

LOT: 20 PST7

DATE: 04/08/2025



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

3 BEDROOM:

GROSS INSULATED = 293 M. SQ.  
WALL AREA

GROSS WINDOW = 29.1 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 9.9%

4 BEDROOM:

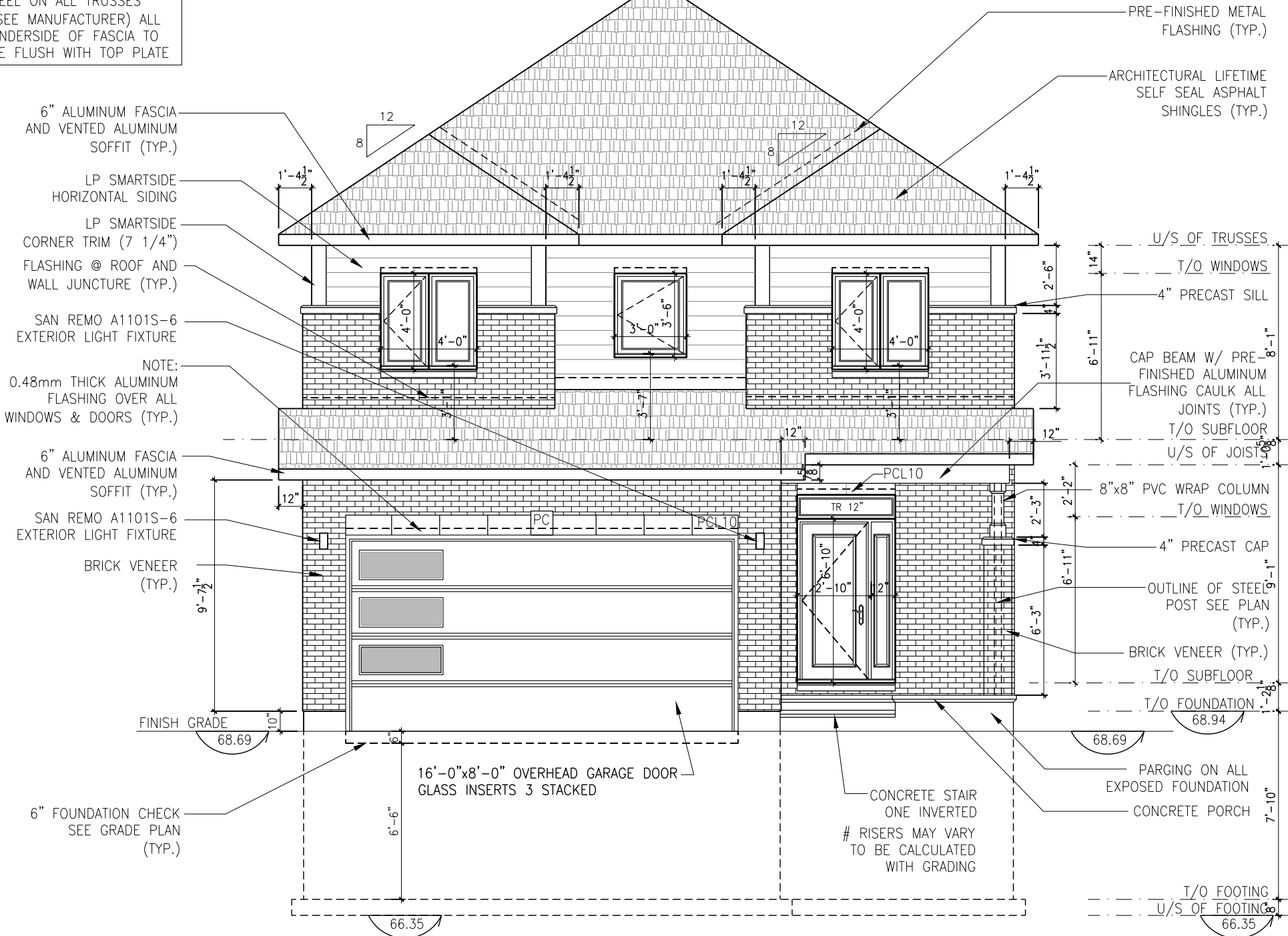
GROSS INSULATED = 293 M. SQ.  
WALL AREA

GROSS WINDOW = 26.4 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 9%

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



FRONT ELEVATION - 3 AND 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

2024 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-2	OBC 2024		04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION		01/12/2022	DOYON

DRAWING: FRONT ELEVATION - 3 AND 4  
BEDROOM - ELEVATION B

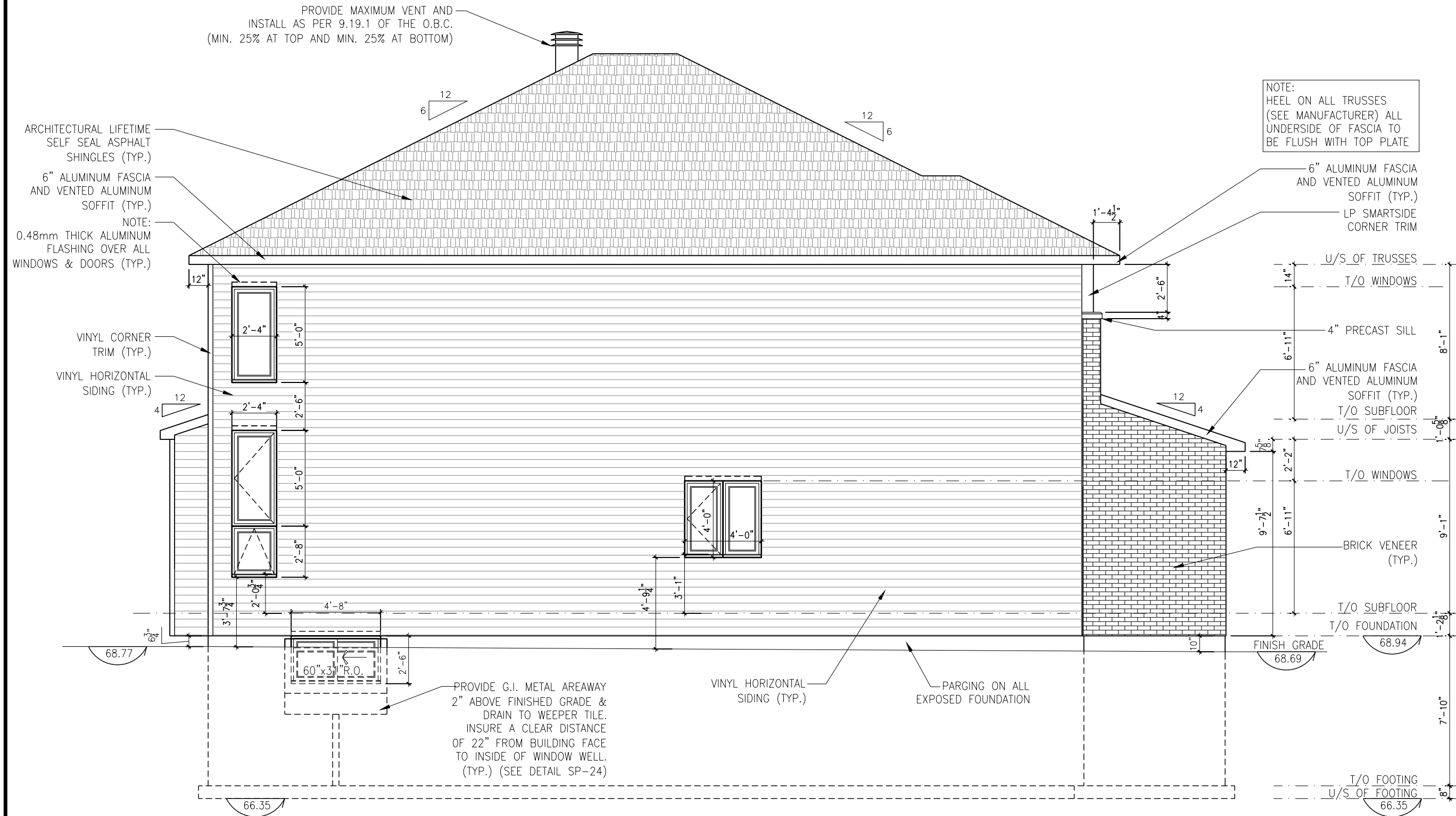
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A1b



