

FRONT ELEVATION - 3 AND 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: Lot 7 PST7 DATE: 06/30/2023



I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012	O.B.C.	DRAW	INGS

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ı	REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYO
ı	NO.	DESCRIPTION	DATE	BY

RAWING: FRONT ELEVATION - 3 AND 4 **BEDROOM - ELEVATION B**

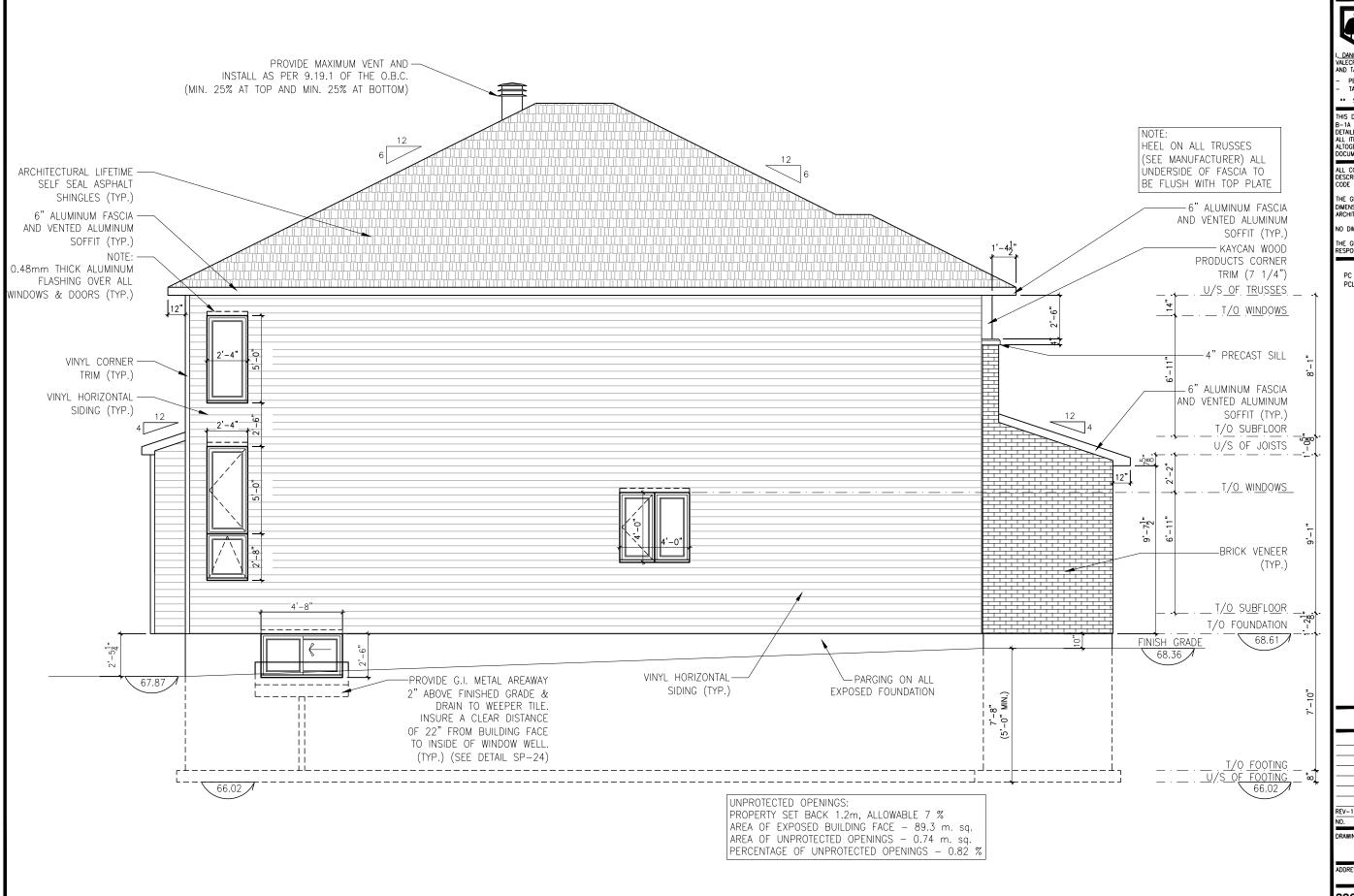
DDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	x>

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A1b

xx/xx/xxxx SHEET



LOT: Lot 7 PST7
DATE: 06/30/2023

Valectaft
Homes (2019) Limited

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

PEV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 Dr

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION DATE BY

RIGHT ELEVATION
3 BEDROOM - ELEVATION B

SS: | SCALE: | 3/16" = 1'-0"

