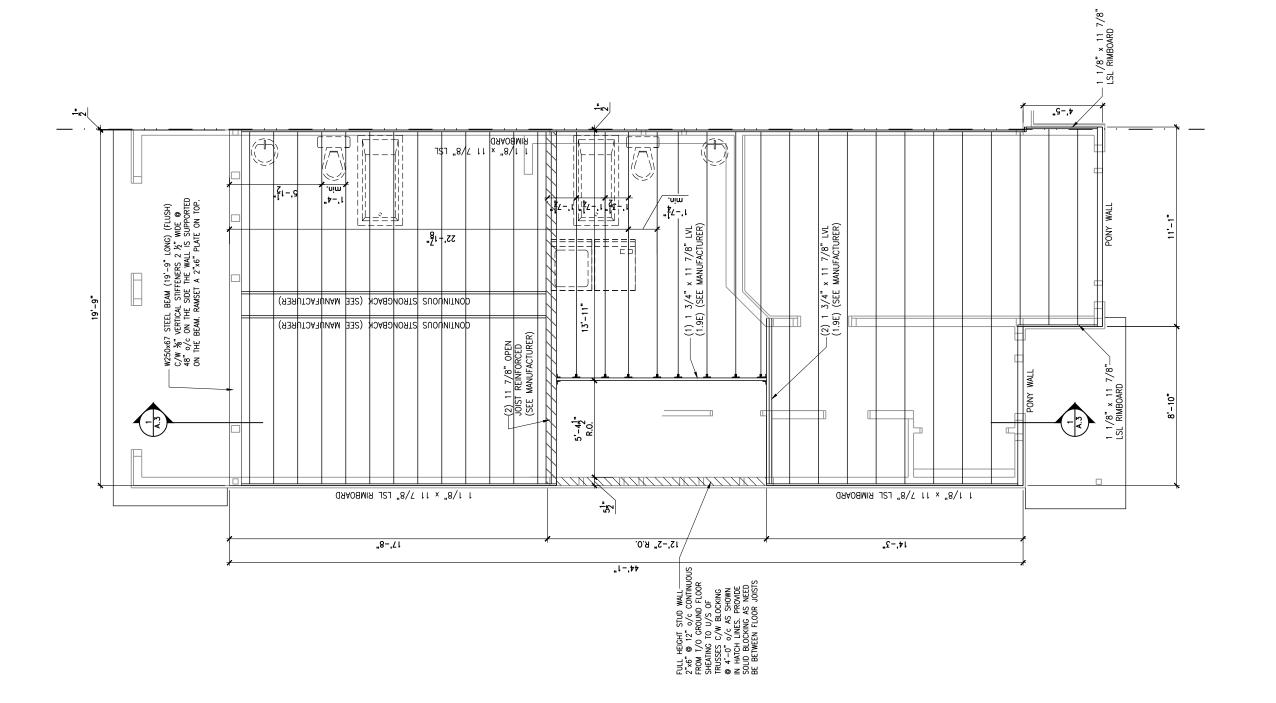
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19'-0" 8'-3<u>1</u>"

SCALE: 3/16" = 1'-0"



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

LOT: XXXX XX/XX/XXXX



Homes (2019) Limited

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END** 

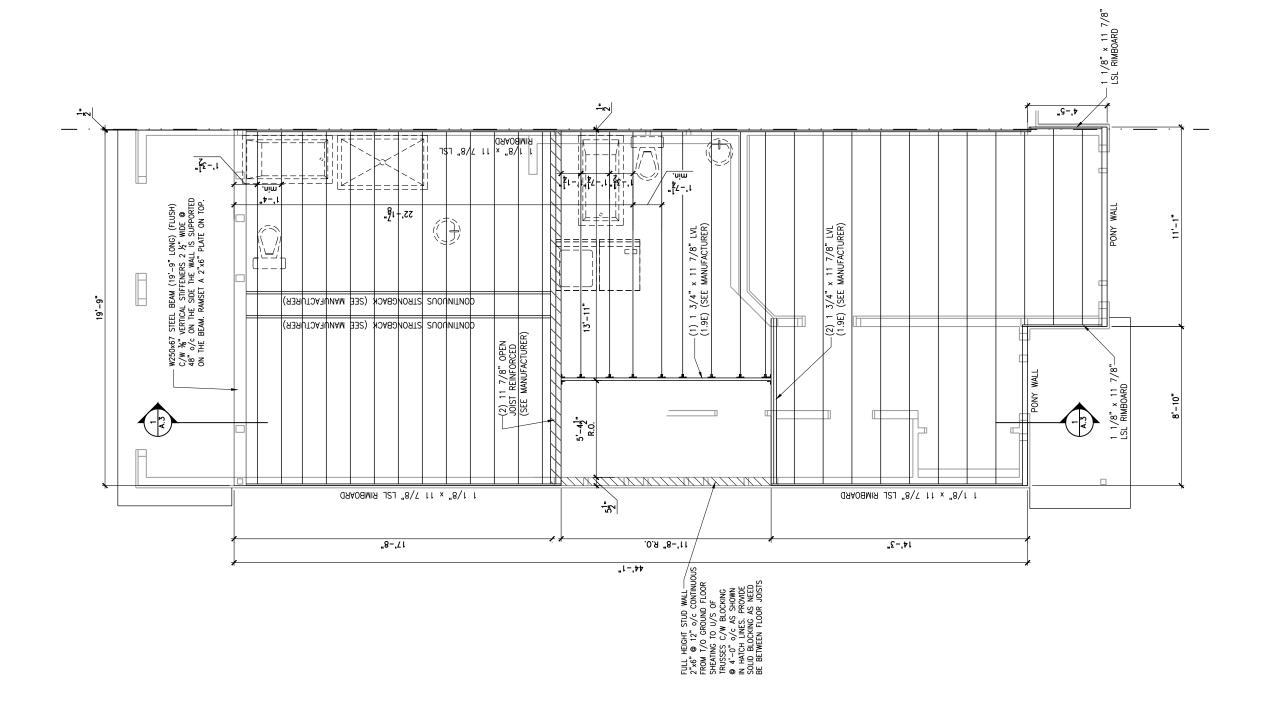
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.8a

( A.8a )



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

LOT: XXXX XX/XX/XXXX



Homes (2019) Limited

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

RAWING: SECOND FLOOR - FLOOR

**JOIST FRAMING - PORCH END** SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS

A.8b

2022 FOOTPRINT

( A.8b

LOT: XXXX XX/XX/XXXX DATE:

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END** 

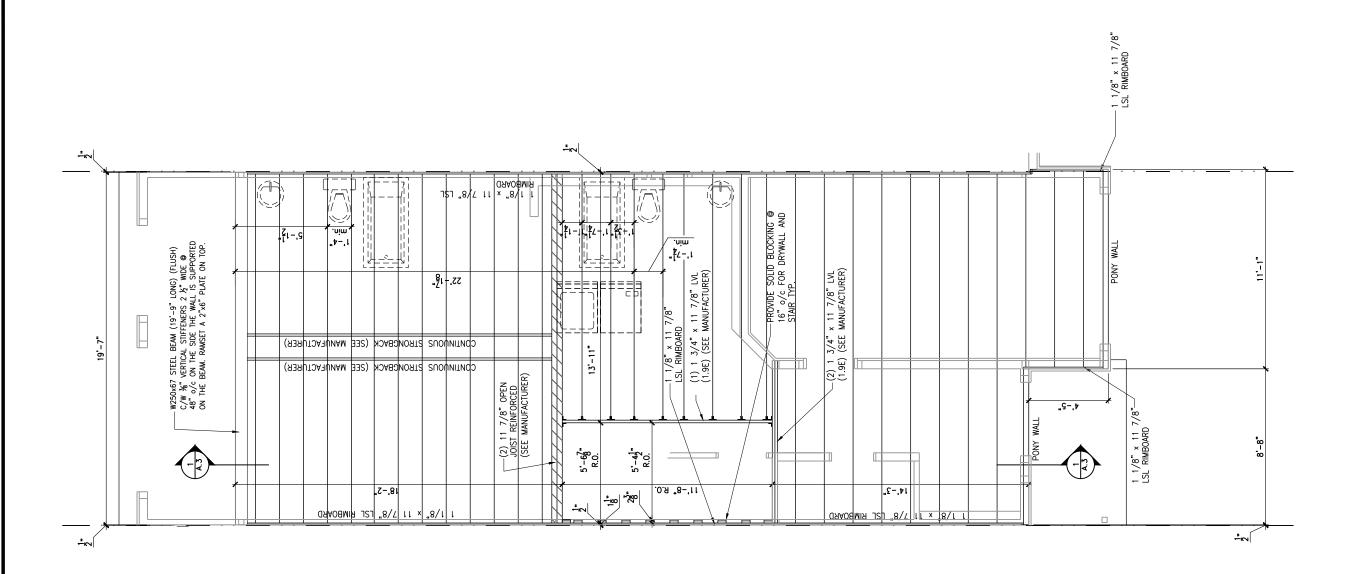
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.8c

