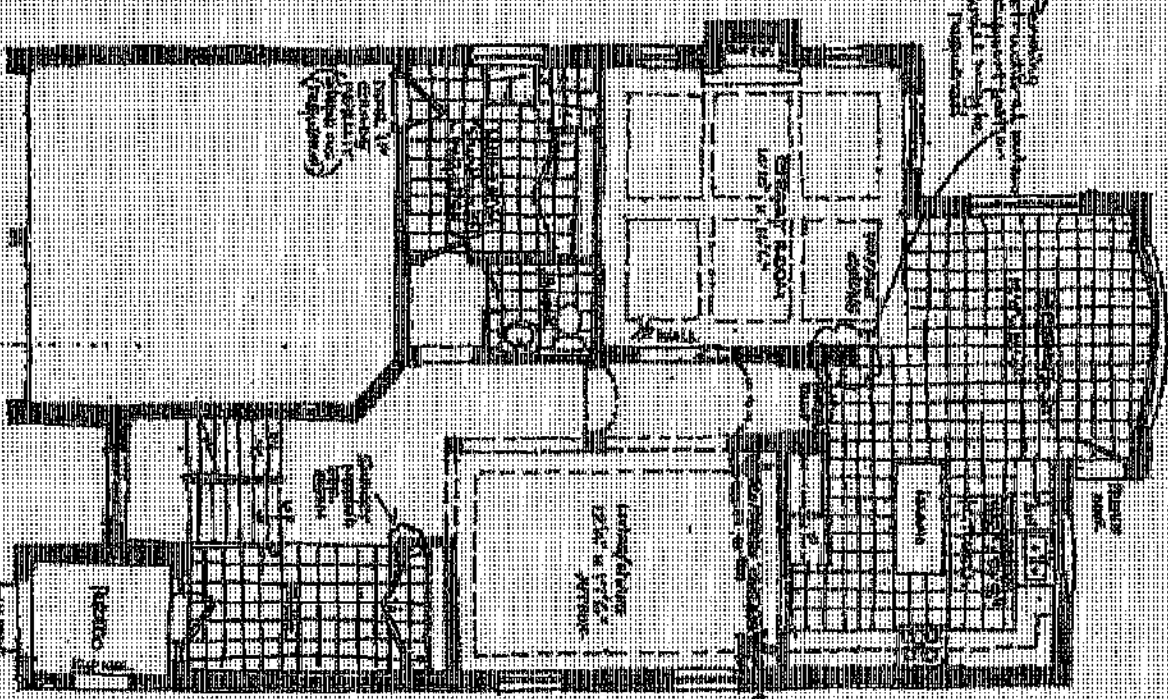


MAY 24/2012 THU 05:14 PM ZANCOZ HOMES LTD FAX NO. 905-383-8318 2. 06/2/2012

MAY 10/2012 THU 05:16 PM ZANCOZ HOMES LTD FAX NO. 905-383-8318 1. 06/2/2012



new floor

Flat #7 James Michno

0-240

10

MAY 24/2012 THU 03:01 PM ZANCOZ HOMES FAX NO. 905-383-8318 2. 003

MAY 25/2012 WED 05:14 PM ZANCOZ HOMES FAX NO. 905-383-8318 2. 002



STRUCTURAL REQUIREMENTS*

Purchaser(s): T. MacIsaac & C. MacIsaac
Subdivision: Kings Ridge

Lot No. <u>7</u>	House Type <u>Passive</u>	Elevation <u>A</u>	Date
STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Large Basement Windows	Y / <u>(N)</u>		C.D.
• Additional Basement Windows	Y / <u>(N)</u>		C.D.
• Upgraded Windows	Y / <u>(N)</u>		C.D.
• 9' Basement	<u>(Y)</u> / N	<u>Included</u>	C.D.
• 10' Main Floor	Y / <u>(N)</u>		C.D.
9' 2nd Floor	Y / <u>(N)</u>		C.D.
• Extra Window or Door Changes	<u>(Y)</u> / N		C.D.
• Upgraded Window Grills	Y / <u>(N)</u>		C.D.
• Optional Loggia	Y / <u>(N)</u>		C.D.
• Optional Balcony	Y / <u>(N)</u>		C.D.
• Skylights	Y / <u>(N)</u>		C.D.
• Brick Colour & Exterior Package	<u>(Y)</u> / N	Pkg # <u>10</u>	C.D.
• Additional Fireplaces	Y / <u>(N)</u>		C.D.
• Gas/Electric	Y / <u>(N)</u>		C.D.
• Stair Upgrades (Maple)	Y / <u>(N)</u>	<u>as per plan</u>	C.D.
• Open Stairs to Basement	<u>(Y)</u> / N		C.D.
• Open Riser Staircase	Y / <u>(N)</u>		C.D.
Hot Water Tank Information	Y / <u>(N)</u>		C.D.
• Appliance Specification required from purchaser - 2 weeks from time of Colour Selection	<u>(Y)</u> / N		C.D.
• Appointment with Kitchen manufacturer required? (for Structural/Layout Changes)	<u>(Y)</u> / N		C.D.
• Is water line for fridge required?	Y / <u>(N)</u>		C.D.
• Is gas line for stove required?	Y / <u>(N)</u>		C.D.
• Are smooth ceilings required?	<u>(Y)</u> / N	<u>Included</u>	C.D.
• Mirrors, Towel Racks to be installed?	<u>(Y)</u> / N		C.D.
• Water Heater/Furnace	Y / <u>(N)</u>		C.D.
