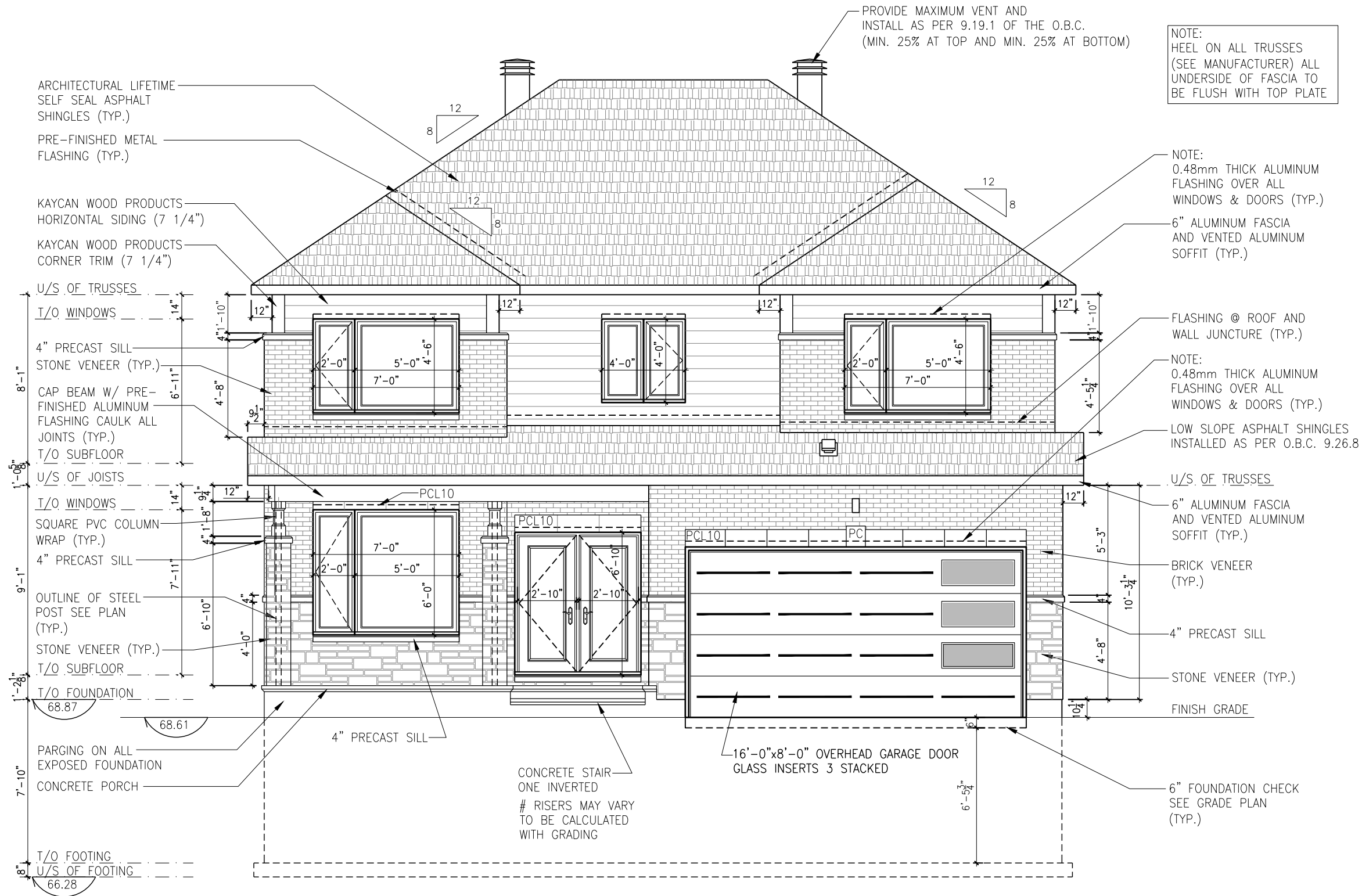


STANDARD WITH ENSUITE UPGRADE:

GROSS INSULATED = 298 M. SQ.
WALL AREA

GROSS WINDOW = 32.09 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 10.7%



FRONT ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

LOT: 19 PST7
DATE: 08/03/2023



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**FRONT ELEVATION
ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**1046 - THE HAZELWOOD
2022 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A1b



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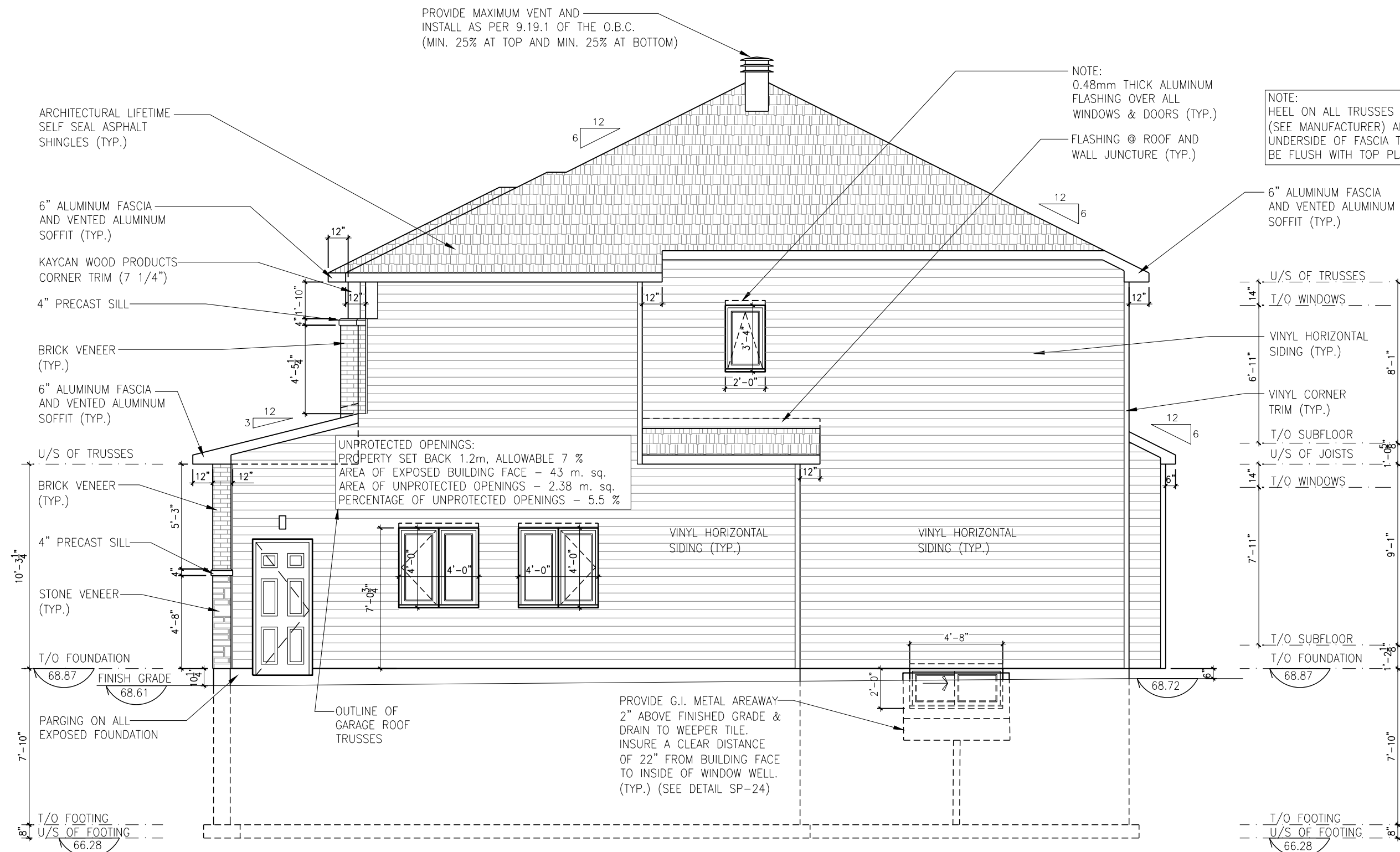
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PCL10 - 10" PRECAST LINTEL



