



I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #122537
- TARION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

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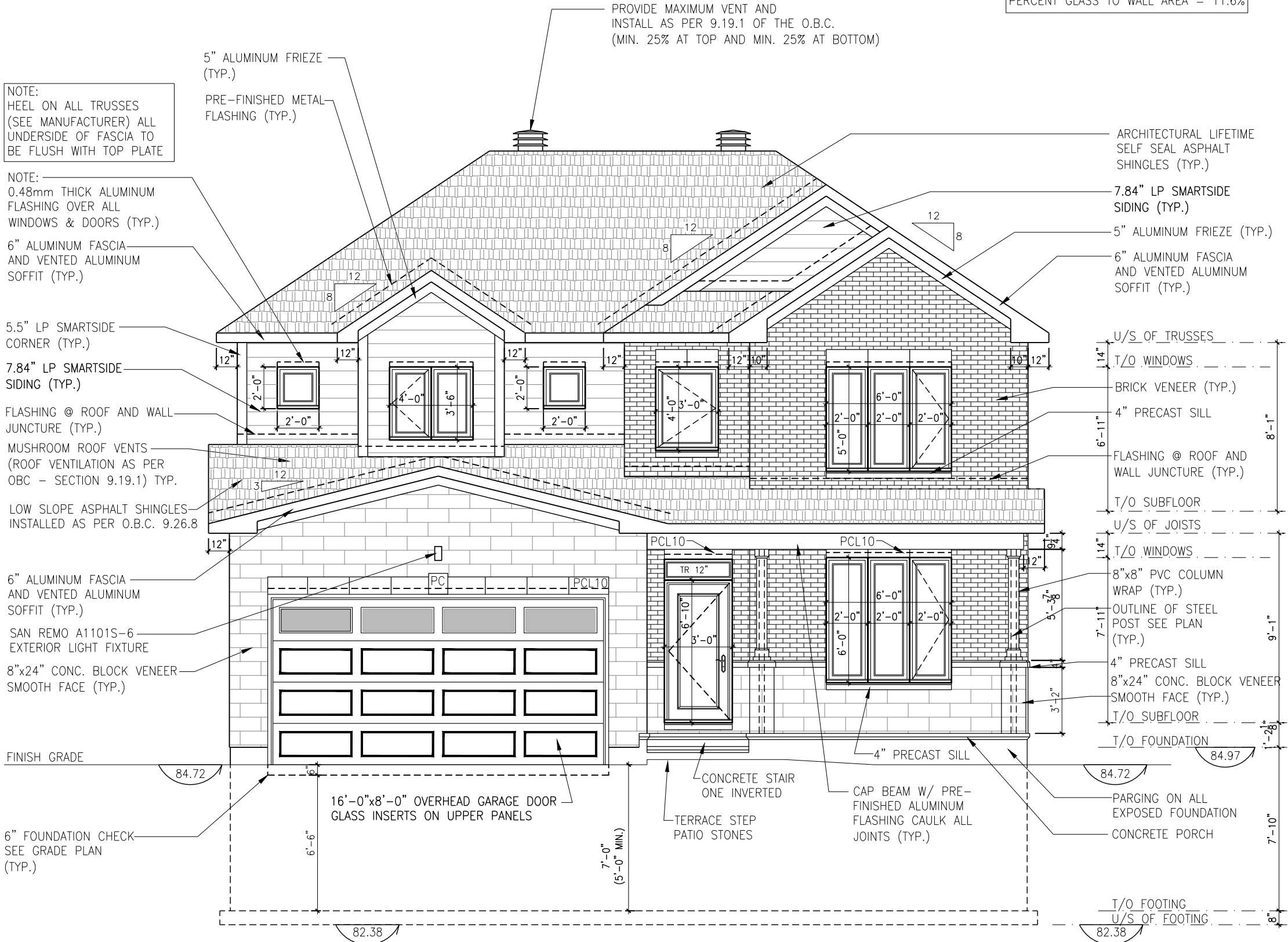
PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

STANDARD:

GROSS INSULATED = 331 M. SQ.
WALL AREA

GROSS WINDOW = 38.5 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 11.6%



FRONT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

2024 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	CUSTOM CHANGES LOT 56 M.O.	07/15/2025	DOYON
REV-2	OBC 2024	06/23/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON

DRAWING: FRONT ELEVATION
ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1030 - THE NASH
2025 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A1



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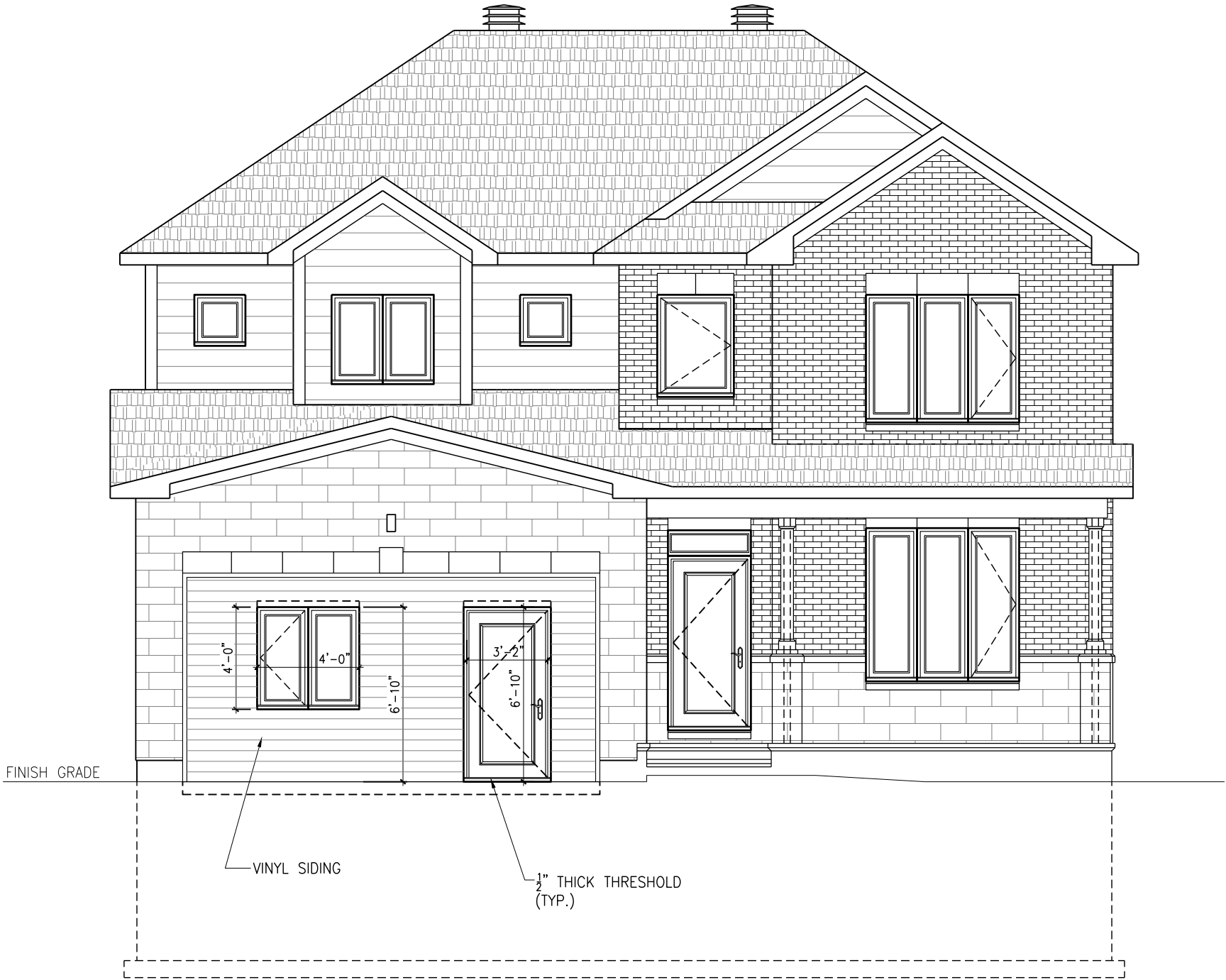
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FRONT ELEVATION - SALE CENTER

SCALE: 3/16" = 1'-0"

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DRAWING: FRONT ELEVATION
SALE CENTER

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1030 - THE NASH
2025 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

SC.3



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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

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NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION
ELEVATION A

ADDRESS: xx

SCALE: 3/16" = 1'-0"

DATE: xx/xx/xxxx

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

FLASHING @ ROOF AND
WALL JUNCTURE (TYP.)