• Ensure Purchaser is aware of all ceiling designs in each room:			C.D.
• Cathedral Ceilings	<u>(Y)</u> / N	<u>as per plan</u>	C.D.
Coffered Ceilings	<u>(Y)</u> / N	<u>Change Great Room</u>	C.D.
• High Ceilings	<u>(Y)</u> / N		C.D.
• Energy Star Upgrade	Y / <u>(N)</u>		C.D.
• Frameless Glass Shower	Y / <u>(N)</u>		C.D.

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

PURCHASER REQUEST FOR EXTRAS

**ANCOR
HOMES**

Purchaser: T. & C. Macdonald

Res. No. (4) 648-9595 Bus. No. (4) 624-4039

Subdivision: King's Ridge

Lot No.	Horse Type	Elevation	Date Required	Date Ordered
<u>7</u>	<u>Paint Horse</u>	<u>A</u>		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	①	Push back closet into living/dining rooms 2 1/2 ft. as shown	
	②	Remove mirrors and bulletin board more black paint cabinet	
	③	2 wood doors full length (depth) of barn w/ cut more blown (containing small as shown)	
	④	Libraries (new doors turned into wood room as shown)	
	⑤	More garage door over with mud room.	
		SUB-TOTAL	
		HST	
		TOTAL AMOUNT ▶	

Conditions:

- The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
- Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUYER:

HOME OWNER:

DATE:

DATE:

HOME OWNER:

HOME OWNER:

PURCHASER REQUEST FOR EXTRAS

**ANCOR
HOMES**

Purchaser: T. & C. Macdonald
Res. No. (4) 648-9535 Bus. No. (4) 624-9039

Subdivision:

Trump Bridge

Lot No.	House Type	Elevation	Date Required	Date Ordered
<u>7</u>	<u>Passive</u>	<u>1st.</u>		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	⑥	Waffle ceiling to about 2000 & below to loose entrance off main hall with great room with bay wall 42" high	
	⑦	Closest to mud room & truck	
	⑧	Window cover near stairs & life - division	
		As per Agreement	
		need for these	
		stand	
		SUB-TOTAL	
		HST	
		TOTAL AMOUNT ▶	

Conditions:

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BUYER:

HOME OWNER:

DATE:

DATE:

April 18, 2012

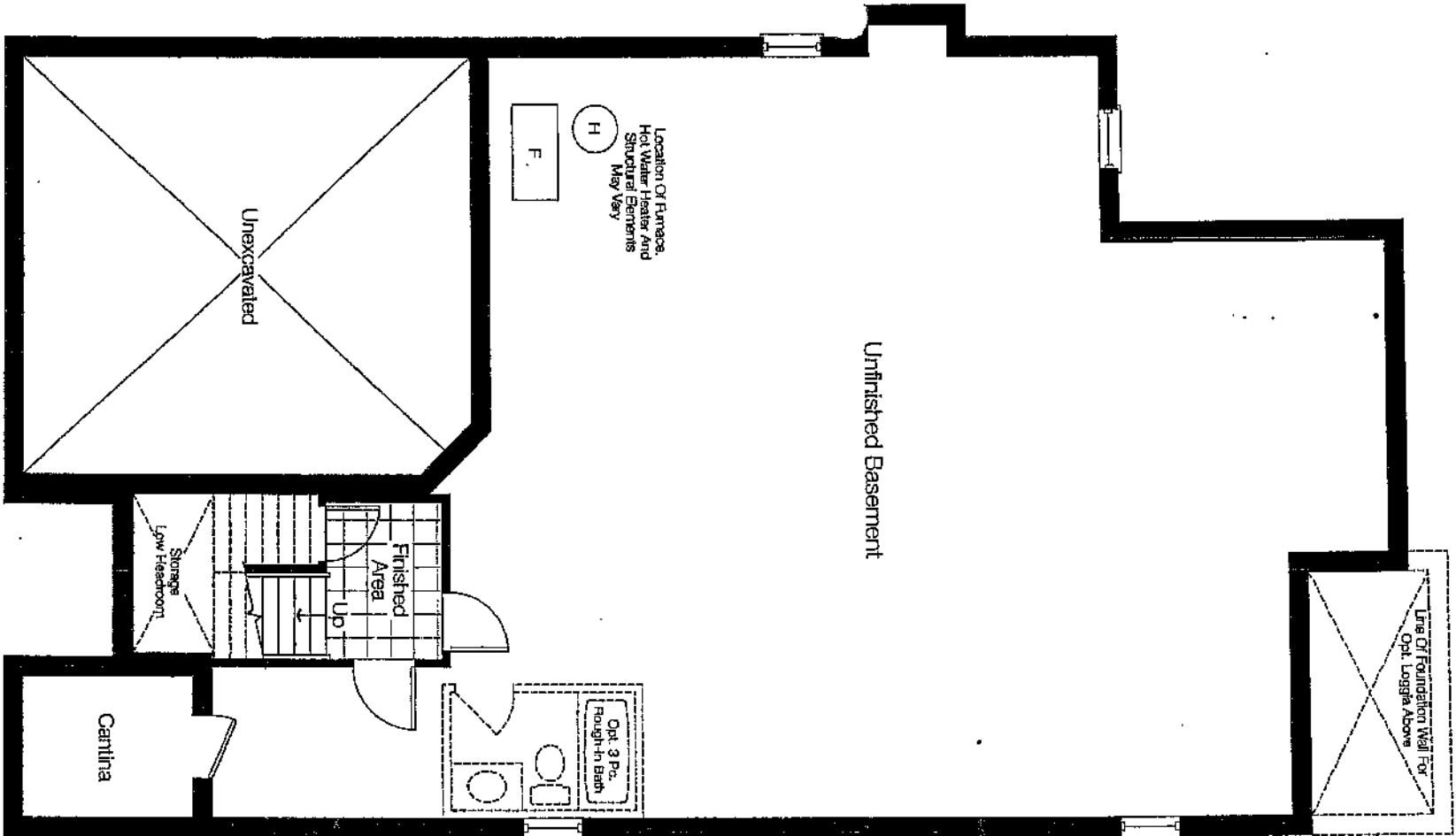
April 18, 2012

PASO FINO

Elev. A 3148 sq. ft.