SCALE: 3/16" = 1'-0"

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT



LOT: XXXX XX/XX/XXXX DATE:

Valectaft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
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 MM/DD/YYYY
 BY

**SECOND FLOOR - FLOOR JOIST FRAMING PLAN -MID** 

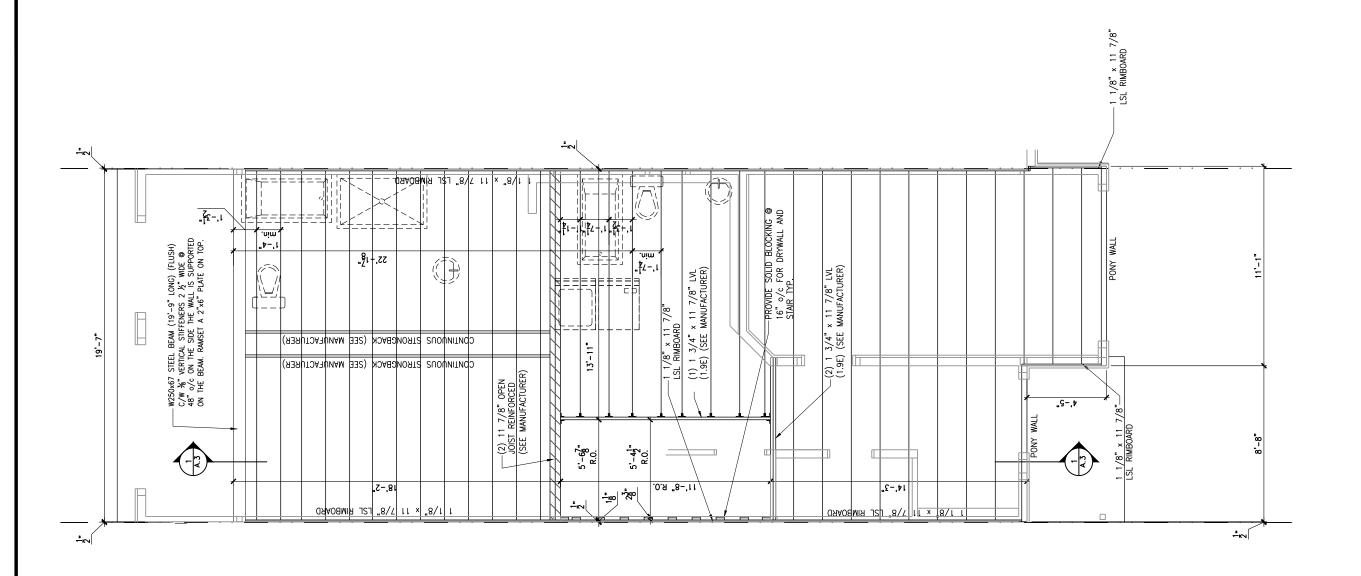
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.8d

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT



LOT: XXXX XX/XX/XXXX DATE:



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2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT

A.8e (STANDARD DRAWINGS)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

LOT: XXXX XX/XX/XXXX DATE:



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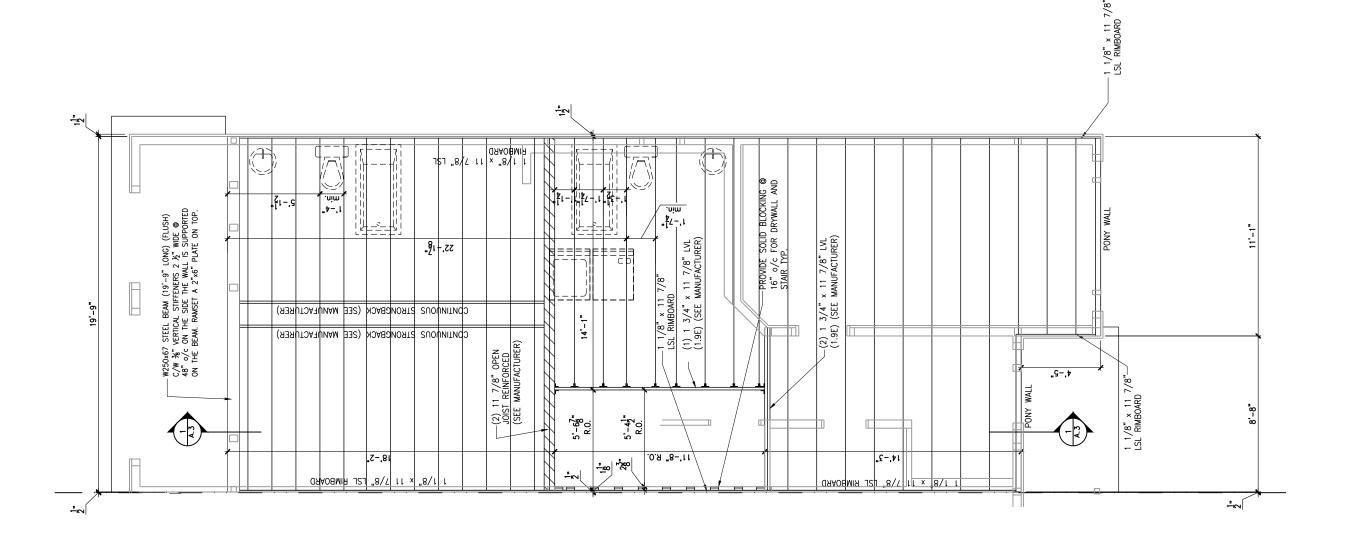
DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID** 

| SCALE: | DATE: | XX/XX/XXXX

110 - THE THOMAS

A.8f

SCALE: 3/16" = 1'-0"



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT

LOT: XXXX XX/XX/XXXX DATE:



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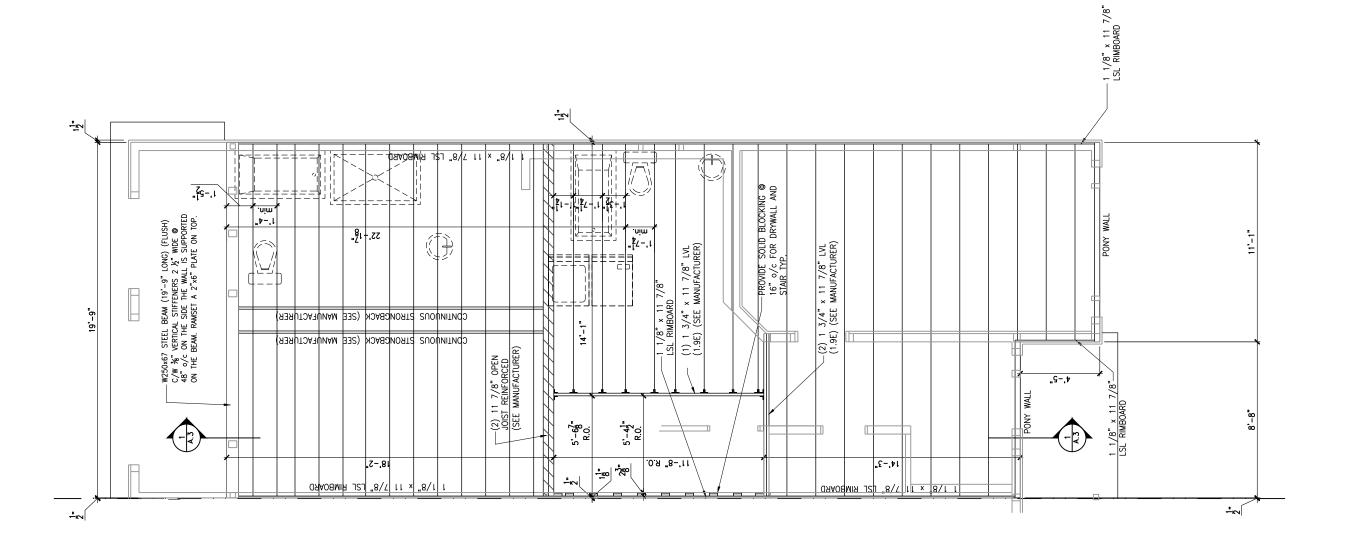
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - GARAGE END** 

