



SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR  
HOMES

Vendor Zancor Homes (King City) Ltd	Purchaser(s) ROBERTO VACCHER YOLANDA VACCHER Telephone Number: 905-417-9569
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Lot Number	House Type	Reg. Plan # Not Registered	Closing Date As Per Agreement	Date Ordered
73	Messara (42-2) Elev A			28-Jul-2011

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

LOT PREMIUM INCLUDES: - Walk Out Basement - Rear Elevation Upgrade - Large Lot
1. FIRST UPGARDE STAINED OAK HARDWOOD 3 1/4 x3/4 TO: FAMILY ROOM, LIBRARY, DINING ROOM, MAIN FLOOR HALLWAY, UPPER HALLWAY, BEDROOMS 2, BEDROOM 3, BEDROOM 4, MASTER BEDROOM, WALK IN CLOSET AND ALL BEDROOM CLOSETS.
2. STAIN TO STAIRS AND RAILINGS.
3. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER. PROMOTIONS CANNOT BE EXCHANGED IN ANY WAY.

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

Vendor

Purchaser: ROBERTO VACCHER

Purchaser: YOLANDA VACCHER

ndor's Initials

Purchaser's Initials

Purchaser's Initials

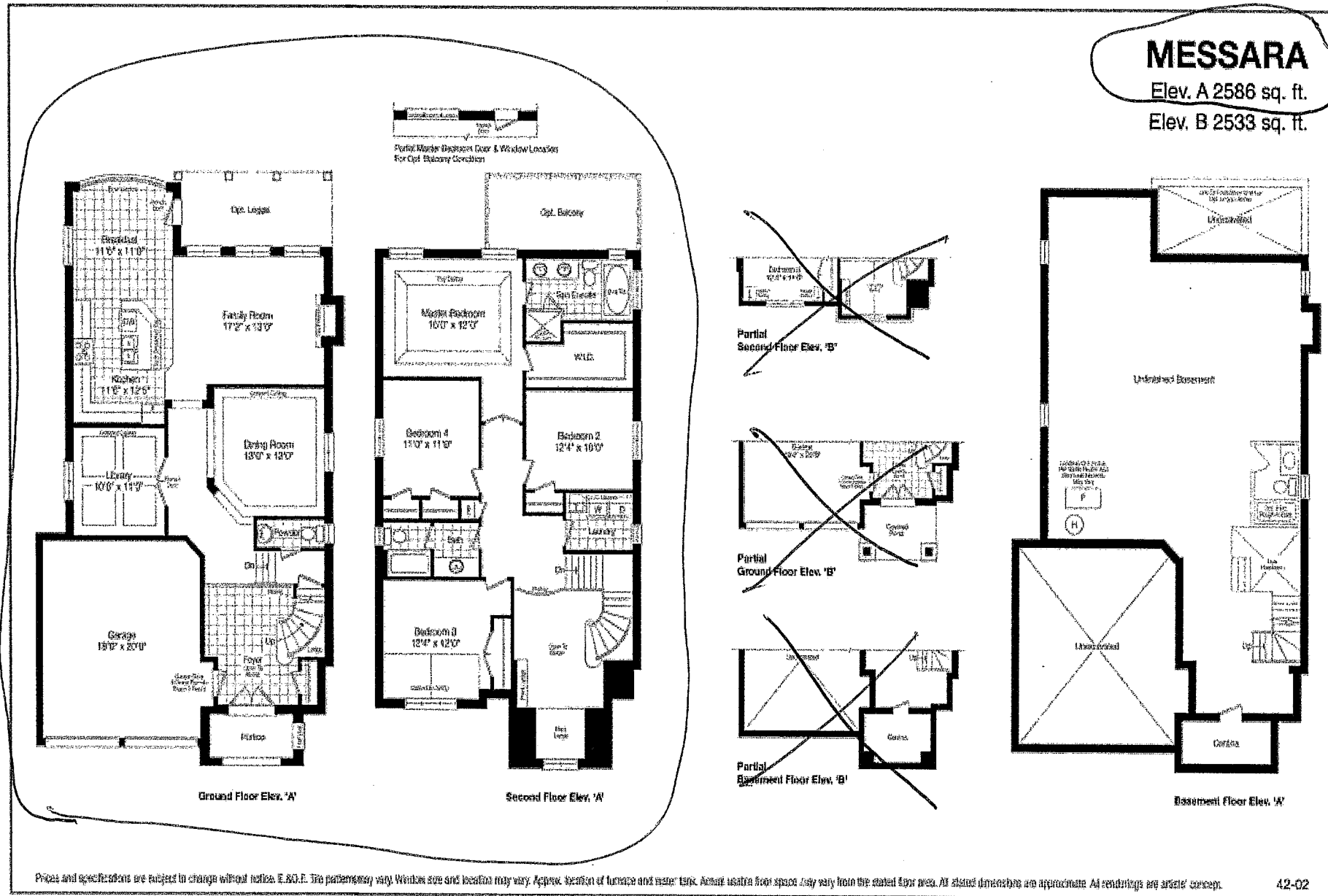
**SCHEDULE "FLP"  
FLOOR PLAN**

MESSARA A  
LOT # 73

# MESSARA

Elev. A 2586 sq. ft.

Elev. B 2533 sq. ft.



**ZANCOR  
HOMES**

Purchaser: JOHN F. JOHNSON  
Res. No: 9417-9569 Bus. No: 4162602-1555

Bus. No: 416) 602-1555

*James P. Riley*

[illegible]

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10

Oct 1 2011

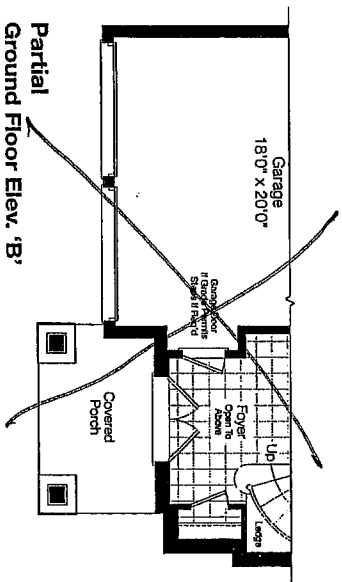
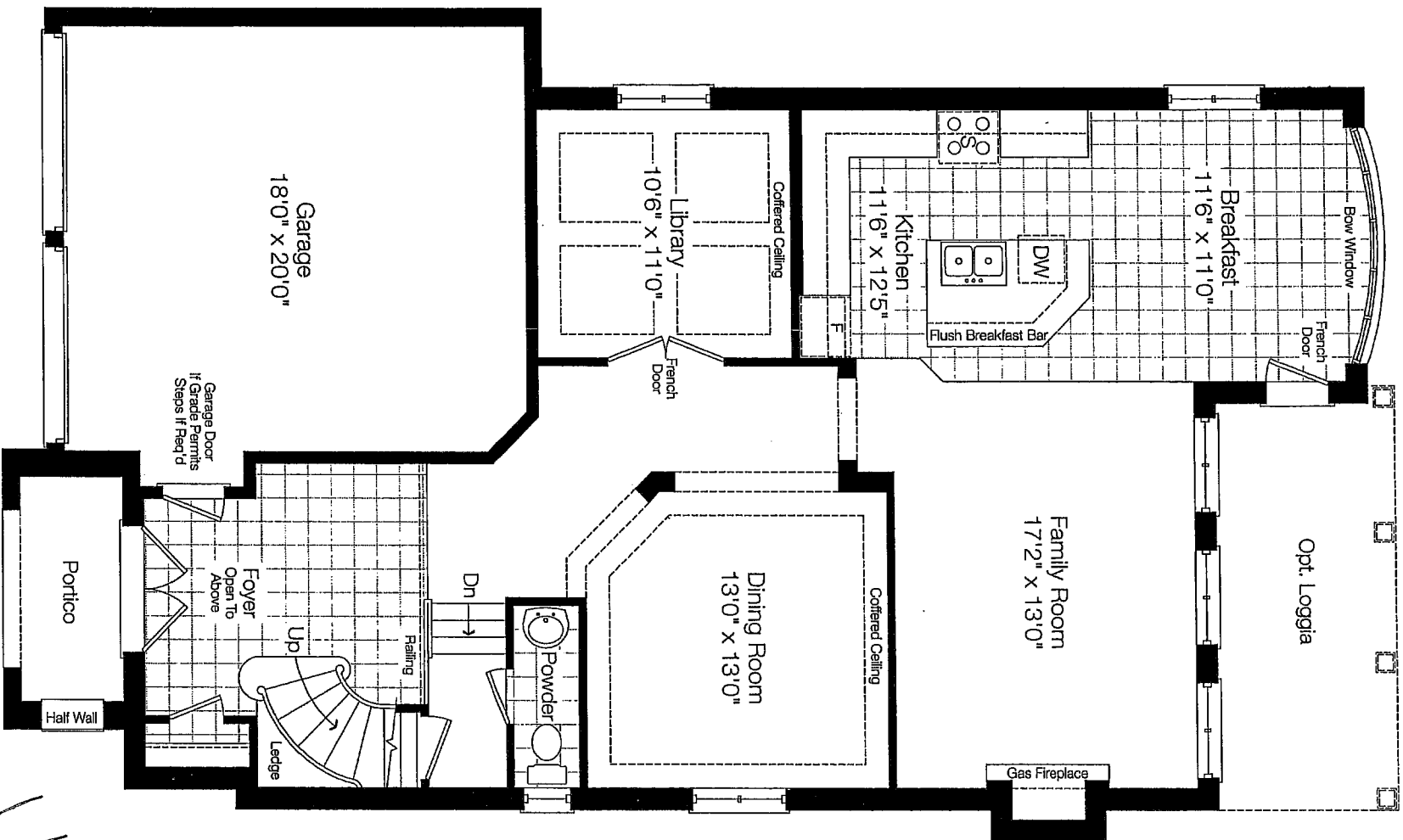
Extras or upgrades will not be  
 charged.