2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON		

DRAWING: RIGHT ELEVATION
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1046 - THE HAZELWOOD
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2b



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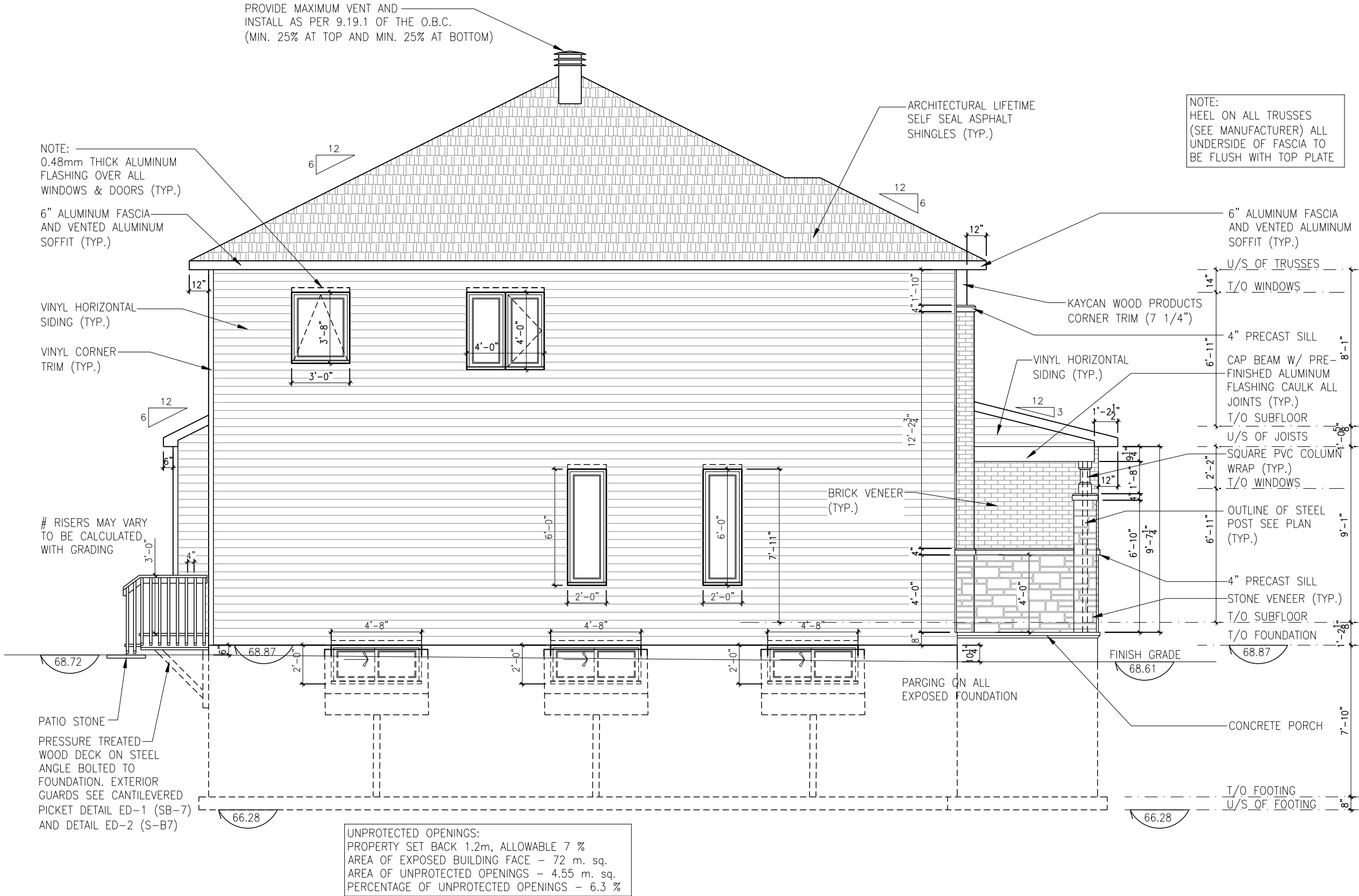
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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL



LEFT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx



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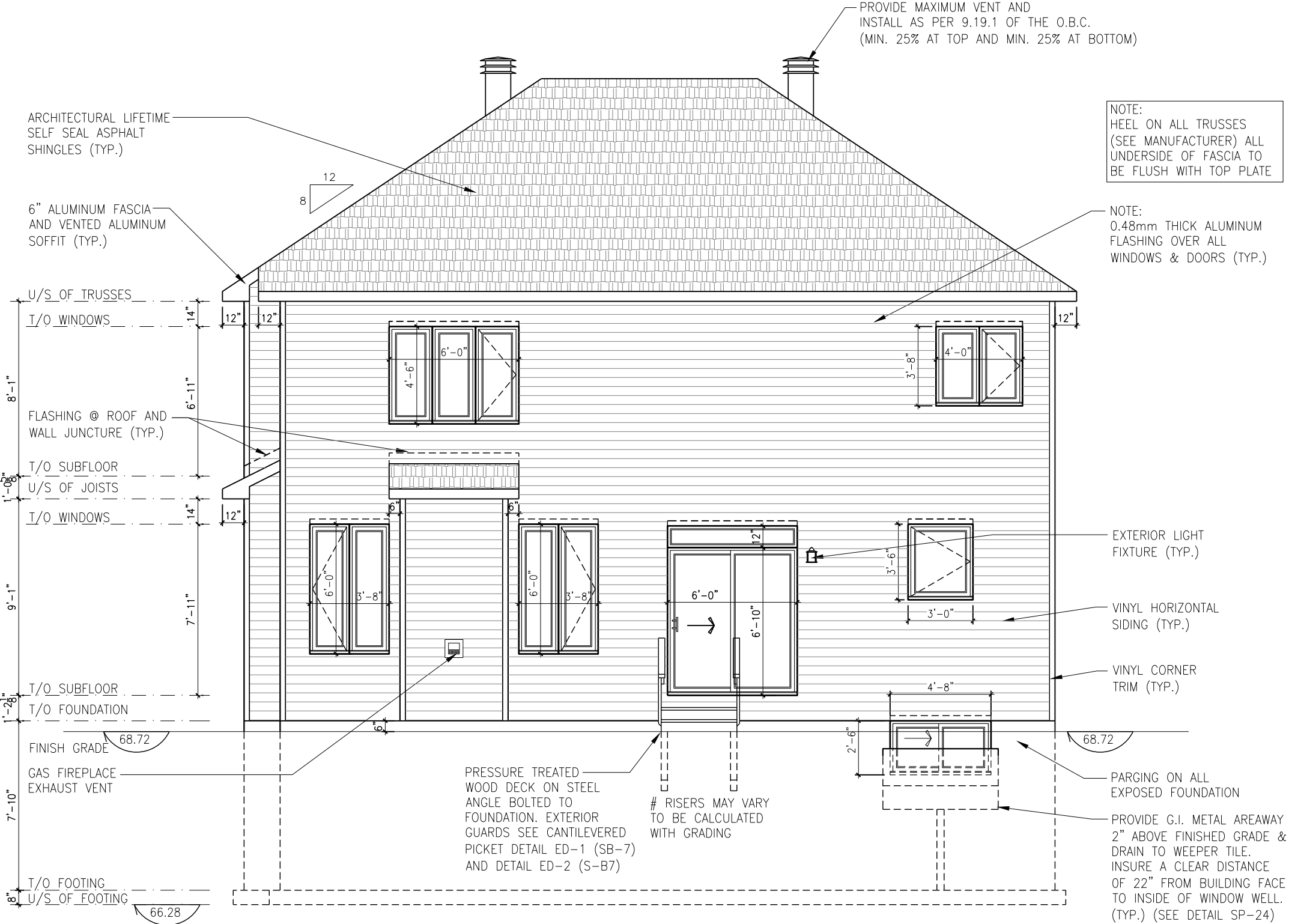
PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