A.8g

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

110 - THE THOMAS 2022 FOOTPRINT



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

LOT: XXXX DATE: XX/XX/XXXX



Homes (2019) Limited

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2012 O.B.C. DRAWINGS

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - GARAGE END** 

DATE: XX/XX/XXXX

A.8h

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

2022 FOOTPRINT

LOT: DATE: Homes (2019) Limited

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XXXX XX/XX/XXXX

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
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ORAWING: SECOND FLOOR - FLOOR

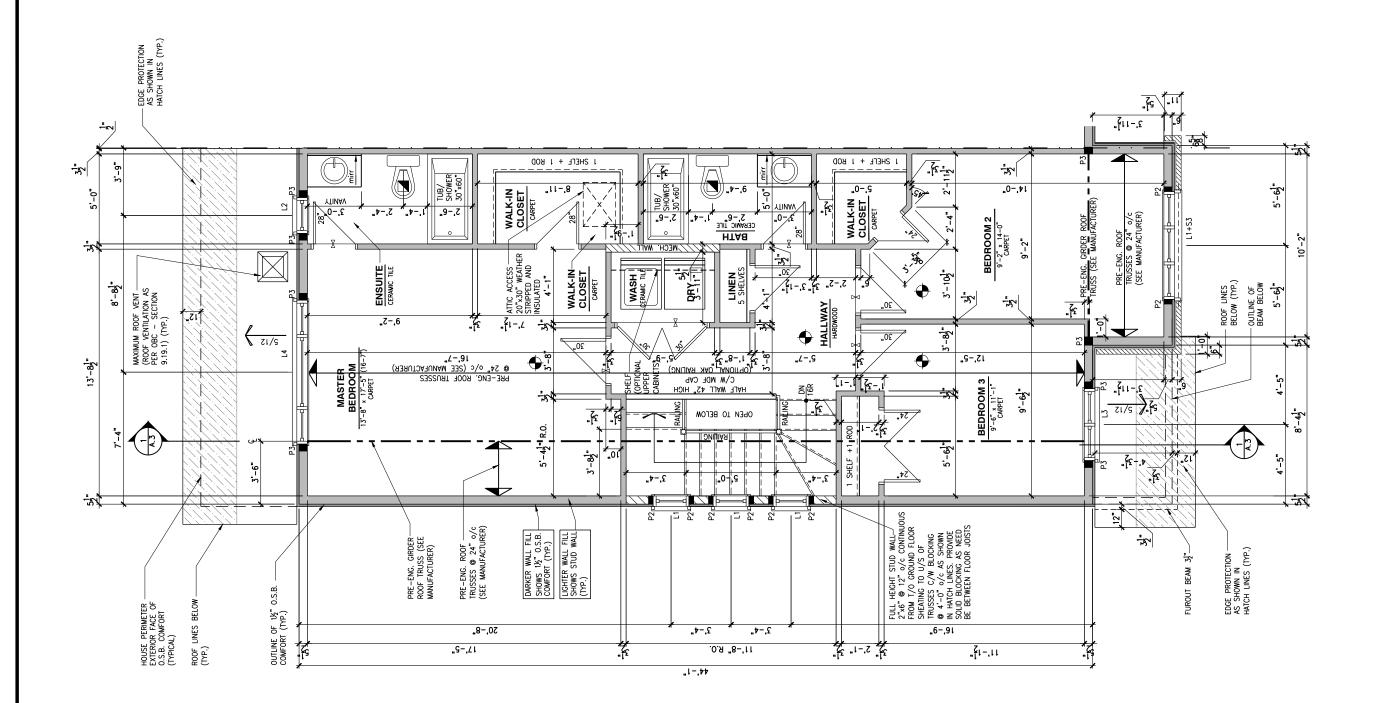
A.8i

xx/xx/xxxx

(STANDARD DRAWINGS)

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT ( A.9a )

2022 FOOTPRINT

A.9a

SCALE: 3/16" = 1'-0"

XX/XX/XXXX Homes (2019) Limited

DANIEL GUERIN., ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

**XXXX** 

LOT:

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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  P6 = 6-2x4 OR 6-2x6
  P13 = USS 28 0x88 0x 38 x 100 200 x 12 TAB P1 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

EV-1		01/01/2022	
0.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR PLAN STANDARD ENSUITE - PORCH END

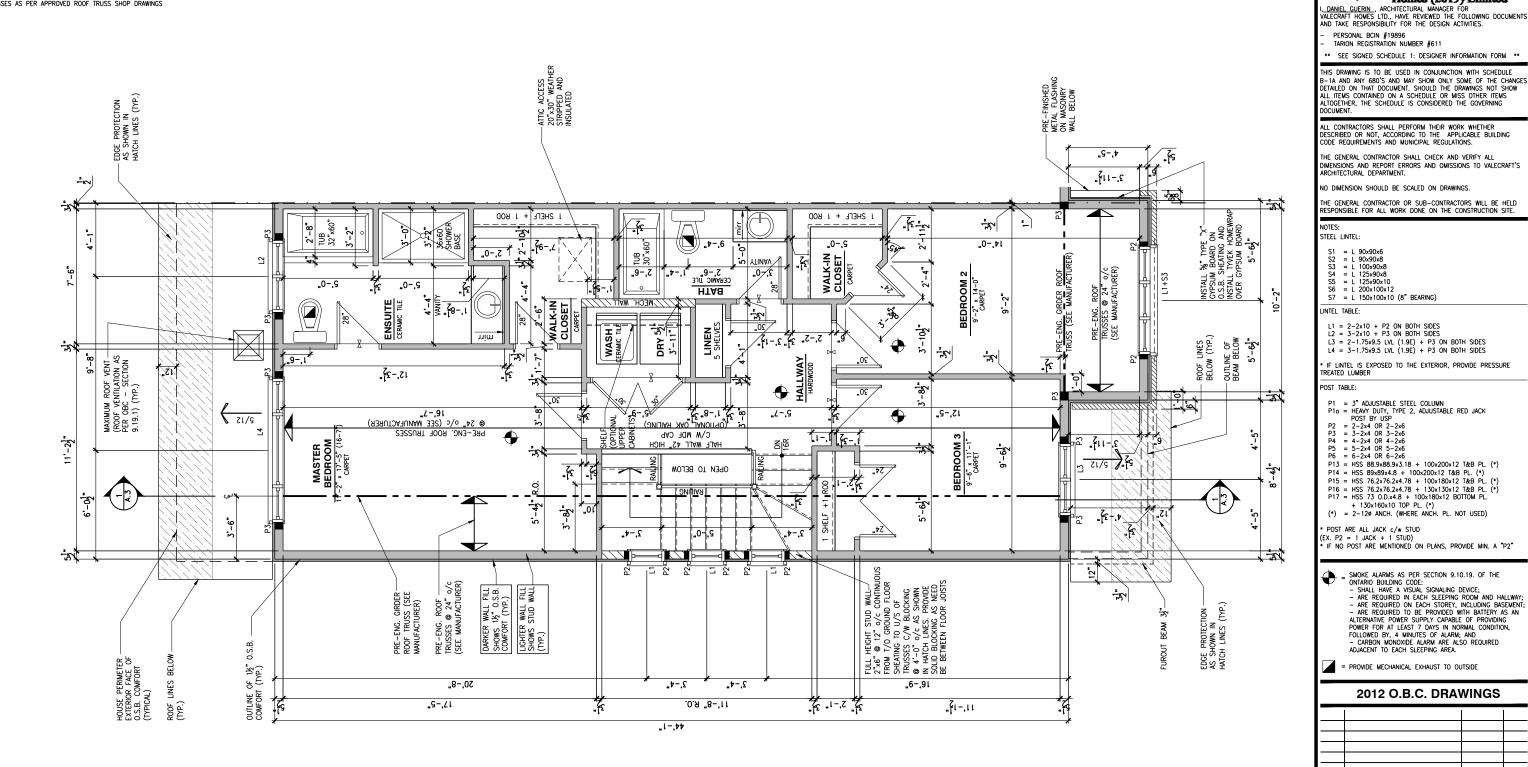
SCALE: 3/16" = 1'-0"

XX/XX/XXXX

110 - THE THOMAS

(STANDARD DRAWINGS)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

110 - THE THOMAS 2022 FOOTPRINT

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

RAWING: SECOND FLOOR PLAN **OPT 4PC ENSUITE - PORCH END** SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

NO DESCRIPTION

LOT:

**XXXX** 

XX/XX/XXXX

Homes (2019) Limited

A.9b

XX/XX/XXXX

( A.9b

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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

( A.9c SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**XXXX** 



Homes (2019) Limited

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PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611

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# 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