Handwritten signature: *W. A. L. Wells*

DATE: 10/28/11

# MESSARA

Elev. A 2586 sq. ft.  
Elev. B 2533 sq. ft.



Handwritten notes and signatures:

Y.V.

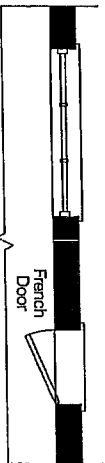
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EC

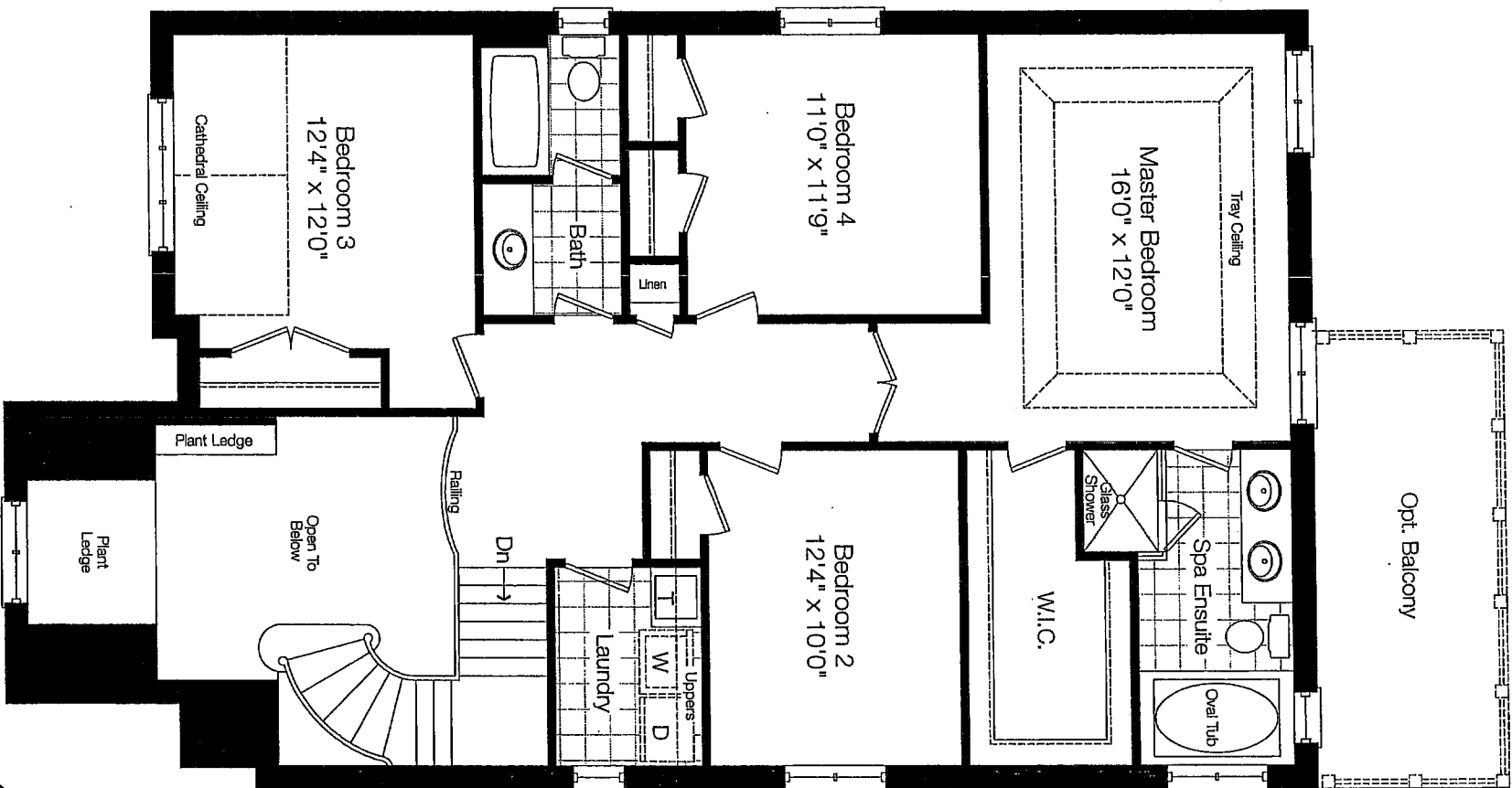
# MESSARA

Elev. A 2586 sq. ft.

Elev. B 2533 sq. ft.



