

Purchaser: NEELAB SAI T ATIF GABRI

Bus. No.:

Bus. No.:

Lot No.	House Type	Elevation	Date Required	Date Ordered
63	40-7	A		
<u>ISABELLE</u>				
"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE	
	9	LOCATION KNUCKLY BOOK UPS AND VENT IN BASEMENT		
	10	STANDARD GAS FIREPLACE INCLUDED IN SCHEDULE "E"		
		SUB-TOTAL		
		HST		
		TOTAL AMOUNT ▶		

Conditions:

... The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.

.. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.

. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.

The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be accepted.

acknowledged as part of the agreement.

All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

HOME OWNER:

[Signature]

HOME OWNER:

[Handwritten signature]

WILDER:

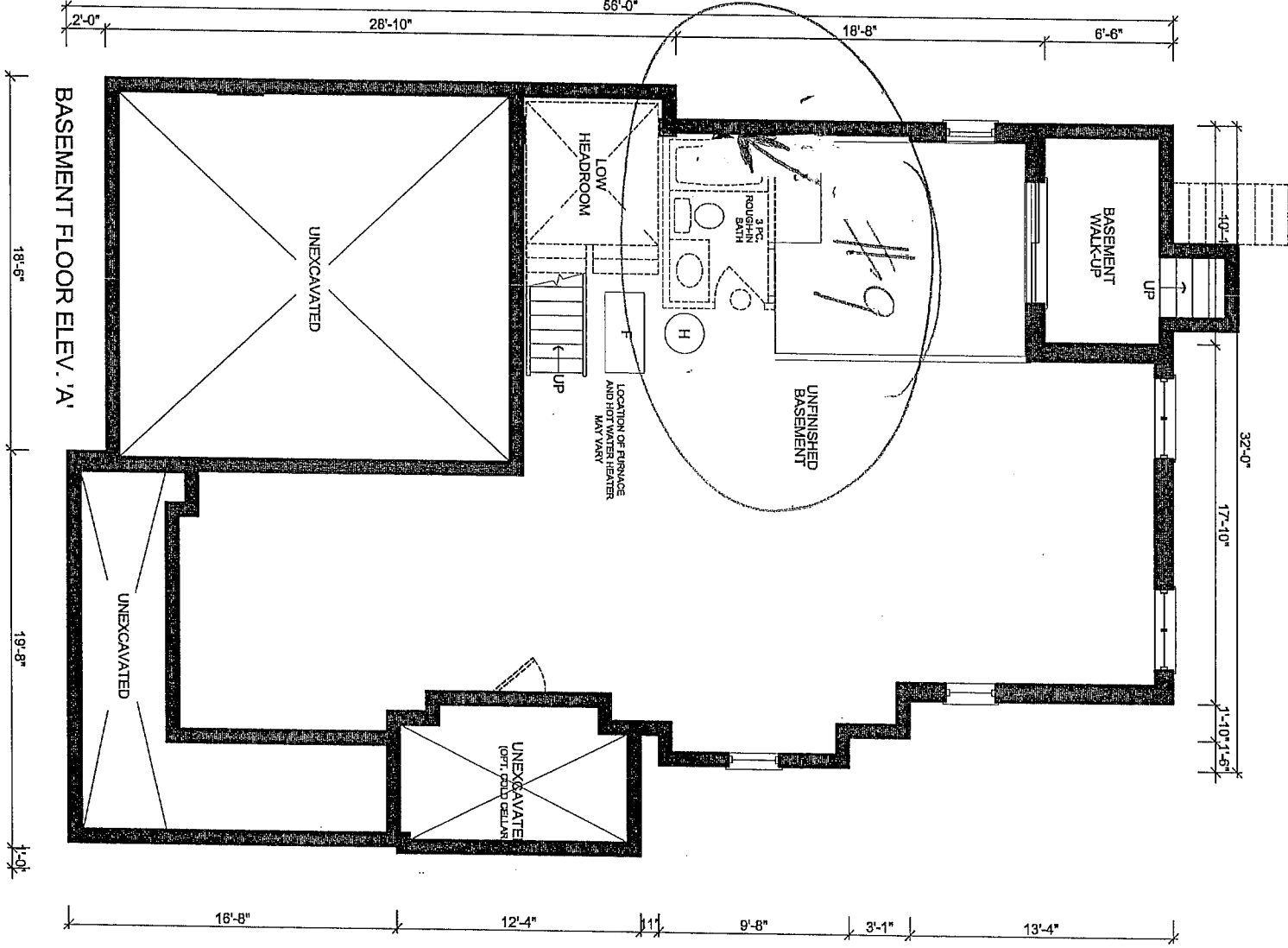
May 3 2012

DATE:

APR 22/12

Project Number		09014	
Issued			
1	MAY-17-10	AI	
Scale 1/8" = 1'-0"			
Client ZANCOR HOMES			
Project OLDE WINCHESTER PHASE 7 WHITBY, ONT			
Model 40-7 LOT 63			
Area (s.f.) A=2478 SF			
INCLUDES FINISHED BASMENT DOES NOT INCLUDE OPEN TO BELOW			
Lot Coverage (max.) 2210 S.F.			
Page		1 OF 10	

lot 63
Apr 22/12
40-7 Elev A
~~FC~~



ZANGOR
HOMES

$$\frac{D}{N}$$

Bus. No.

Subdivision:

Lot No.	63	House Type	40-7	Elevation	A	Date Required		Date Ordered	
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[illegible]

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BUILDER:

HOME OWNER: _____
HOME OWNER: _____

DATE:

March 17, 2012

DATE: 10 MAR 15/12


ZANCOR
HOMES

BRICK SELECTION REQUEST*
To be completed at time of Structural

LOT #: 63

IN THE CITY OF: BROOKLYN

MODEL TYPE: 40-7

ELEVATION: A

BETWEEN:

ZANCOR HOMES (BROOKLYN SEVEN) LLC
as VENDOR

AND

ATIF QADRI & NEELAB SANYAL
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 8

SECOND CHOICE: 5

THIRD CHOICE: 6

Dated at BROOKLYN this 15TH day of MARCH 2012
(Day) (Month) (Year)

[Signature]
Witness

[Signature]
Witness

[Signature]
Purchaser

[Signature]
Purchaser

SCHEDULE "E"
PURCHASER'S EXTRAS

Vendor Zancor Homes (Brooklin Seven) Ltd	Purchaser(s) ATIF QADRI NEELAB SAFI		
Telephone Number:			905-239-7674

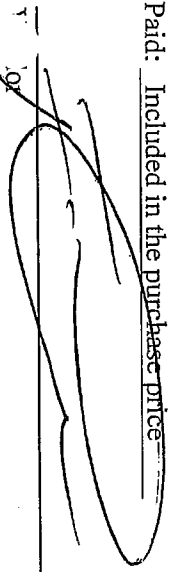

Lot Number 63	House Type Isabelle (40-7) Elev A	Reg. Plan # 40M-2416	Closing Date As Per Agreement	Date Ordered 19-Feb-2012
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IN ACCORDANCE WITH THE PROVISIONS OF SCHEDULE "X" OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

LOOK OUT BASEMENT CHANGED TO WALK UP BASEMENT - LARGER BASEMENT WINDOW AT REAR OF HOME WITH DOOR(S) FROM BASEMENT AND STEPS UP TO GRADE AND 5 FOOT X 7 FOOT DECK OFF MAIN FLOOR KOHLER PLUMBING FIXTURES THROUGHOUT ENERGY STAR QUALIFIED HOMES NO HIDDEN CLOSING COSTS: NOT WITHSTANDING ANYTHING TO THE CONTRARY IN THIS AGREEMENT, THERE SHALL BE NO ADJUSTMENTS IN THE SCHEDULE X WITH RESPECT TO THE FOLLOWING: (A) GRADING DEPOSIT; (B) TREE PLANTING CHARGES; (C) HYDRO AND WATER METER AND CONNECTION CHARGES; (D) LAW SOCIETY OF UPPER CANADA TRANSACTION LEVY CHARGE; AND (E) CHARGES RELATING TO INCREASES IN THE EXISTING LEVY AND NEW LEVY CHARGES PURCHASER IS AWARE THAT THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER. ENERGY STAR GAS FIREPLACE, HARDWOOD THROUGHOUT - (2/14 in X ¾ in NATURAL OAK PRE-FINISHED EXCEPT TILED AREAS AND BEDROOMS) PURCHASER REQUEST FOR EXTRAS DATED FEB. 19, 2012

Where applicable: Purchaser acknowledges being advised that the stain of pre-finished wood flooring and the stain of the stairs, railings, spindles and stair landing may vary, despite both having the same descriptive name and or code.