DRAWING: SECOND FLOOR PLAN

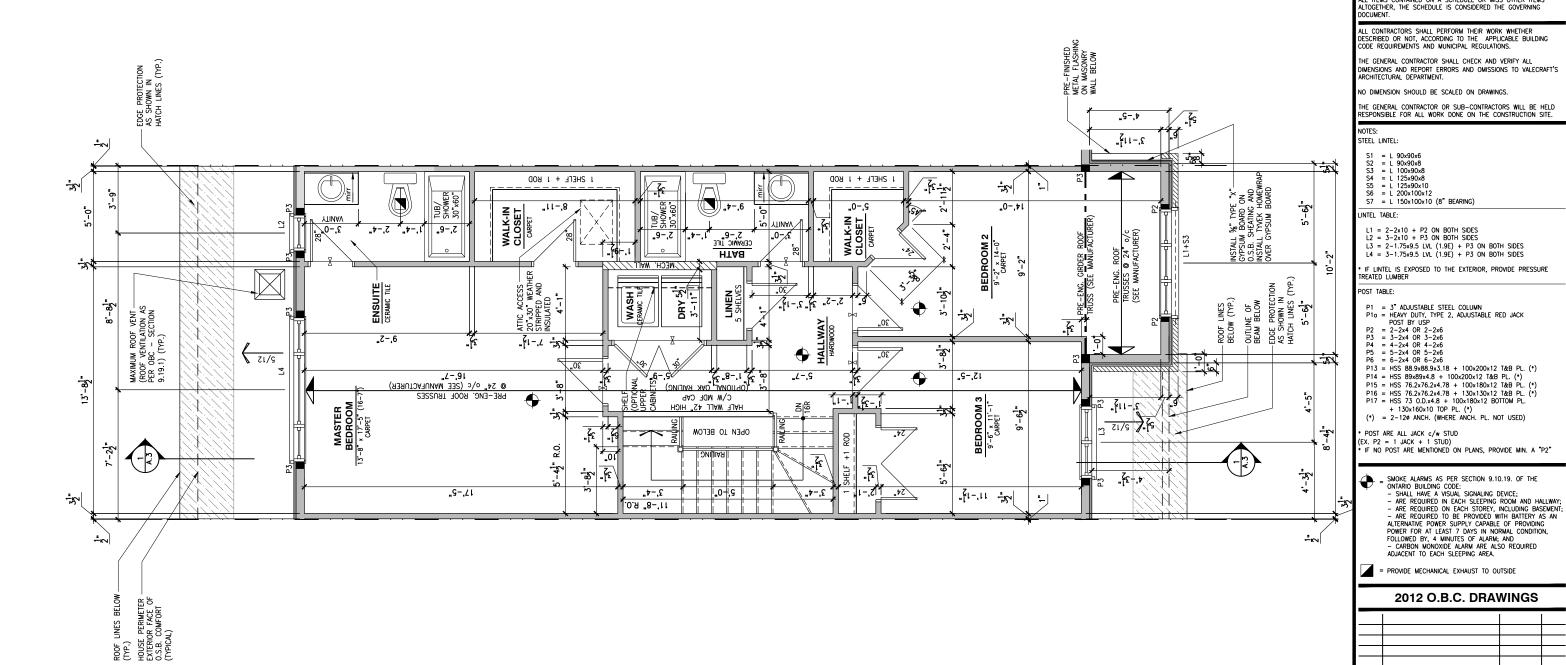
**OPT 5PC ENSUITE - PORCH END** 

3/16" = 1'-0" 110 - THE THOMAS

2022 FOOTPRINT A.9c

xx/xx/xxxx

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**SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT** 

110 - THE THOMAS 2022 FOOTPRINT

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

**SECOND FLOOR PLAN STANDARD ENSUITE - MID** SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

NO DESCRIPTION

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

DATE:

**XXXX** 

XX/XX/XXXX

Homes (2019) Limited

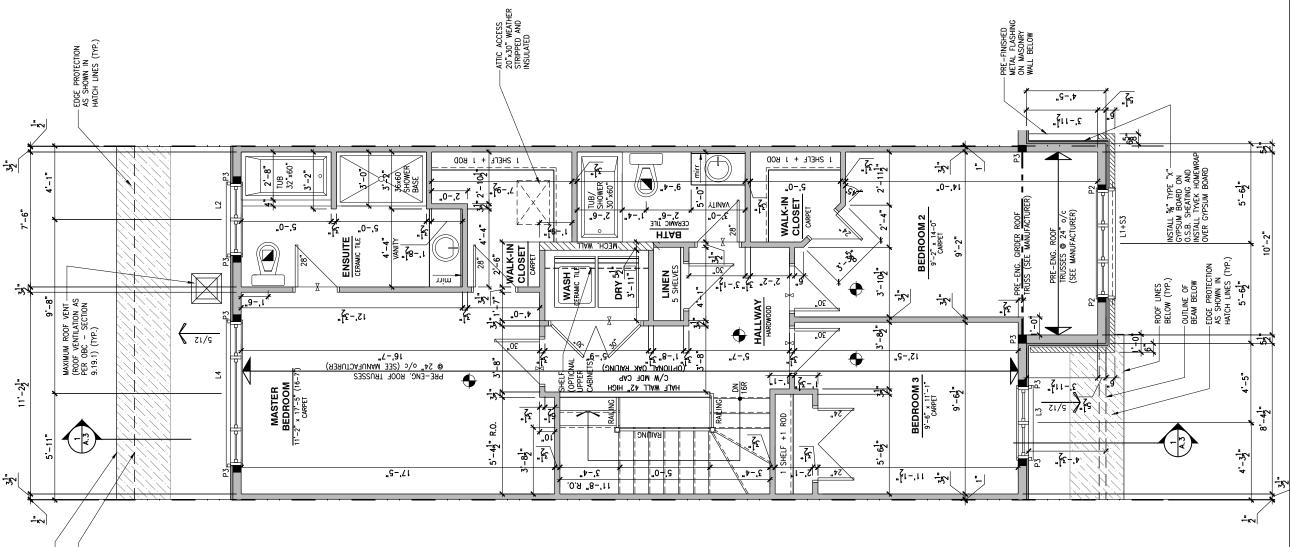
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A.9d

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

(A.9e SCALE: 3/16" = 1'-0" LOT: **XXXX** XX/XX/XXXX



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### 2012 O.B.C. DRAWINGS

			i e
REV-1		01/01/2022	
١0.	DESCRIPTION	MM/DD/YYYY	BY

SECOND FLOOR PLAN **OPT 4 PC ENSUITE - MID** 

SCALE: 3/16" = 1'-0"

xx/xx/xxxx

A.9e

110 - THE THOMAS 2022 FOOTPRINT

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**SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT** 

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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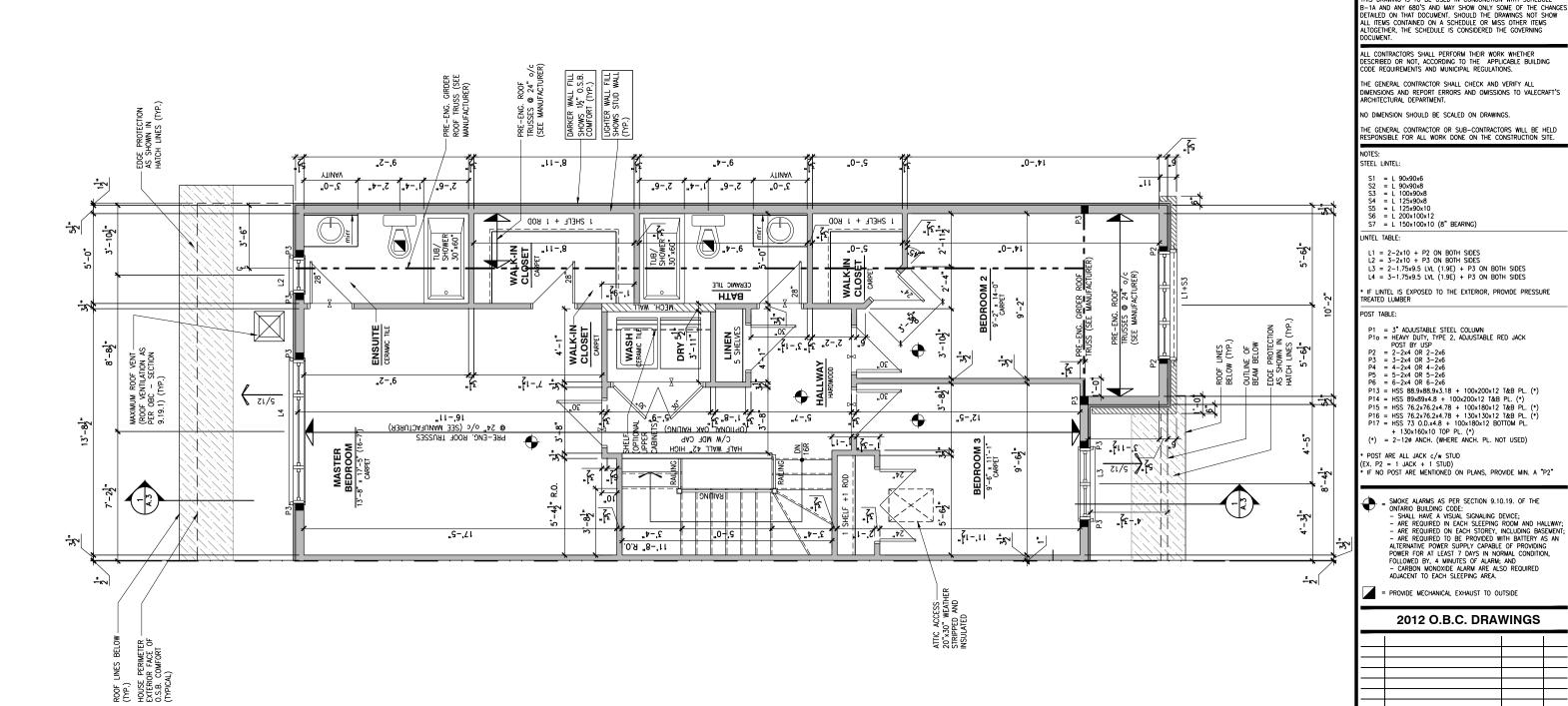
**SECOND FLOOR PLAN OPT 5 PC ENSUITE - MID** 