LEFT ELEVATION - 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: 20 PST7

DATE: 04/08/2025



**Valecraft**  
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

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DRAWING: **LEFT ELEVATION**  
**3 BEDROOM - ELEVATION B**

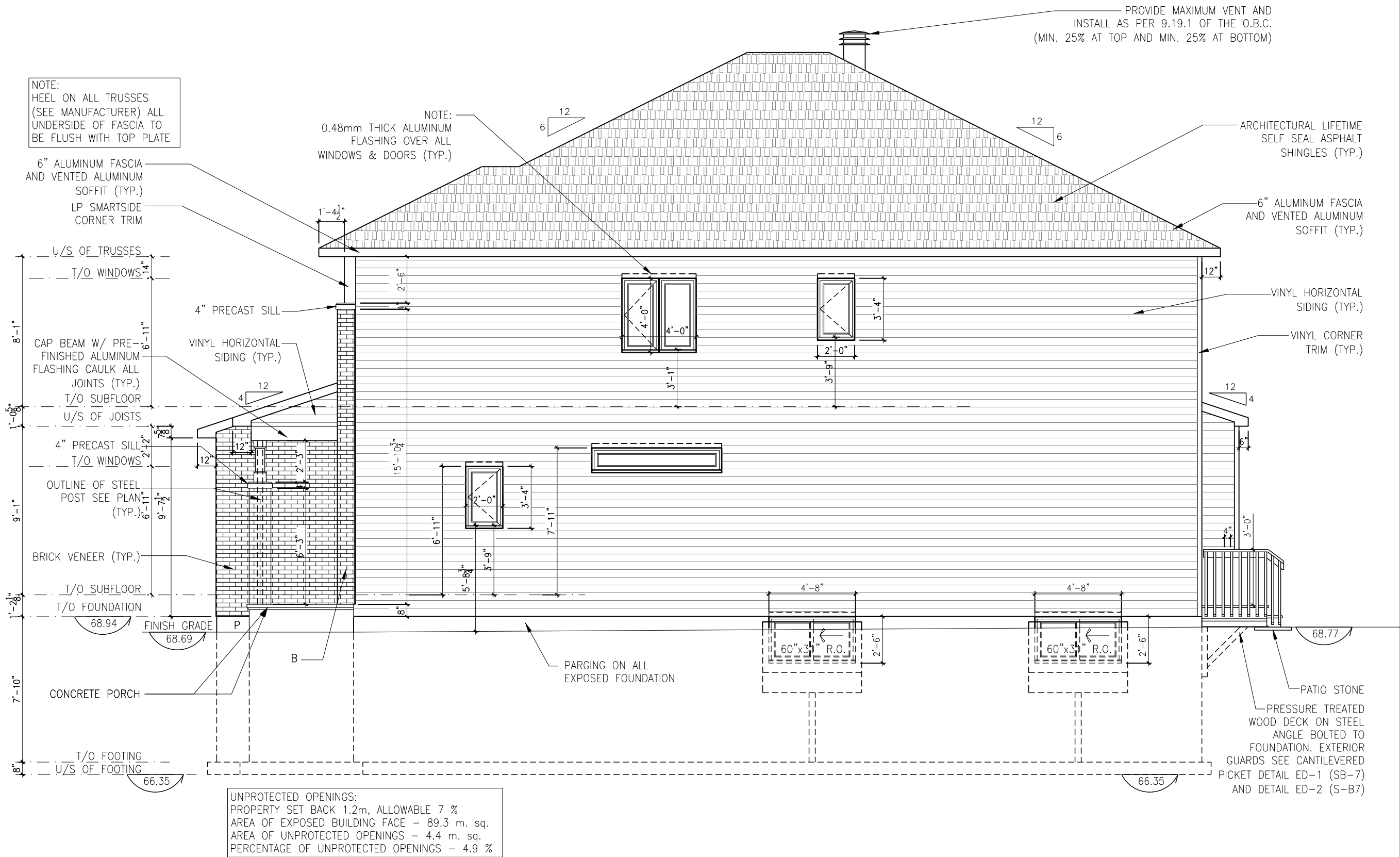
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**826 - THE BRADLEY**  
**2025 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A2b**



RIGHT ELEVATION - 3 AND 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: 20 PST7  
DATE: 04/08/2025



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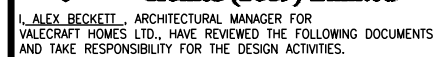
3 AND 4 BEDROOM - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A3b

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[illegible]

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NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION**  
**3 BEDROOM - ELEVATION B**

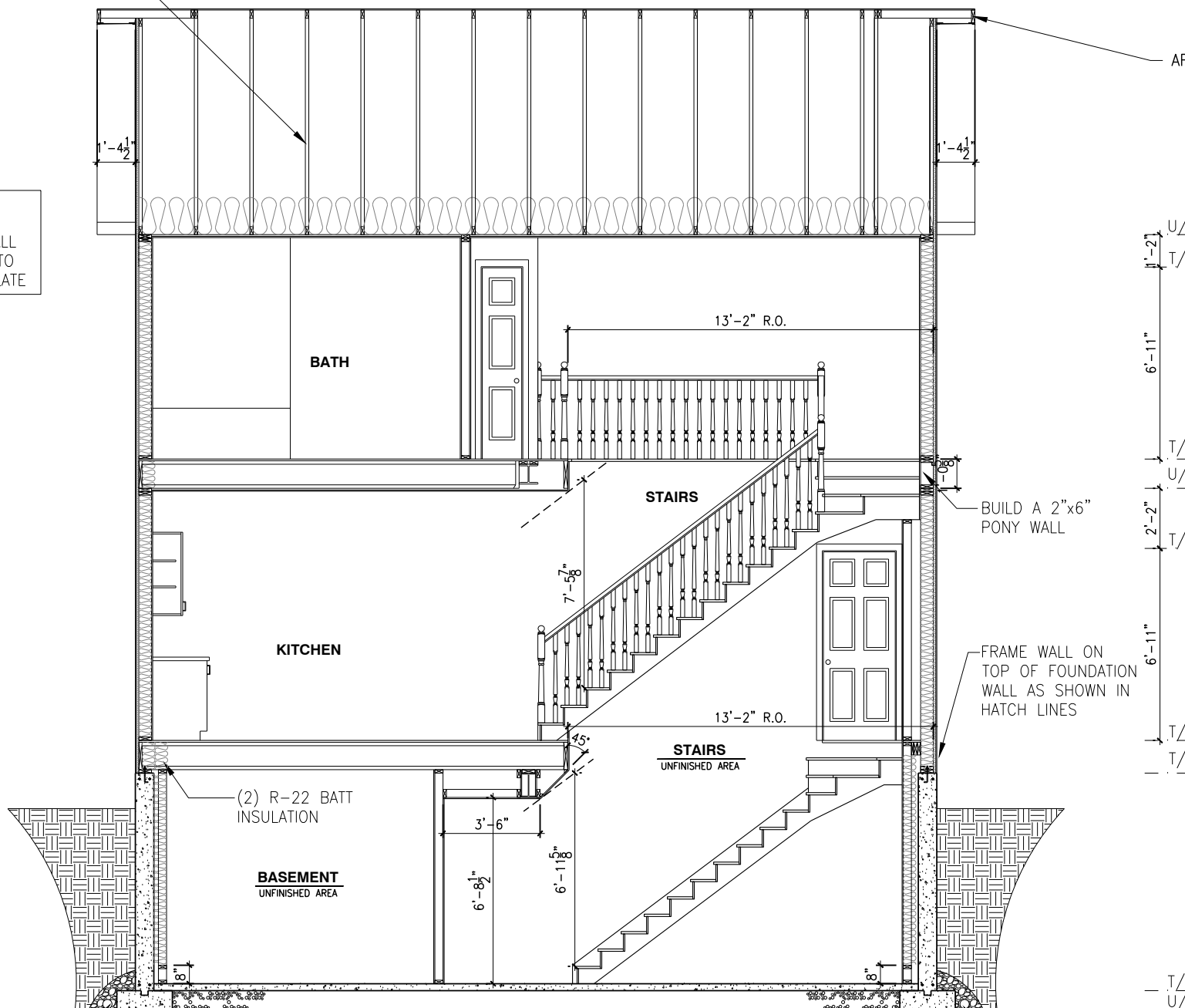
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**826 - THE BRADLEY**  
**2025 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A4b**

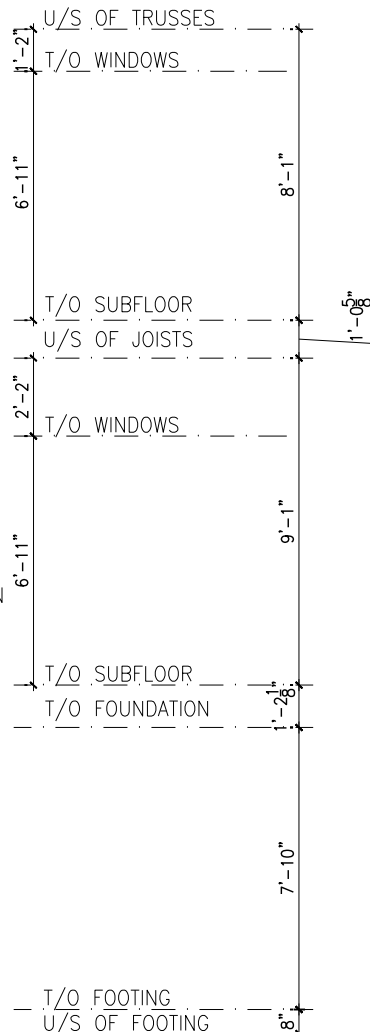
PRE-ENGINEERED ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)  
PRE-ENGINEERED CONTINUOUS BRACING (SEE MANUFACTURER)

