



PURCHASER REQUEST FOR EXTRAS

Purchaser

Estabrooks, Ahren & Tamara

Res. No.

Bus. No.

Subdivision **Kings Ridge**

Lot # 5

House Type	Elevation	Date Required	Date Ordered
			07/04/12

[illegible]

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

Builder Rep:

Home Purchaser:

Date:

Date:

PAIA TO
SMARTTECH

ZANCOR HOMES

Purchaser

Allen & Pamela Stalder
Res. No: (9) 727-8238 Bus. No: (4) 566-6648

Subdivision:

Maple Ridge

Lot No.	House Type	Elevation	Date Required	Date Ordered
5	<i>Traditional</i>	11' 9"		

PURCHASER REQUEST FOR EXTRAS

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	(8)	8 ft. sale stairound	
		down the library	
	(9)	Stromeler Library	
		Shower to, ensuite	
		10 mm in. Lien of 6 mm	
		framed. Included chrome	
		handles brass.	
	(10)	Links & Finest in	
		Reverse	
	(11)	Wall & Pocket doors	
		making reverse	
		aluminum	
	(12)	Spiked Arch to	
		all of main floor	
	(13)	Single Window & post	
		in double door	
		to walk out	
		Basement with	
		stairs	
		SUB-TOTAL	
		HST	
		TOTAL AMOUNT	

Conditions:

- The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of the items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
- Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUILDER:

[Signature]

DATE:

Jan 28, 2012

HOME OWNER:

[Signature]

HOME OWNER:

[Signature]

DATE:

Nov. 9/11

**ZANCOR
HOMES**

Purchaser: Wendy Cameron Ostrander
 Rec. No. 91727-8238 Bus. No. _____


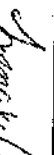
Subdivision:

Ms. No. 1
H. H. H. H.

[illegible]

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

2028/2012

Sum of \$1000.
HOME OWNER: 
HOME OWNER: 
DATE: Nov. 9/11

DATE:

STRUCTURAL REQUIREMENTS*

**ZANCOR
HOMES**

Purchaser(s):

Alison & Jamian Ostrowski

Subdivision:

Strip Hills

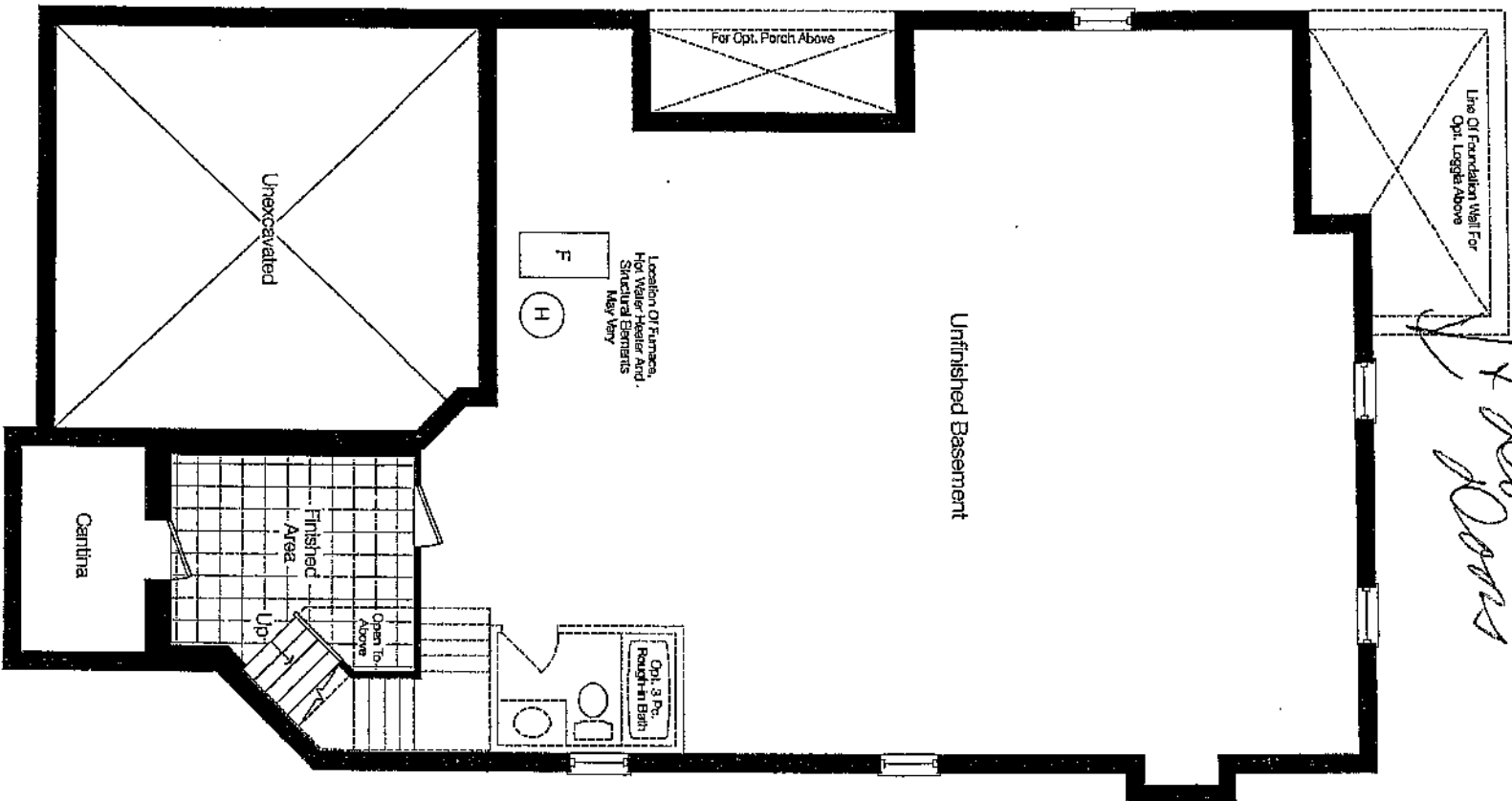
Lot No. <i>5</i>	House Type <i>Detached</i>	Elevation <i>"A"</i>	Date
---------------------	-------------------------------	-------------------------	------

STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Large Basement Windows	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>
• Additional Basement Windows	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Upgraded Windows	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• 9' Basement	<input checked="" type="radio"/> Y <input type="radio"/> N	<i>Included</i>	<i>AS-JL</i>
• 10' Main Floor	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• 9' 2nd Floor	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Extra Window or Door Changes	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>
• Upgraded Window Grills	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Optional Loggia	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Optional Balcony	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Skylights	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Brick Colour & Exterior Package	<input checked="" type="radio"/> Y <input type="radio"/> N	Pkg # <i>9</i>	<i>AS-JL</i>
• Additional Fireplaces	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Gas/Electric	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Stair Upgrades (Maple)	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Open Stairs to Basement	<input checked="" type="radio"/> Y <input type="radio"/> N	<i>as per plan</i>	<i>AS-JL</i>
• Hot Water Tank Information	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Appliance Specification required from purchaser - 2 weeks from time of Colour Selection	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>
• Appointment with Kitchen manufacturer required? (for Structural/Layout Changes)	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>
• Is water line for fridge required?	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Is gas line for stove required?	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Are smooth ceilings required?	<input checked="" type="radio"/> Y <input type="radio"/> N	<i>Included</i>	<i>AS-JL</i>
• Mirrors, Towel Racks to be installed?	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>
• Water Heater/Furnace	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Ensure Purchaser is aware of all ceiling designs in each room:			
• Cathedral Ceilings	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Coffered Ceilings	<input type="radio"/> Y <input checked="" type="radio"/> N	<i>as per plan</i>	<i>AS-JL</i>
• High Ceilings	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Energy Star Upgrade	<input type="radio"/> Y <input checked="" type="radio"/> N		<i>AS-JL</i>
• Frameless Glass Shower	<input checked="" type="radio"/> Y <input type="radio"/> N		<i>AS-JL</i>