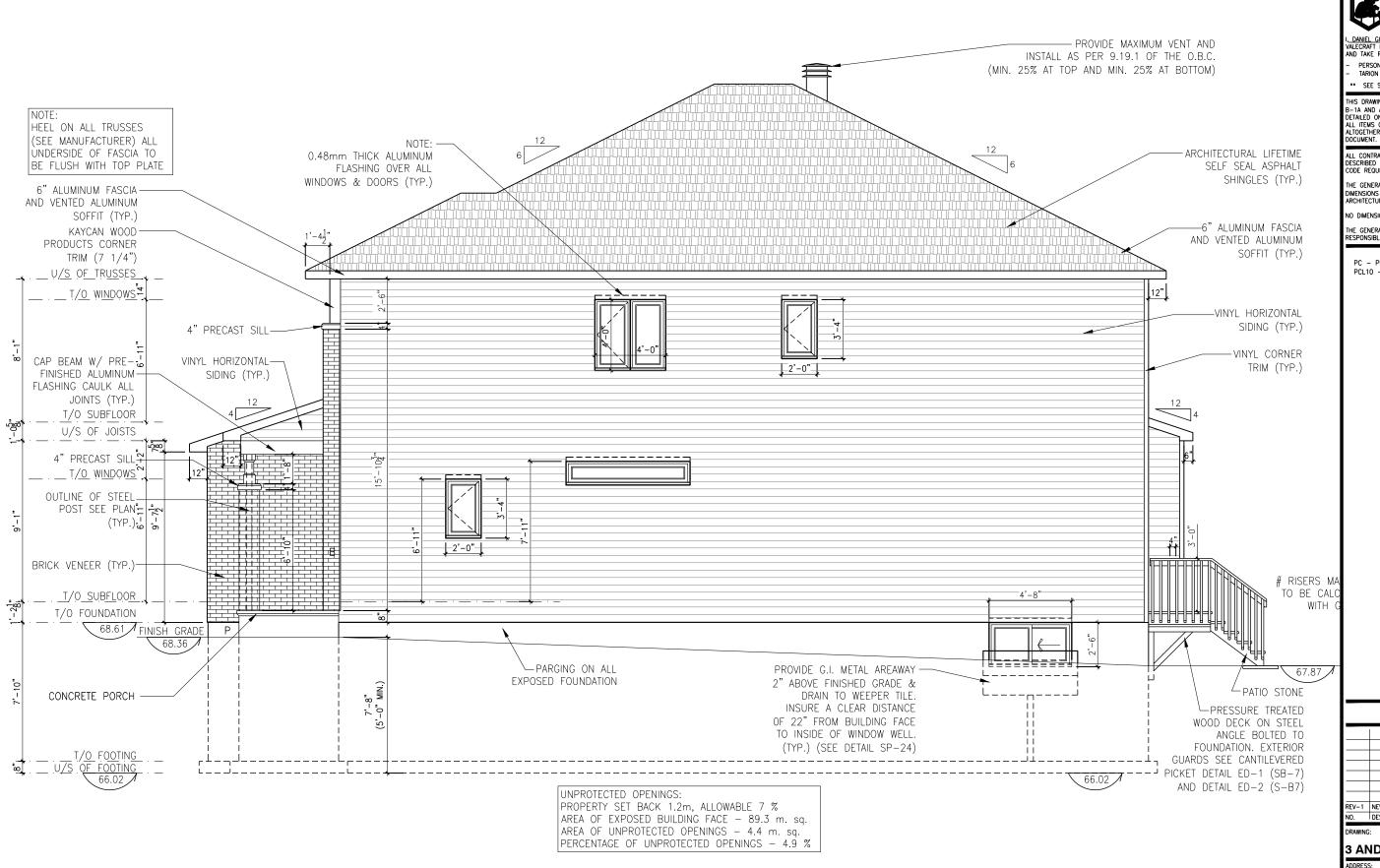
- THE BRADLEY

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A2b

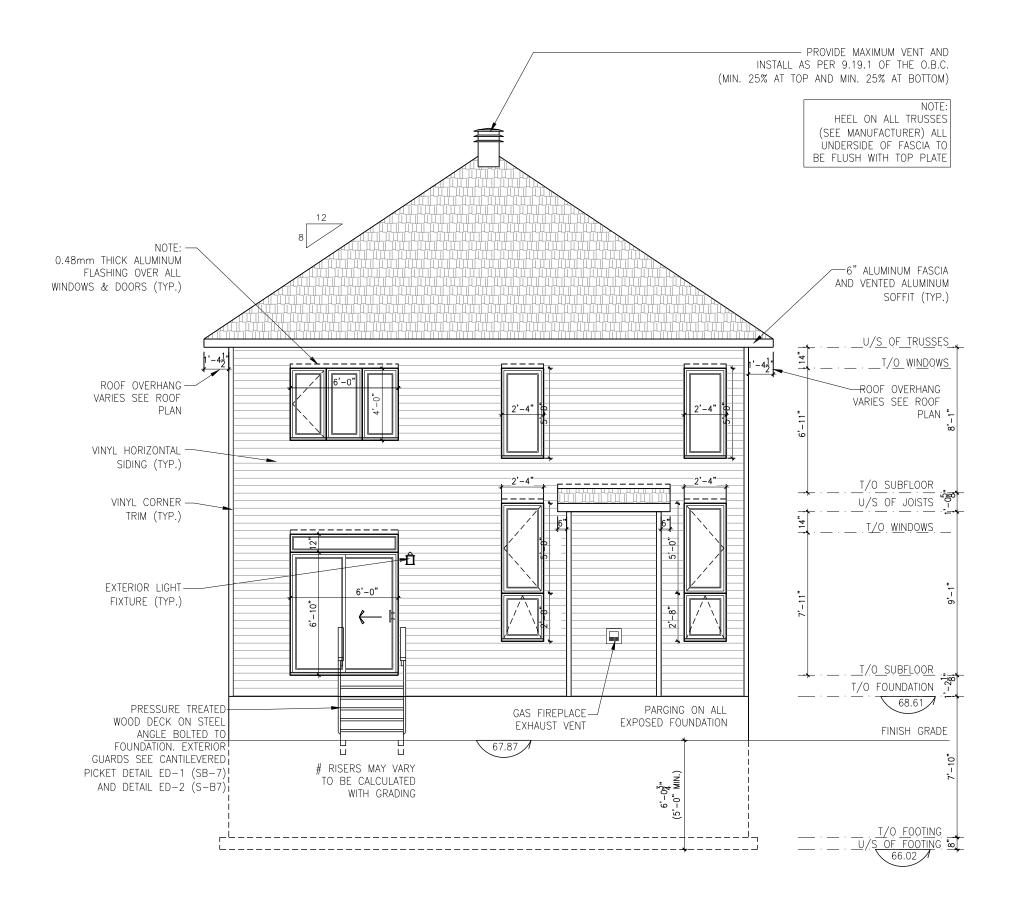
xx/xx/xxxx



LOT: Lot 7 PST7 DATE: 06/30/2023 Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWNINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL 2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO DESCRIPTION **LEFT ELEVATION** 3 AND 4 BEDROOM - ELEVATION E