| SCALE: | 3/16" = 1'-0"

xx/xx/xxxx

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110 - THE THOMAS 2022 FOOTPRINT (STANDARD DRAWINGS)

NO DESCRIPTION

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

PRAWING: SECOND FLOOR PLAN STANDARD ENSUITE-GARAGE END SCALE: 3/16" = 1'-0"

LOT:

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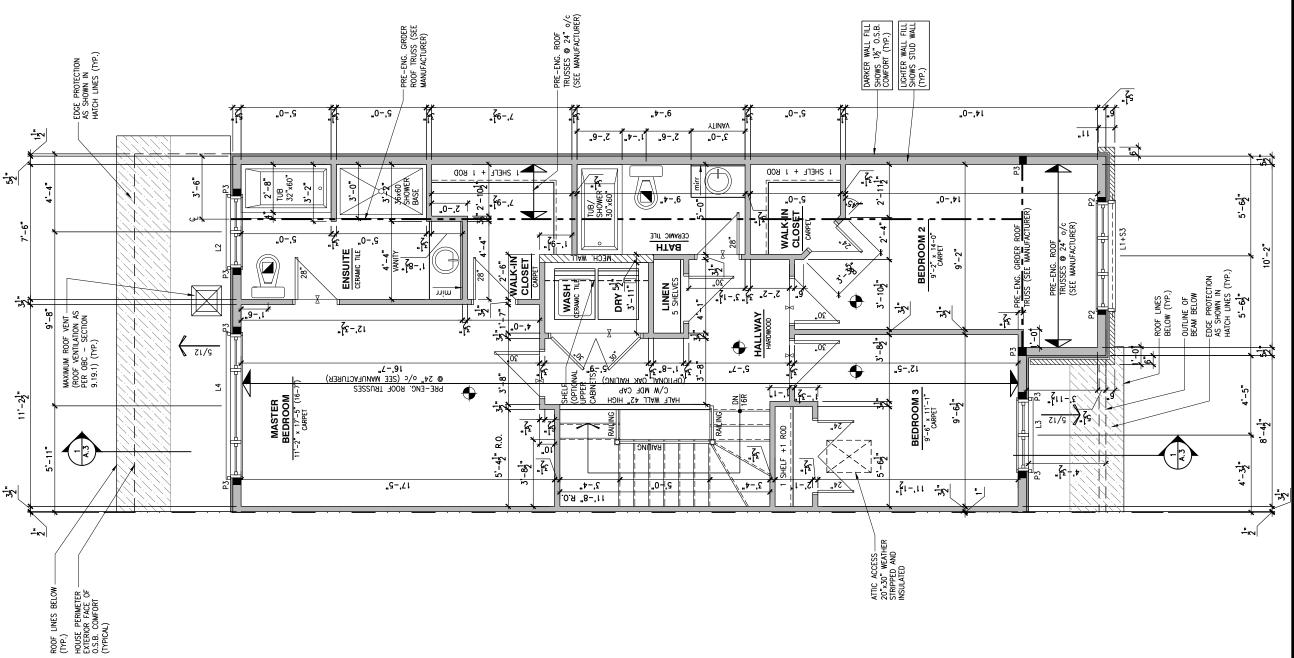
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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

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LOT: **XXXX** XX/XX/XXXX

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

# RAWING: SECOND FLOOR PLAN

**OPT 4PC ENSUITE - GARAGE END** SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

A.9h

XX/XX/XXXX

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SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

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#### NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

#### LINTEL TABLE:

- $\mbox{\scriptsize \bullet}$  IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

#### POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
  P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
  POST BY USP
  P2 = 2-2x4 OR 2-2x6
  P3 = 3-2x4 OR 3-2x6
  P4 = 4-2x4 OR 4-2x6
  P5 = 5-2x4 OR 5-2x6
  P6 = 6-2x4 OR 6-2x6
  P13 = HSS 88.9x8.9x3.18 + 100x200x12 T&B PL. (\*)

- P13 = HSS 88.9898.48 + 100x200x12 T&B PL. (\*)
  P14 = HSS 89x984.8 + 100x200x12 T&B PL. (\*)
  P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
  P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
  P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
  + 130x160x10 TOP PL. (\*)
  (\*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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   SHALL HAVE A VISUAL SIGNALING DEVICE;

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   ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

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   CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