Partial Master Bedroom Door & Window Location  
For Opt. Balcony Condition

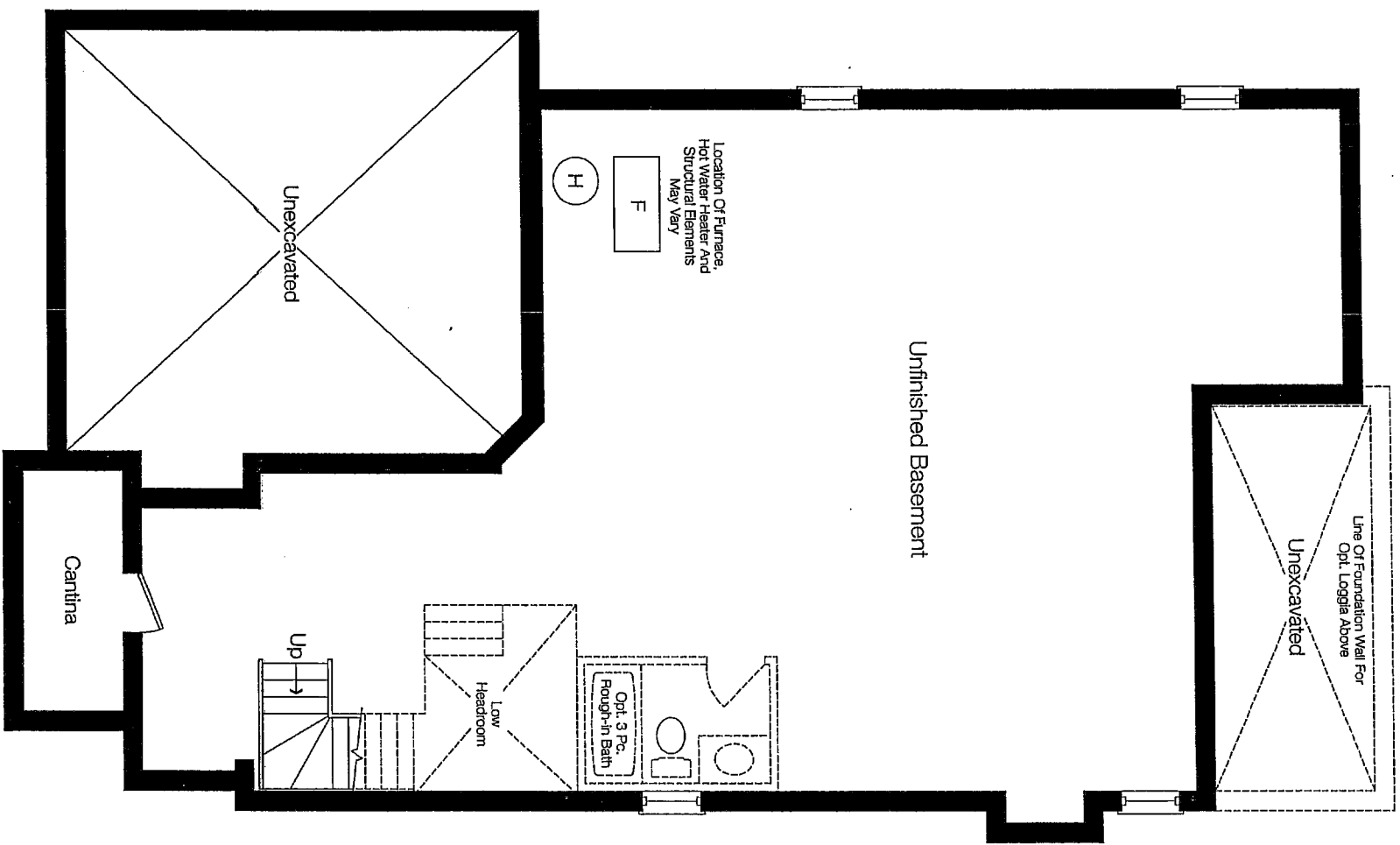


Second Floor Elev. 'A'

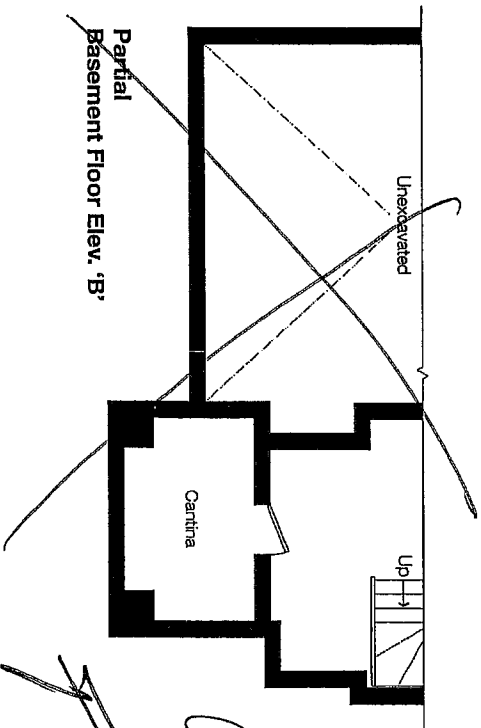
# MESSARA

Elev. A 2586 sq. ft.

Elev. B 2533 sq. ft.



Basement Floor Elev. 'A'