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

PRE-FINISHED METAL
FLASHING

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

BRICK VENEER (TYP.)

7.84" LP SMARTSIDE
SIDING (TYP.)

LOW SLOPE ASPHALT
SHINGLES INSTALLED
AS PER O.B.C. 9.26.8

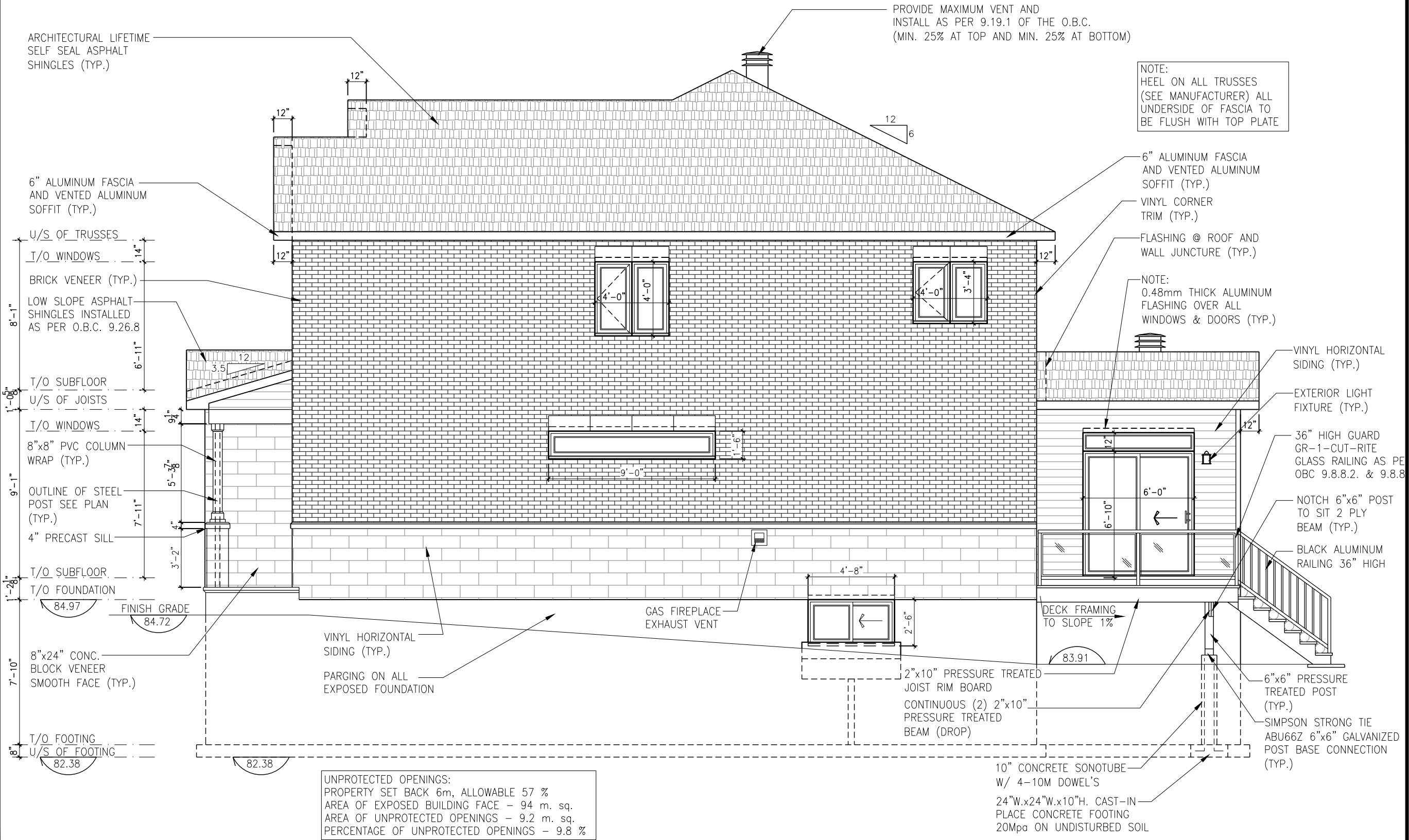
8"x24" CONC.
BLOCK VENEER
SMOOTH FACE (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 93 m. sq.
AREA OF UNPROTECTED OPENINGS - 5.6 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 6 %

LEFT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

LOT: 56 M.O.
DATE: 06/24/2025



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**RIGHT ELEVATION
ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1030 - THE NASH
2025 FOOTPRINT**
(STANDARD DRAWINGS)

A3



Valecraft
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

NOTE: _____
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL CORNER
TRIM (TYP.)

EXTERIOR GUARDS SEE—
CANTILEVERED PICKET
DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

2"x10" PRESSURE TREATED
JOIST RIM BOARD

CONTINUOUS (2) 2"x10"
PRESSURE TREATED
BEAM (DROP)

(2) 1/2" x 7" ———
GALVANIZED CARRIAGE
BOLT C/W WASHER,
LOCK WASHER AND
NUT (TYP.)

SIMPSON STRONG TIE —
ABU66Z 6"x6" GALVANIZED
POST BASE CONNECTION
(TYP.)

10" CONCRETE SONOTUBE -
W/ 4-10M DOWEL'S

24"W.x24"W.x10"H. CAST-IN —
PLACE CONCRETE FOOTING
20Mpa ON UNDISTURBED SOIL

—PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

—ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

—FLASHING @ ROOF AND
WALL JUNCTURE (TYP.)

—6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

14" T/O WINDOWS

— OUTLINE OF CATHEDRAL
CEILING

T/O SUBFLOOR

U/S OF JOISTS

14" T/O WINDOWS

7. STONE VENEER
BEYOND

VINYL CORNER TRIM (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

84.97



PARGING ON ALL
EXPOSED FOUNDATION

FINISH GRADE

____ T/O FOOTING
____ U/S OF FOOTING

$$\underline{82.38}$$

REAR ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"

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DRAWING: **REAR ELEVATION**
ELEVATION A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**1030 - THE NASH
2025 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A4