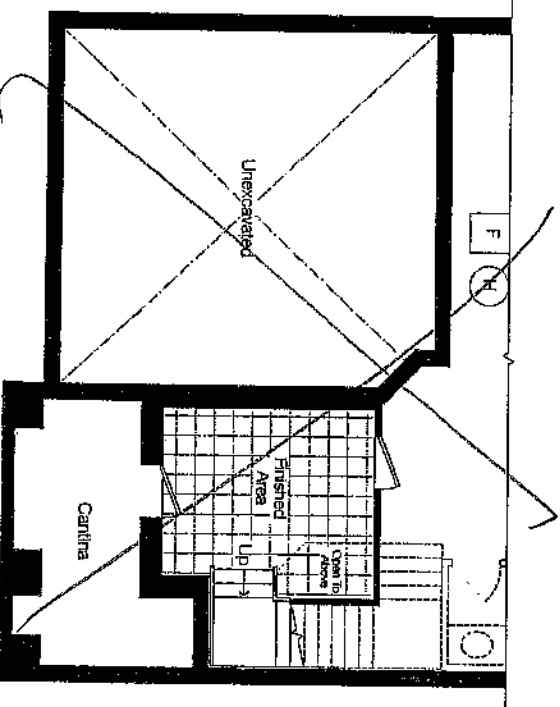
*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

ARABIAN
 13 Single Windows
 + Double French
 Doors

Elev. A 3419 sq. ft.
 includes 111 sq. ft. fin. lower level
 Elev. B 3420 sq. ft.
 includes 109 sq. ft. fin. lower level



Basement Floor Elev. 'A'



Partial
 Basement Floor Elev. 'B'