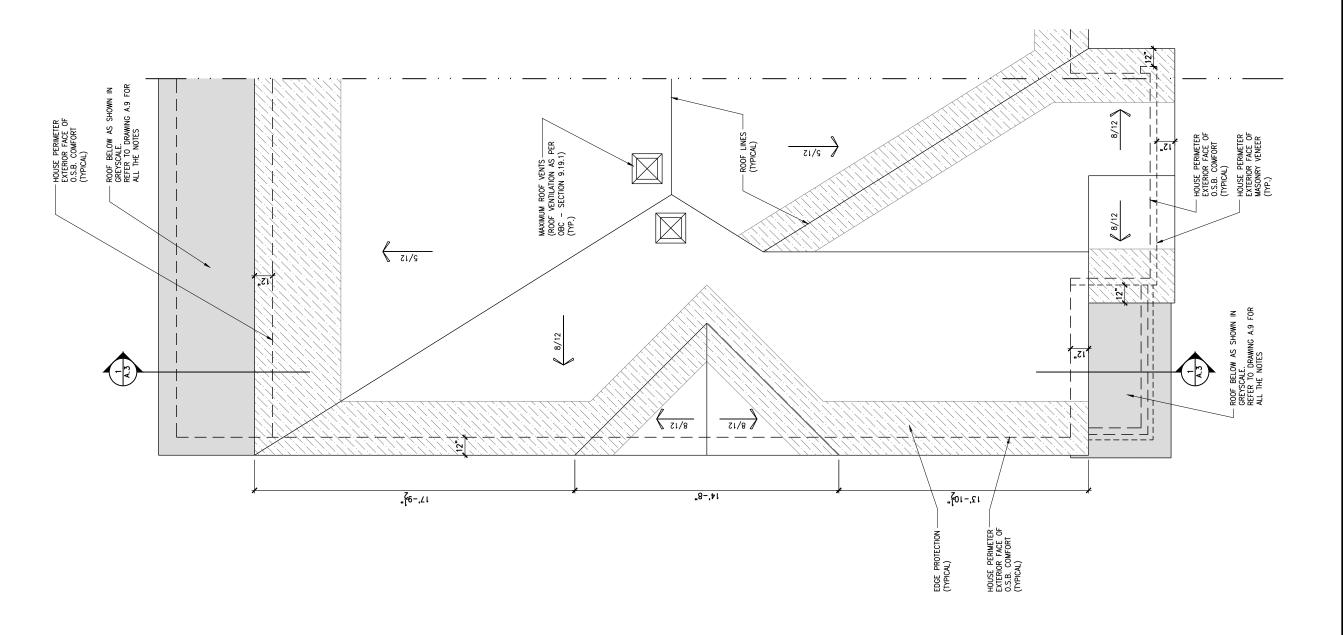
## DRAWING: SECOND FLOOR PLAN

OPT 5PC ENSUITE - GARAGE END

3/16" = 1'-0" 110 - THE THOMAS 2022 FOOTPRINT

A.9i

xx/xx/xxxx





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

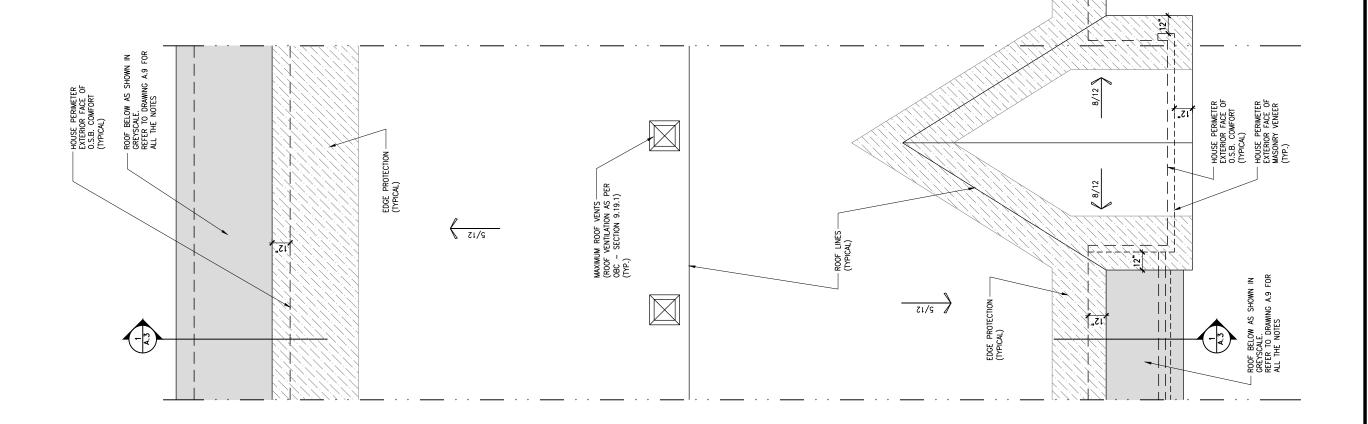
**ROOF PLAN - PORCH END UNIT** 

DATE: XX/XX/XXXX | SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10a





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

**ROOF PLAN - MID UNIT** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

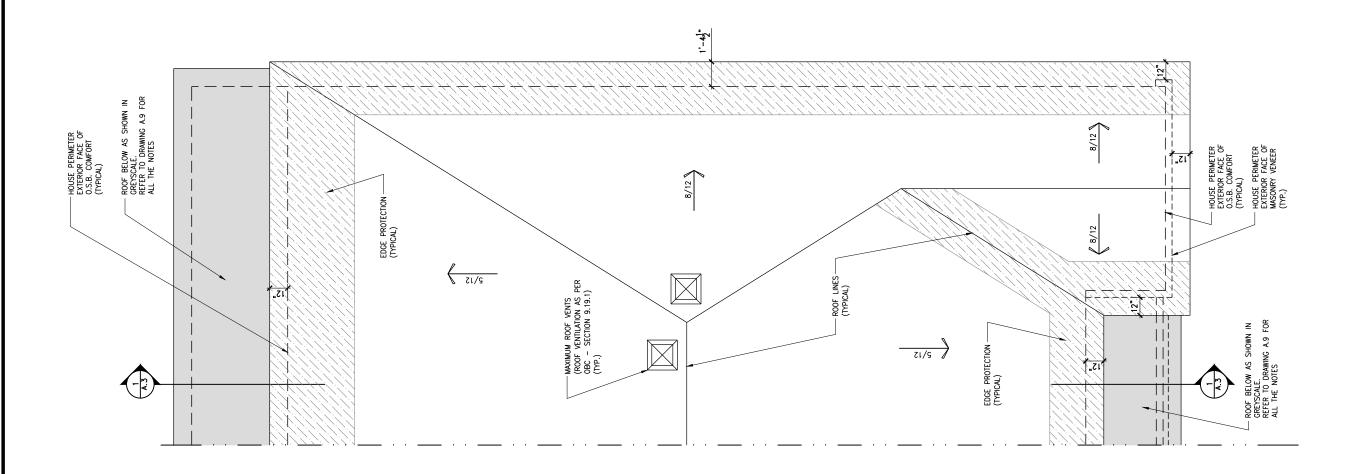
110 - THE THOMAS

2022 FOOTPRINT (STANDARD DRAWINGS)



**ROOF PLAN - MID UNIT** 

SCALE: 3/16" = 1'-0"





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

ROOF PLAN - GARAGE END UNIT

DATE: XX/XX/XXXX | SCALE: | 3/16" = 1'-0"

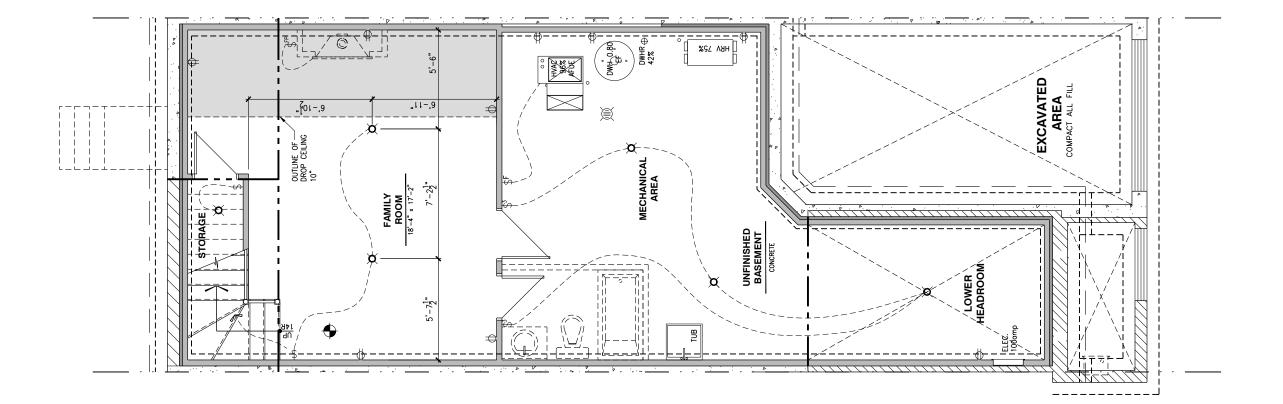
110 - THE THOMAS

2022 FOOTPRINT (STANDARD DRAWINGS)



**ROOF PLAN - GARAGE END UNIT** 

SCALE: 3/16" = 1'-0"





Homes (2019) Limited

I, DANIEL GUERIN. ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

**ELECTRICAL PLAN BASEMENT** 

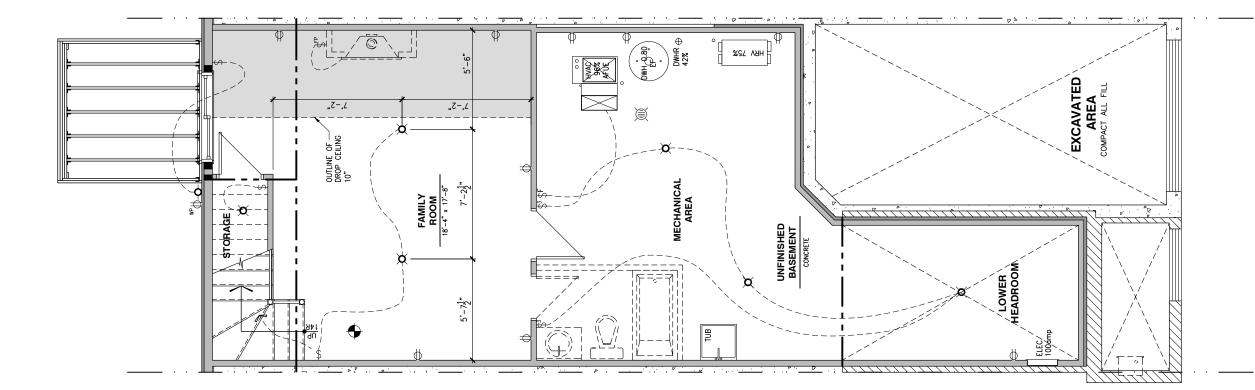
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

SHEET:

E.1a

110 - THE THOMAS 2022 FOOTPRINT

**ELECTRICAL PLAN - BASEMENT** 



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

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\$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

