

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

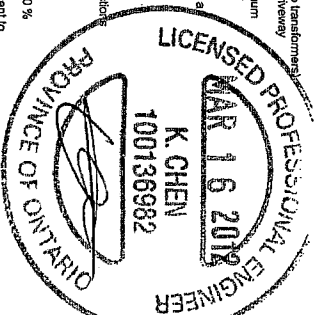
ARCHITECTURAL REVIEW & APPROVAL

MAR 1 9 2012

John G. Williams Limited, Architect

- LOT GRADING NOTES:
- 1) All dimensions and grade elevations are expressed in SI units.
  - 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
  - 3) Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
  - 4) Footings must bear on native, undisturbed soil, and be a minimum of 1.22 m below finished grade.
  - 5) Exterior cladding, masonry, and window sills shall be a minimum of 1.50 m above finished grade.
  - 6) Drains must be placed at least 1.50 m from the building (e.g., by a minimum of 3.0 m no deflection in driveway) and must be placed at least 1.50 m from the building.
  - 7) Any above ground utilities not meeting the above noted minimum clearance from proposed driveway are to be relocated at the discretion of the engineer.
  - 8) SWALES:
    - i) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
    - ii) Swales must be 1.0 m from lot line to higher property.
    - iii) Minimum swale depth to be 250mm.
    - iv) Maximum swale side slope to be 3:1 H:V.
    - v) Maximum depth of rear yard swale to be 750 mm.
    - vi) Swales must be placed at least 1.50 m from the building.
    - vii) Swales must be placed at least 1.50 m from the building.
    - viii) Swales must be placed at least 1.50 m from the building.
  - 9) To weeping tiles or sewers are not permitted.
  - 10) EMBANKMENTS:
    - i) Maximum 3:1 slope if < 1m high.
    - ii) Maximum 2:1 slope if > 1m high.
    - iii) Terraces minimum 1.5m wide.
  - 11) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
  - 12) Where rear lot setbacks are provided, house footing adjacent to the RLOB line must be lower than the rear.

NOTES:  
ALL STAIRS ACCESSING FRONT ENTRY TO BE POURED-IN-PLACE PER SEC. 4.4 FOUND IN KING NORTH / KING DIFFERIN / KINGSHIRE ESTATES.