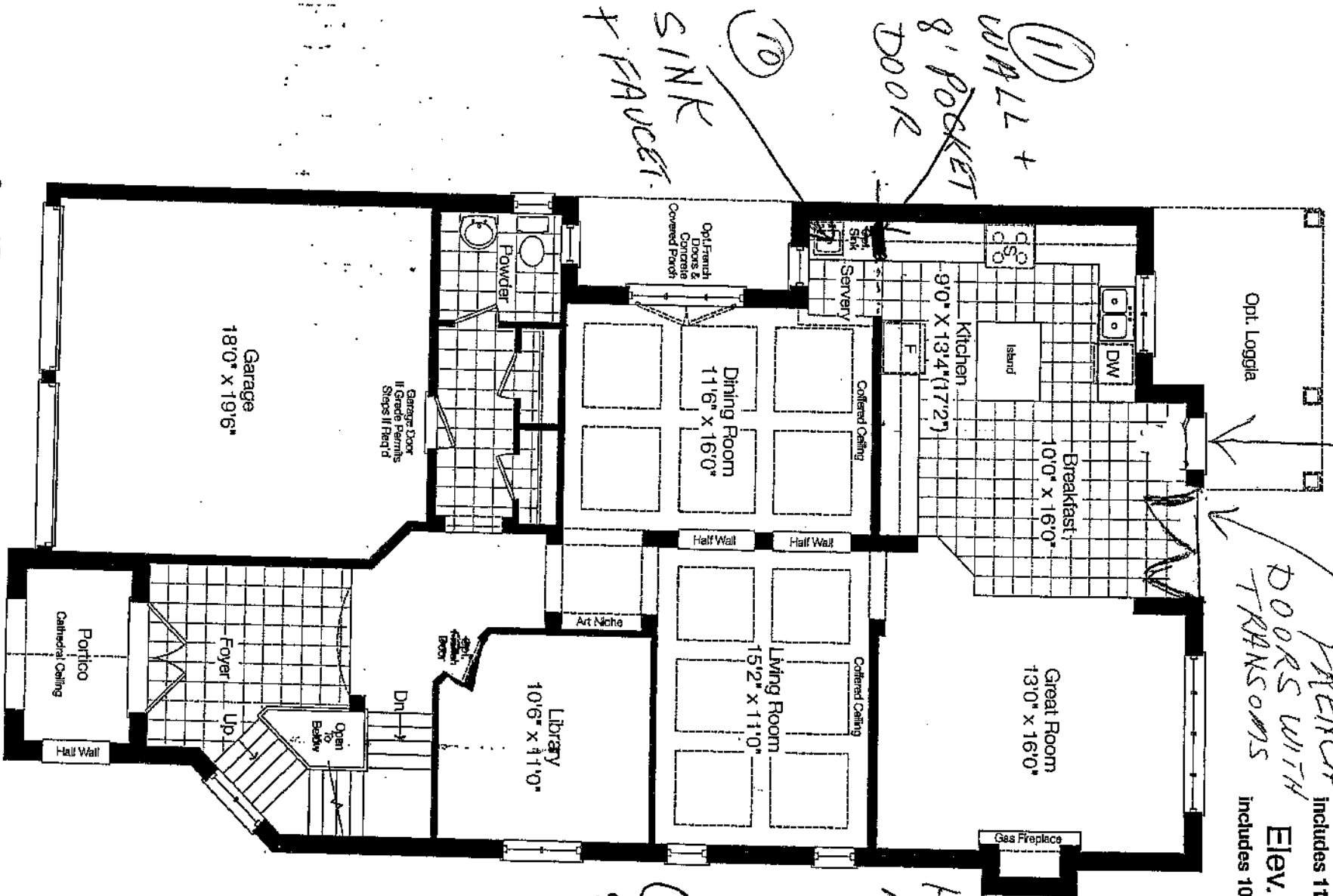
2025

K. M.

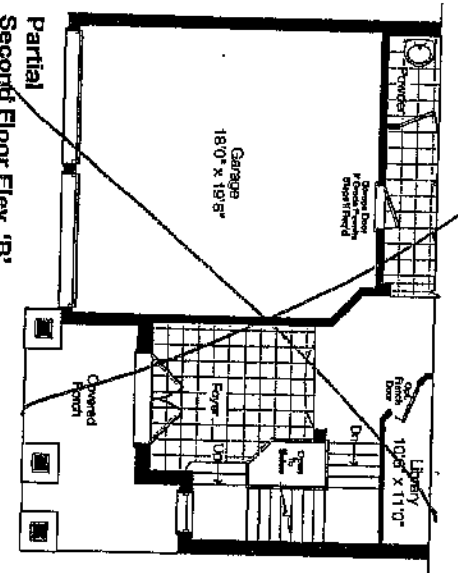
ARABIAN

Elev. A 3419 sq. ft.
includes 111 sq. ft. fin. lower level
Elev. B 3420 sq. ft.
includes 109 sq. ft. fin. lower level

WINDOW 14
DOUBLE
FRENCH
DOORS WITH
TRANSOMS



Ground Floor Elev. 'A'