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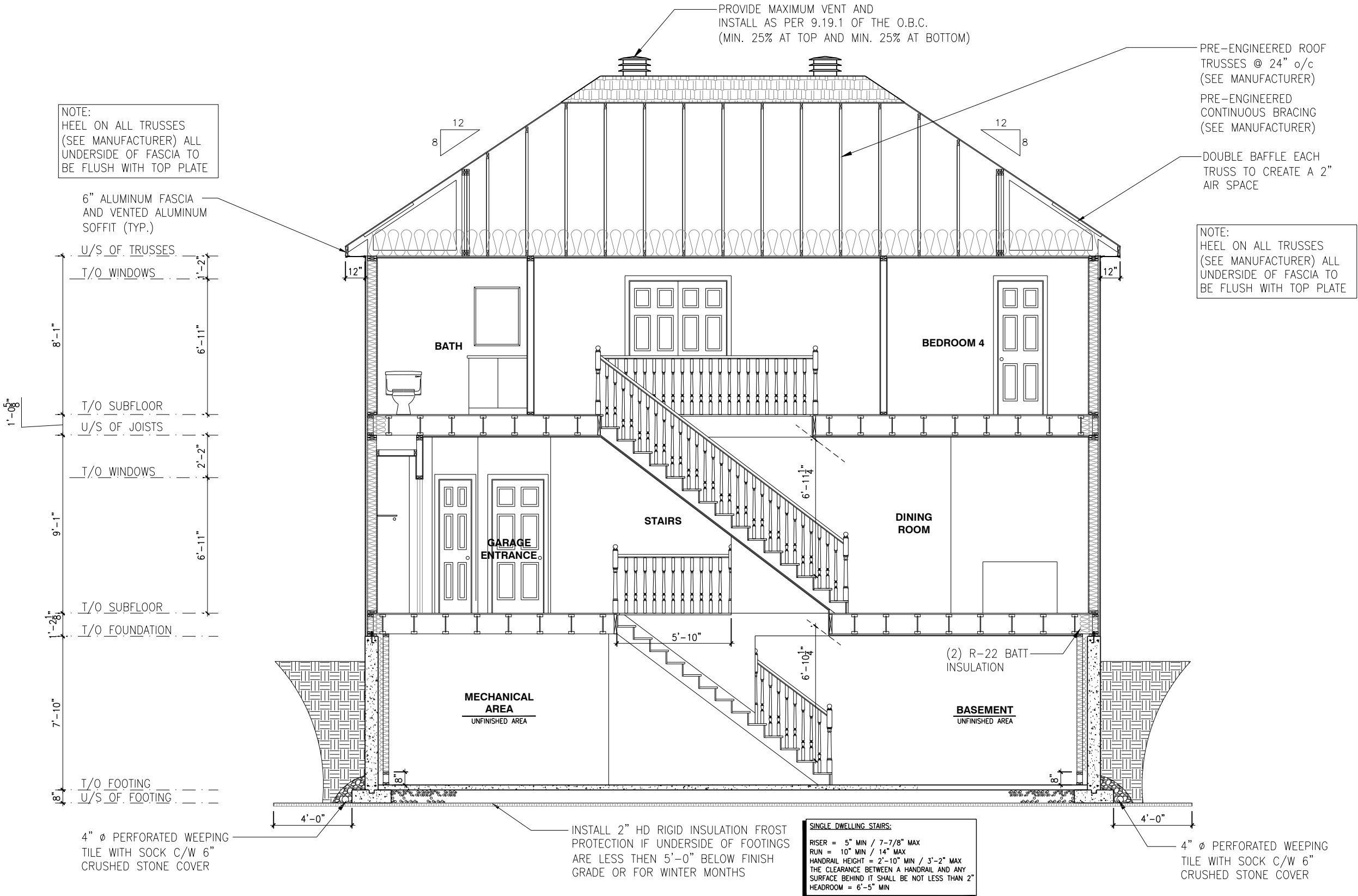
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DRAWING: BUILDING SECTION
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: 56 M.O.

DATE: 06/24/2025

Valecraft

Homes (2019) Limited

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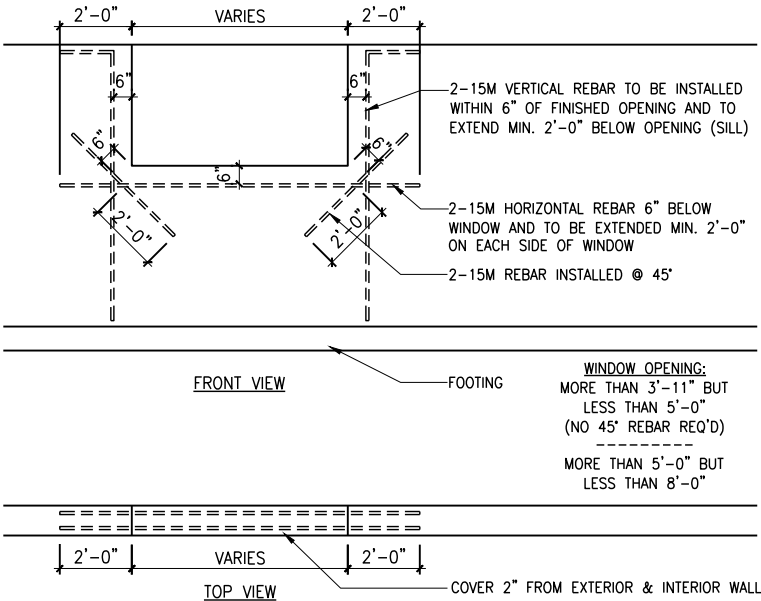
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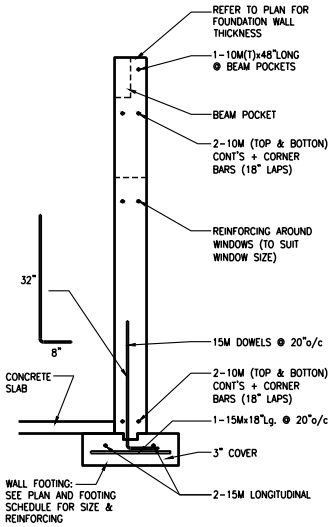


1

A.6

BASEMENT WINDOW REINFORCING

SCALE: 3/16" = 1'-0"

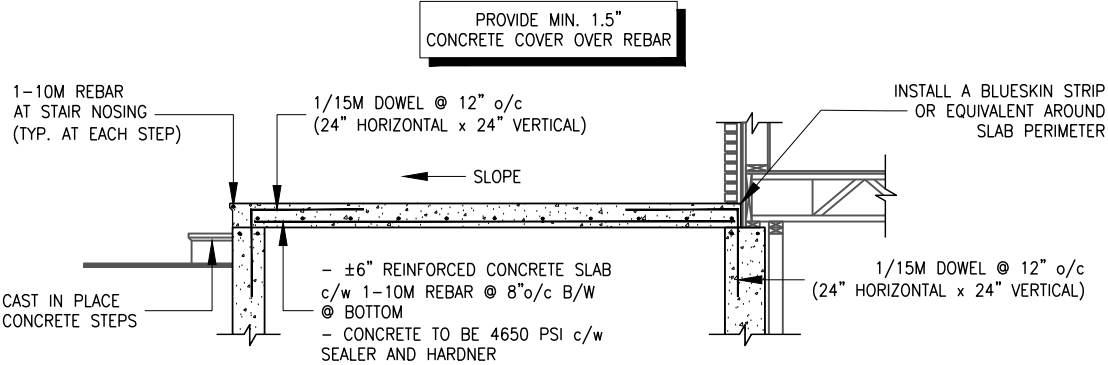


2

A.6

CONCRETE WALL REINFORCING

SCALE: 1/4" = 1'-0"



3

A.6

CONCRETE PORCH REINFORCING

SCALE: 1/4" = 1'-0"

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
F2 2"x10" PRESSURE TREATED JOIST @ 16" o/c C/W 2"x10" PRESSURE TREATED BLOCKING AT MID SPAN

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

LOT: 56 M.O.