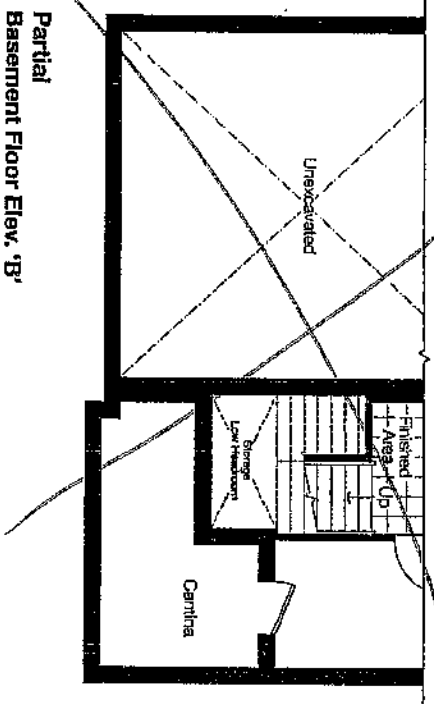
Elev. B 3155 sq. ft.

Includes 39 sq. ft. fin. lower level



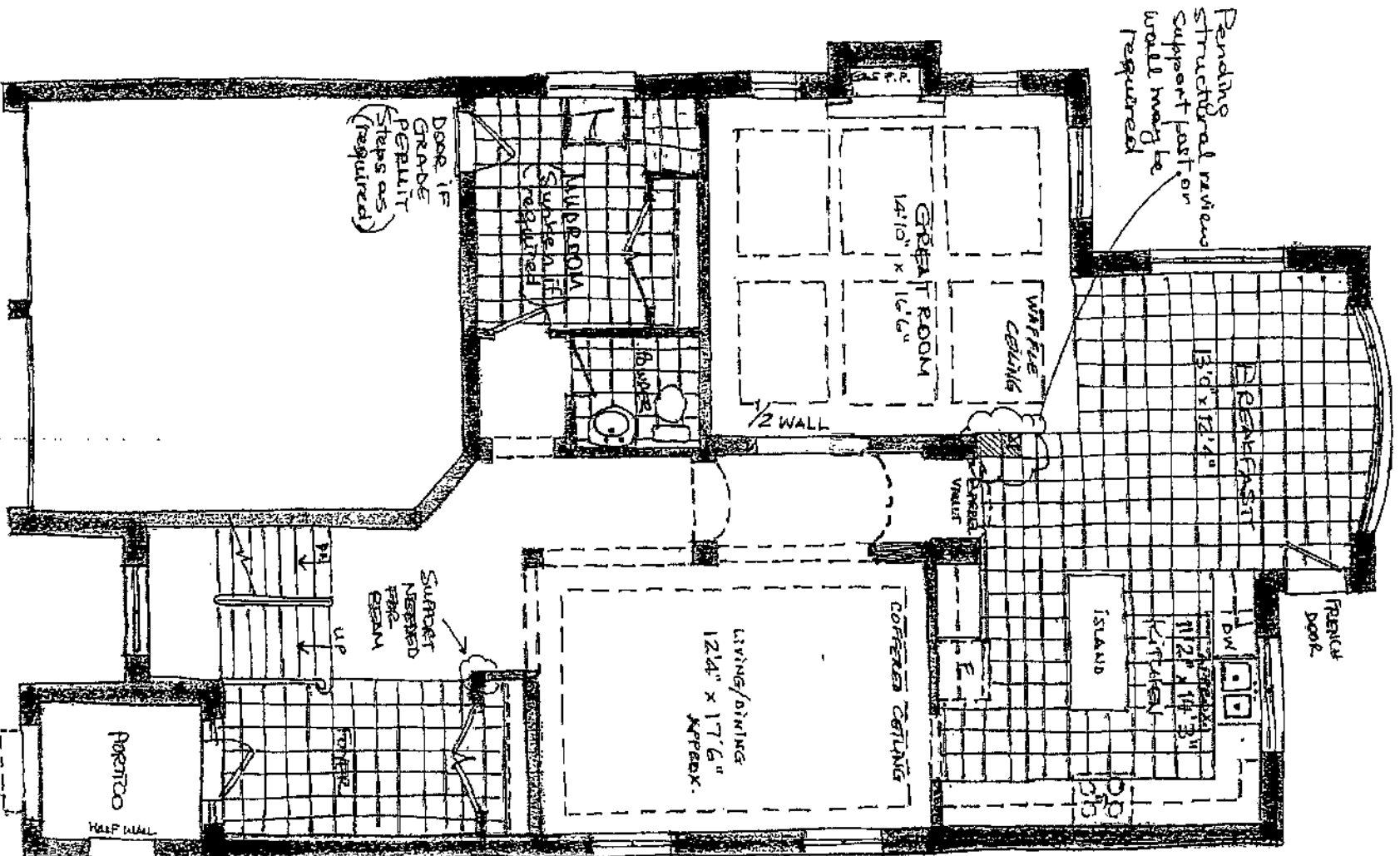
Basement Floor Elev. 'A'