2045
FC
B-25

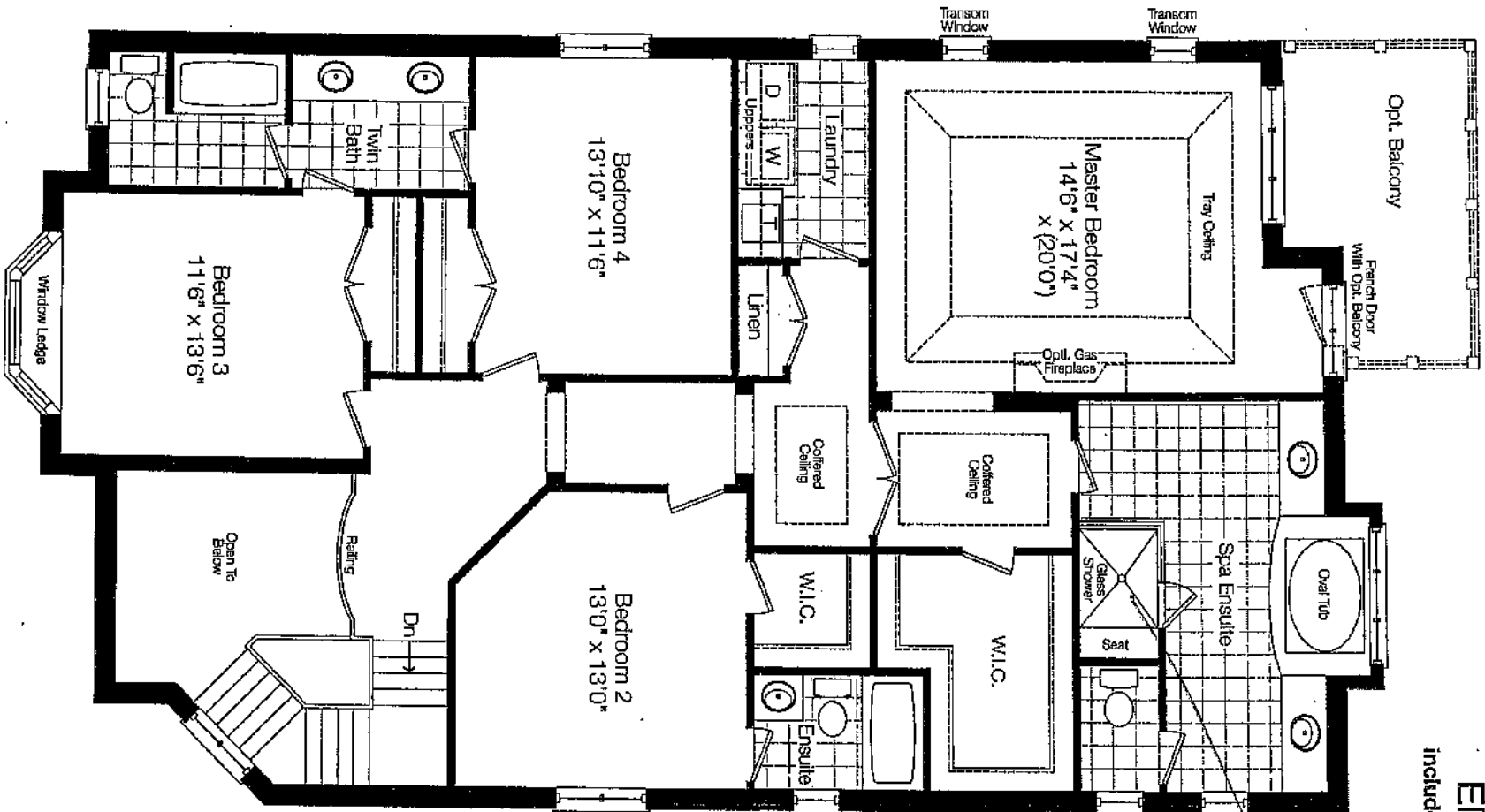
ARABIAN

Elev. A 3419 sq. ft.

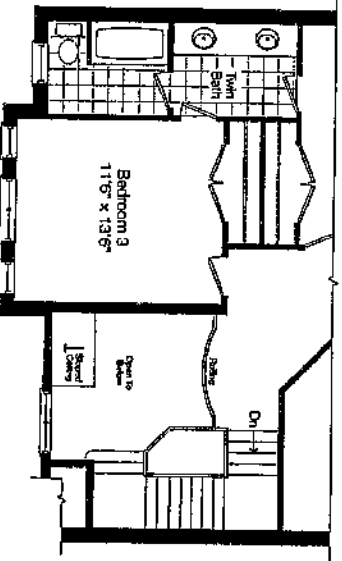
includes 111 sq. ft. fin. lower level

Elev. B 3420 sq. ft.

includes 109 sq. ft. fin. lower level



Second Floor Elev. 'A'



Partial Ground Floor Elev. 'B'

**LOTS
Kings**

FRAMELESS
GLASS
SHOWER.