DATE: 06/24/2025

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
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- P3 = 3-2x4 OR 3-2x6
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	CUSTOM CHANGES LOT 56 M.O.	07/15/2025	DOYON
REV-2	OBC 2024	06/23/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT FLOOR PLAN ELEVATION A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

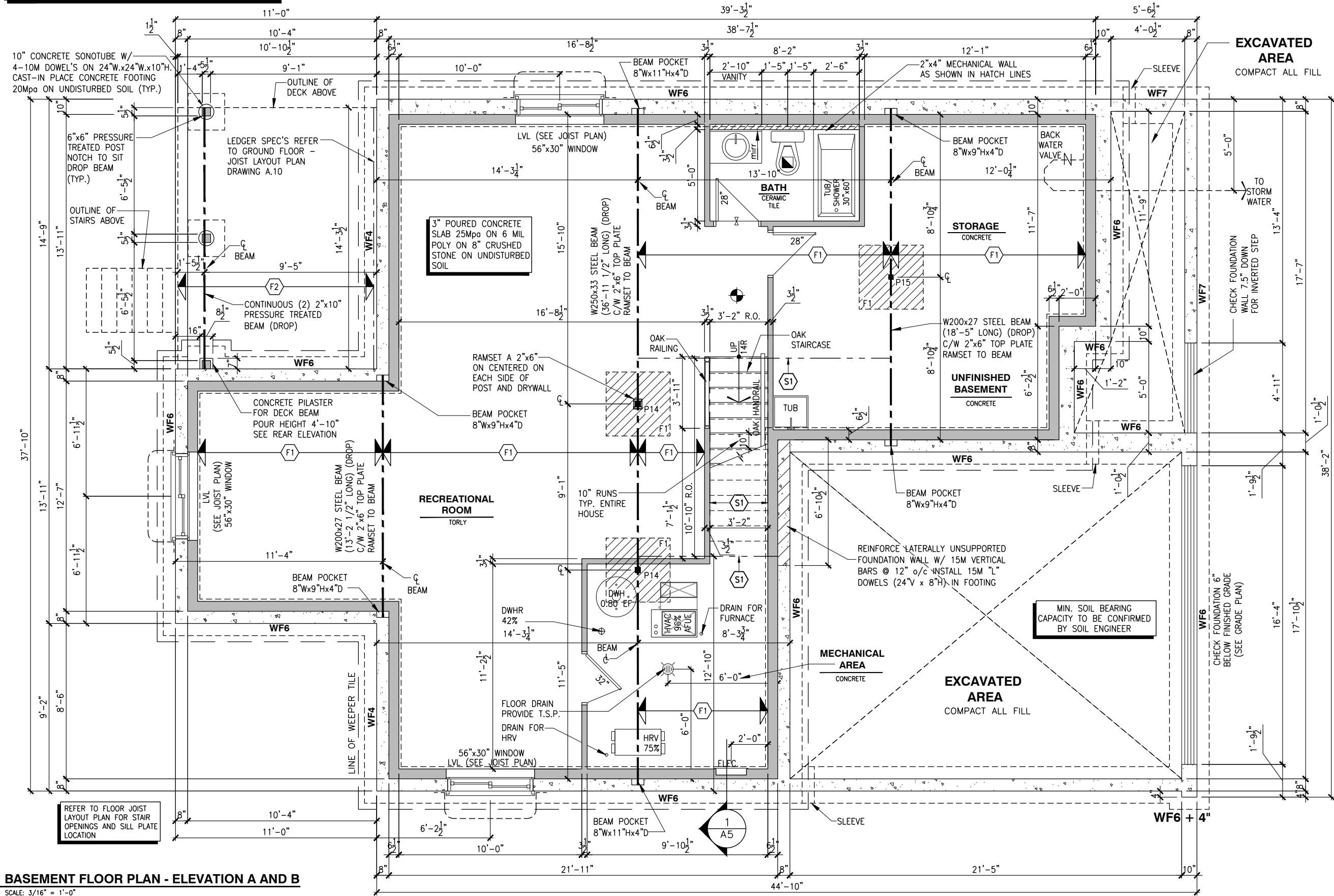
1030 - THE NASH 2025 FOOTPRINT

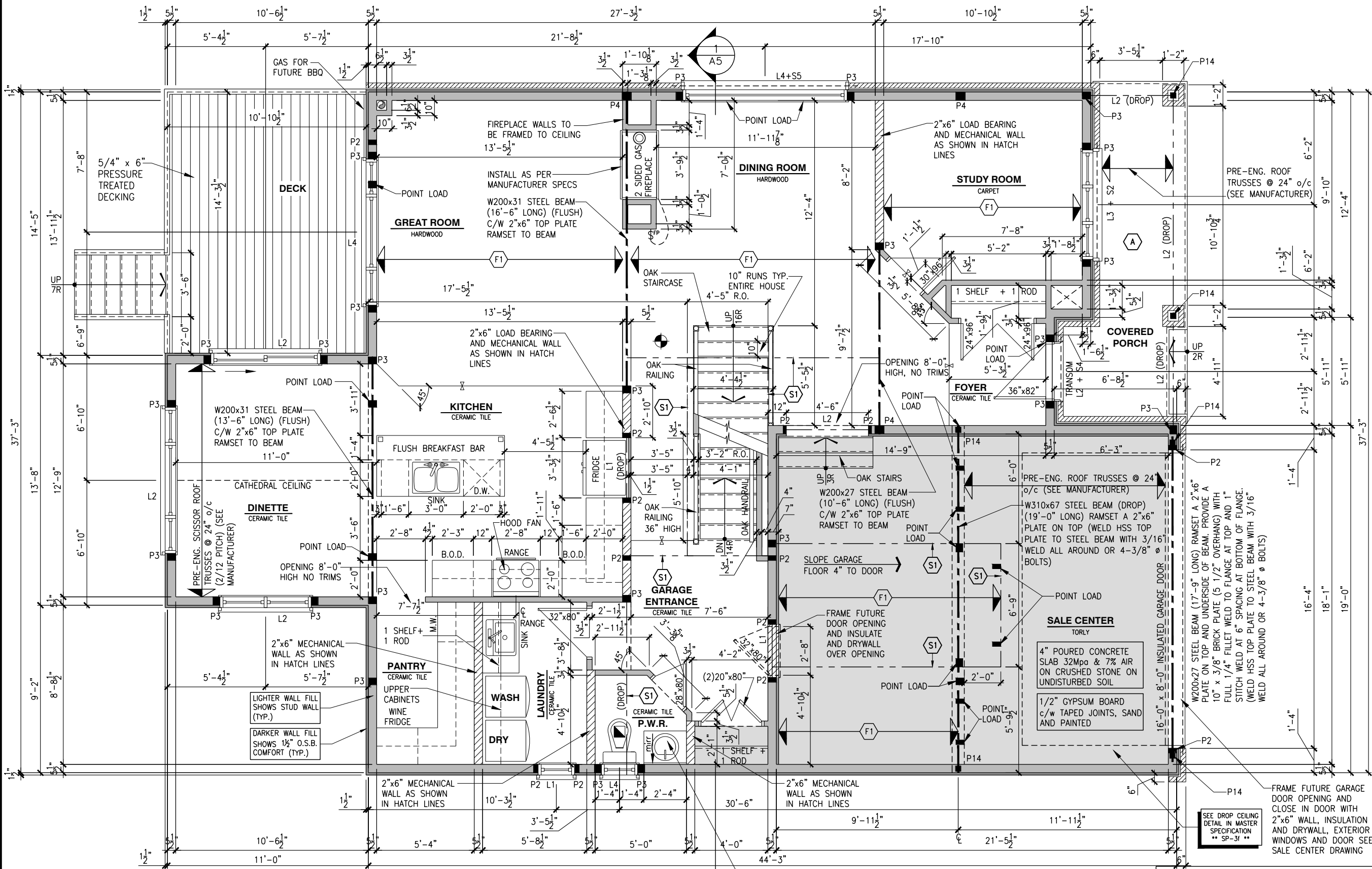
(STANDARD DRAWINGS)

A6a

BASEMENT FLOOR PLAN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"





SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- FLOOR FRAMING:**
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ROOF AND FLOOR LAYOUT NOTES:

ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

LOT: 56 M.O.