S: | SCALE: | XX/XX/XXXXX

826 - THE BRADLEY 2022 FOOTPRINT A3b



REAR ELEVATION - 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

Lot 7 PST7 06/30/2023



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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DR/	AWINGS
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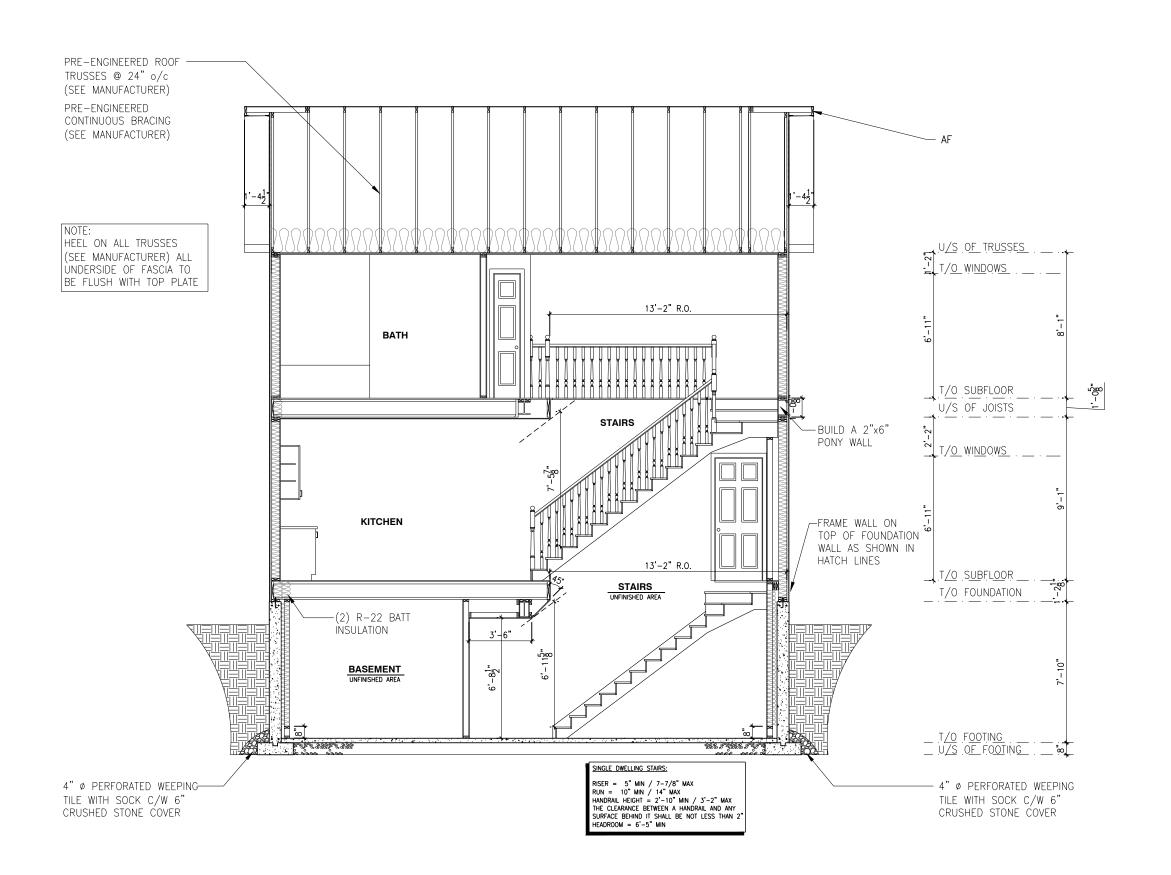
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DO
NO	DESCRIPTION	DATE	RY

REAR ELEVATION 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0" xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

A4b



BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B

LOT: Lot 7 PST7 DATE: 06/30/2023



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- EXTERIOR FINISH LEGEND:

 B BRICK (MAIN)
 B1 BRICK SOLDIER COURSE (ACCENT)
 B2 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SILL (ACCENT)
 B6 BRICK SILL (ACCENT)
 B7 BRICK CORBELLING
 B8 BRICK SOLDING 20mm PROUD
 -20 BRICK 20mm PROUD
 -20 BRICK 20mm PROUD
 -20 BRICK 20mm PROUD
 -21 SIDING (HORIZONTAL)
 SV SIDING (VERTICAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM CLADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST BLL
 PCB PRECAST BLL
 PCB PRECAST BLL
 VS VINYL SHAKES
 VEC SIDING (VERTICAL CORNER)
 KC KAYCAN WOOD SIDING 7½" LAP KC - KAYCAN WOOD SIDING - 74" LAP

201	20	\mathbf{R}	WINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO DESCRIPTION

RAWING: BUILDING SECTION - 3 AND

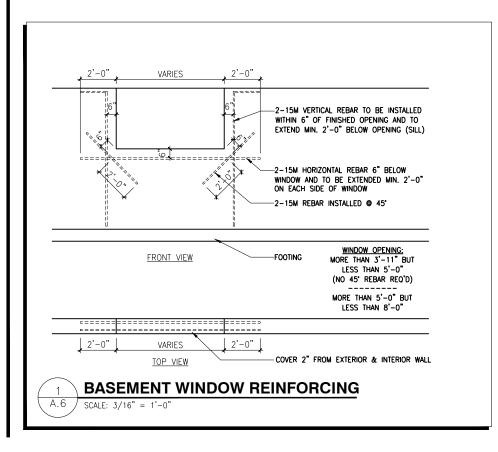
4 BEDROOM - ELEVATION A-B SCALE: 3/16" = 1'-0" xx/xx/xxxx

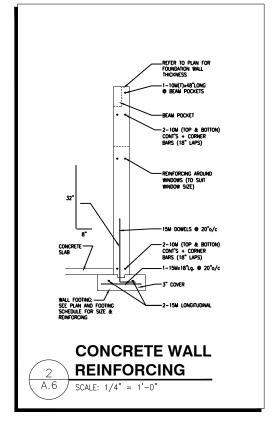
826 - THE BRADLEY 2022 FOOTPRINT

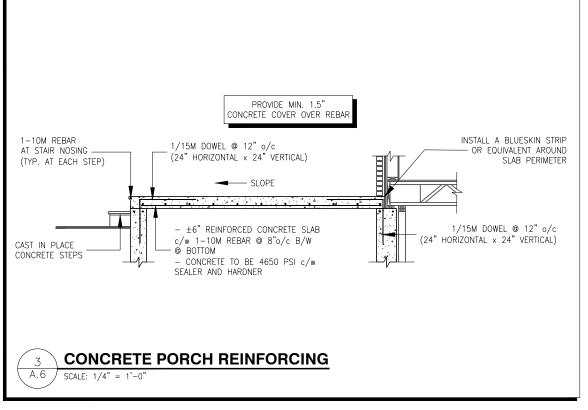
(STANDARD DRAWINGS)

A5a

		FOOTING S	SCHEDULE		
	ALLOWABLE SOIL BEARING C	APACITY / BEARING RESISTANCE /	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg	40"x8" DP. 15M(B)x36"Lg ⊚ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg ⊚ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/o 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/o 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/o 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/o 3-15M(B) LONG.
	P.A	D FOOTING SCHEDU	LE		
	ALLOWABLE SOIL BEARING C	APACITY / BEARING RESISTANCE A	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 7 LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 2 LG. e/w







NOTES:

BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- INSTRUCTIONS;
- SHOULD HAVE 6% (±1%) AIR ENTRAINMENT - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- MODEL AND ARCHITECTURAL SPECIFICATION

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC

LOT: **7 PST7** DATE: 06/30/2023

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = 1.200 \times 100 \times 100$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2 1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- $\mbox{\scriptsize \bullet}$ IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-2x4 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)
- * POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD)* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
 ONTARIO BUILDING CODE:

 SHALL HAVE A VISUAL SIGNALING DEVICE;

 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON IO DESCRIPTION

FOOTING TABLE & DETAILS

3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

A6

NOTES: - ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- ${\sf -}$ CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 16" 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

LOT: **7 PST7** SINGLE DWELLING STAIRS: RISER = 5" MIN / 7-7/8" MAX DATE: 06/30/2023 RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN : HEADROOM = 6'-5" MIN PERSONAL BCIN #19896 THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. **AREA** STEEL LINTEL: 100x90x8 = L 125x90x8 L 125x90x10 L 200x100x12 S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3* ADJUSTABLE STEEL COLUMN
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P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*) (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED) * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS THE GEOTECHNICAL ENGINEER. $45'-8\frac{1}{2}"$ $5' - 7\frac{1}{2}$ " $45'-0\frac{1}{2}"$ $4' - 1\frac{1}{2}$ " $39'-0\frac{1}{2}"$ 6'-8' EFER TO FLOOR JOIST A5a 2'-10" AYOUT PLAN FOR STAIR 56"x30" window PENINGS AND SILL PLATE **EXCAVATED** — SLEEVE 12'-51" 58"x31" RSO LOCATION WF7 LINE OF WEEPER TILE COMPACT ALL FILL WF6 LVL (SEE JOIST PLAN) TUB POURED CONCRETE STORM SLAB 25Mpa ON 6 MIL WATER OUTLINE OF POLY ON 8" CRUSHED DECK AND STONE ON UNDISTURBED BATHROOM STAIRS ABOVE WATER UNFINISHED -CHECK FOUNDATION VALVE BASEMENT RECREATIONAL WALL 6" DOWN WF6 ROOM FOR INVERTED STEP CONCRETE 2₹ TORLYS WF7 WF7 $10' - 0\frac{3}{4}$ " $16'-0\frac{3}{4}$ (1) 1.75" x 11 7/8"— $10'-2\frac{1}{2}"$ LVL (FLUSH) W250x45 STEEL BEAM (31'-10" LONG) (DROP) C/W 10MM STIF PLATE AND HVAC 2"x6" TOP PLATE RAMSET TO BEAM WF6 2'-0" (1) 1.75" x 11 7/8" LVL (FLUSH) PROVIDE T.S.P. -MIN. SOIL BEARING DRAIN FOR -DWH 0.80 EF WF7 CAPACITY TO BE CONFIRMED FURNACE BY SOIL ENGINEER DWHR 42%- $19' - 8\frac{1}{2}$ " $10' - 2\frac{1}{2}$ " (F1) DRAIN FOR-FUTURE SIN -3'-5"-DRAIN FOR HRV WF7 CAPPED WATER MECHANICAL LINES FOR FUTURE SIN ROOM COMPACT ALL FILL 2012 O.B.C. DRAWINGS **EXCAVATED AREA** LVL (SEE JOIST PLAN) WF6 WF7 56"x30"-window WF7+4" INSTALL 6 MIL POLY VAPOUR BARRIER -SLEEVE $9'-4\frac{1}{2}"$ 58"x31" RSO ON TOP OF FLOOR JOISTS BEFORE $7'-4\frac{1}{2}"$ 13'-2" INSTALLING FLOOR SHEATING CALLK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" 19'-8<u>1</u>" $31'-2\frac{1}{2}$ " O.S.B. UNDER SIDE OF JOISTS C/W -53'-1" TYVEK HOMEWRAP AND NON-VENTED

BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A. B

Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE I-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS. TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

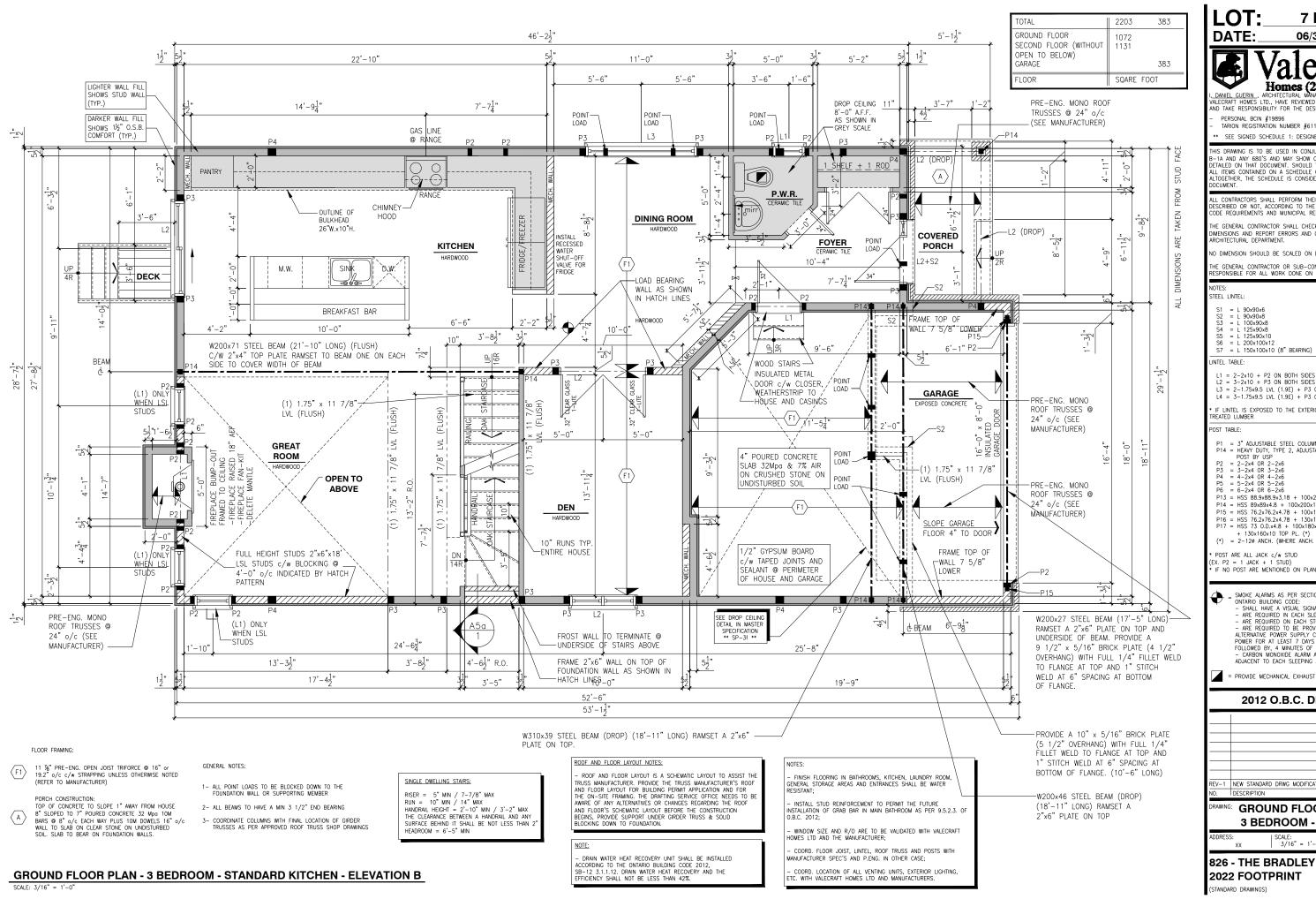
BASEMENT FLOOR PLAN 3 AND 4 BED. - ELEV. A, B