Project Number
09011

Issued

1	OCT-12-11	VM
---	-----------	----

Scale
1/8" = 1'-0"

Client
ZANCOR HOMES

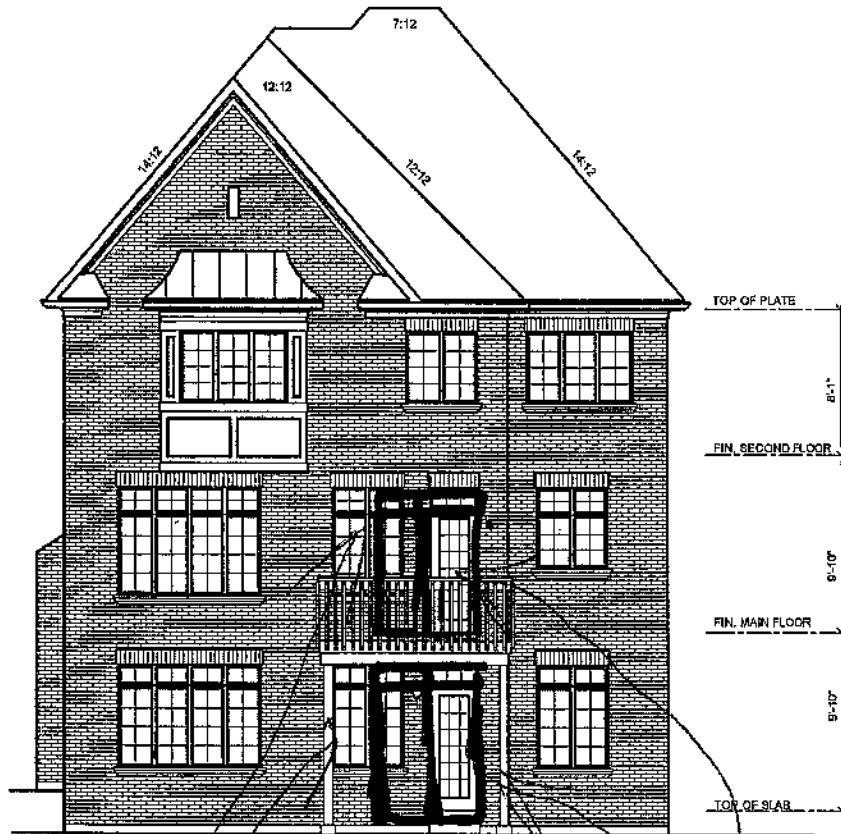
Project
KING CITY

Lot Size
42'