DATE: 06/24/2025

Valecraft Homes (2019) Limited

ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARION REGISTRATION NUMBER #47491

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2024 O.B.C. DRAWINGS

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REV-2	OBC 2024	06/23/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**DRAWING: GROUND FLOOR PLAN
STANDARD KITCHEN - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1030 - THE NASH
2025 FOOTPRINT**

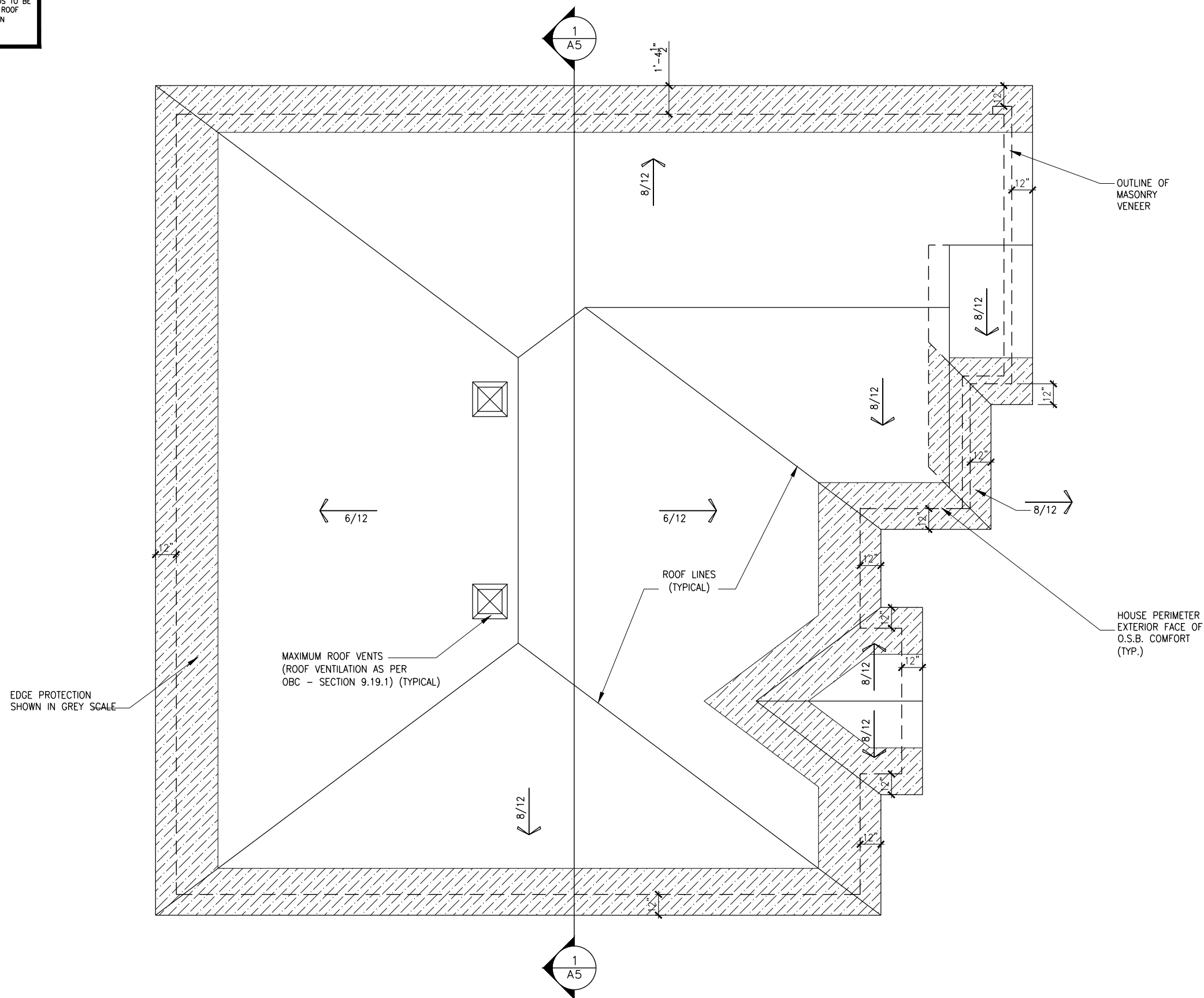
(STANDARD DRAWINGS)

A7

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

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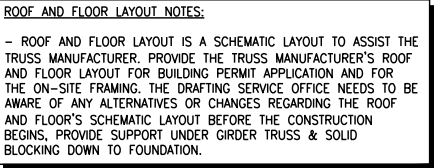


SCALE: 3/16" = 1'-0"

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(STANDARD DRAWINGS)

A9



DATE: 06/24/2025



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REV-2	OBC 2024	06/23/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**
ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1030 - THE NASH 2025 FOOTPRINT

STANDARD DRAWINGS

SHEET:

A10

GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

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DATE: 06/24/2025



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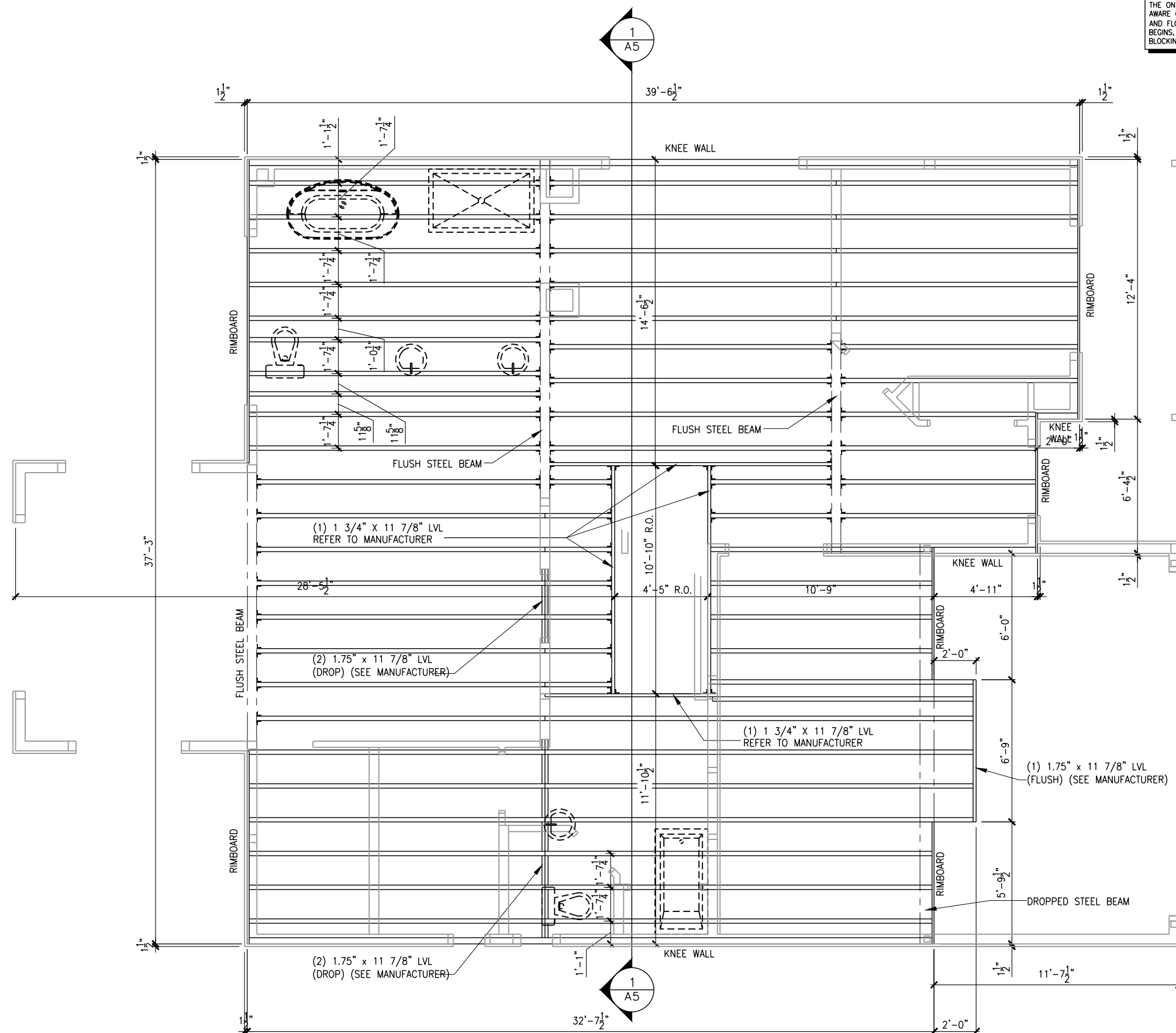
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2024 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT
ELEVATION A**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**1030 - THE NASH
2025 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A11