REAR ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"



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- EXTERIOR FINISH LEGEND:
- B

-

BRICK (MAIN)
- B1

-

BRICK SOLDIER COURSE (ACCENT)
- B2

-

BRICK SOLDIER COURSE (ACCENT)
- 20mm PROUD
- B3

-

BRICK SLEEPER COURSE
- B4

-

STACK BOND (ACCENT)
- B5

-

BRICK SILL (ACCENT)
- B6

-

BRICK ROW LOCK (ACCENT)
- B7

-

BRICK CORBELLING
- B8

-

BRICK COINING 20mm PROUD
- +20

-

BRICK 20mm PROUD
- 20

-

BRICK 20mm RECESSED
- S

-

SIDING (HORIZONTAL)
- SV

-

SIDING (VERTICAL)
- ST

-

STONE VENEER
- T

-

TRIM 200mm COVE SIDING
- AF

-

ALUMINUM FASCIA
- AC

-

ALUMINUM CLADDING
- AB

-

48" ALUMINUM BAND
- AS

-

ASPHALT SHINGLES
- F

-

FLASHING
- V

-

ROOF VENT (MAXIMUM)
- P

-

PARGING
- PC

-

PARGING
- PCH10

-

PRECAST HEADER 10"
- PCH8

-

PRECAST HEADER 8"
- PCS

-

PRECAST SILL
- PCB

-

PRECAST BAND
- VS

-

VINYL SHAKES
- VEC

-

SIDING (VERTICAL CORNER)
- KC

-

KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:

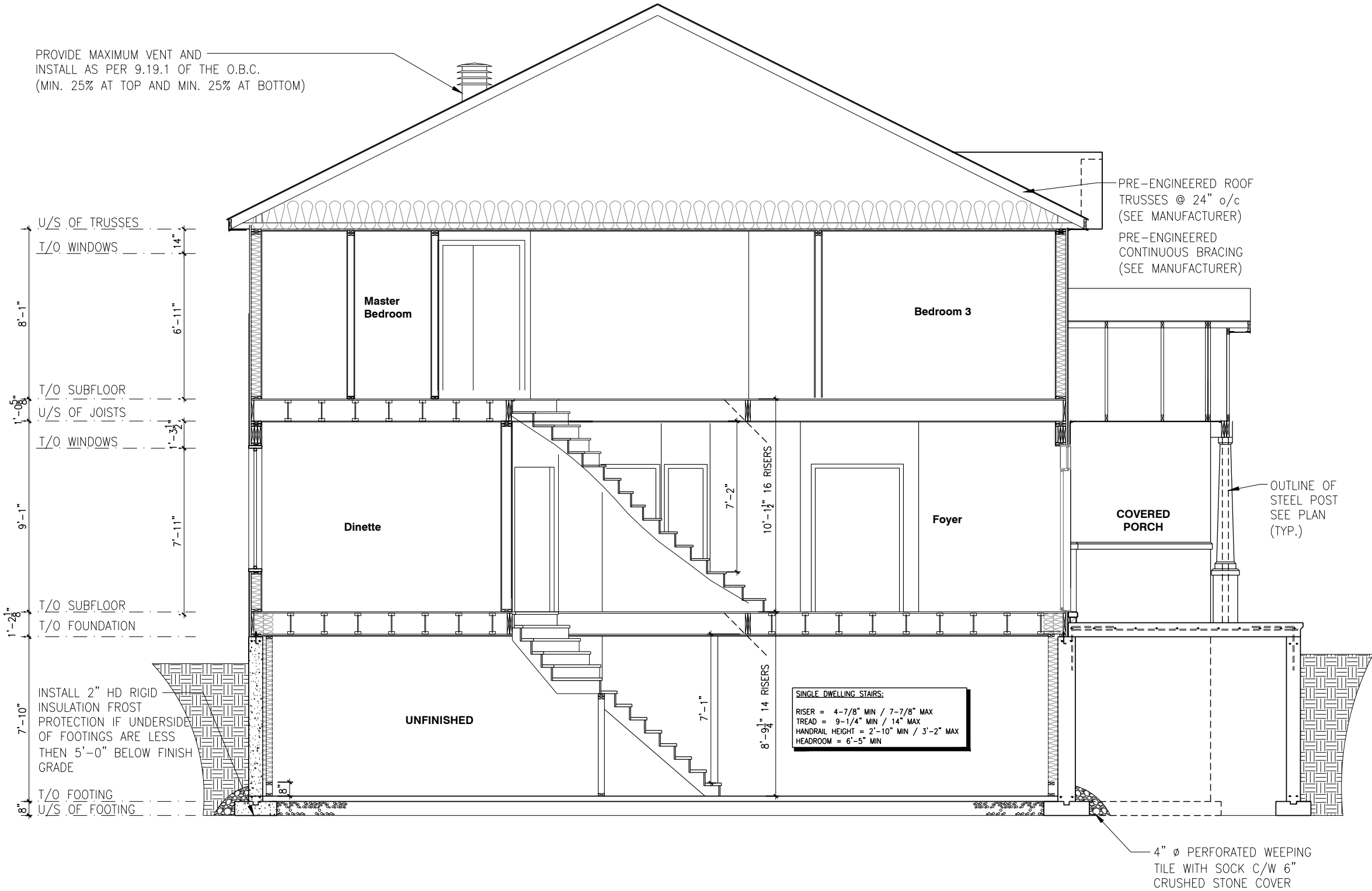
BUILDING SECTION
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A5a

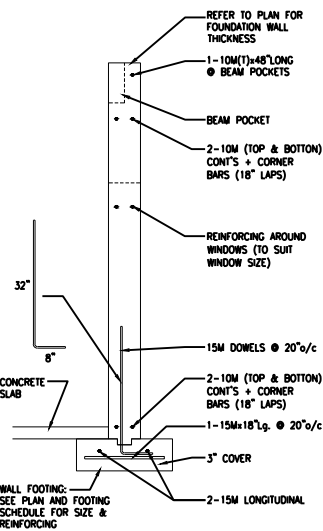
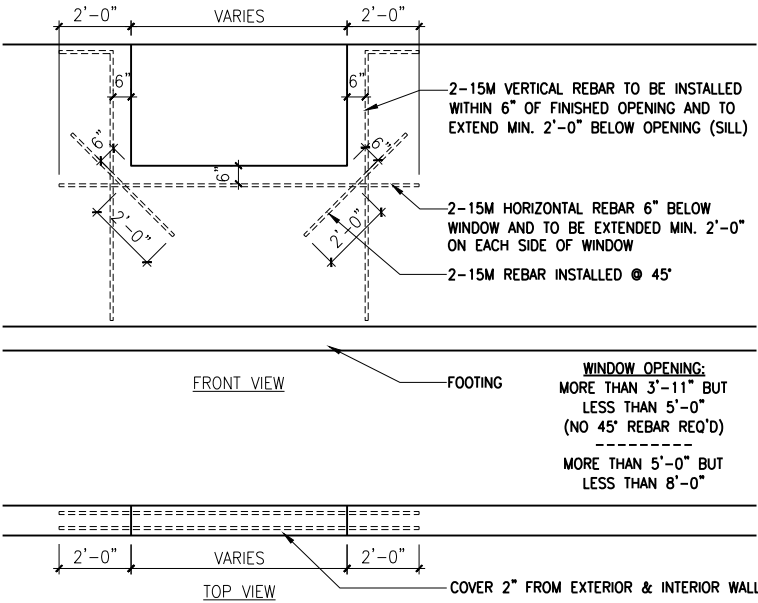
PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