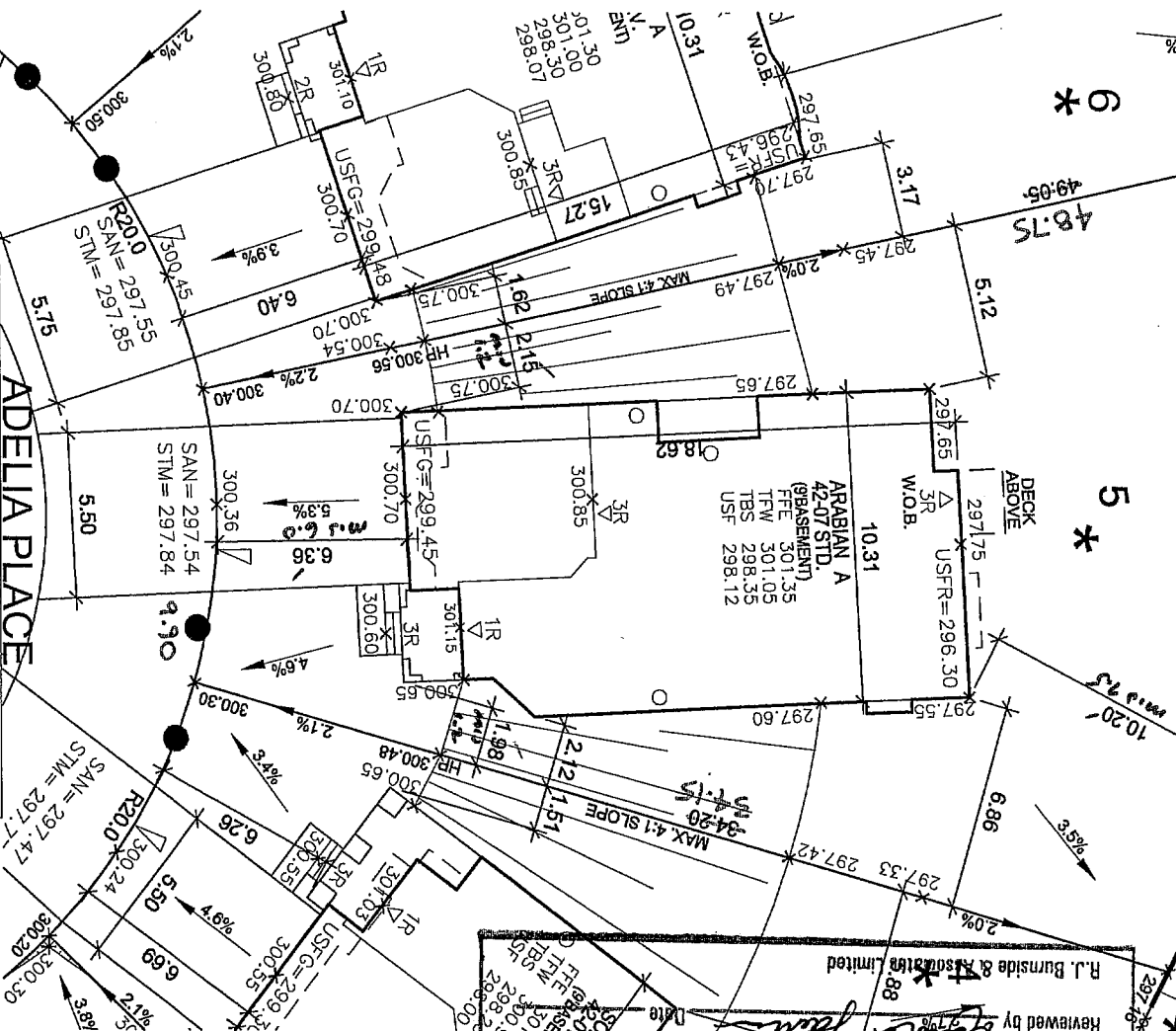


CLIENT	ZANCOR HOMES
PROJECT/LOCATION	KING CITY KING CITY, ONTARIO
DRAWING	SITE GRADING PLAN
BUILDING STATISTICS	
REG. PLAN NO.	65M-4295
ZONE	R4
LOT NUMBER	5
LOT AREA(m) <sup>2</sup>	N/A
BLDG AREA(m) <sup>2</sup>	N/A
LOT COVERAGE(%)	N/A
NO. OF STOREYS	2
MEAN HEIGHT(m)	8.19
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
STD	STANDARD PLAN
REV	REVERSE PLAN

UPGRADE EXPOSED ELEVATIONS(S)  
(See Approved Streetscape / Unit Working Draw)



NOTES:  
- Builder to verify storm and sanitary service lateral elevations prior to pouring footings  
- Extend footings at front to ensure 1.25M cover (Min)  
- Garage footings to extend to original ground or as directed by soils engineer.



APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) 5 and hereby certify that:

1. The proposed grading and appurtenant drainage works comply with sound engineer principles.
2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.

VALDOR ENGINEERING INC.

Date: .....

Reviewed by *[Signature]* R.J. Burnside & Associates Limited  
Date: MAY 08 2012

☒ Reviewed as noted  
☐ Accepted without changes  
☐ Dimensions provided by others

This plan has been reviewed, on behalf of the Township of King, and is hereby approved for construction. The Township of King is not responsible for the accuracy of the information provided by the applicant or for the consequences of any errors or omissions in the plan.

NO.	DESCRIPTION	DATE	DWN/CHK
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1	ISSUED FOR REVIEW	FEBRU/12	NC NC
2	ISSUED FOR FINAL	MARCH/12	NC NC
3	ISSUED FOR FINAL	MARCH/12	NC NC

I, NELSON CUNHA  
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 21032

FIRM BCIN 26995

MAR.13.2012

SIGNATURE *[Signature]*

DRAWN BY NC

SCALE 1:250

PROJECT No. 09011

LOT NUMBER 5

**rn design**  
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