NOTE:  
HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE



4" Ø PERFORATED WEeping TILE WITH SOCK C/W 6" CRUSHED STONE COVER

SINGLE DWELLING STAIRS:  
RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN



4" Ø PERFORATED WEeping TILE WITH SOCK C/W 6" CRUSHED STONE COVER

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#### EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7/4" LAP

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REV-2	OBC 2024		04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION		01/12/2022	DOYON

#### DRAWING: BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A5a**

#### BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B

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  - B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
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  - B4 - STACK BOND (ACCENT)
  - B5 - BRICK SILL (ACCENT)
  - B6 - BRICK ROW LOCK (ACCENT)
  - B7 - BRICK CORBELLING
  - B8 - BRICK COINING 20mm PROUD
  - +20 - BRICK 20mm PROUD
  - 20 - BRICK 20mm RECESSED
  - S - SIDING (HORIZONTAL)
  - SV - SIDING (VERTICAL)
  - ST - STONE VENEER
  - T - TRIM 200mm COVE SIDING
  - AF - ALUMINUM FASCIA
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  - AS - ASPHALT SHINGLES
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  - P - PARGING
  - PC - PARGING
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  - PCB - PRECAST BAND
  - VS - VINYL SHAKES
  - VEC - SIDING (VERTICAL CORNER)
  - KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2024 O.B.C. DRAWINGS

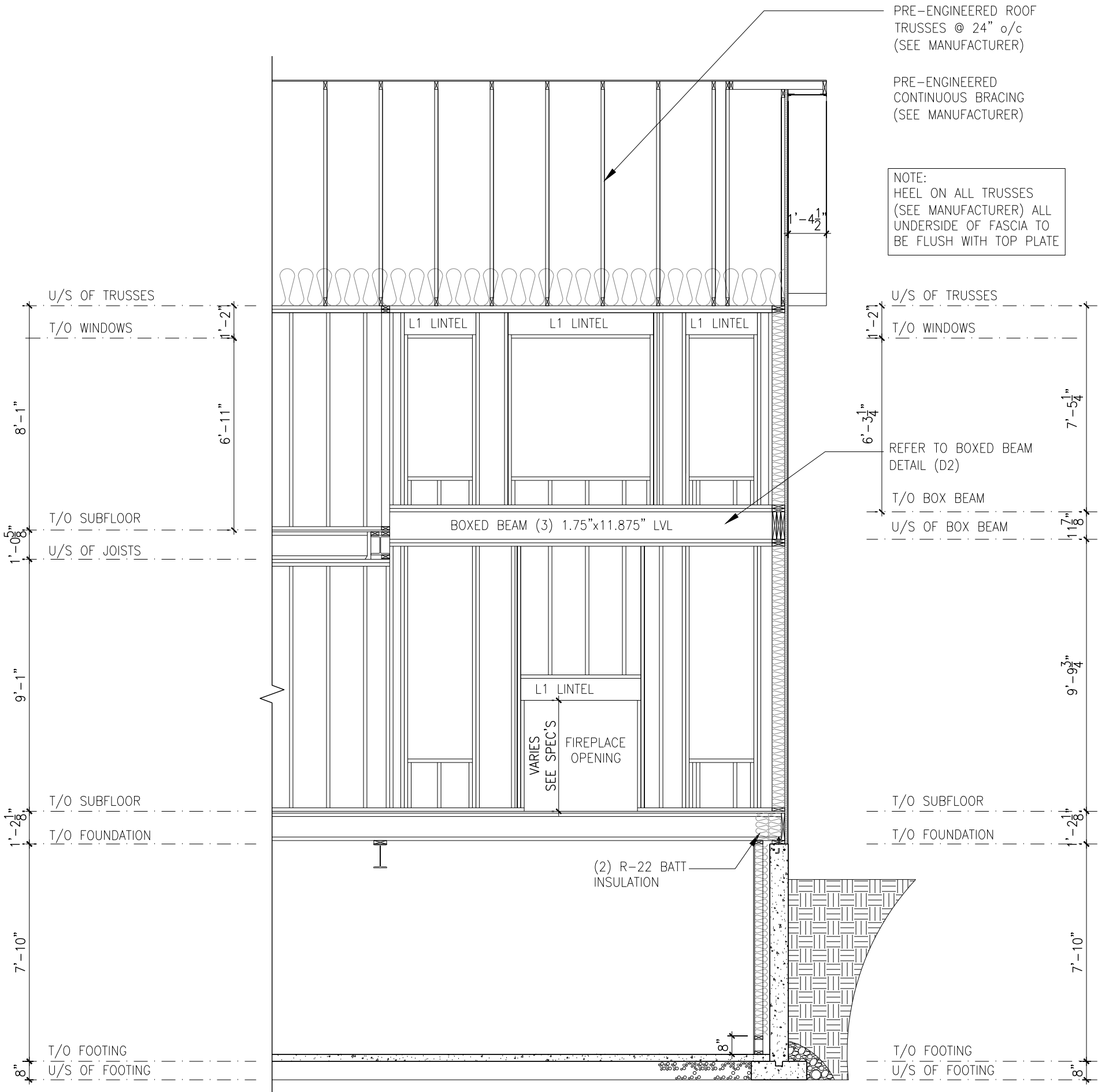
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REAR WALL DETAIL

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

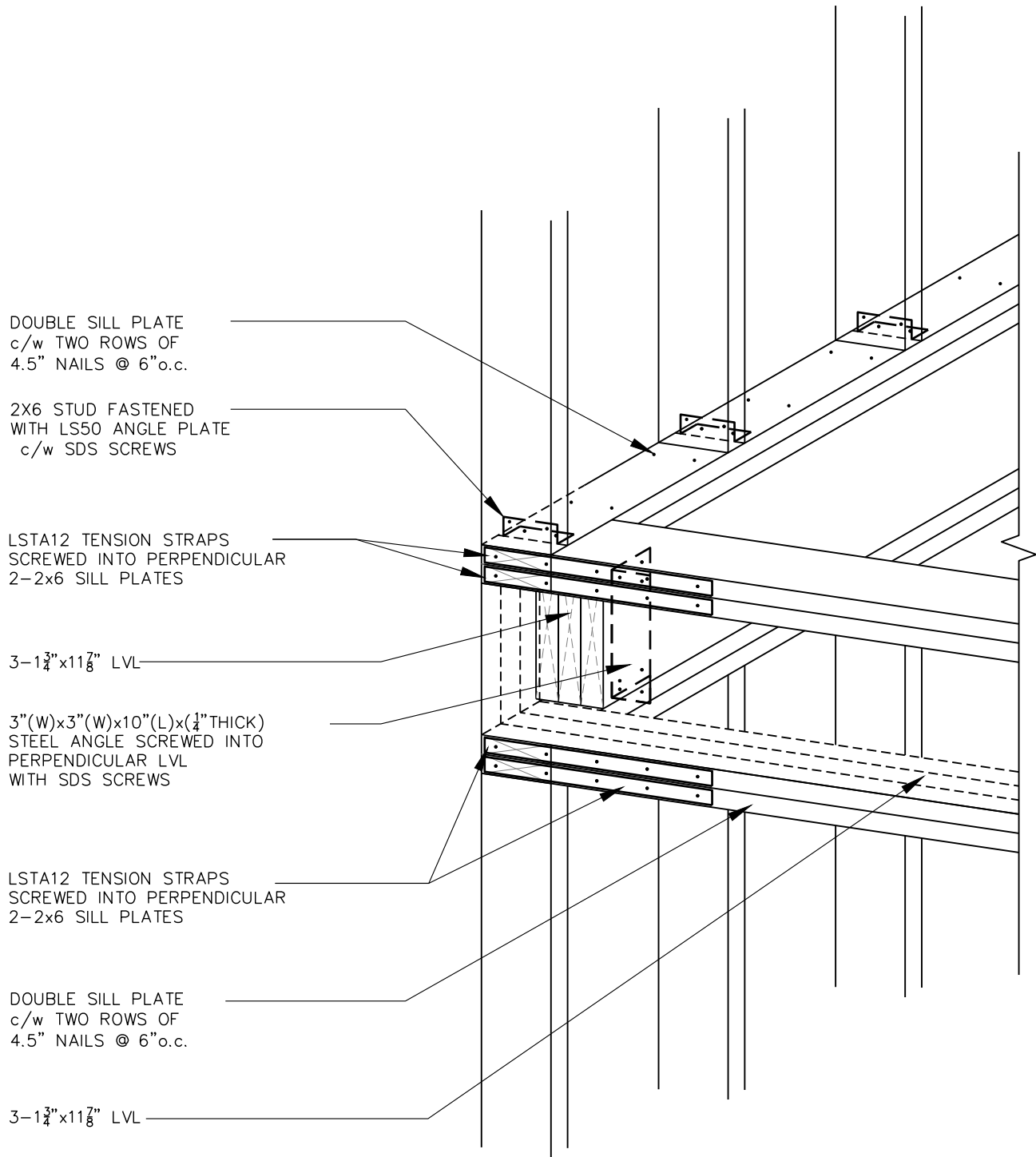
FRAMING DETAIL - REAR FULL HEIGHT WALL

SCALE: 1/4" = 1'-0"