GROUND FAULT INTERVOLT WP WEATHER PROOF DUPLEX OUTLET

- WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

SPLIT OUTLET 220 VOLT OUTLET

POT LIGHT

DUPLEX OUTLET (UPPER HALF SWITCH)

**BASEMENT - WALKOUT** 

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

SHEET:

E.1b

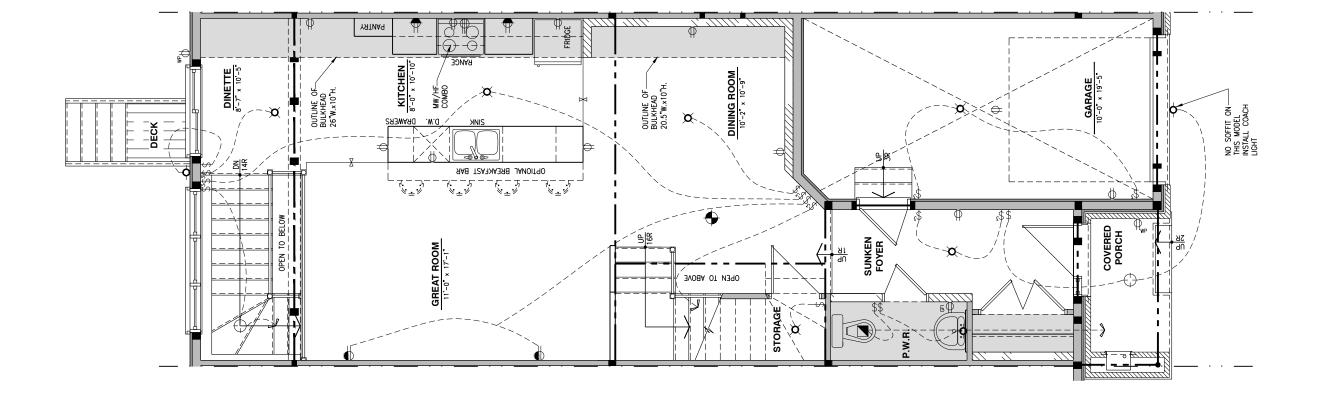
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON | NO. | DESCRIPTION | MM/DD/YYYY | BY **ELECTRICAL PLAN** 

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

**ELECTRICAL PLAN - BASEMENT - WALKOUT** 





Homes (2019) Limited

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\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

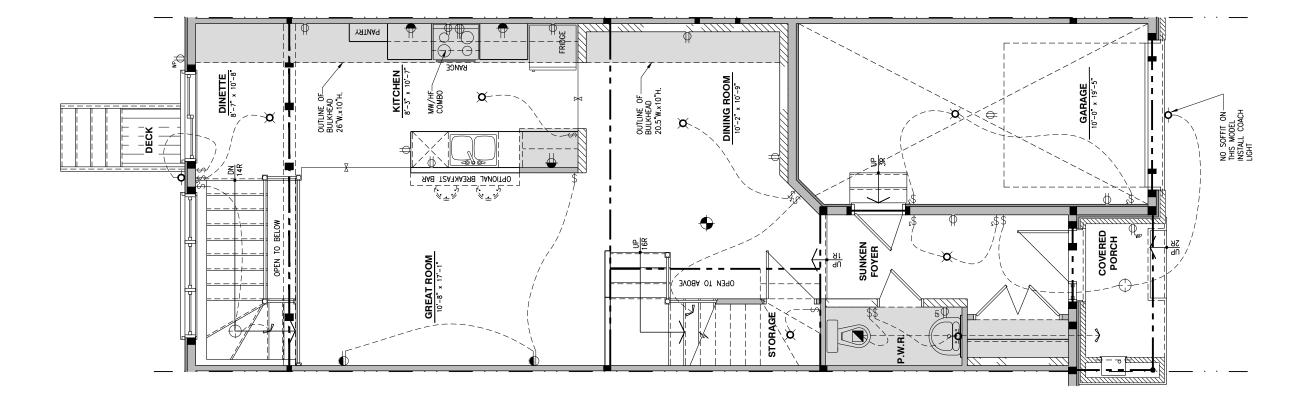
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

**ELECTRICAL PLAN GROUND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

E.2a

110 - THE THOMAS 2022 FOOTPRINT



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GROUND FAULT INTERVOLT

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SPLIT OUTLET

220 VOLT OUTLET

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CEILING MOUNTED LIGHT FIXTURE

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2012 O.B.C. DRAWINGS

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**ELECTRICAL PLAN GROUND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

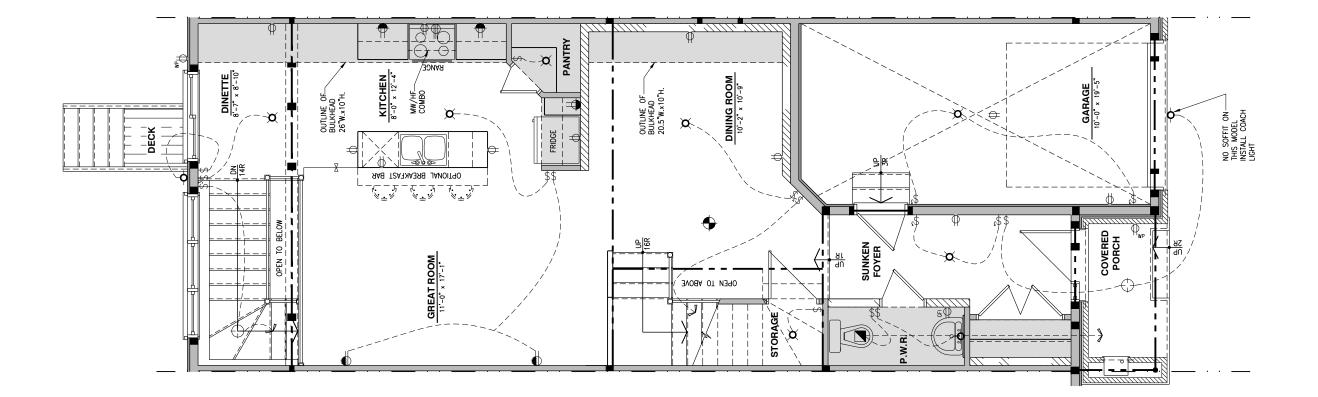
SHEET

E.2b

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1** 





Homes (2019) Limited

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# 2012 O.B.C. DRAWINGS | REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON | NO. | DESCRIPTION | MM/DD/YYYY | BY

**ELECTRICAL PLAN GROUND FLOOR** 

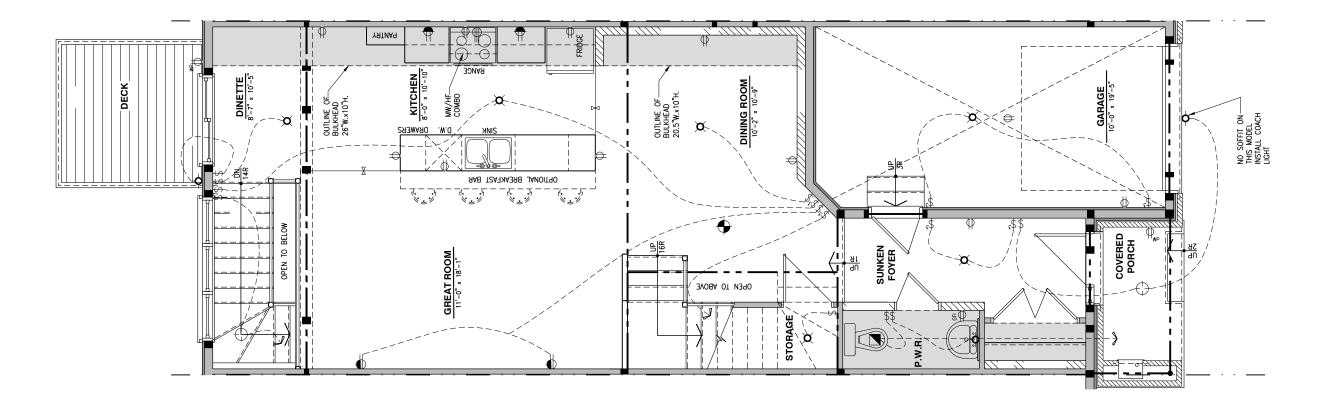
| SCALE: | 3/16" = 1'-0"

SHEET: E.2c

xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT

(E.2c)