BUILDING SECTION - ELEVATION A

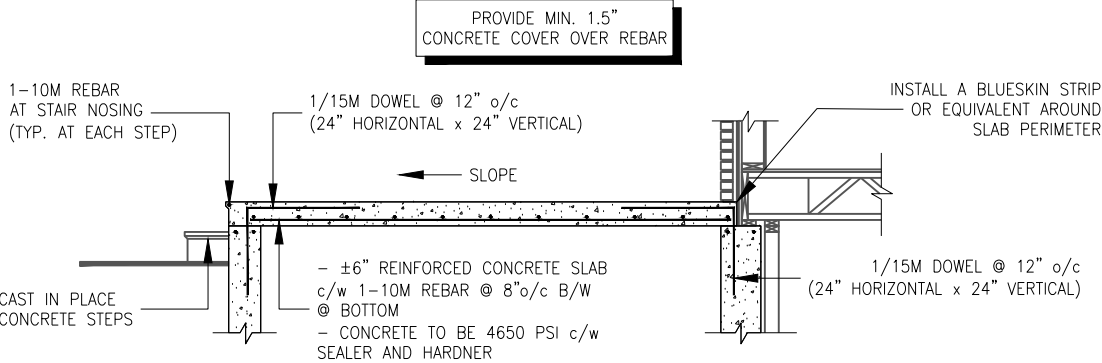
SCALE: 3/16" = 1'-0"

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	40"x40"x10" w/ 3-15M 34" LG. e/w	44"x44"x10" w/ 3-15M 38" LG. e/w	48"x48"x10" w/ 4-15M 42" LG. e/w	52"x52"x10" w/ 4-15M 46" LG. e/w	64"x64"x12" w/ 5-15M 58" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 3-15M 28" LG. e/w



CONCRETE WALL REINFORCING

2
A.6
SCALE: 1/4" = 1'-0"



CONCRETE PORCH REINFORCING

3
A.6
SCALE: 1/4" = 1'-0"

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: 19 PST7
DATE: 08/03/2023



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

FOOTING TABLE & DETAILS

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m² (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

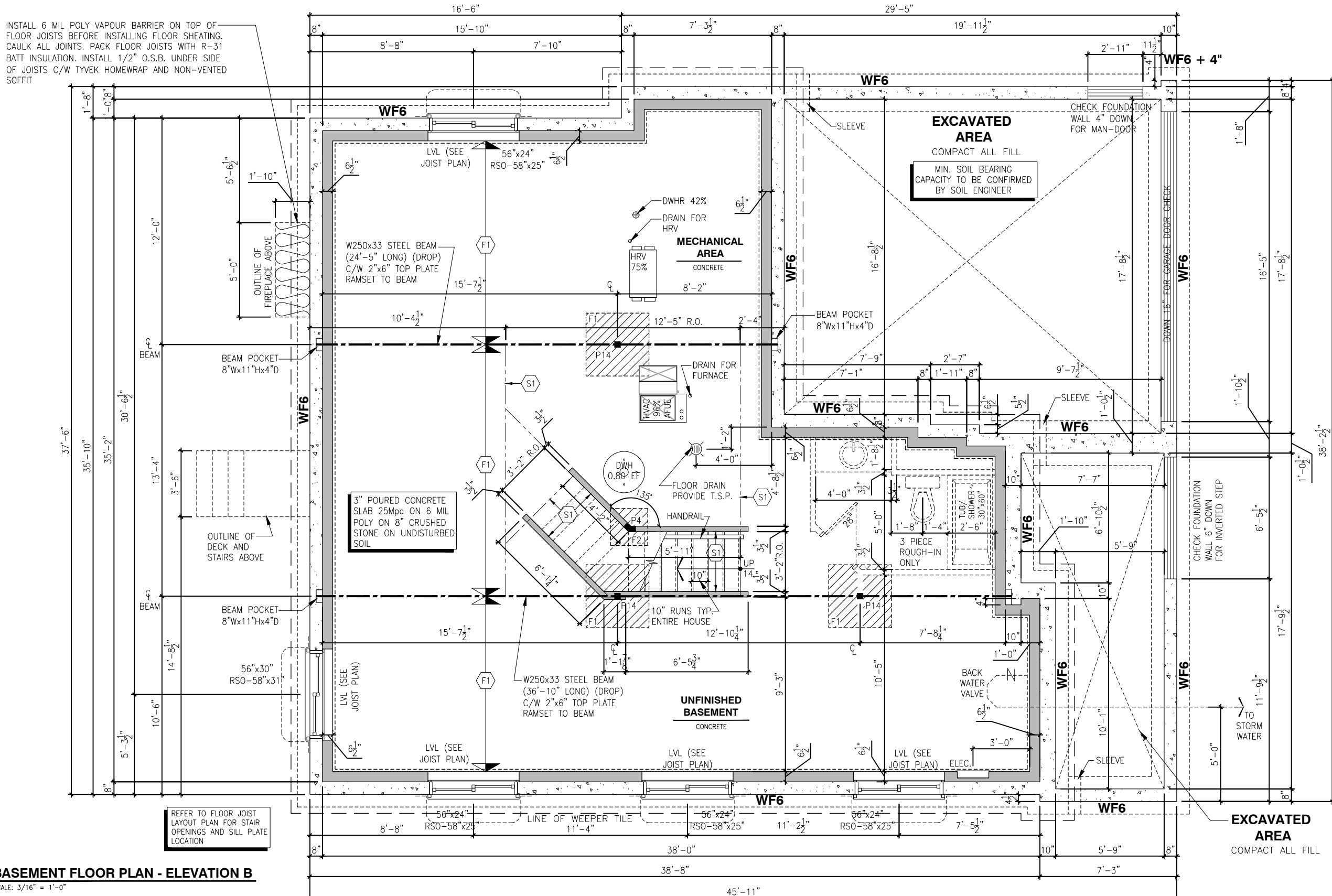
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

INSTALL 6 MIL POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS BEFORE INSTALLING FLOOR SHEATING. CAULK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" O.S.B. UNDER SIDE OF JOISTS C/W TYVEK HOMEWRAP AND NON-VENTED SOFFIT



BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: 19 PST7

DATE: 08/03/2023

Valecraft Homes (2019) Limited

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S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 08/30/2022 DOYON
NO. DESCRIPTION DATE BY

DRAWING: **BASEMENT FLOOR PLAN ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1046 - THE HAZELWOOD 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6b

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

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FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- A PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- W250x73 STEEL BEAM (DROP) (18'-10" LONG)
RAMSET A 2"x6" PLATE ON TOP. PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

SINGLE DWELLING STAIRS:

- RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.2. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

LOT: 19 PST7

DATE: 08/03/2023



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: GROUND FLOOR PLAN
STANDARD KITCHEN - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