Paid: <u>Included in the purchase price</u>	
	
	Purchaser: ATIF QADRI


Purchaser: NEELAB SAFI

2







PURCHASER REQUEST FOR EXTRAS

ZANCOR
HOMES

Purchaser: NEE LAB SAFI + ATIF QADRI
Res. No: _____ Bus. No: _____

Subdivision: Brookline

Lot No.	House Type	Elevation	Date Required	Date Ordered
63	40-7	A		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	1	FLOOR PLAN CHANGES TO INCLUDE - 5 BEDROOM PLAN - ADD ENSUITE TO INCLUDE SHOWER STALL, TOILET + SINK	
	2	- CLOSET ON MAIN FLOOR RELOCATED AS SHOWN ON FLOOR PLAN	
	3	CHANCE + KENNERGE ORIGINAL CLOSET LOCATION	
		THIS IS JUST A SMALL - WITH REAR DOOR ROOM NOW - NOT A CLOSET	
	4	LOOK OUT BASEMENT CHANGED TO WALK UP BASEMENT	
		AS DESCRIBED IN SCHEDULE "E"	
	5	BALCONY FROM MASTER BEDROOM BEDROOM OVER DECK (5x6) (1- TOILET) 	
	6.	2 WINDOWS SEATS 	

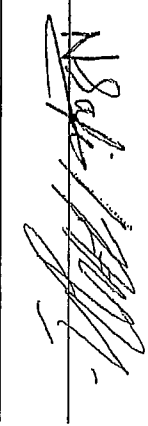
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BUILDER:



HOME OWNER:
HOME OWNER:



DATE:

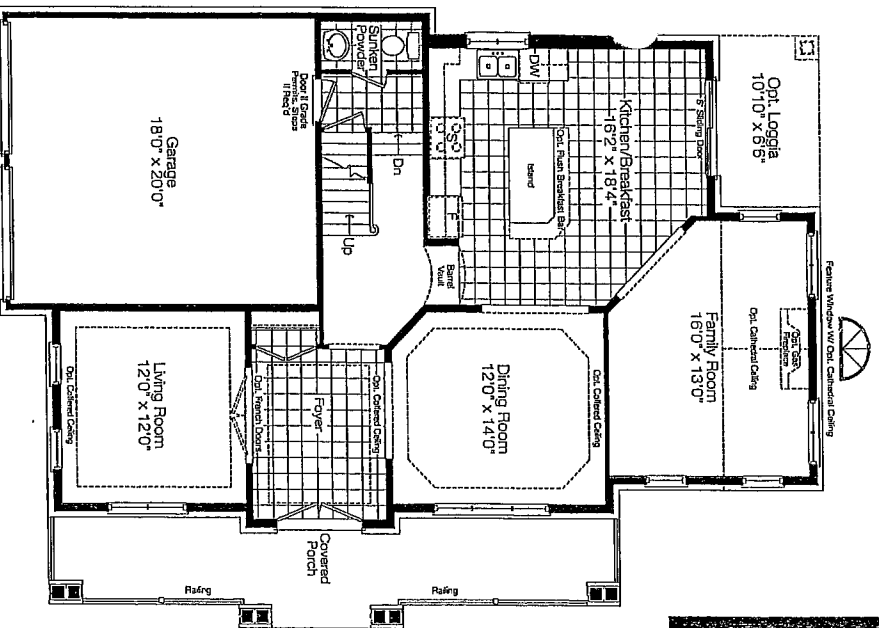
Feb 27, 2012

DATE:

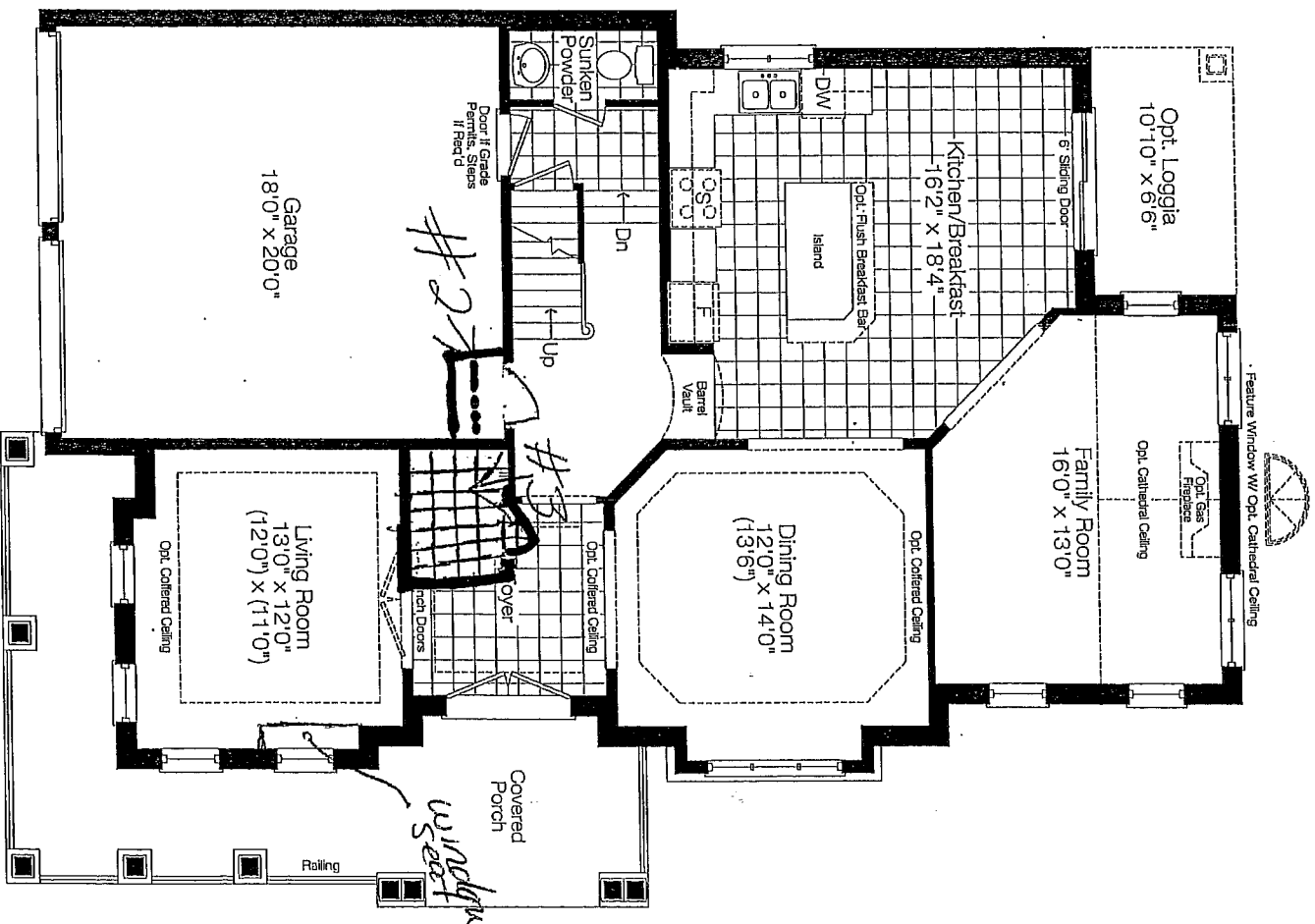
FEB 19/12

Isabelle

Elev. A 2478 sq. ft.
Elev. B 2439 sq. ft.



Ground Floor Elev. 'B'



Ground Floor Elev. 'A'