C.N.



Partial Basement Floor Elev. 'B'

Hot?
Cooler?
A/C



Plot #7 New Plan C.N.

FC

Eliev. A 3148 sq. ft.
Eliev. B 3155 sq. ft.
includes 39 sq. ft. fin. lower level



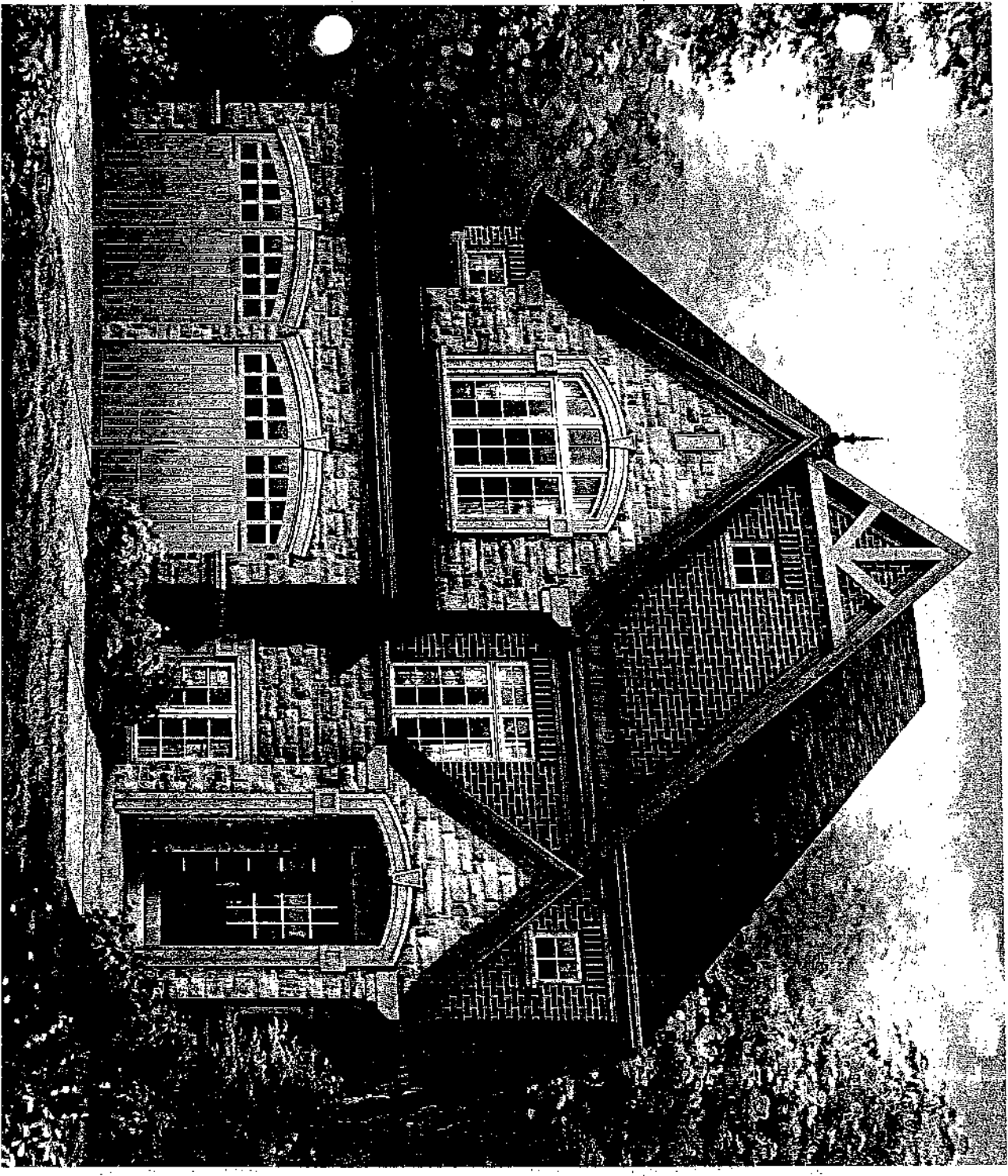
2

[Handwritten signature]

PASO FINO

Elev. A 3148 sq. ft.

Includes 39 sq. ft. fin. lower level



Class 11A

Set 7

FC

C.H.



ZANCOR
HOMES

BRICK SELECTION REQUEST*

To be completed at time of Structural

LOT #: 7 Mues Ridge

IN THE CITY OF: KING

MODEL TYPE: Paso Fino ELEVATION: A

BETWEEN:
ZANCOR HOMES
as VENDOR

AND
THOMAS NICOLINI & CHARMADE NICOLINI
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 10

SECOND CHOICE: 6

THIRD CHOICE: 12

Dated at KING this 18th day of APRIL 2012
(Day) (Month) (Year)

Witness [Signature] Witness [Signature]
Purchaser

Witness _____ Purchaser _____

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE

Generic