LOT: 56 M.O.
DATE: 06/24/2025



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕ GFI GROUND FAULT INTERVOLT
- ⊕ WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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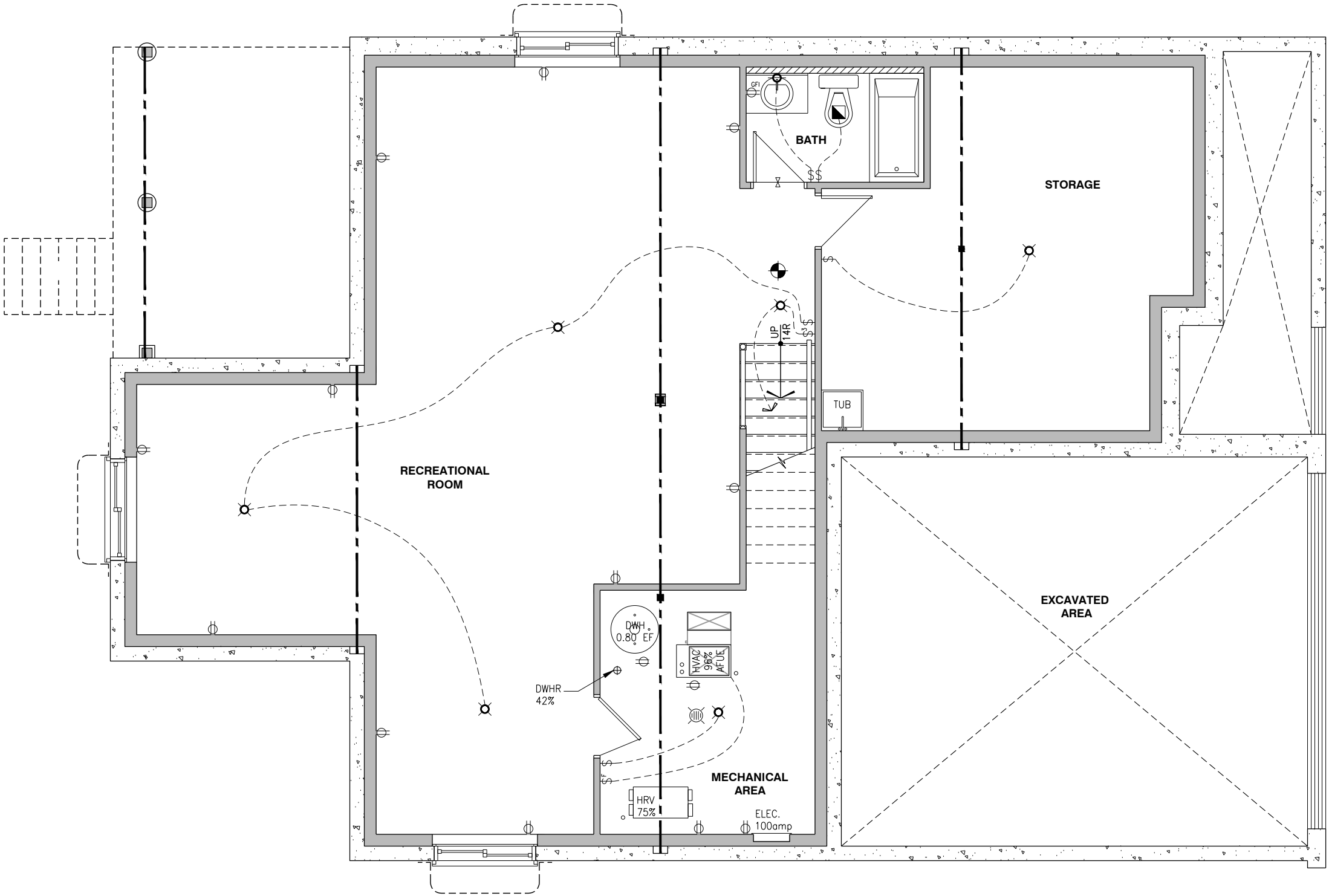
ELECTRICAL PLAN - BASEMENT

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1030 - THE NASH
2025 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1



ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



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- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$W WALL MOUNTED LIGHT FIXTURE
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2024 O.B.C. DRAWINGS

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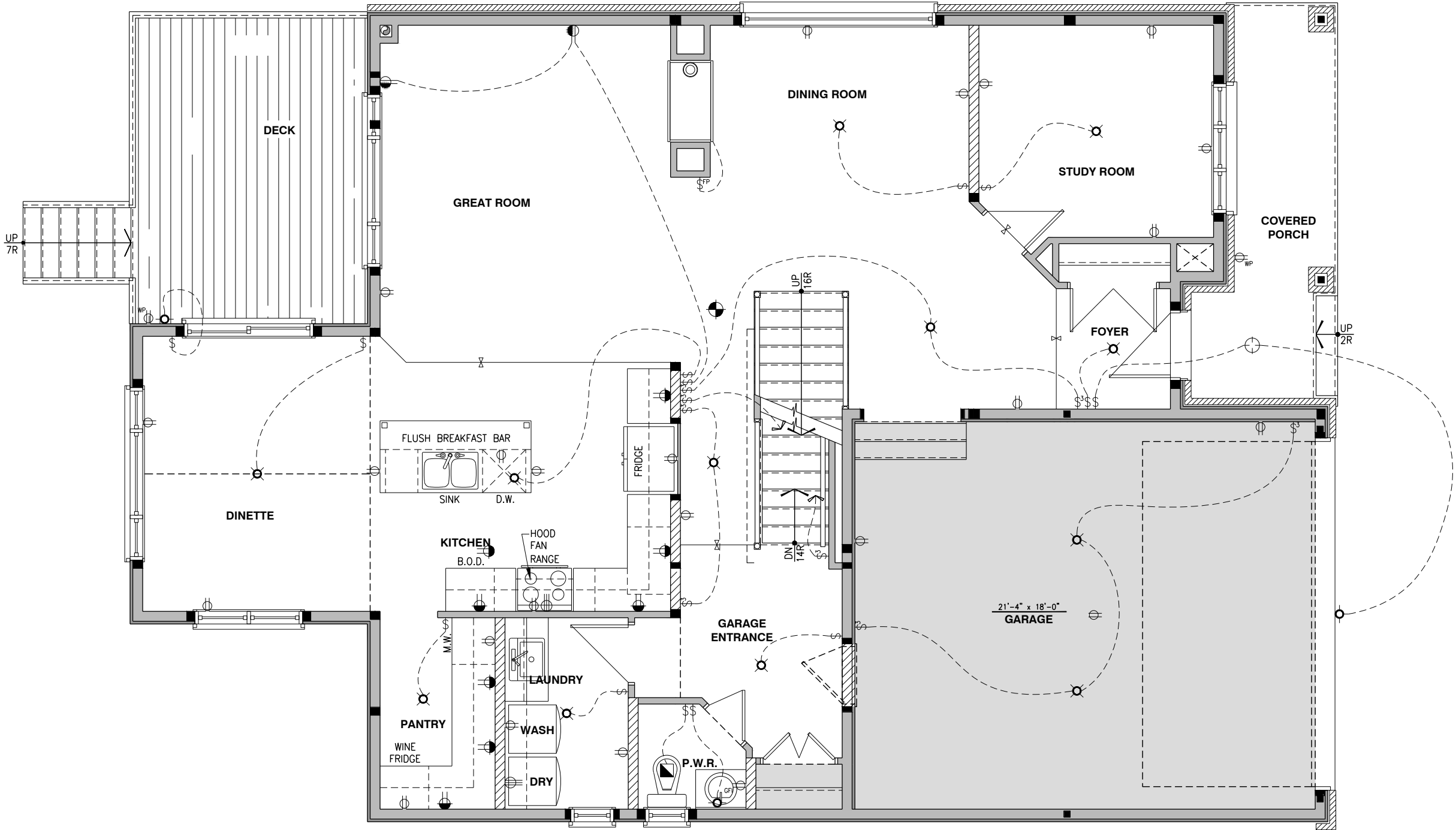
DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1030 - THE NASH
2025 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