3/16" = 1'-0" XX/XX/XXX

826 - THE BRADLEY 2022 FOOTPRINT

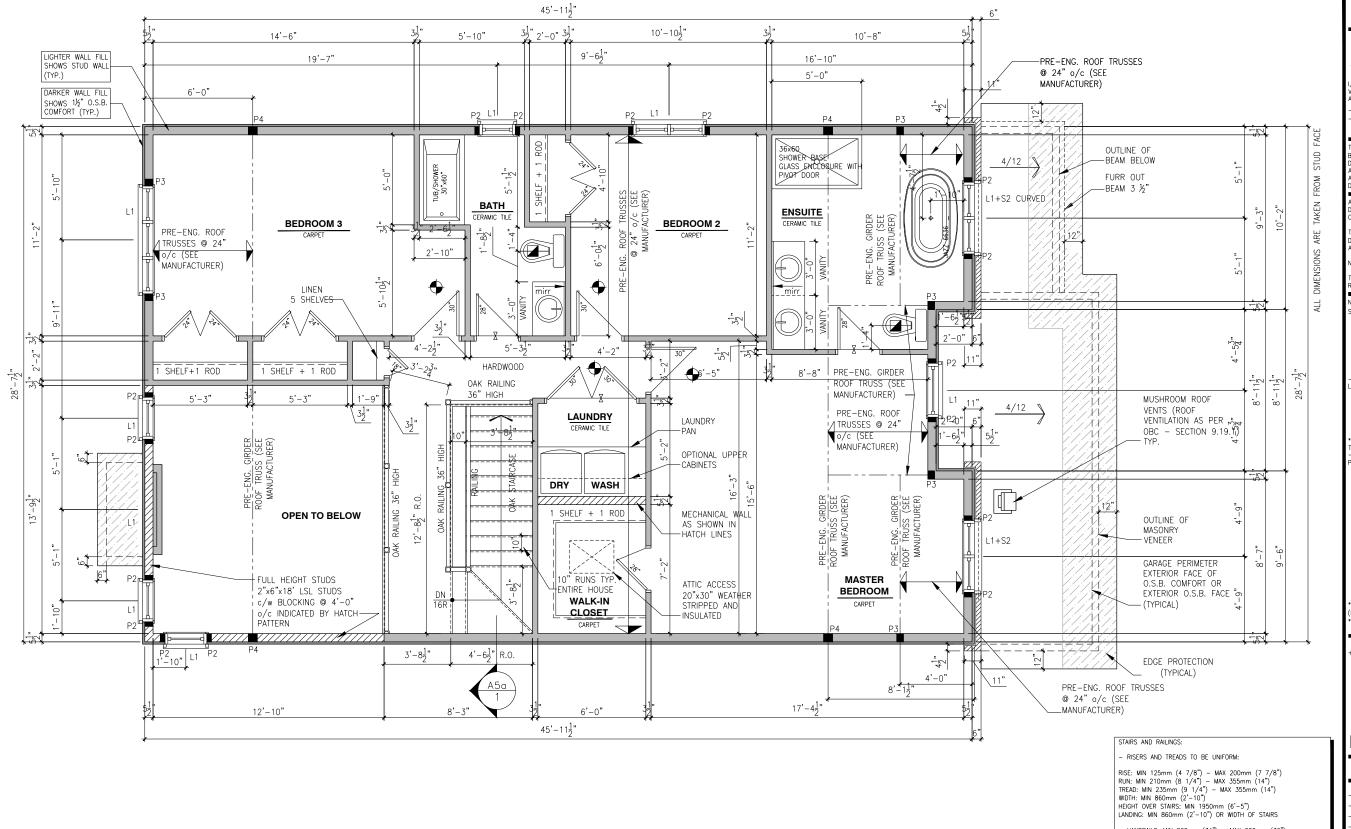
(STANDARD DRAWINGS)

A6a



7 PST7 06/30/2023 Homes (2019) Limited <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM IIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING LL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER ESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING IE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S NO DIMENSION SHOULD BE SCALED ON DRAWINGS THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. S7 = L 150x100x10 (8" BEARING) L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x47.8 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130x160x10 TOP PL. (*) (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED) IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 ARP REQUIRED IN ACCH SLEEPING ROOM AND HALLWAY;
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A7b



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX HANDRAIL HEICHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2 HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING, THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012 SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE FFICIENCY SHALL NOT BE LESS THAN 42%.

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT IOMES LTD AND THE MANUFACTURER;

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

COORD, LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING. ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6' 070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0 (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") I

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: **7 PST7** DATE: 06/30/2023 Homes (2019) Limited

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PERSONAL BCIN #19896

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL:

= L 90x90x6 = L 90x90x8 = L 100x90x8

= L 125x90x8 = L 125x90x10

L 200x100x12 S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

 $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3* ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)

(*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYO

RAWING: SECOND FLOOR - 3 BED.