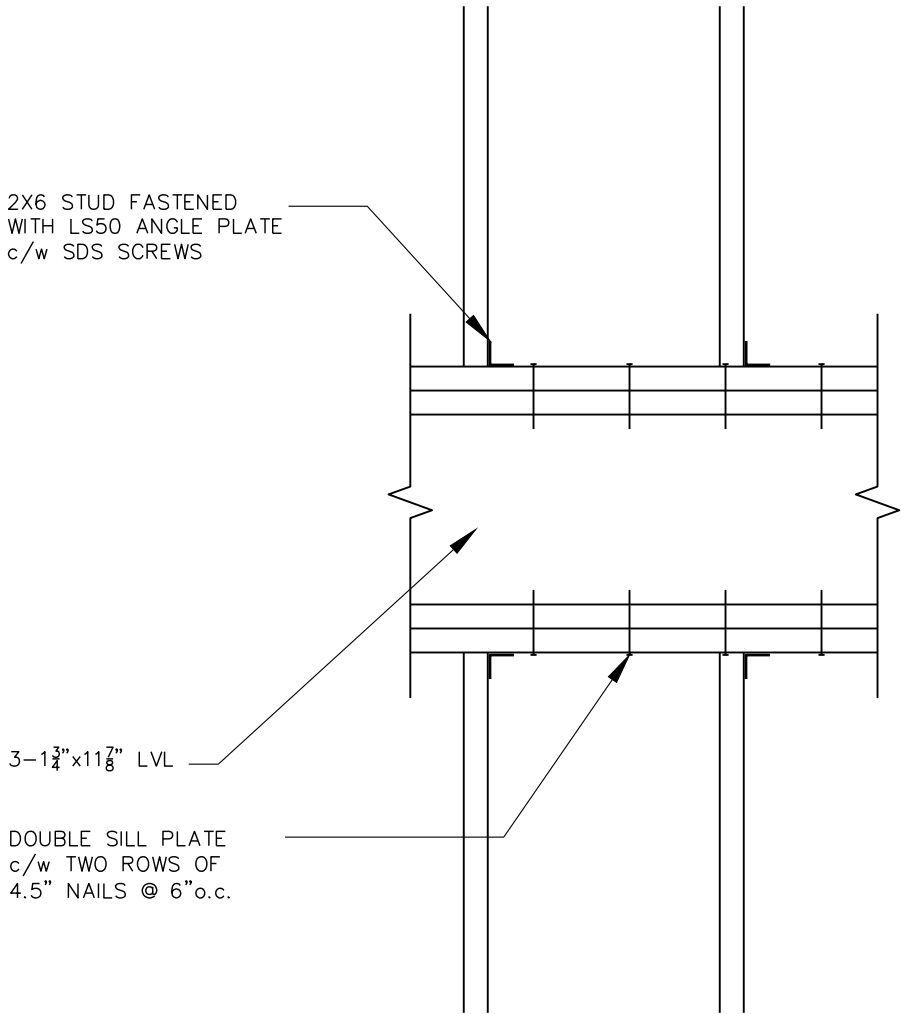
**BOX BEAM FRAMING DETAIL - REAR FULL HEIGHT WALL**

SCALE: 1/2" = 1'-0"



**BOX BEAM AT CORNER**

SCALE: 1/2" = 1'-0"



**BOX BEAM PARTIAL ELEVATION**

SCALE: 1/2" = 1'-0"

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- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
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**BOX BEAM FRAMING DETAIL**

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**826 - THE BRADLEY  
2025 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**D2**

2'-0" VARIES 2'-0"

6" 6" 6" 6"

2'-0"

2-15M VERTICAL REBAR TO BE INSTALLED WITHIN 6" OF FINISHED OPENING AND TO EXTEND MIN. 2'-0" BELOW OPENING (SILL)

2-15M HORIZONTAL REBAR 6" BELOW WINDOW AND TO BE EXTENDED MIN. 2'-0" ON EACH SIDE OF WINDOW

2-15M REBAR INSTALLED @ 45°

FRONT VIEW

FOOTING

WINDOW OPENING:  
MORE THAN 3'-11" BUT LESS THAN 5'-0" (NO 45° REBAR REQ'D)  
-----  
MORE THAN 5'-0" BUT LESS THAN 8'-0"

2'-0" VARIES 2'-0"

TOP VIEW

COVER 2" FROM EXTERIOR & INTERIOR WALL

1  
A.6

**BASEMENT WINDOW REINFORCING**

SCALE: 3/16" = 1'-0"



**Valecraft**  
Homes (2019) Limited



NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

**BASEMENT NOTE:**

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
  - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
  - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

**FLOOR FRAMING:**

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORME @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

**GENERAL NOTES:**

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**SINGLE DWELLING STAIRS:**

RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

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**NOTES:**

**STEEL LINTEL:**

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x12 (8" BEARING)

**LINTEL TABLE:**

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2024 O.B.C. DRAWINGS**


REV-2	OBC 2024	04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

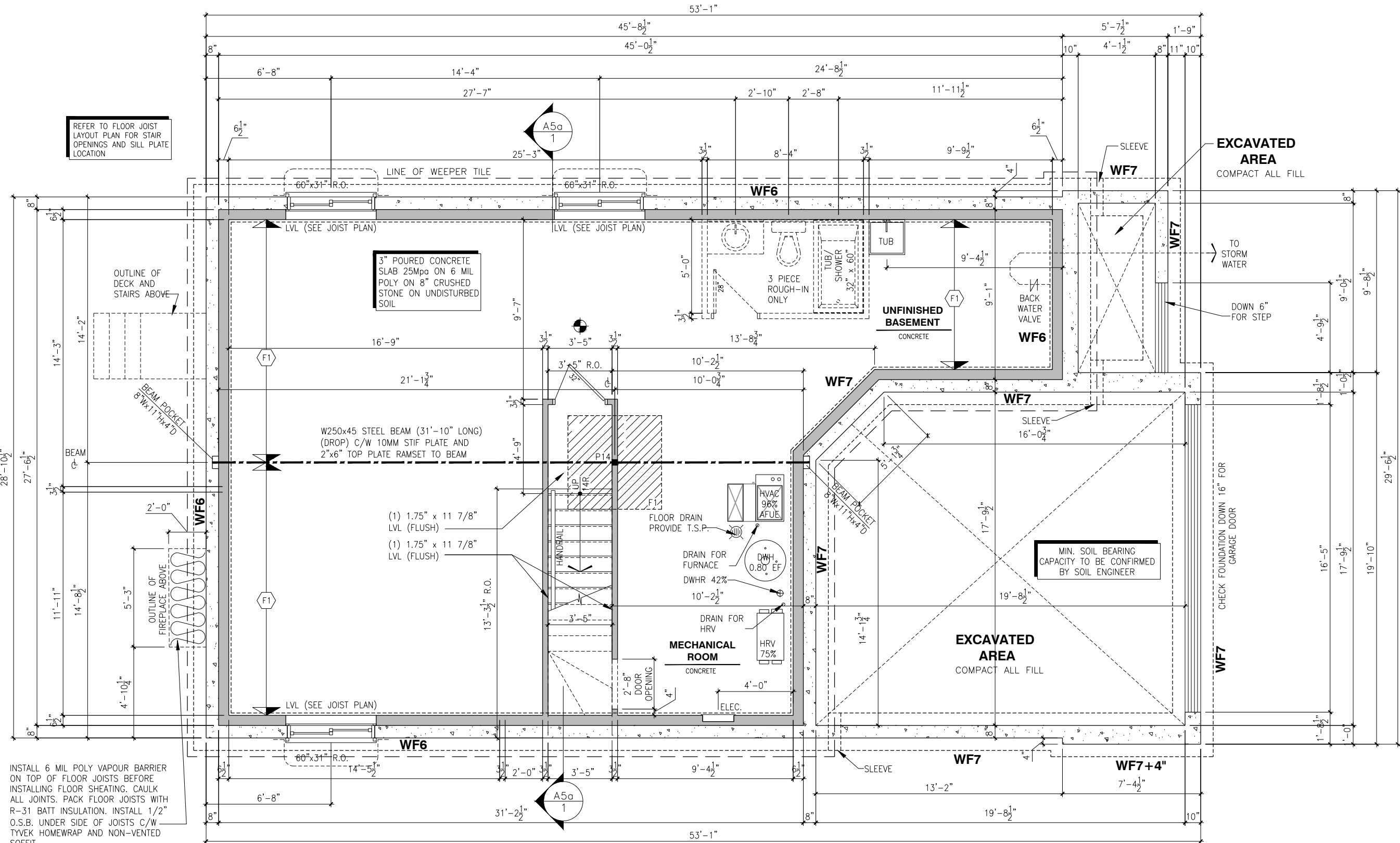
DRAWING: **BASEMENT FLOOR PLAN  
3 AND 4 BED. - ELEV. A, B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**826 - THE BRADLEY  
2025 FOOTPRINT**