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- \$

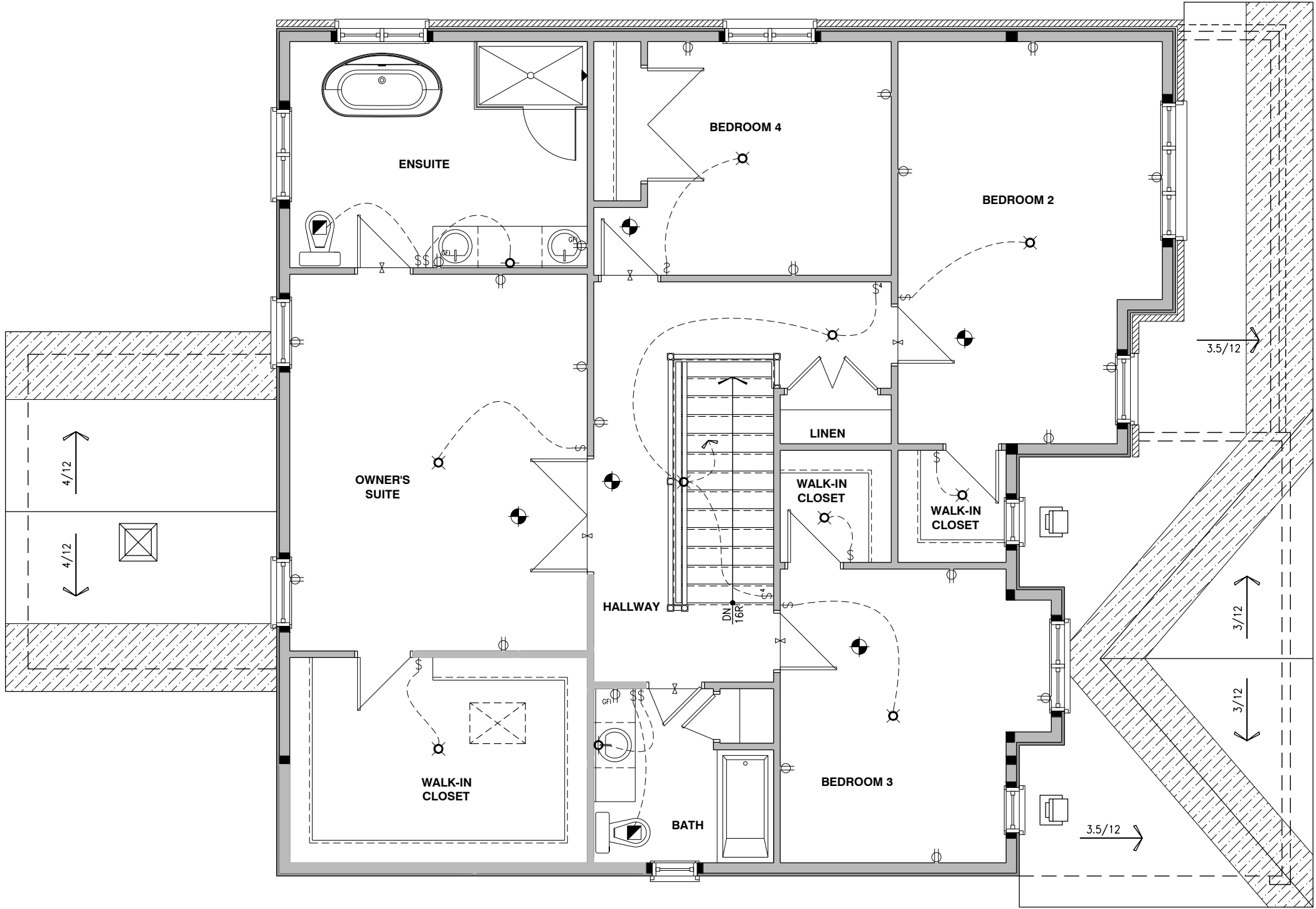
= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	CUSTOM CHANGES LOT 56 M.O.	07/15/2025	DOYON
REV-2	OBC 2024	06/23/2025	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

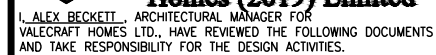
ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION A

SCALE: 3/16" = 1'-0"

DATE: 06/24/2025



- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

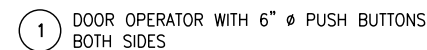
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- VINYL HORIZONTAL SIDING
- TYVEK HOMEWRAP OR EQUIVALENT MAX 0.02 L/s/m²
(TAPE ALL JOINTS)
- R-5, 1 9/16" STYORAIL O.S.B. COMFORT BOARD,
TYPE 2 EPS RIGID INSULATION LAMINATED TO 7/16"
O.S.B. SHEATING
- 2"x6" STUDS @ 16" o/c
- R-20 BATT INSULATION
- 6 mil POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD

SCALE: 1/4" = 1'-0"

REV-3	CUSTOM CHANGES LOT 56 M.O.	07/15/2025	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

SALE CENTER FLOOR PLAN

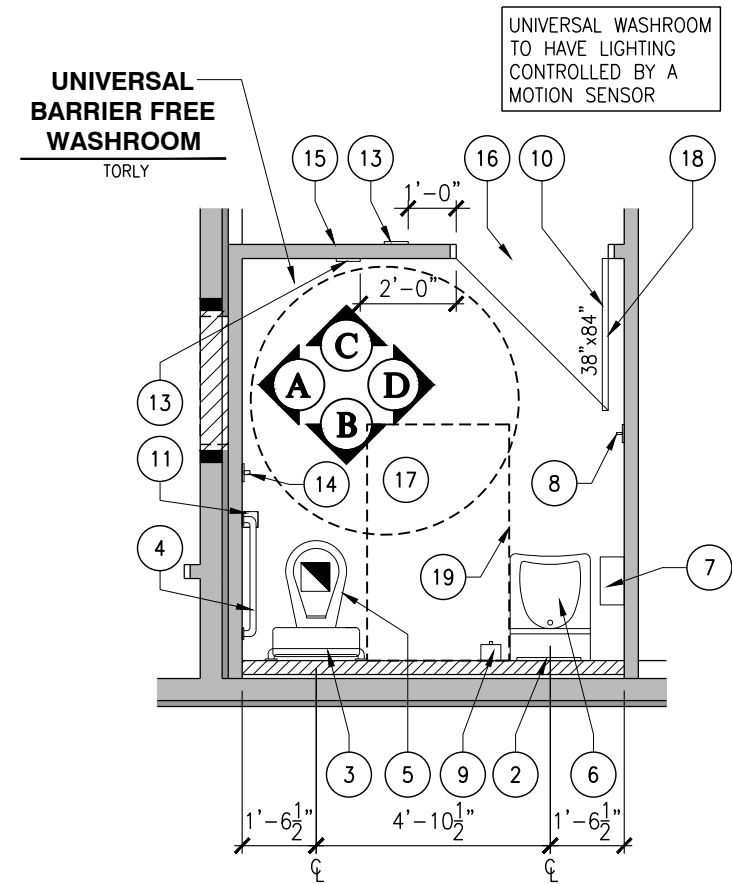
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**1030 - THE NASH
2025 FOOTPRINT**

(STANDARD DRAWINGS)