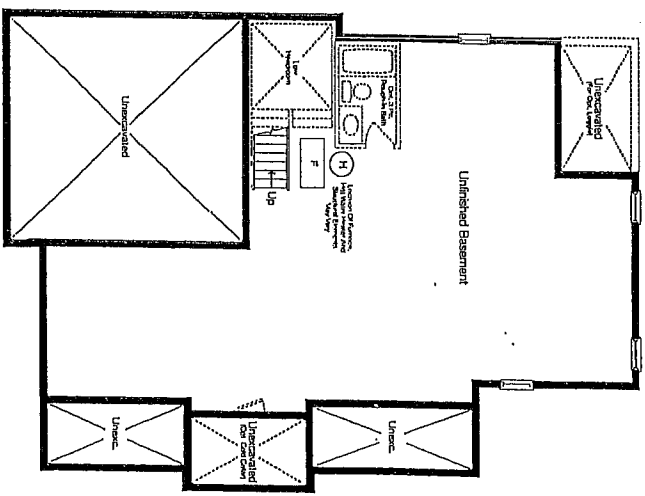
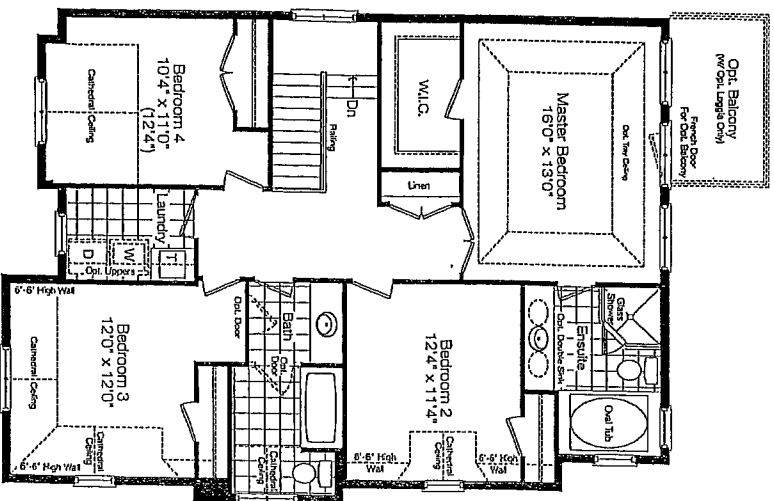