ELEV. B (ENSUITE UPGRADE)

3/16" = 1'-0" XX/XX/XXX 826 - THE BRADLEY

2022 FOOTPRINT

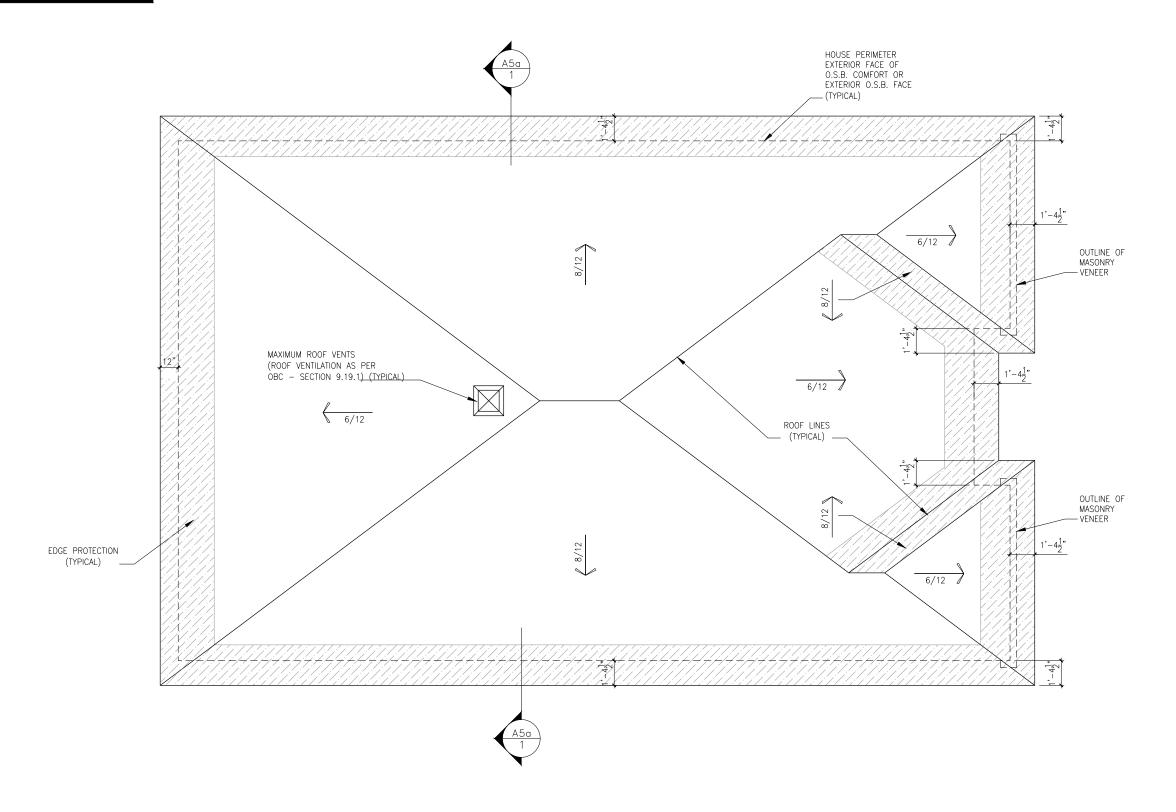
STANDARD DRAWINGS)

A8f

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (ENSUITE UPGRADE)

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE - NOUF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT IN ASSIST INE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING, THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - 4 BEDROOM -ELEVATION B

LOT: **7 PST7** DATE: 06/30/2023

Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES	
STEEL	LIN

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

- $S6 = 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-244 OR 2-246 P3 = 3-244 OR 3-246 P4 = 4-244 OR 4-246 P5 = 5-244 OR 5-246 P6 = 6-244 OR 6-246 P13 = HSS 88.988.943.18 + 100x200x12 T&B PL (*)

- P13 = HSS 88.9884.94.8 + 100x200x12 T&B PL (*)
 P14 = HSS 88x984.8 + 100x200x12 T&B PL (*)
 P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL (*)
 P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL (*)
 P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
 (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



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 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
	DECODIDITION	DATE	507

ROOF PLAN

3 & 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0" xx/xx/xxxx

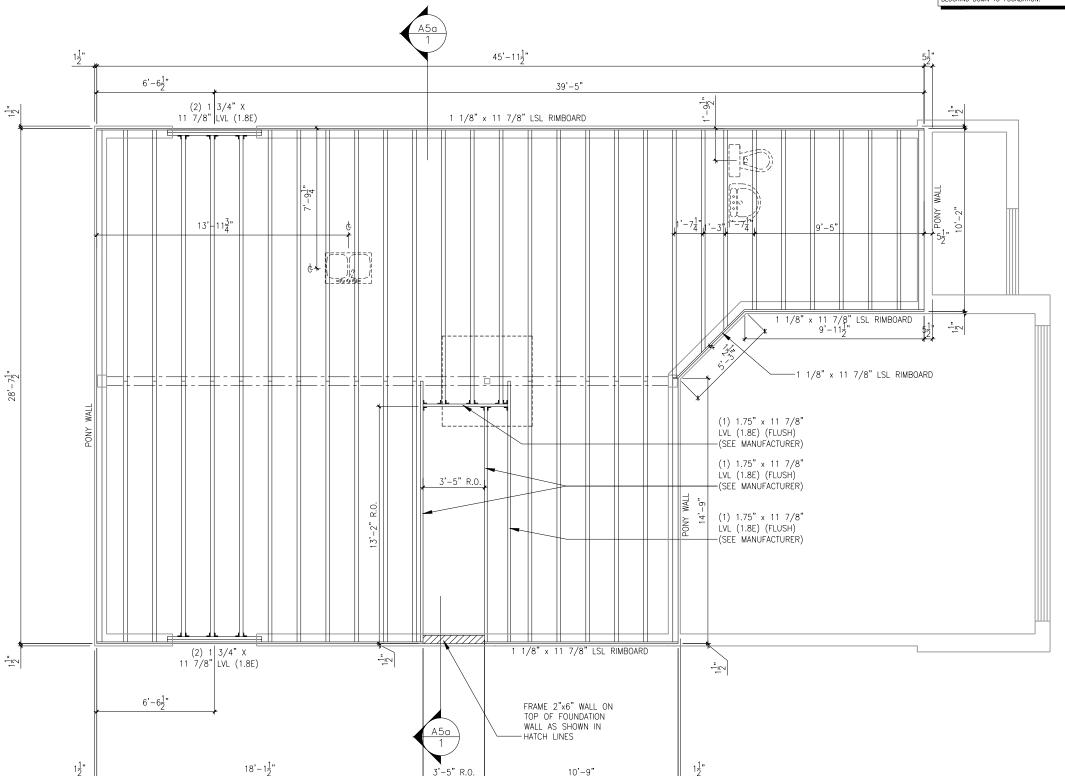
826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A9b