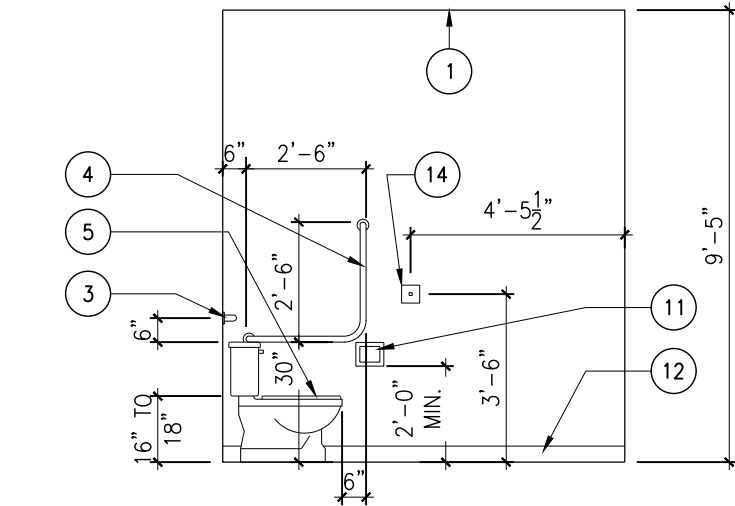
SHEET:

SC.1



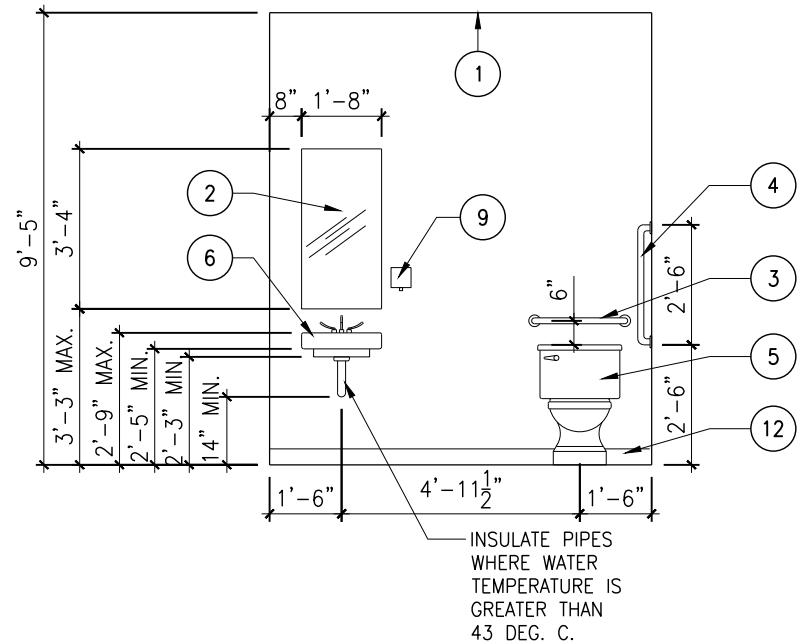
1 UNIVERSAL BARRIER FREE WASHROOM PLAN

SC.2 SCALE: 1/4" = 1'-0"



A ELEVATION A

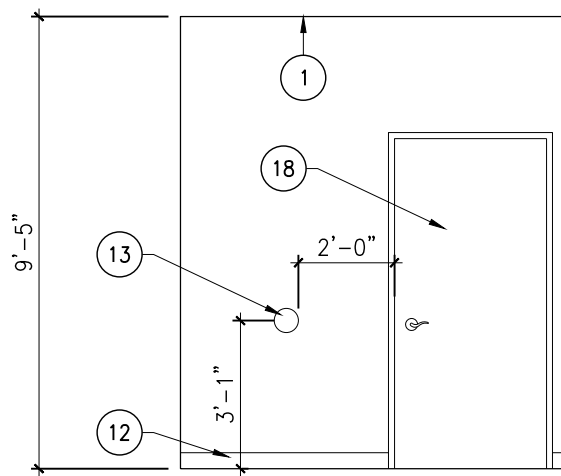
SCALE: 1/4" = 1'-0"



B ELEVATION B

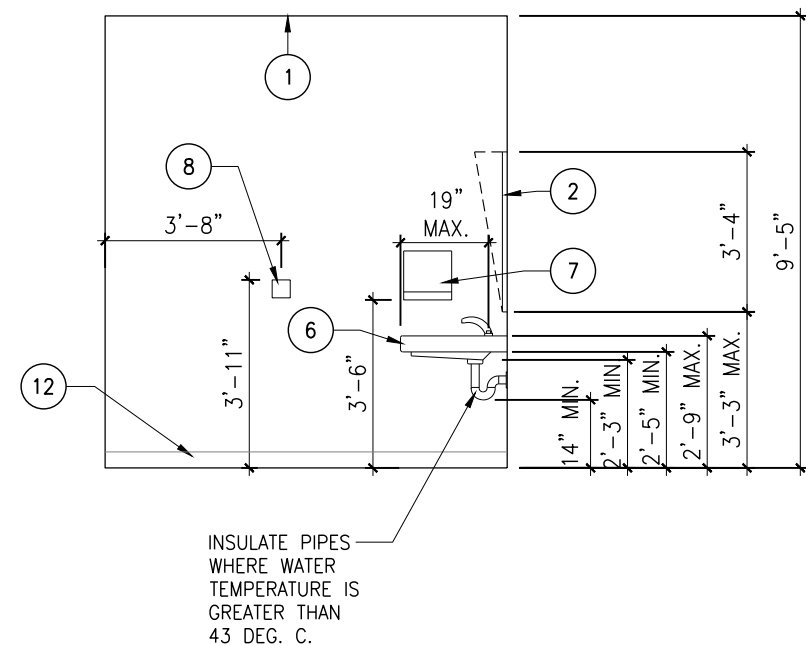
SCALE: 1/4" = 1'-0"

- 1 DRY WALL CEILING
- 2 1/4" POLISHED PLATE INCLINED OR FLAT
- 3 GRAB BAR 2'-0" AS PER O.B.C. 3.8.3.8.(d)(ii)
- 4 L-SHAPED GRAB BAR 30" AS PER O.B.C. 3.8.3.8.
- 5 WATER CLOSET AS PER O.B.C. 3.8.3.9
- 6 LAVATORY AS PER O.B.C. 3.8.3.11
- 7 WALL MOUNTED TOWEL DISPENSER
- 8 COAT HOOK MOUNTED 3'-11" A.F.F. PROJECTION NOT MORE THAT 1 7/8"
- 9 WALL MOUNTED SOAP DISPENSER MIN. 3'-11" A.F.F.
- 10 MALE/FEMALE ALUMINUM DOOR PLAQUES MOUNTED ON FACE OF BARRIER-FREE WASHROOM DOOR
- 11 TOILET TISSUE DISPENSER
- 12 BASE - VINYL COVE BASE 4" ALONG ALL WALLS. SEE CLIENT FOR COLOR
- 13 DOOR OPERATOR WITH 6" Ø PUSH BUTTONS BOTH SIDES
- 14 EMERGENCY PUSH BUTTON ACTIVATING AUDIBLE AND VISUAL SIGNAL WITH SIGN: "IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE" IN LETTERS AT LEAST 1" HIGH WITH A 3/16" STROKE, ABOVE THE EMERGENCY BUTTON.
- 15 PROVIDE COLOR-CONTRASTED UNIVERSAL WASHROOM PICTOGRAM AND TACTILE SIGN ON CORRIDOR SIDE OF THE DOOR 59" A.F.F., 6" FROM THE LATCH JAMB
- 16 EMERGENCY ASSISTANCE DOME LIGHT OUTSIDE THE DOOR
- 17 LIGHT CONTROLLED BY MOTION SENSOR
- 18 38"x84" S.C. WOOD DOOR, 2 PR BUTT HINGES, STOREROOM FUNCTION KEYED LOCK, LEVERS, CLOSER, THRESHOLD, PUSH BUTTON TO LOCK DOOR.
- 19 OUTLINE OF 4'-11" x 2'-11 1/2" CLEAR TRANSFER SPACE BESIDE W/C



C ELEVATION C

SCALE: 1/4" = 1'-0"



D ELEVATION D

SCALE: 1/4" = 1'-0"

LOT: 56 M.O.

DATE: 06/24/2025

Valecraft

Homes (2019) Limited

I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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1030 - THE NASH
2025 FOOTPRINT
(STANDARD DRAWINGS)

SC.2