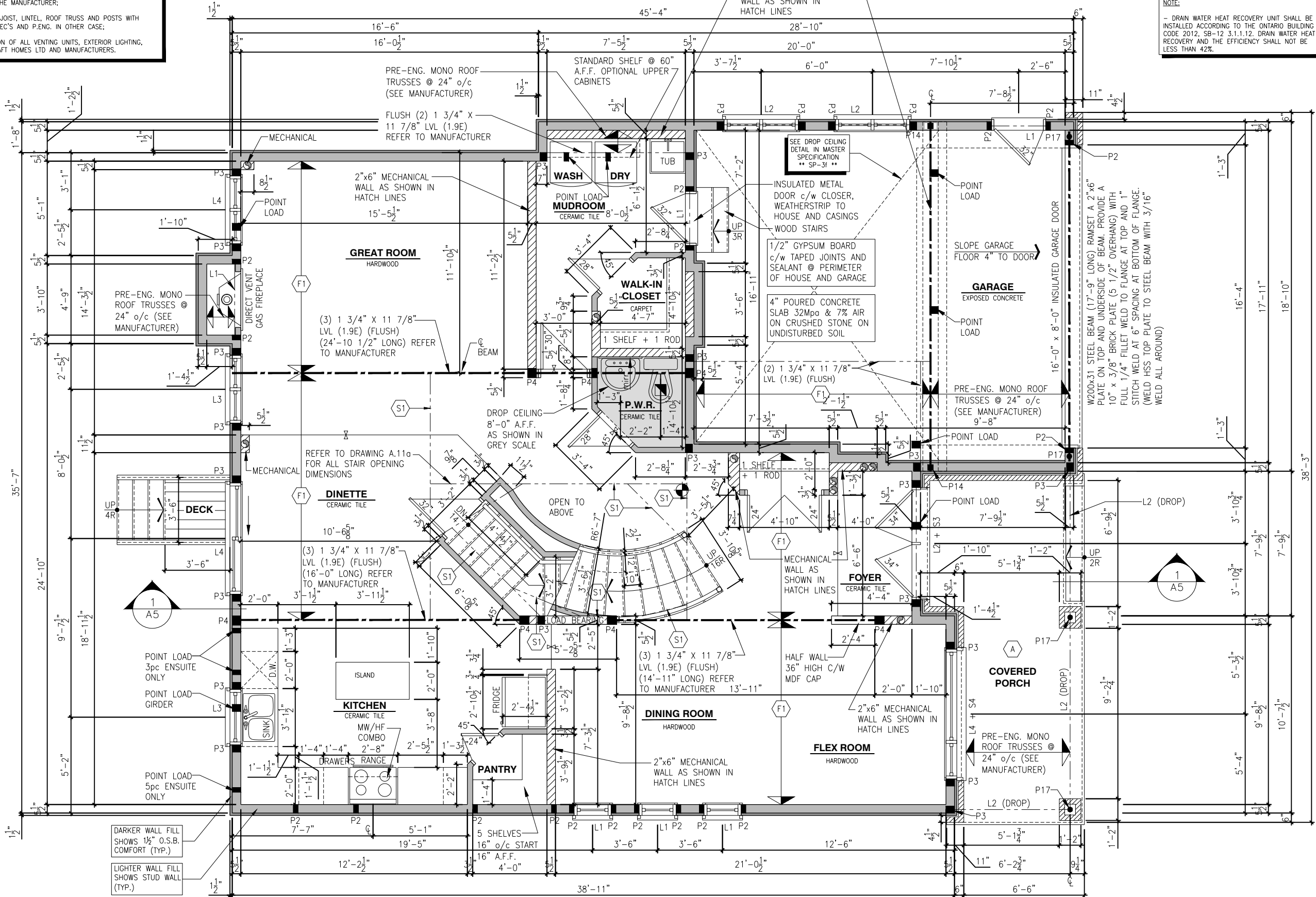
1046 - THE HAZELWOOD
2022 FOOTPRINT

(STANDARD DRAWINGS)

A7b

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

NOTES:

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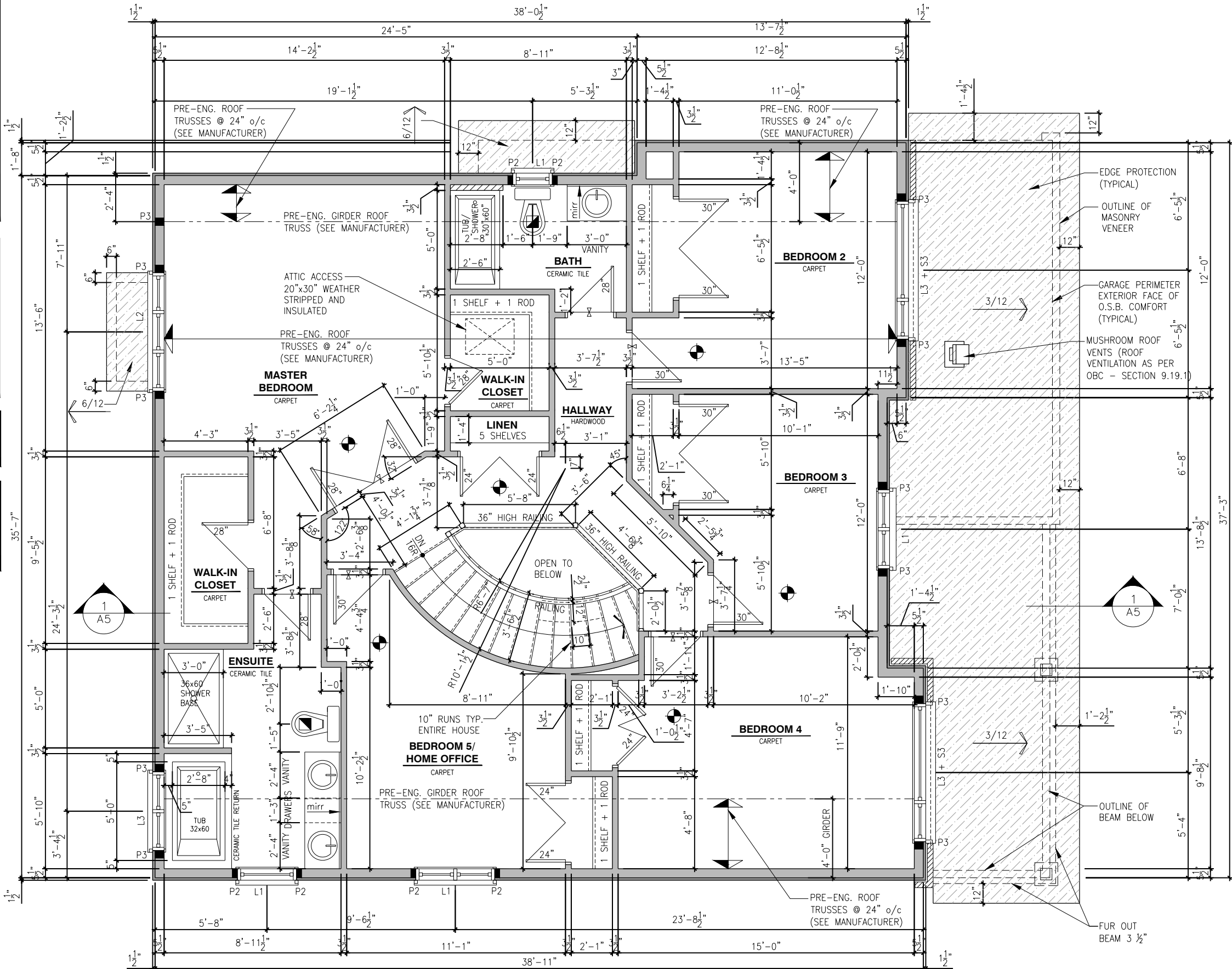
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HEADROOM = 6'-5" MIN

SECOND FLOOR PLAN - ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: 19 PST7