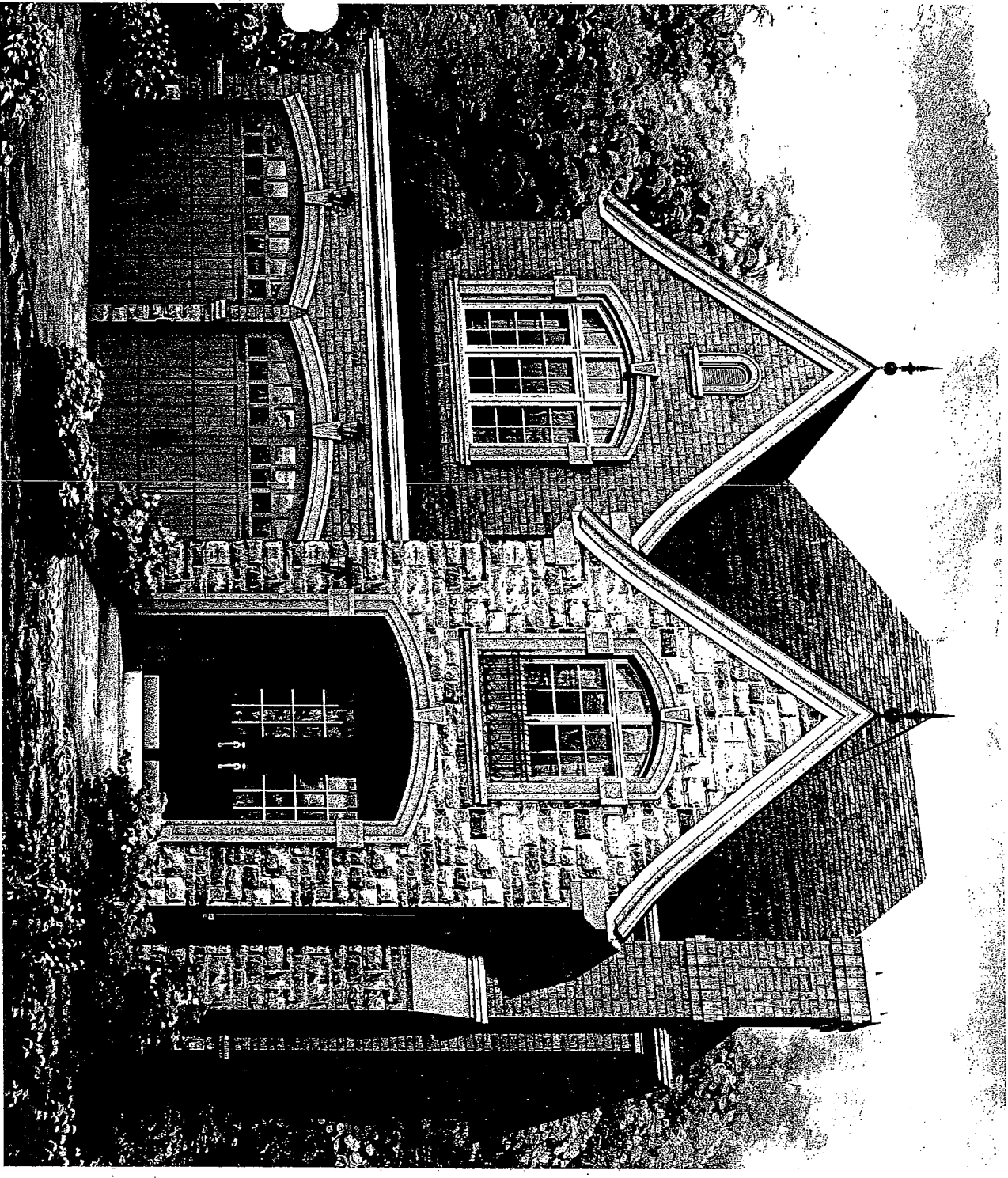


Partial Basement Floor Elev. 'B'

*Handwritten notes:*  
 100%  
 73

# MESSARA

Elev. A 2586 sq. ft.



Lot 73 Sub.  
7-C

**ZANCOR  
HOMES**

**BRICK SELECTION REQUEST\***  
To be completed at time of Structural

LOT #: 73

IN THE CITY OF: King

MODEL TYPE: Mesa ELEVATION: A

BETWEEN:

Zancor Homes  
as VENDOR

AND

Roberto + Alexandra Vasquez  
as PURCHASERS

\*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A  
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK  
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS  
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 6

SECOND CHOICE: 10

THIRD CHOICE: 8

Dated at King this 28 day of Sept 2011  
(Day) (Month) (Year)

[Signature]  
Witness

[Signature]  
Witness

[Signature]  
Purchaser

[Signature]  
Purchaser



ZANCOR  
HOMES

Purchaser(s): Roberto & Yolanda Leal  
Subdivision: King Ridge

STRUCTURAL REQUIREMENTS\*

Lot No. <u>73</u>	House Type <u>Messana</u>	Elevation <u>A</u>	Date
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STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Large Basement Windows	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Additional Basement Windows	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Upgraded Windows	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• 9' Basement	<u>(Y)</u> / N	<u>Included</u>	<u>Y.V. (P.N.)</u>
• 10' Main Floor	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• 9' 2nd Floor	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Extra Window or Door Changes	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Upgraded Window Grills	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Optional Loggia	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Optional Balcony	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Skylights	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Brick Colour & Exterior Package	<u>(Y)</u> / N	Pkg # <u>6</u>	<u>Y.V. (P.N.)</u>
• Additional Fireplaces	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Gas/Electric	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Stair Upgrades (Maple)	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Open Stairs to Basement	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Hot Water Tank Information	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Appliance Specification required from purchaser - 2 weeks from time of Colour Selection	<u>(Y)</u> / N		<u>Y.V. (P.N.)</u>
• Appointment with Kitchen manufacturer required? (for Structural/Layout Changes)	<u>(Y)</u> / N		<u>Y.V. (P.N.)</u>
• Is water line for fridge required?	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Is gas line for stove required?	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Are smooth ceilings required?	<u>(Y)</u> / N	<u>Included</u>	<u>Y.V. (P.N.)</u>
• Mirrors, Towel Racks to be installed?	Y / <u>(N)</u>	<u>delete</u>	<u>Y.V. (P.N.)</u>
• Water Heater/Furnace	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Ensure Purchaser is aware of all ceiling designs in each room:		<u>see per plan</u>	<u>Y.V. (P.N.)</u>
• Cathedral Ceilings	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Coffered Ceilings	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• High Ceilings	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Energy Star Upgrade	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>
• Frameless Glass Shower	Y / <u>(N)</u>		<u>Y.V. (P.N.)</u>

\*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.