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



LOT: **7 PST7** DATE: 06/30/2023

Homes (2019) Limited

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- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

NO DESCRIPTION

DRAWING: GROUND - JOIST LAYOUT 3 AND 4 BED. - ELEV. A AND B

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" xx/xx/xxxx

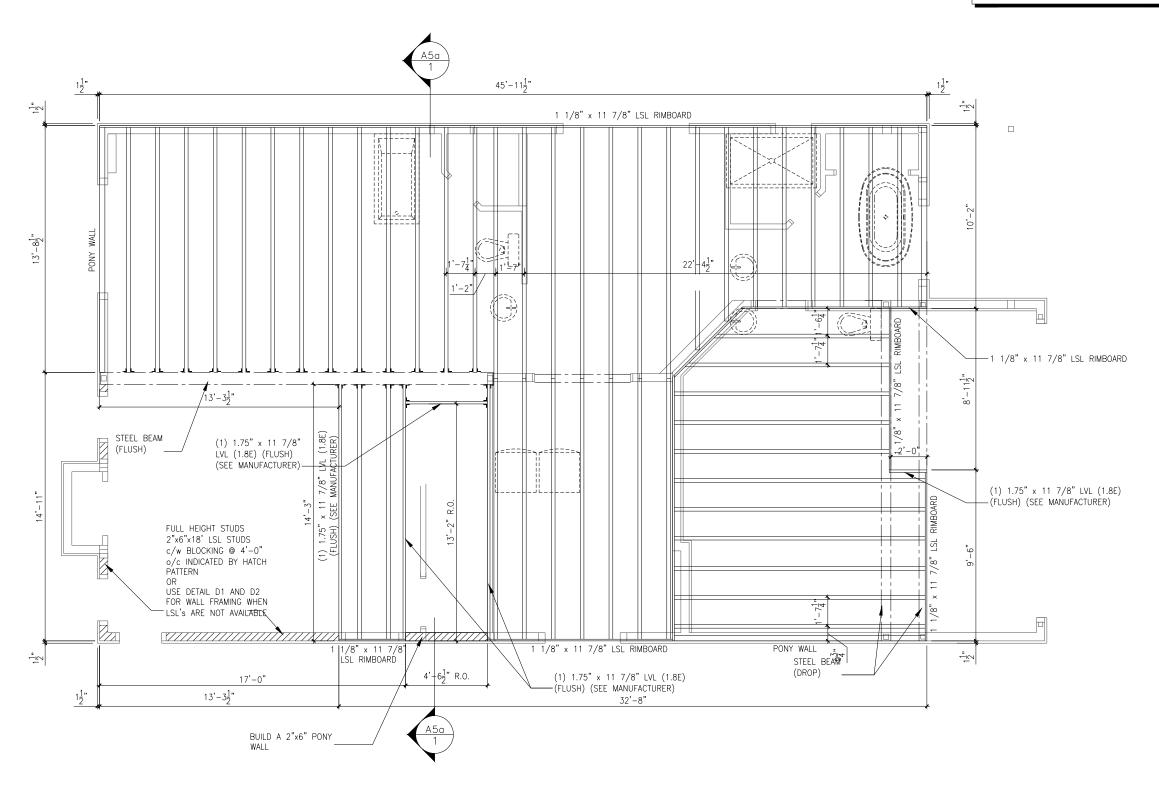
A10a

826 - THE BRADLEY 2022 FOOTPRINT

GROUND FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - STANDARD KITCHEN - ELEVATION A AND B

ROOF AND FLOOR LAYOUT NOTES:

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SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOY
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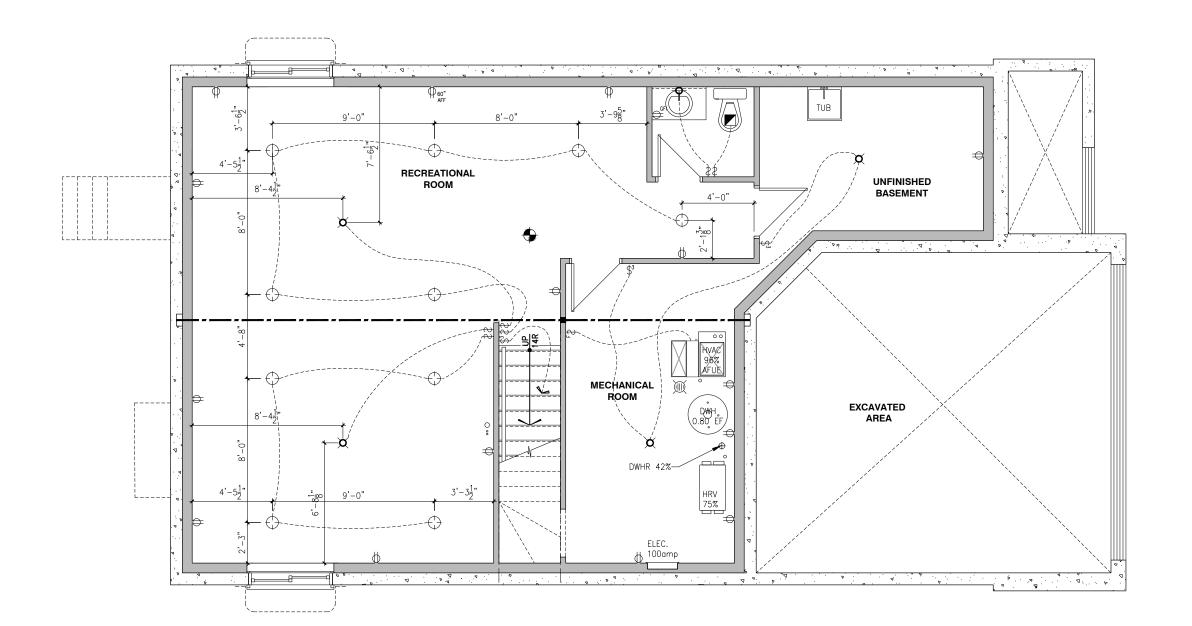
2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B

RESS: |SCALE: XX| |SCALE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A11b