The undersigned Purchaser hereby agrees to and with the undersigned Vendor to the following amendments to the Agreement of Purchase and Sale. All other terms are confirmed and time shall continue to be of the essence.

P. taser: **THOMAS NICOLINI**
Purchaser: **CHARMAINE NICOLINI**
Vendor: **Zancor Homes (King City) Ltd**
Lot #: **7** Phase: **2** Plan No.:
Street: **Adelia Place**
in the : **Township of King**
Date of Offer: **Sunday March 25, 2012**

DELETE:

1. SCHEDULE F AND L
2. PARAGRAPH 3(D) IN ITS ENTIRETY.
3. IN PARAGRAPH 2(F) "IN THE EVENT THE VENDOR HAS UNDERTAKEN AN OBLIGATION TO THE SUBDIVIDER TO CONTRIBUTE TO THE COST OF SUBDIVISION AESTHETIC ENHANCEMENT SUCH AS BOULEVARD TREATMENT OR IMPROVEMENT, OR LANDSCAPING, OR SUBDIVISION ENTRANCE FEATURES, OR CORNER LOT FENCING OR FENCES OR RETAINING WALLS IN THE SUBDIVISION, THE PURCHASER SHALL, ON THE DATE OF CLOSING, REIMBURSE THE VENDOR AS TO THE COST THEREOF, THE COST TO BE ABSOLUTELY DETERMINED AND APPORTIONED BY STATUTORY DECLARATION SWORN ON THE PART OF THE VENDOR"