(STANDARD DRAWINGS)

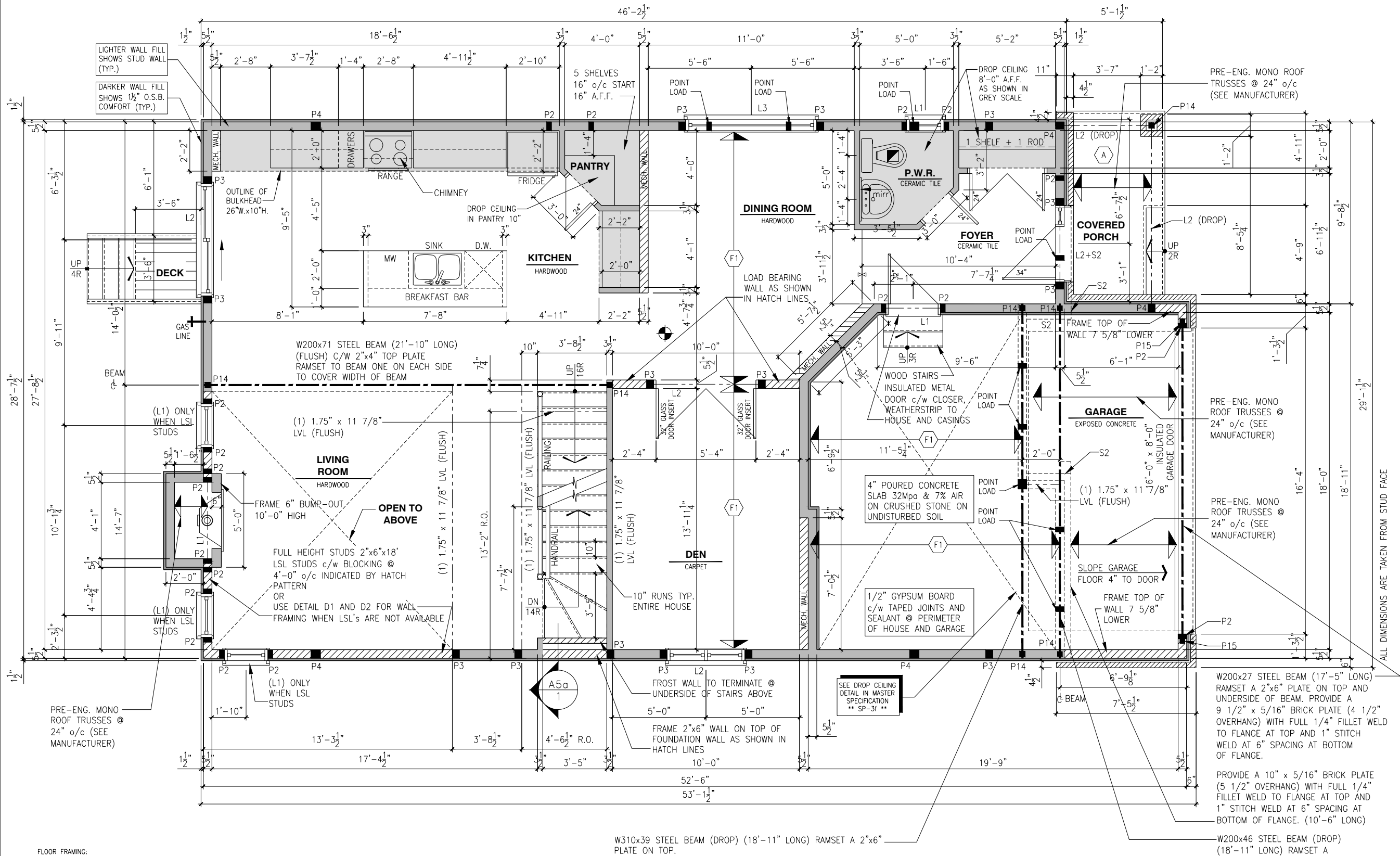
SHEET:  
**A6a**



INSTALL 6 MIL POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS BEFORE INSTALLING FLOOR SHEATING. CAULK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" O.S.B. UNDER SIDE OF JOISTS C/W TYVEK HOMEWRAP AND NON-VENTED SOFFIT

**BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B**

SCALE: 3/16" = 1'-0"



**GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B**

SCALE: 3/16" = 1'-0"

**GENERAL NOTES:**

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**ROOF AND FLOOR LAYOUT NOTES:**

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

**NOTE:**

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

**NOTES:**

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

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**PROVIDE MECHANICAL EXHAUST TO OUTSIDE**

**LOT: 20 PST7**

**DATE: 04/08/2025**

**Valecraft Homes (2019) Limited**

ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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**NOTES:**

**STEEL LINTEL:**

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S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
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S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

**LINTEL TABLE:**

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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**POST TABLE:**

P1	= 3" ADJUSTABLE STEEL COLUMN
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**2024 O.B.C. DRAWINGS**

REV-2	OBC 2024	04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN 3 BEDROOM - ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**826 - THE BRADLEY**

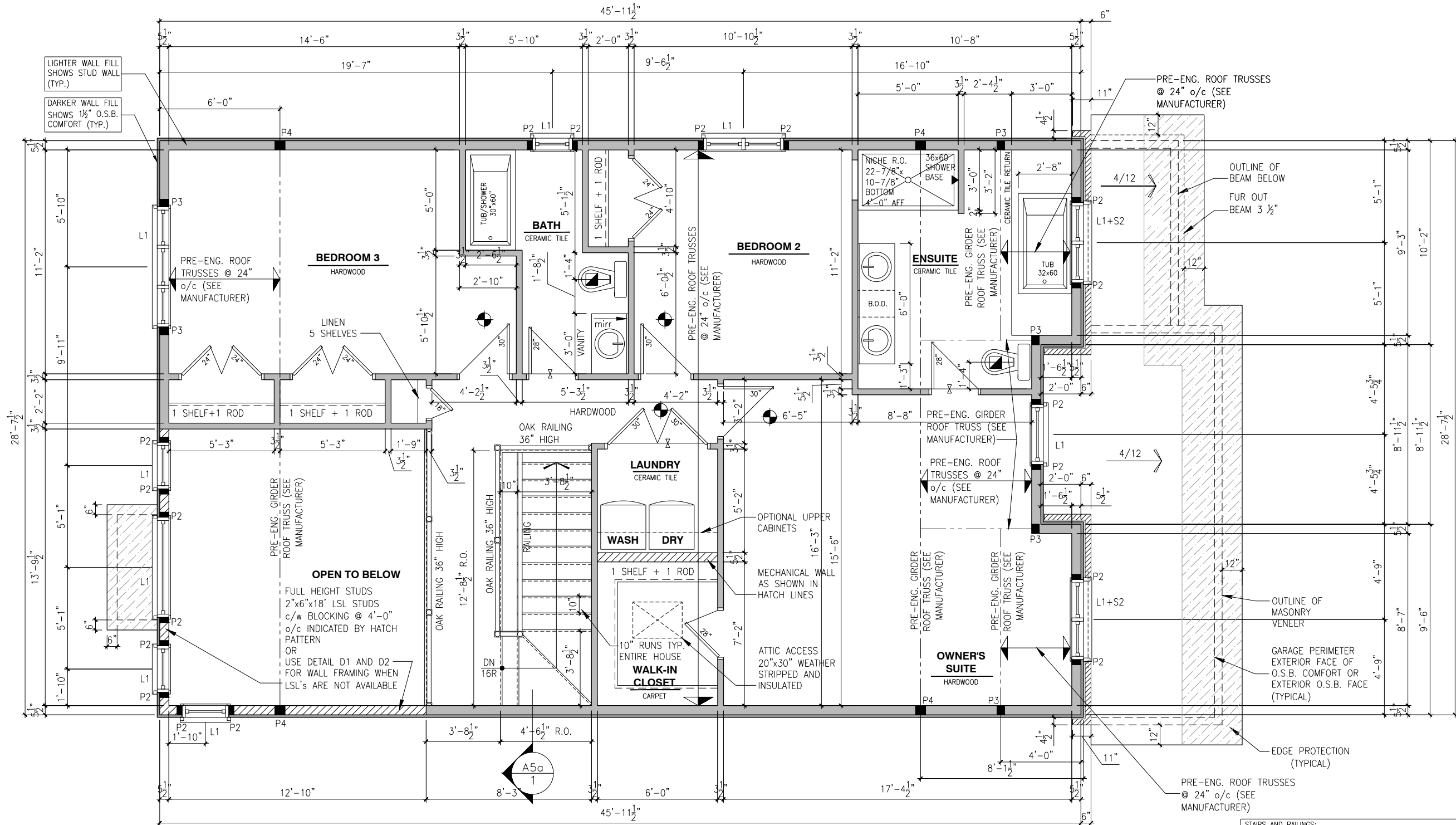
**2025 FOOTPRINT**

(STANDARD DRAWINGS)