LOT: **7 PST7** DATE: 06/30/2023

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOY
NO	DESCRIPTION	DATE	RY

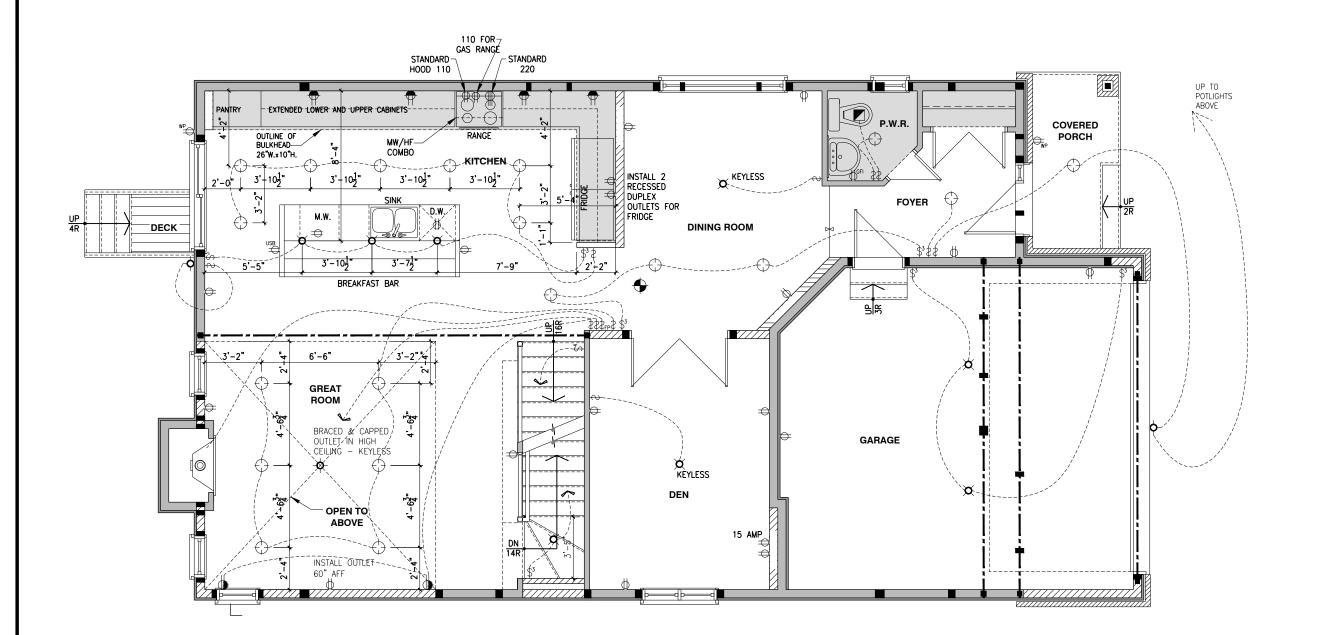
ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.1



LOT: **7 PST7** DATE: 06/30/2023 Homes (2019) Limited I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. - PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM * HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT. ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. \$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH \$FP FIREPLACE SWITCH DUPLEX OUTLET (12" HIGH) DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT weather proof duplex outlet SPLIT OUTLET 220 VOLT OUTLET -O- WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE POT LIGHT = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE RECOURED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. = PROVIDE MECHANICAL EXHAUST TO OUTSIDE COLO O D O DDAWINGO

	2012 O.B.C. DRAWINGS				
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYO		
NO.	DESCRIPTION	DATE	BY		

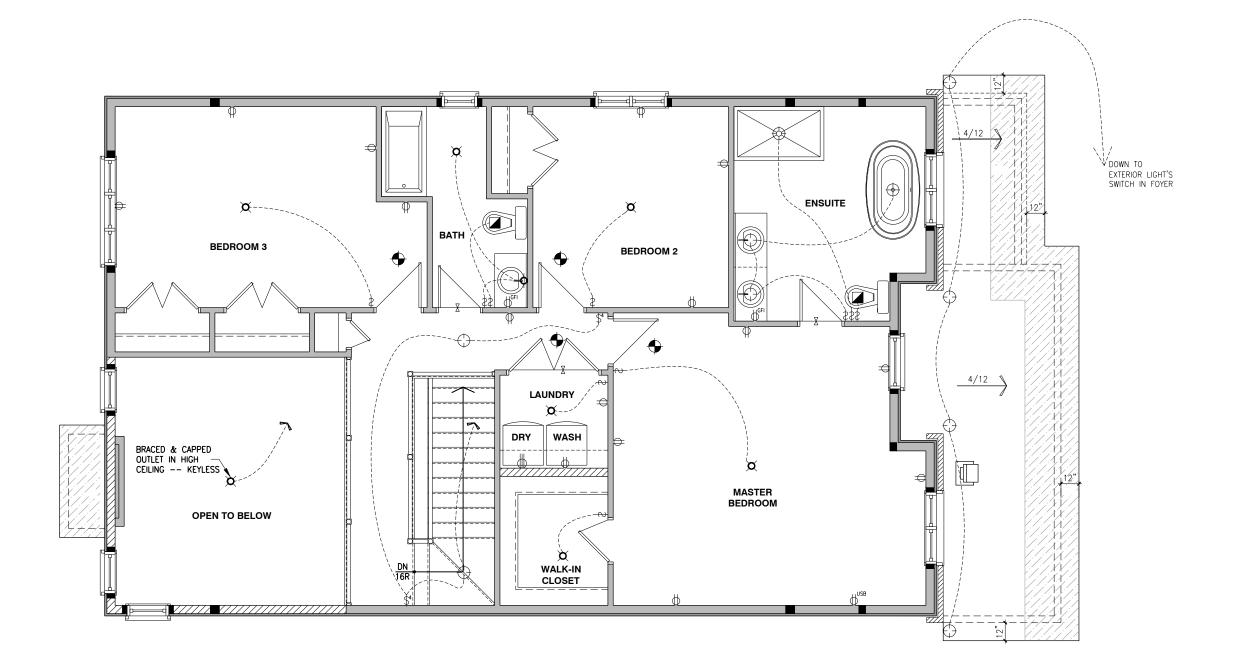
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

SS: | SCALE: | DATE: | XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

IT E.2b



LOT: **7 PST7** DATE: 06/30/2023

I, DANIEL CUERIN., ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE RECOURED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN **GROUND FLOOR - ELEV. B**

SCALE: 3/16" = 1'-0" xx/xx/xxxx

E.3d

826 - THE BRADLEY 2022 FOOTPRINT