II. RT:

1. THIS IS NOW A FIRM AND BINDING AGREEMENT.
2. \$15,000.00 TO BE USED FOR EITHER STRUCTURAL CHANGES OR UPGRADES AT COLOR CHART TIME FROM BUILDERS STANDARD SAMPLES.
3. IN PARAGRAPH 2(E) ANY INCREASE TO THE EXISTING LEVY AND/OR AMOUNT OF NEW LEVY SHALL NOT EXCEED \$2,000.00.
4. IN PARAGRAPH 2(F) THE COST OF, OR THE CHARGE MADE FOR, WATER SERVICE AND INSTALLATION OF WATER METER AND THE COST OF HYDRO INSTALLATION AND CONNECTION FEE SHALL NOT EXCEED \$900.00.

Dated at King City, Ontario this 14th day of April, 2012.

Witness (Sign & Print Name)

Purchaser - THOMAS NICOLINI

Witness (Sign & Print Name)

Purchaser - CHARMAINE NICOLINI

Accepted at Concord, Ontario this 14 day of April, 2012

Zancor Homes (King City) Ltd

Per: [Signature]
Authorized Signing Officer

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE

Generic

The undersigned Purchaser hereby agrees to and with the undersigned Vendor to the following amendments to the Agreement of Purchase and Sale. All other terms are confirmed and time shall continue to be of the essence.

Purchaser: **THOMAS NICOLINI**
Vendor: **CHARMAINE NICOLINI**
Lot #: **7** Phase: **2** Plan No.:
Street: **Adelia Place**
in the : **Township of King**
Date of Offer: **Sunday March 25, 2012**

DELETE:

1. MODEL PALABELLA A
2. PURCHASE PRICE OF [REDACTED]
3. SCHEDULE F AND L UNTIL APRIL 2 2013 EC

INSERT:

1. MODEL PASO FINO A
2. PURCHASE PRICE OF [REDACTED]
3. SCHEDULE F AND L UNTIL APRIL 9 2013 EC

Dated at King City, Ontario this 31st day of March, 2012.

Witness (Sign & Print Name)

Witness (Sign & Print Name)

Purchaser - THOMAS NICOLINI

Purchaser - CHARMAINE NICOLINI

Accepted at Concord, Ontario this 31 day of March, 2012

Zancor Homes (King City) Ltd

Per: [Signature]
Authorized Signing Officer

SCHEDULE "E"

PURCHASER'S EXTRAS

**ZANCOR
HOMES**

Vendor Zancor Homes (King City) Ltd	Purchaser(s) THOMAS NICOLINI CHARMAINE NICOLINI Telephone Number: 416-648-9595
---	---

Lot Number 7	House Type Falabella (42-5) Elev A	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 25-Mar-2012
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IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

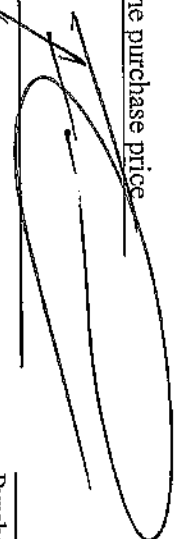

DESCRIPTION

1. LOT PREMIUM INCLUDES: - Walk Out Basement - Rear Elevation Upgrade - Adjacent to Conservation Lands - Large Lot. 2. FIRST UPGRADE PRE-FINISHED OAK STAINED HARDWOOD 3 1/4 X 3/4 TO: FAMILY ROOM, DINING ROOM, DEN, MAIN FLOOR HALLWAY, UPPER HALLWAY, BEDROOM 2, BEDROOM 3, BEDROOM 4, MASTER BEDROOM, WALK IN CLOSET. 3. STAIN TO STAIRS AND HANDRAILS. 4. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.
--

Conditions:

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6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

for _____ 	Purchaser: THOMAS NICOLINI 
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Purchaser: CHARMAINE NICOLINI