DATE: 08/03/2023

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

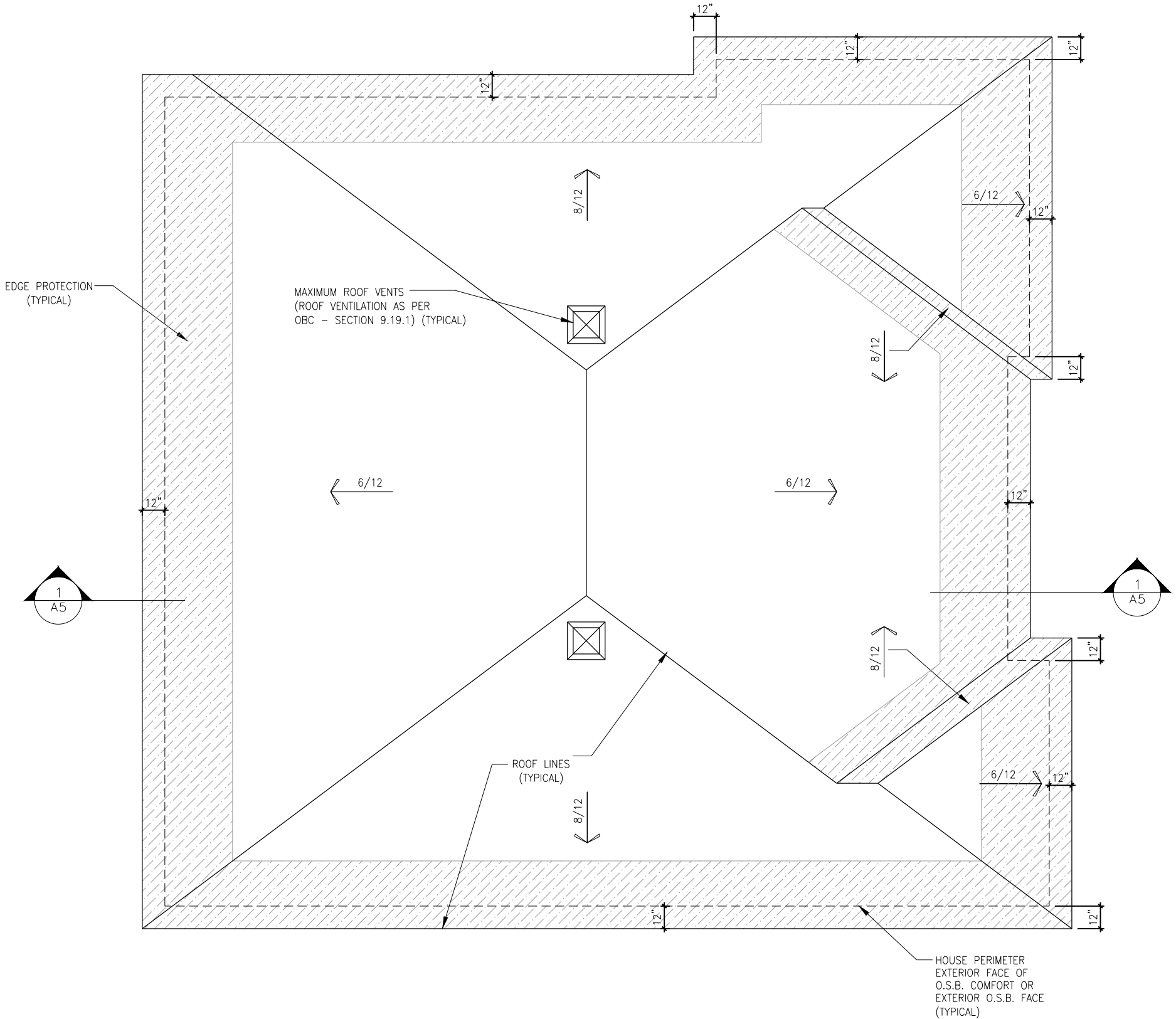
1046 - THE HAZELWOOD
2022 FOOTPRINT

(STANDARD DRAWINGS)

A8f

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT:19 PST7

DATE:08/03/2023

Valecraft

Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

08/30/2022

DOYON

NO.

DESCRIPTION

DATE

BY

DRAWING:

ROOF PLAN
ELEVATION B

ADDRESS:

SCALE:

DATE:

xx

3/16" = 1'-0"

xx/xx/xxxx

1046 - THE HAZELWOOD
2022 FOOTPRINT

SHEET:
A9b

(STANDARD DRAWINGS)



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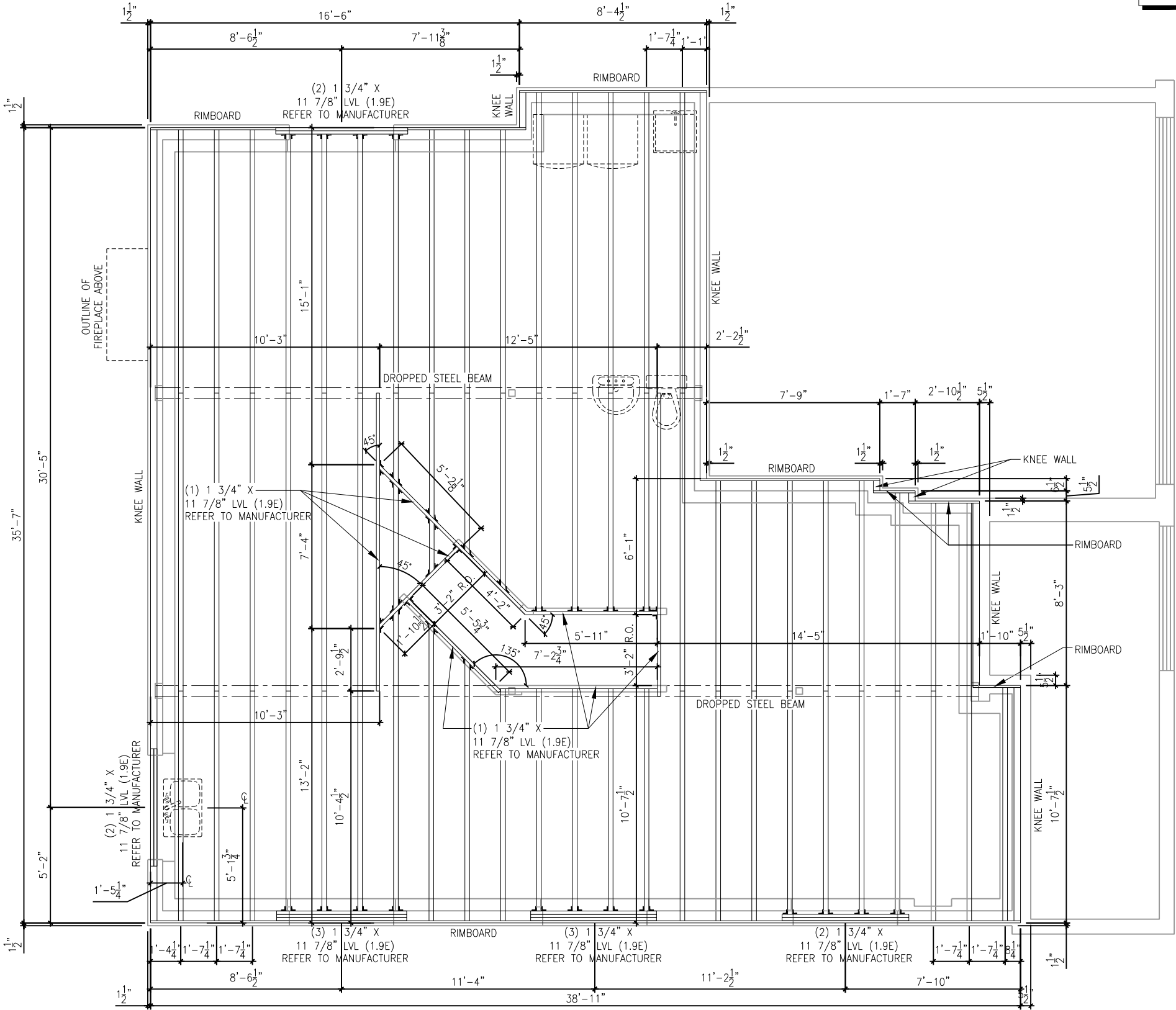
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:GROUND - JOIST LAYOUT ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