**A7f**

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



**SINGLE DWELLING STAIRS:**

RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

**ROOF AND FLOOR LAYOUT NOTES:**

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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**STAIRS AND RAILINGS:**

– RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") – MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") – MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") – MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

– HANDRAILS: MIN 860mm (34") – MAX 900mm (36");

– GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

– INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

– MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

**LOT: 20 PST7**  
**DATE: 04/08/2025**



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

– PERSONAL BCIN #122537  
– TARIION REGISTRATION NUMBER #47491

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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2024 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-2	OBC 2024		04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION		01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. B (ENSUITE UPGRADE)**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

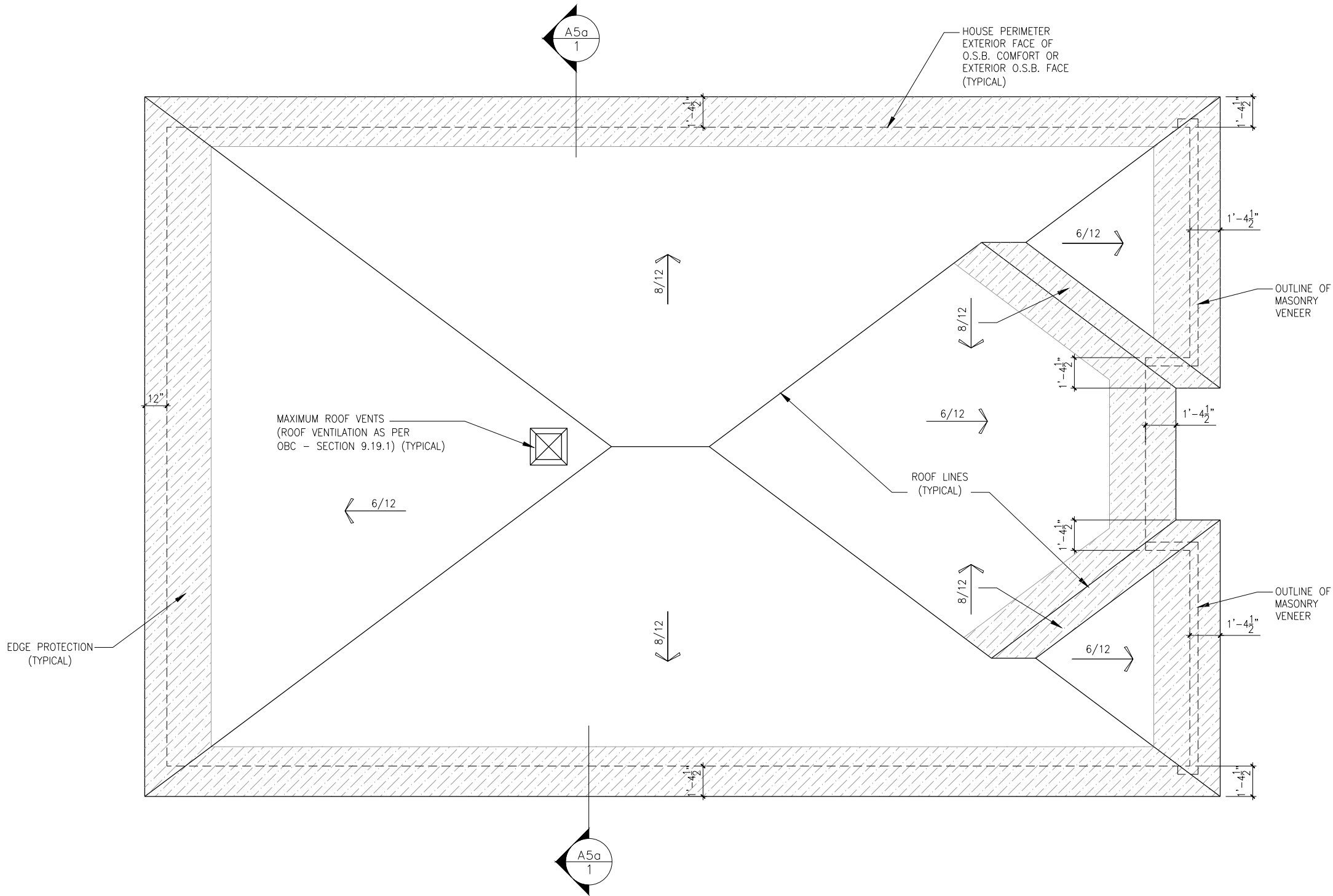
**826 - THE BRADLEY 2025 FOOTPRINT**

(STANDARD DRAWINGS)

**A8f**

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ROOF PLAN - 4 BEDROOM -ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: 20 PST7  
DATE: 04/08/2025



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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

## ROOF PLAN 3 & 4 BEDROOM - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A9b



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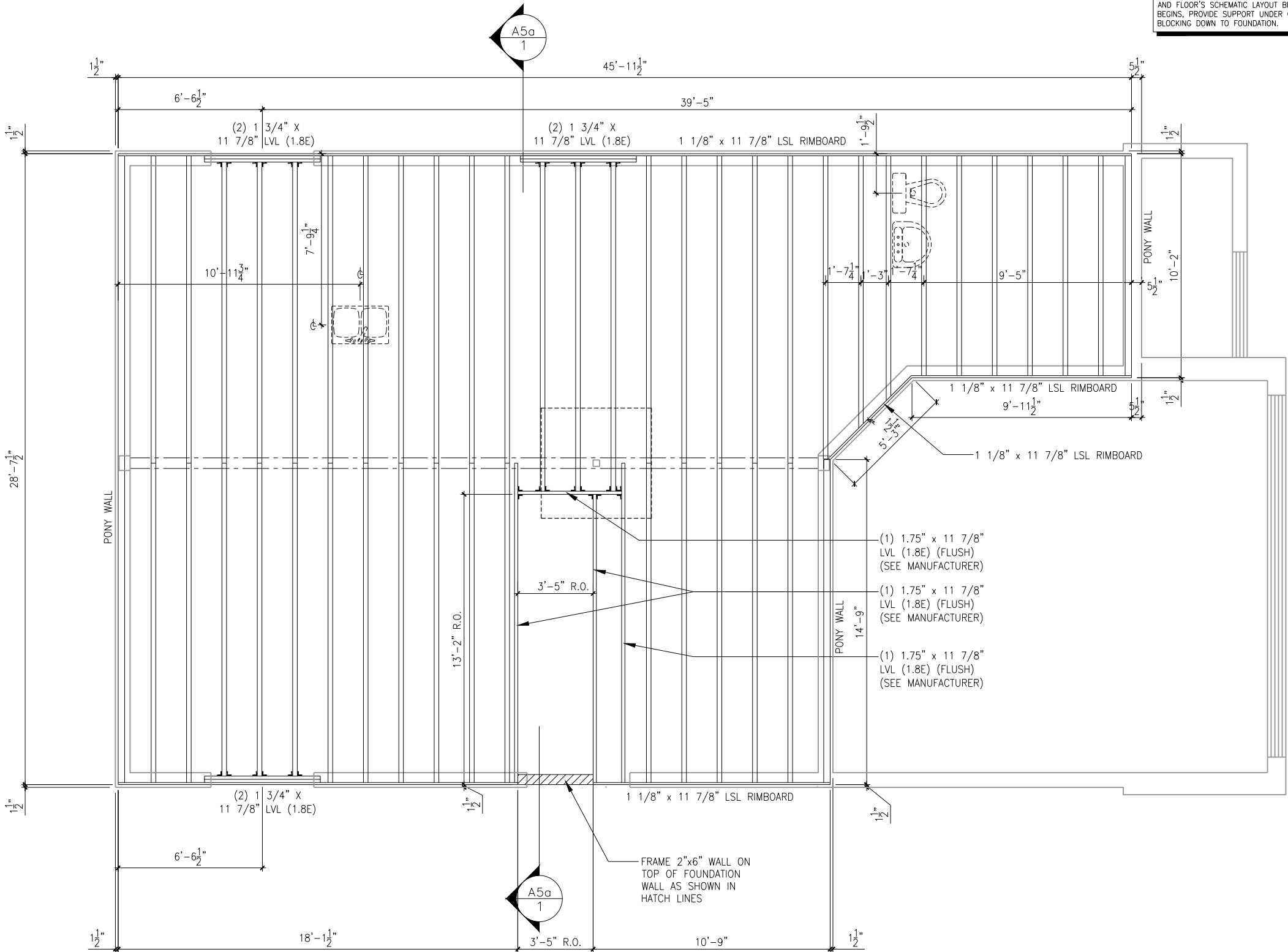
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GROUND FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2024 O.B.C. DRAWINGS