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- WEATHER PROOF DUPLEX OUTLET
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- 220 VOLT OUTLET
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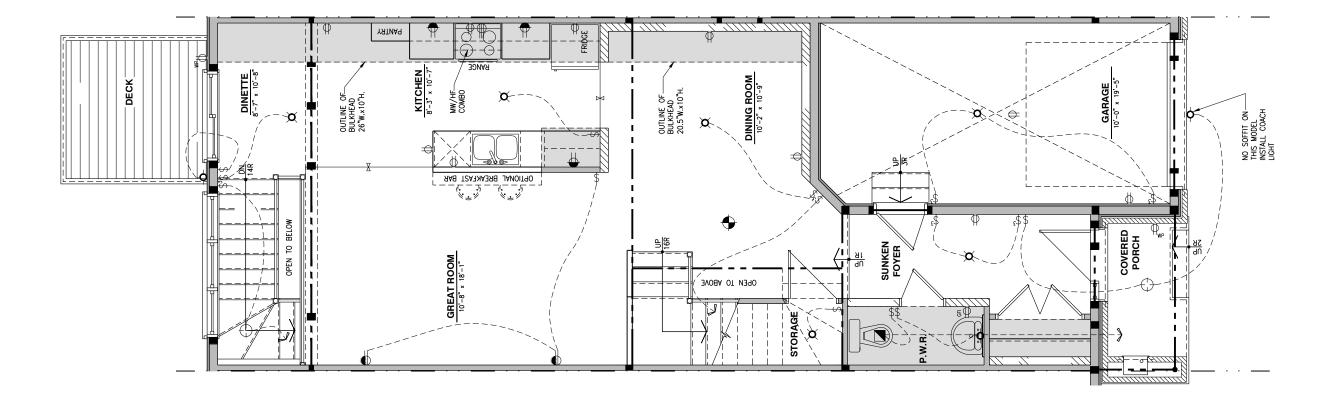
**ELECTRICAL PLAN GROUND FLOOR** 

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

SHEET:

E.2d

110 - THE THOMAS 2022 FOOTPRINT





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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
SHALL HAVE A VISUAL SIGNALING DEVICE;
ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOMIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

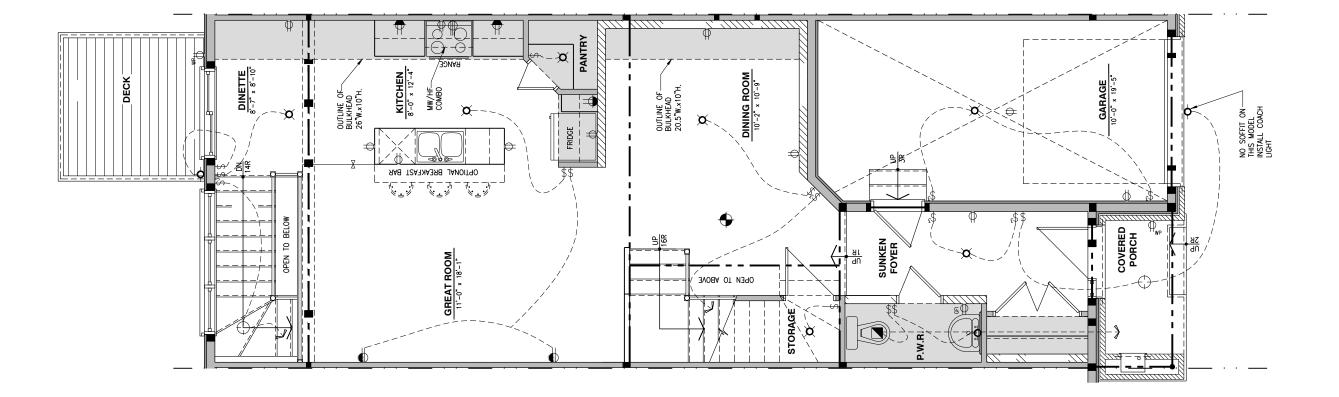
**ELECTRICAL PLAN GROUND FLOOR** 

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

E.2e

110 - THE THOMAS 2022 FOOTPRINT

**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT** 





Homes (2019) Limited

I, DANIEL GUERIN. ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES ILID, HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- weather proof duplex outlet
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

   SHALL HAVE A VISUAL SIGNALING DEVICE;

   ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

   ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

   CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

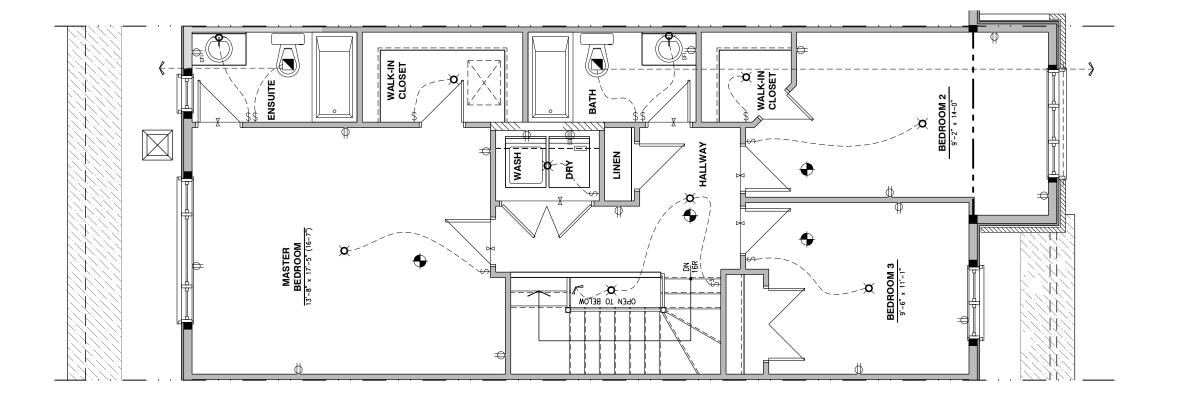
**ELECTRICAL PLAN GROUND FLOOR** 

(STANDARD DRAWINGS)

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

E.2f

110 - THE THOMAS 2022 FOOTPRINT





Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

**ELECTRICAL PLAN SECOND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

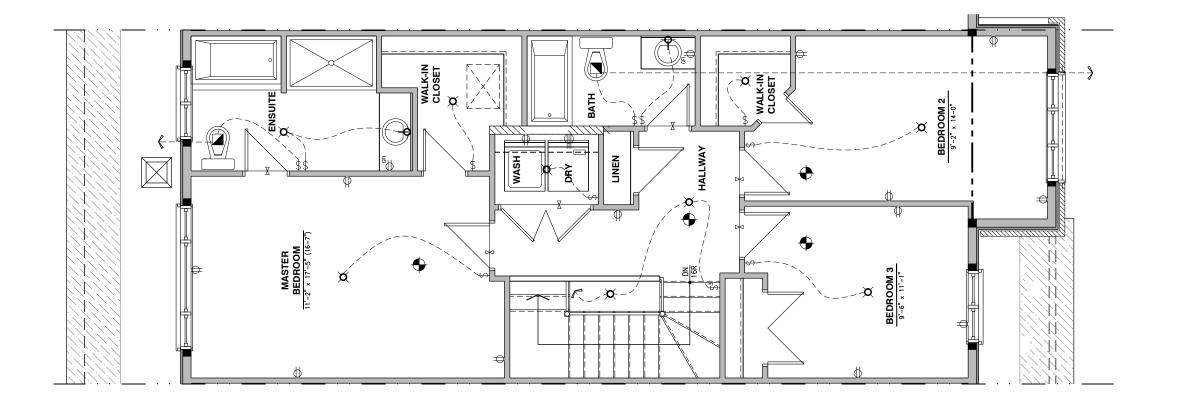
SHEET:

110 - THE THOMAS 2022 FOOTPRINT

E.3a (STANDARD DRAWINGS)

**ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE** 

SCALE: 3/16" = 1'-0"





Homes (2019) Limited

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

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\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

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GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON | NO. | DESCRIPTION | MM/DD/YYYY | BY

**ELECTRICAL PLAN SECOND FLOOR** 

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2022 FOOTPRINT

**ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE** 

SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

E.3b

SHEET:

SCALE: 3/16" = 1'-0"

**ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE** 

LOT: XXXX DATE: XX/XX/XXXX



Homes (2019) Limited

I, DANIEL GUERIN ARCHITECTURAL MANAGER FOR
VALCERATH HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

   SHALL HAVE A VISUAL SIGNALING DEVICE;

   ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

   ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

   ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARY, AND

   CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C.	DRAWINGS
1		1

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

**ELECTRICAL PLAN** SECOND FLOOR

| SCALE: | 3/16" = 1'-0" | DATE: | X xx/xx/xxxx SHEET:

110 - THE THOMAS 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.3c