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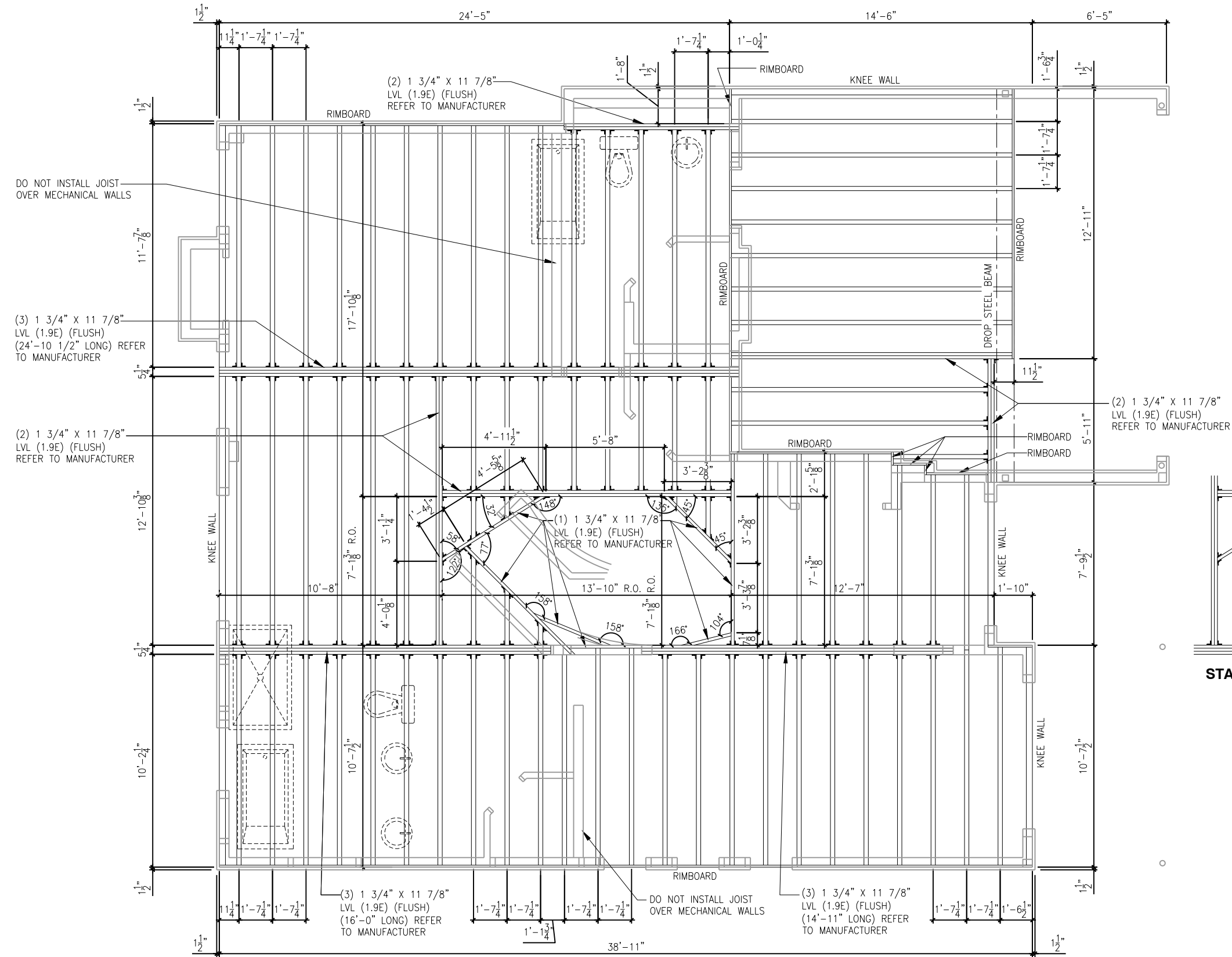


GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

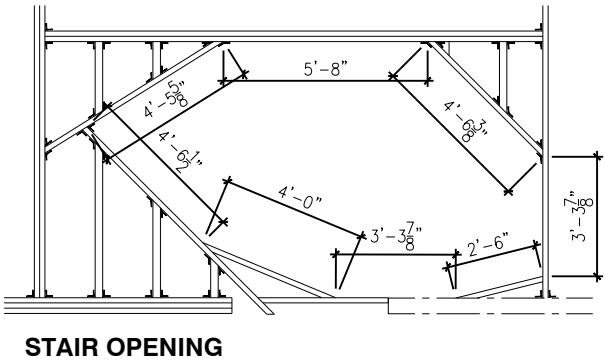
SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: 19 PST7

DATE: 08/03/2023

Valecraft
Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

2nd FLOOR-JOIST LAYOUT
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1046 - THE HAZELWOOD
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11j



Valecraft

Homes (2019) Limited

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

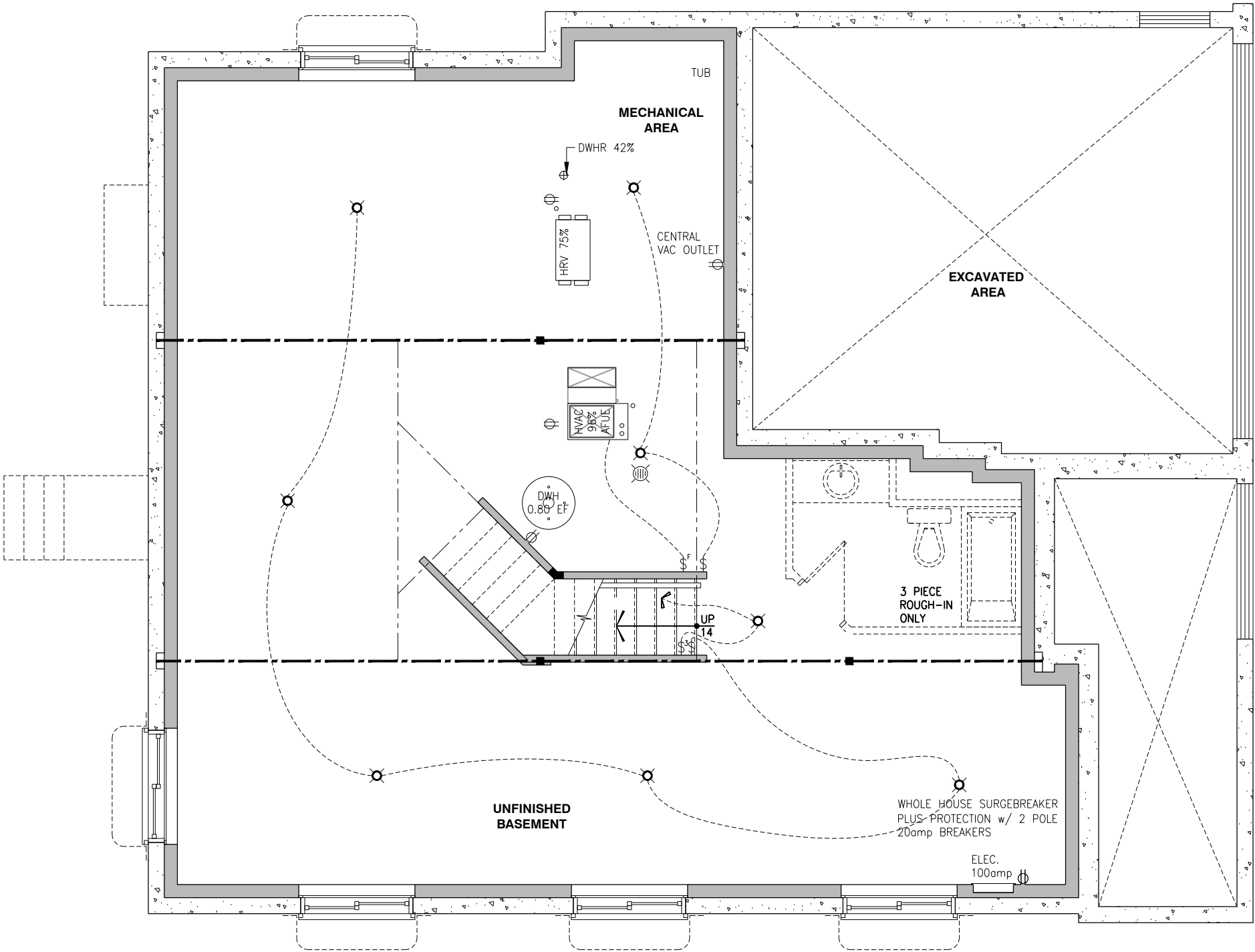
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