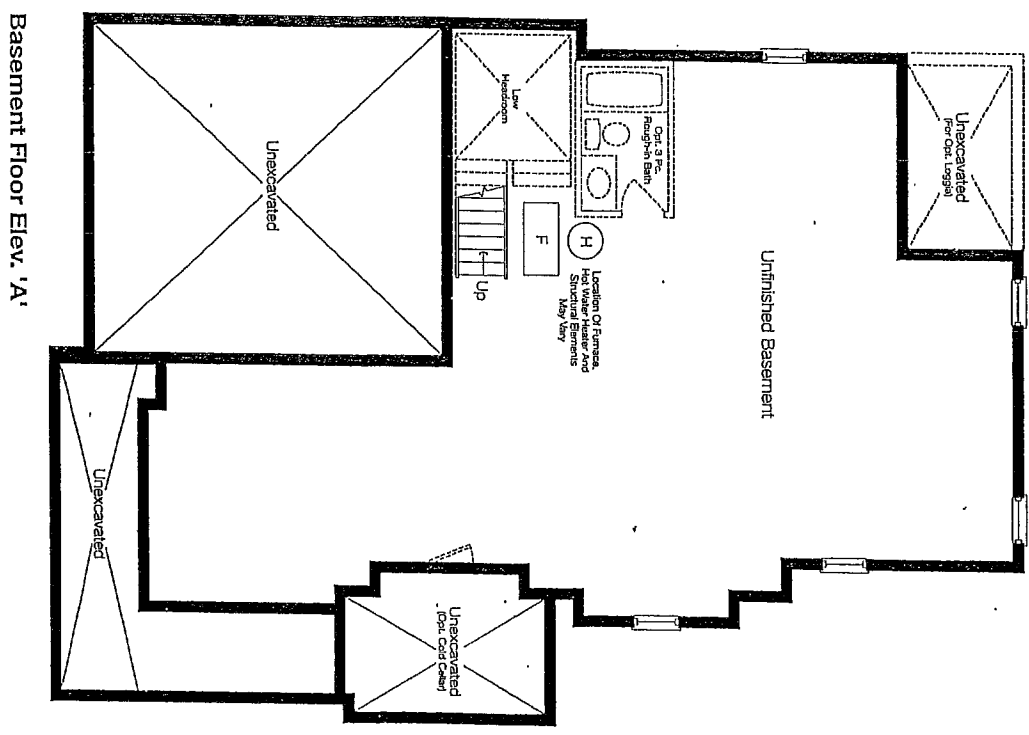
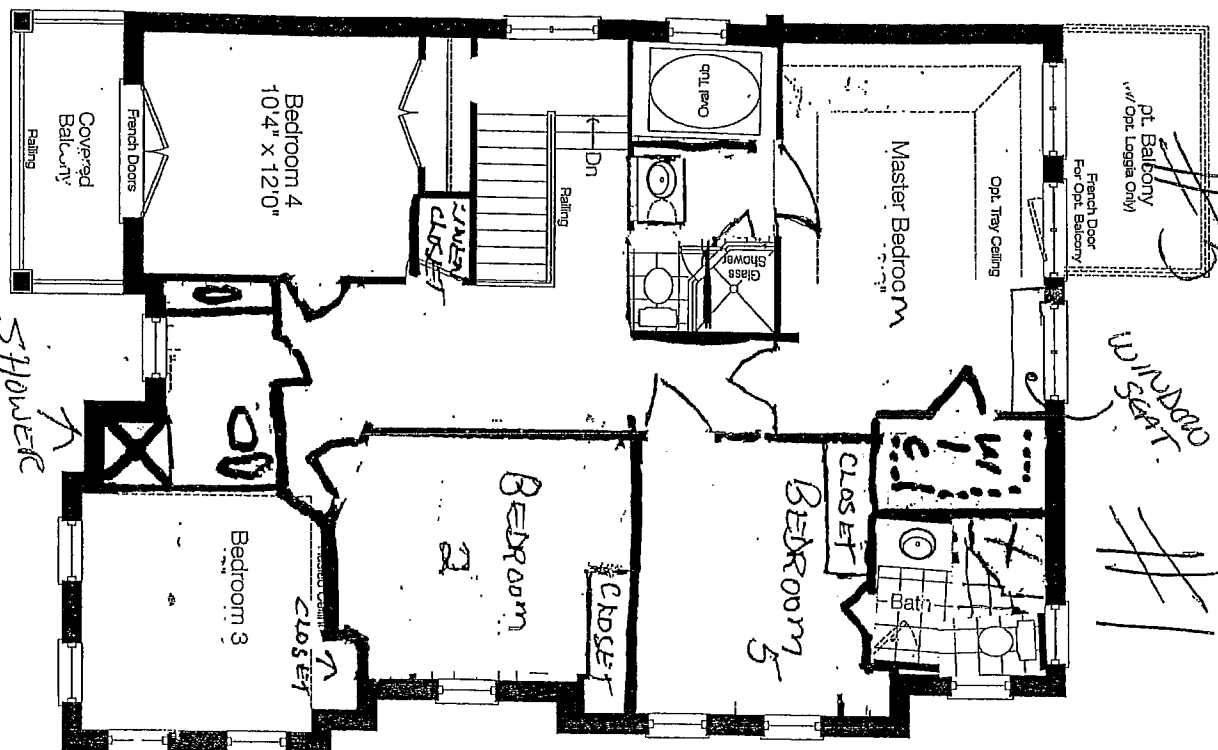
LOT 63
40-7 Elev. A
Feb 19/12