REV-2	OBC 2024	04/08/2025	AB
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NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT  
3 AND 4 BED. - ELEV. A AND B

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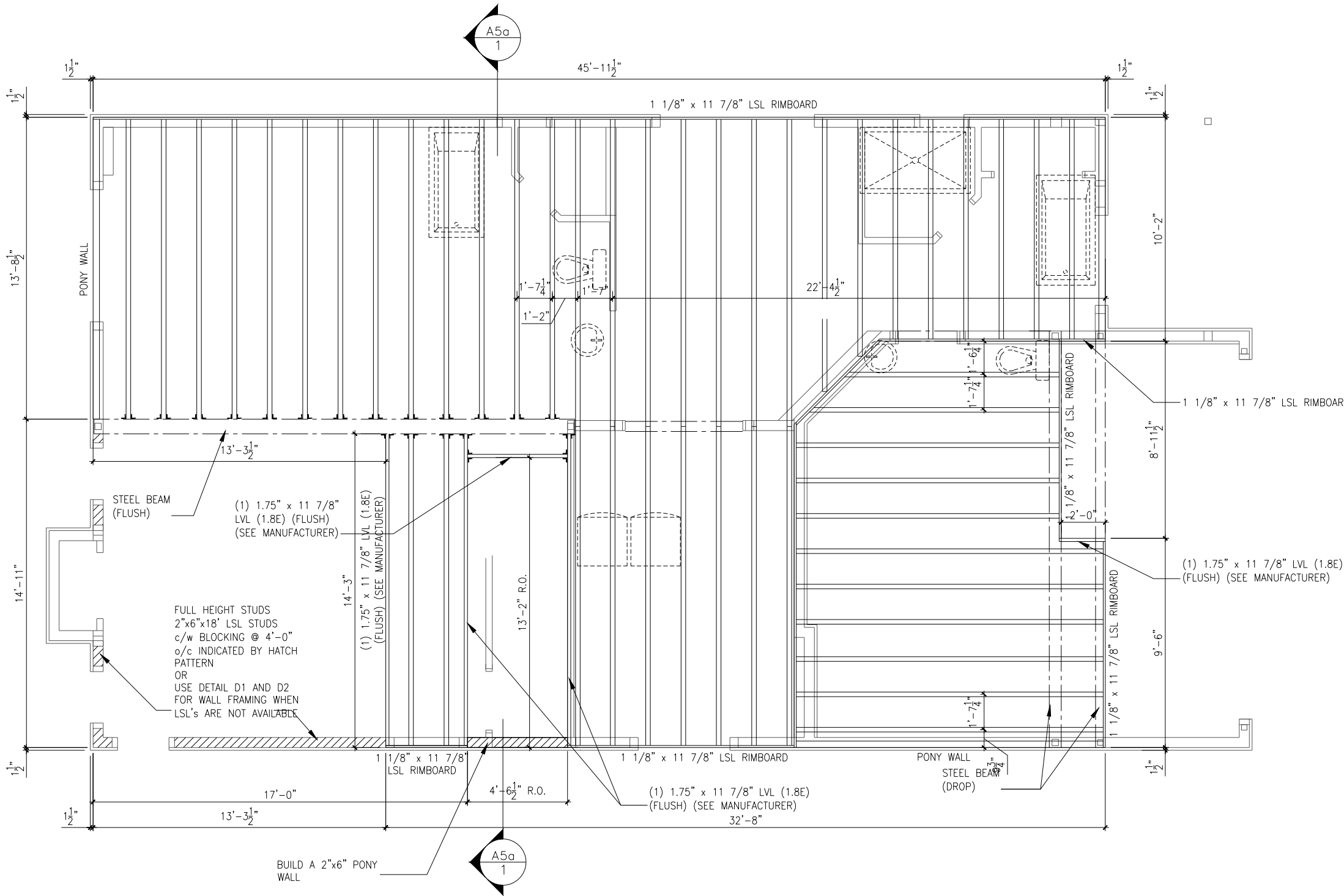
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ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

2024 O.B.C. DRAWINGS

REV-2	NO.	DESCRIPTION	DATE	BY
REV-2	0BC 2024		04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION		01/12/2022	DOYON

DRAWING: 2nd FLOOR-JOIST LAYOUT  
3 BED. - ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11b



I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARION REGISTRATION NUMBER #47491

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

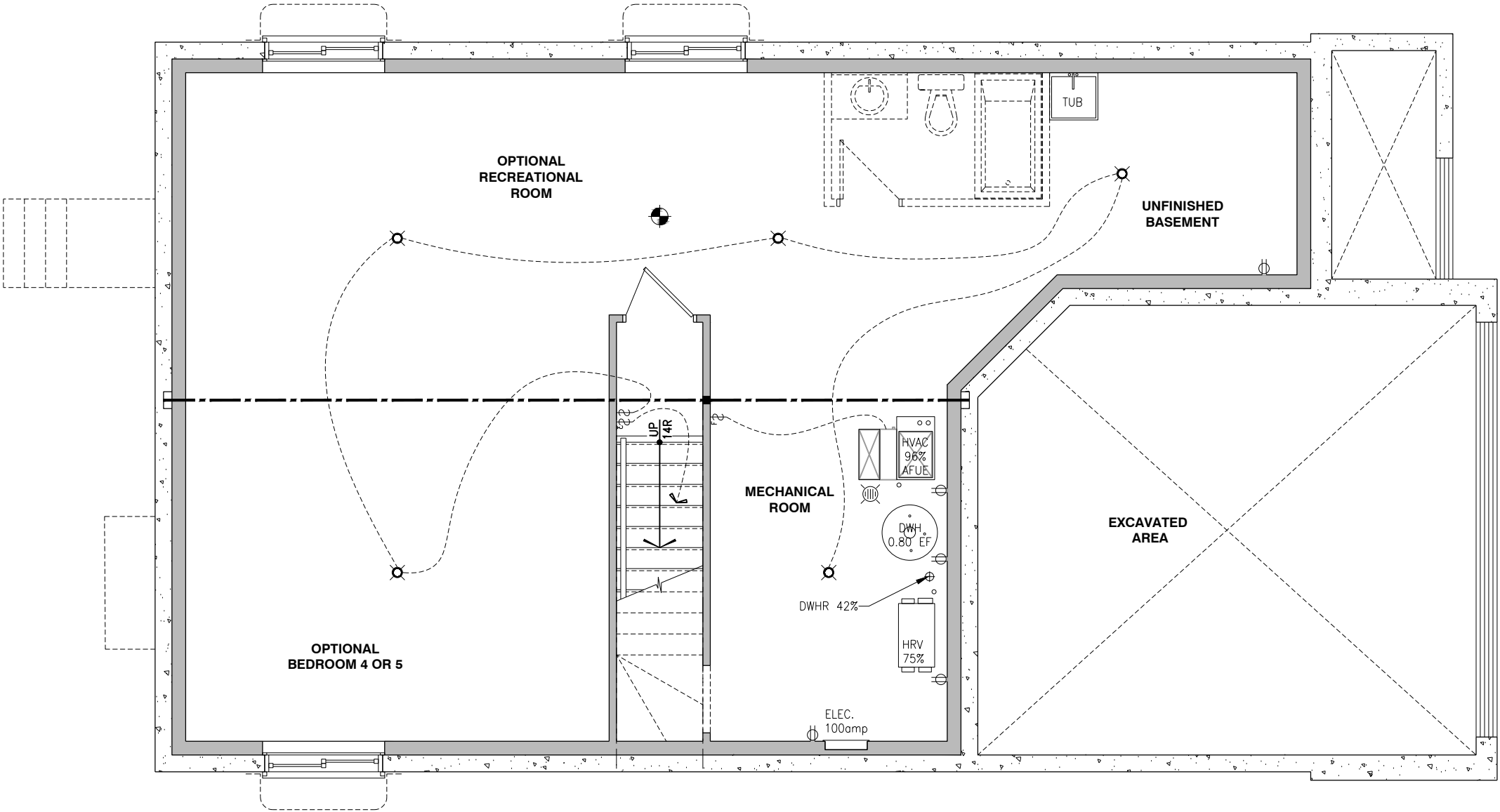
DRAWING:  
ELECTRICAL PLAN - BASEMENT

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2025 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.1



ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⌚

DUPLEX OUTLET (12" HIGH)
- ⌚

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⌚

SPLIT OUTLET
- ⌚

220 VOLT OUTLET
- ⌚

WALL MOUNTED LIGHT FIXTURE
- ⌚

CEILING MOUNTED LIGHT FIXTURE
- ⌚

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- ⌚

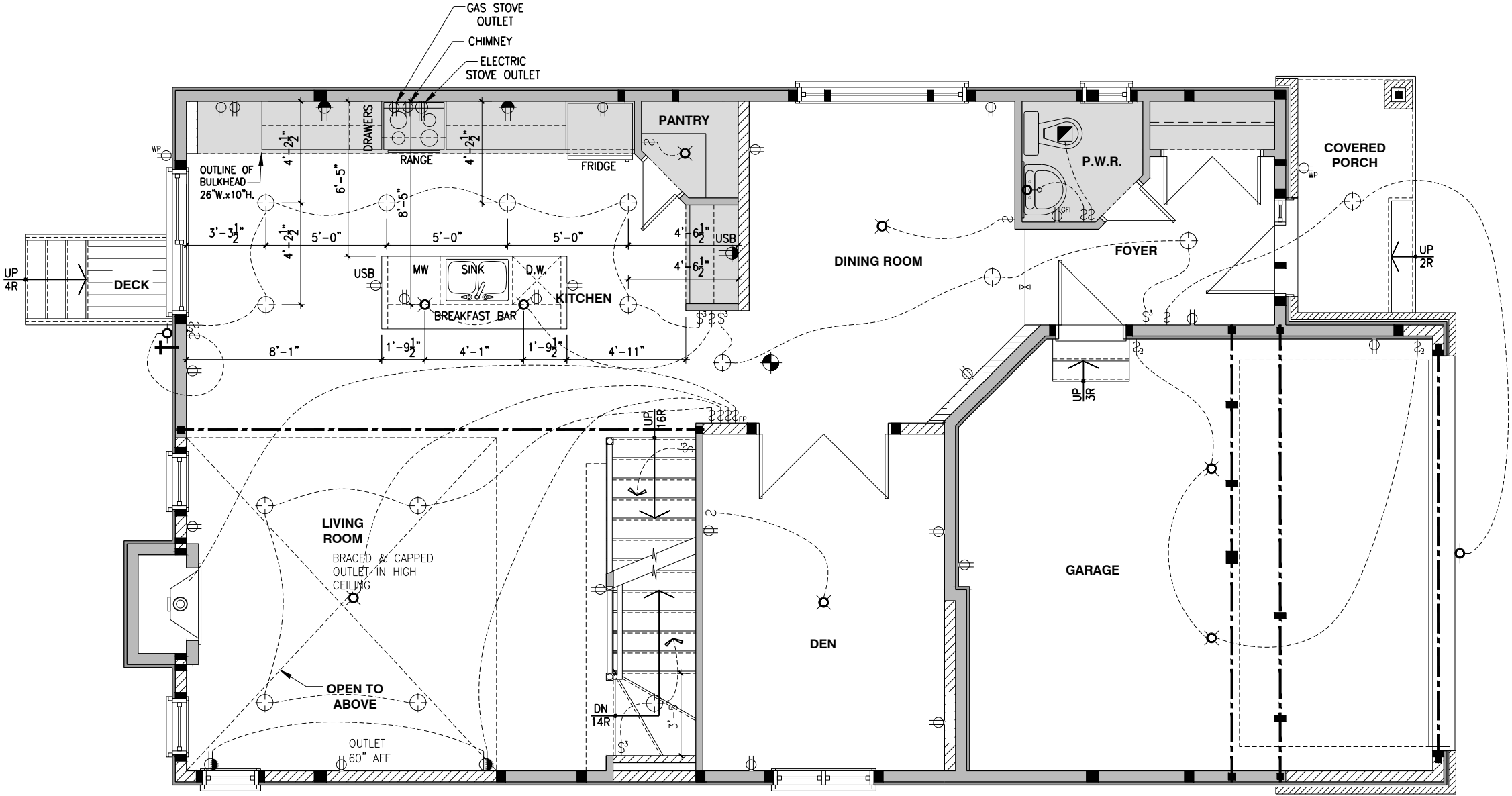
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2024 O.B.C. DRAWINGS


REV-2	OBC 2024	04/08/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION B

SCALE: 3/16" = 1'-0"





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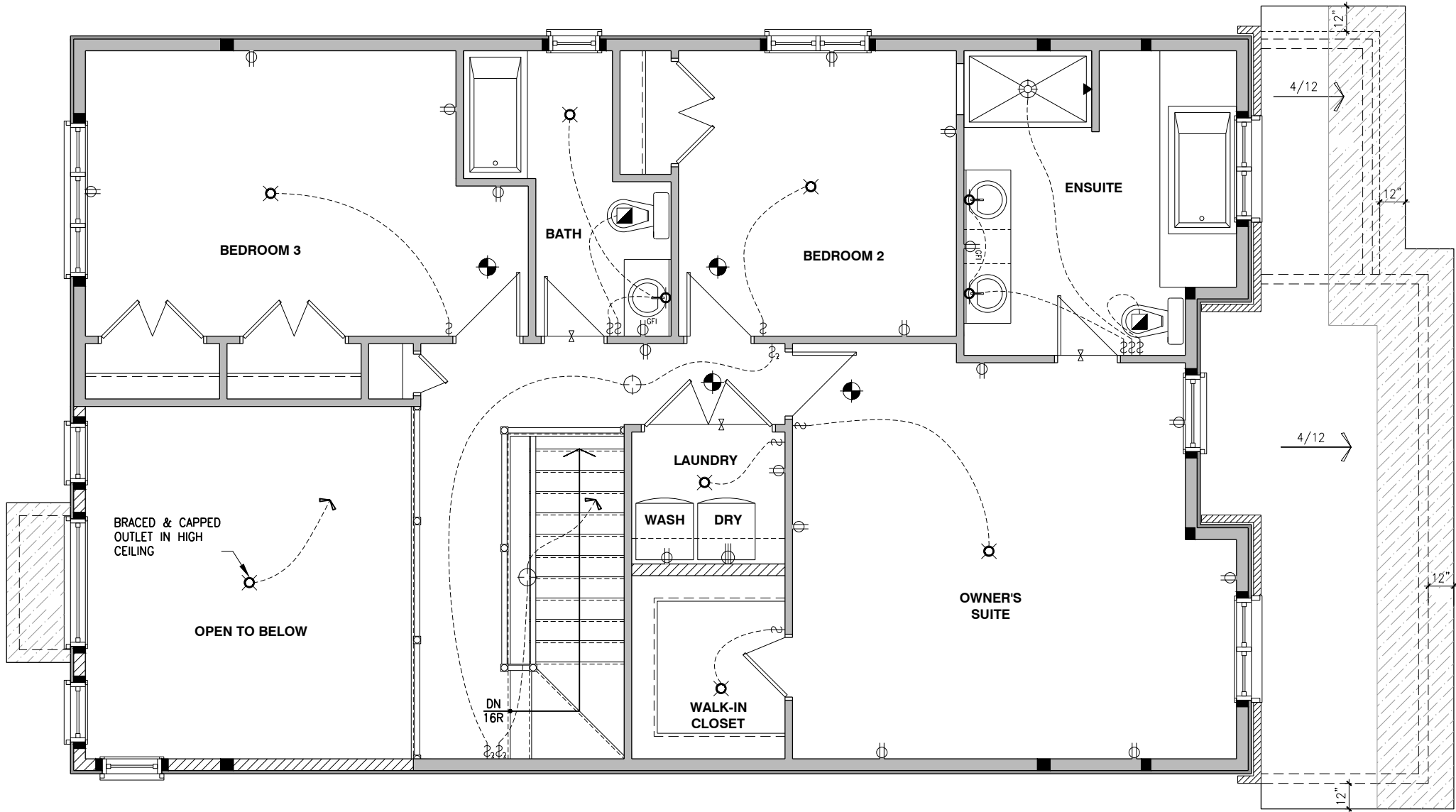
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- \$ SINGLE POLE SWITCH
- \$ 3 3 WAY SWITCH
- \$ 4 4 WAY SWITCH
- \$ F FURNACE SWITCH
- \$ FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
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- \$ WP WEATHER PROOF DUPLEX OUTLET
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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY  
2025 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E.3d