BASEMENT - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx





I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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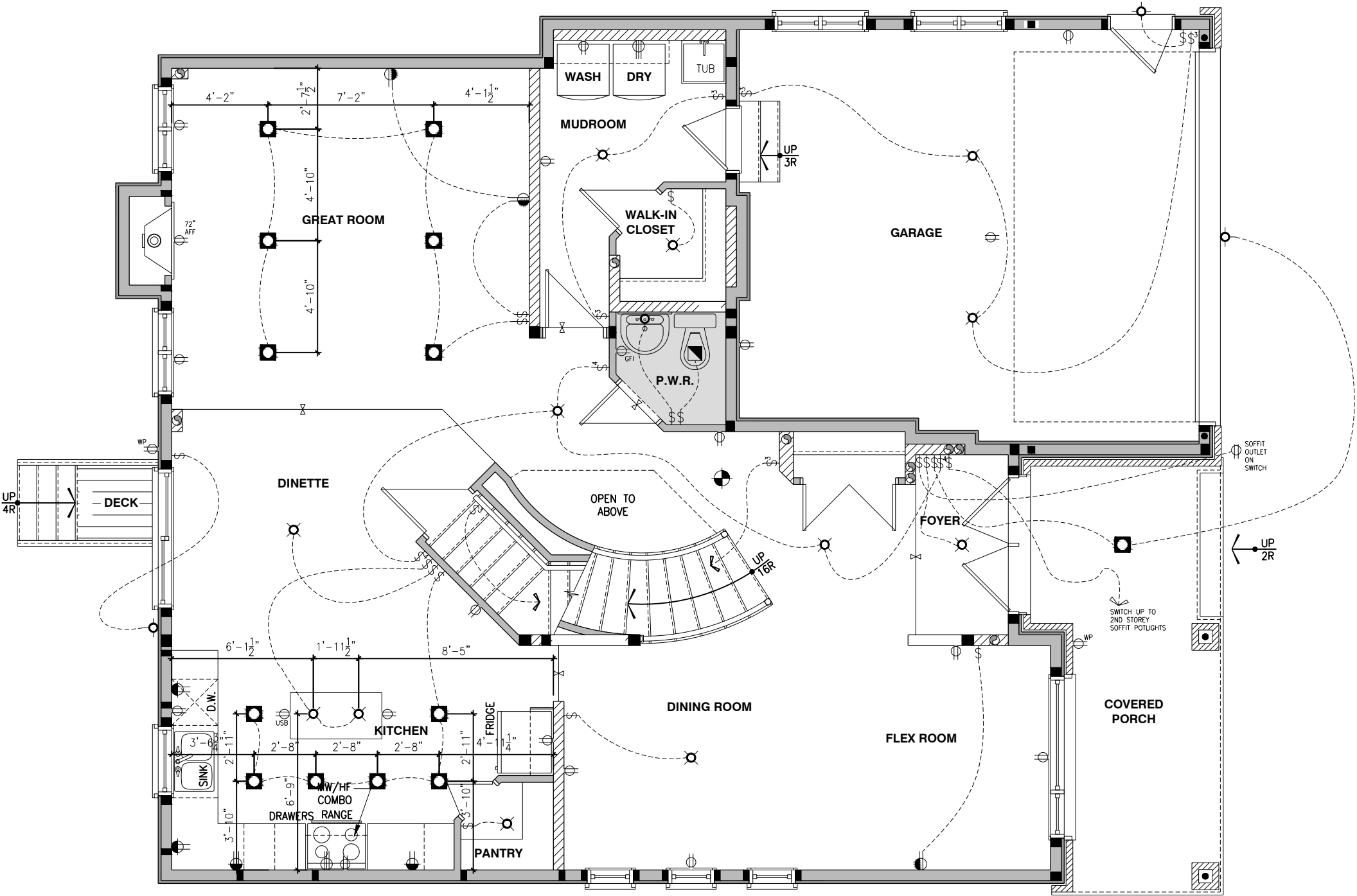
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"



Valecraft

Homes (2019) Limited

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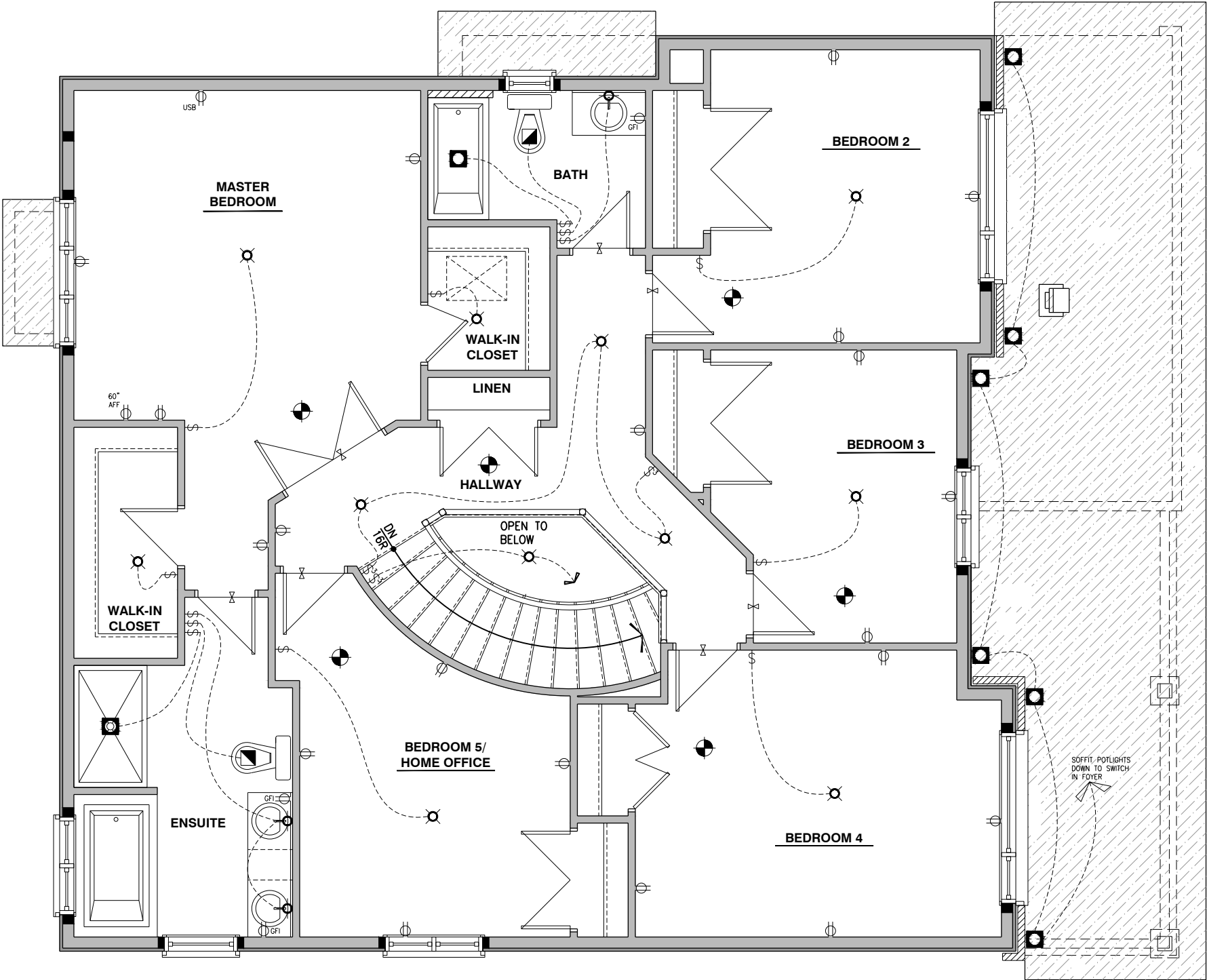
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REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION B

SCALE: 3/16" = 1'-0"