N.S/H.A.

Prices and specifications are subject to change without notice. E.S.O.E. The patterns may vary. Window size and location may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renderings are artist's concept.

Feb 19/12 LOT 63

40-7
elev A.



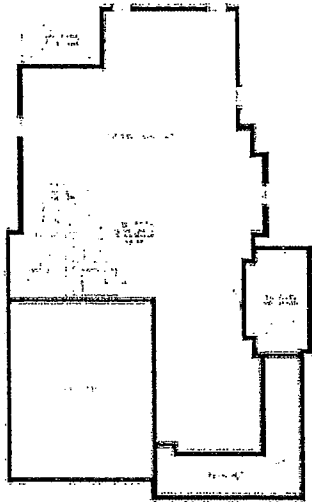
Second Floor Elev. 'B'

Basement Floor Elev. 'B'

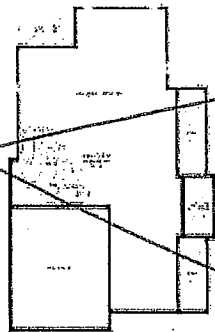
N.S/H.O.

FLOOR PLAN

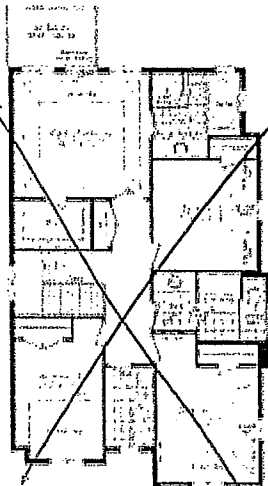
Elac. B 2439 sq. n



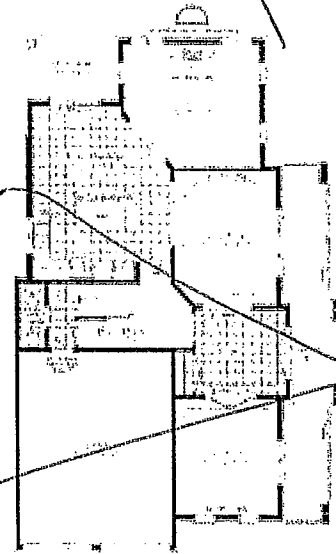
Estimated Value: \$1,300.00



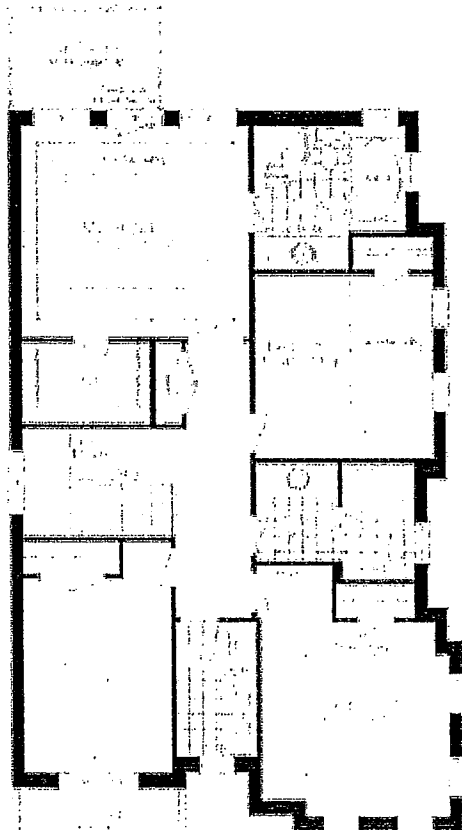
Ergebnisse der 1. und 2. Lesung



Dr. Anna K. K. K.

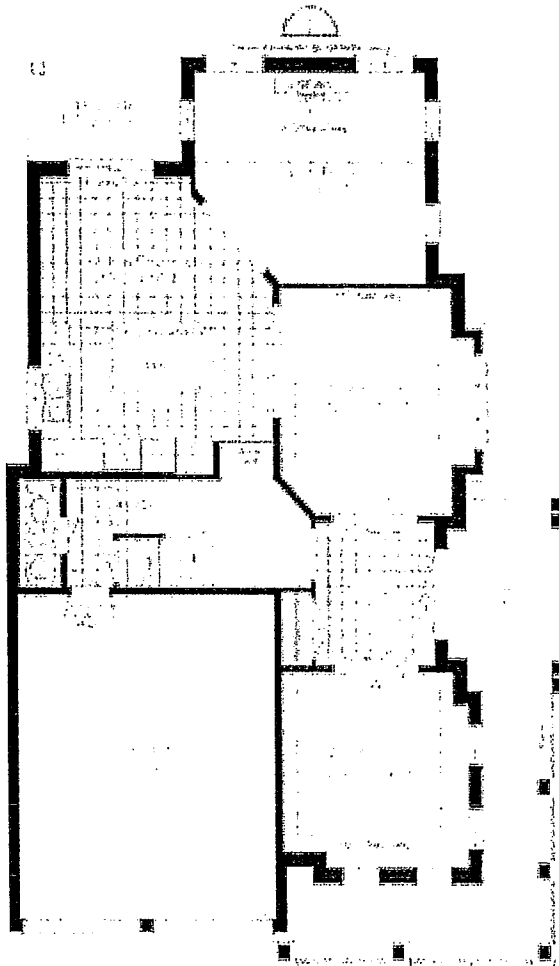


Wolfgang Iser



2000-01-01

lot 6
Elev
A.



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Vendor's Initials

Purchaser's Initials

Purchaser's Initials

Lot No.:63 Plan No.:40M-2416 Vendor: Zancor Homes (Brooklin Seven) Ltd