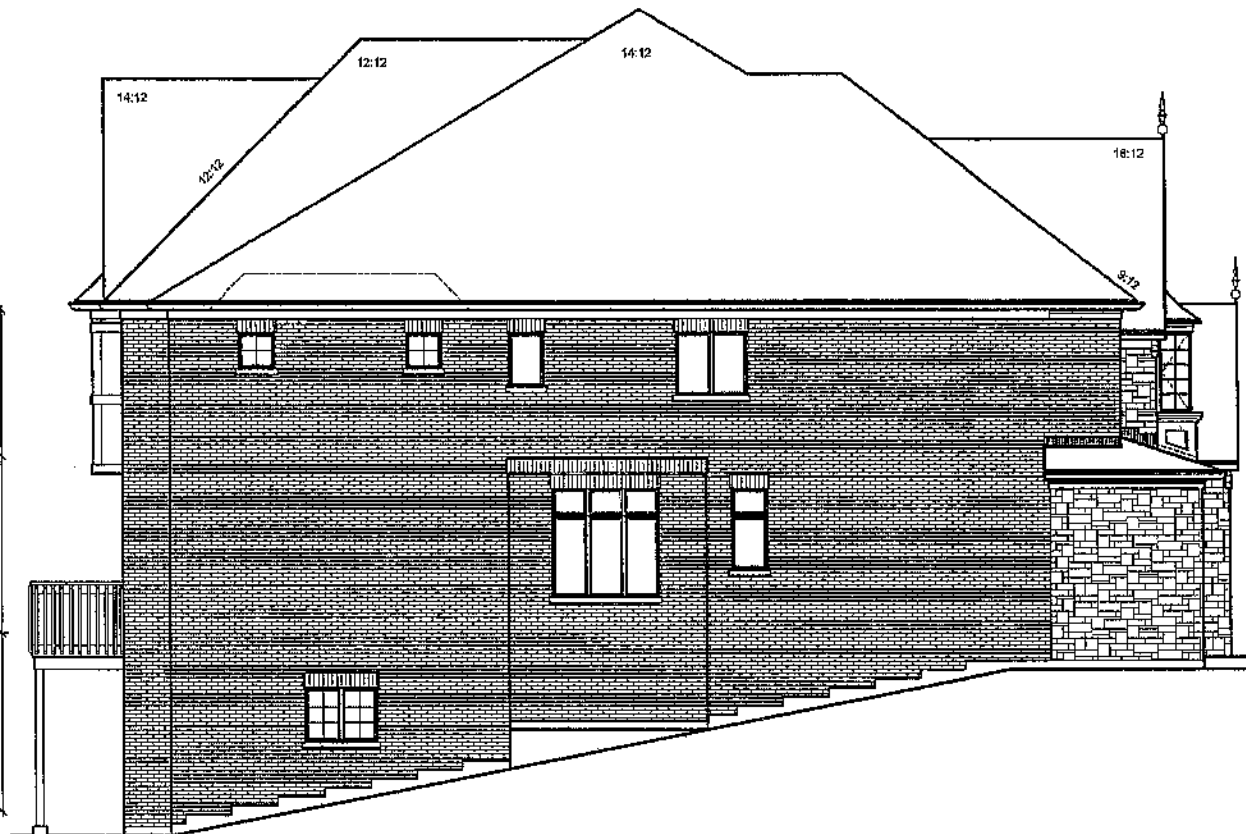
Model
42-7- LOT 5

Square Footage (Elev. 'C')
A=3419 SF
B=3420 SF

Page
2 OF 2



REAR UPGRADE ELEVATION 'A'
LOT 5



LEFT SIDE ELEVATION 'A'
LOT 5

SINGLE WINDOW TO MAIN AND BASEMENT

(13) MAIN AND BASEMENT DOUBLE FRENCH DOORS WITH TRANSOMS

Handwritten initials/signature

Issued

1	OCT-12-11	VM
---	-----------	----

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

[illegible]

Condition	Control (%)	MCI (%)	AD (%)
A	~95	~85	~75
B	~90	~80	~70
C	~85	~75	~65
D	~80	~75	~70

[illegible]

--	--	--	--

[illegible][illegible]

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

[illegible]

--	--	--	--

[illegible][illegible]

Age Group	Male (%)	Female (%)
18-29	85	80
30-49	80	75
50-69	75	70
70+	70	65

Scale

$$1/8'' = 1'-0''$$

Client _____

ZANCOR

HOMES

Prolet

KING CITY

L01 SL2B

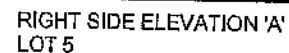
Figure 1 is a schematic representation of the experimental design. It shows a horizontal timeline from 0 to 30 minutes. At 0 minutes, a subject is shown in a car. At 10 minutes, the subject is shown in a car with a '10 min' label. At 20 minutes, the subject is shown in a car with a '20 min' label. At 30 minutes, the subject is shown in a car with a '30 min' label. The timeline is labeled 'Time' and 'Subject'.

42-7 - LOT 5

Square Footage (Elev. 'C')

B=3420 SF

Page



TOP OF PLATE

"

FIN, SCND FLOC

108

FIN. MAIN FLOOR

308

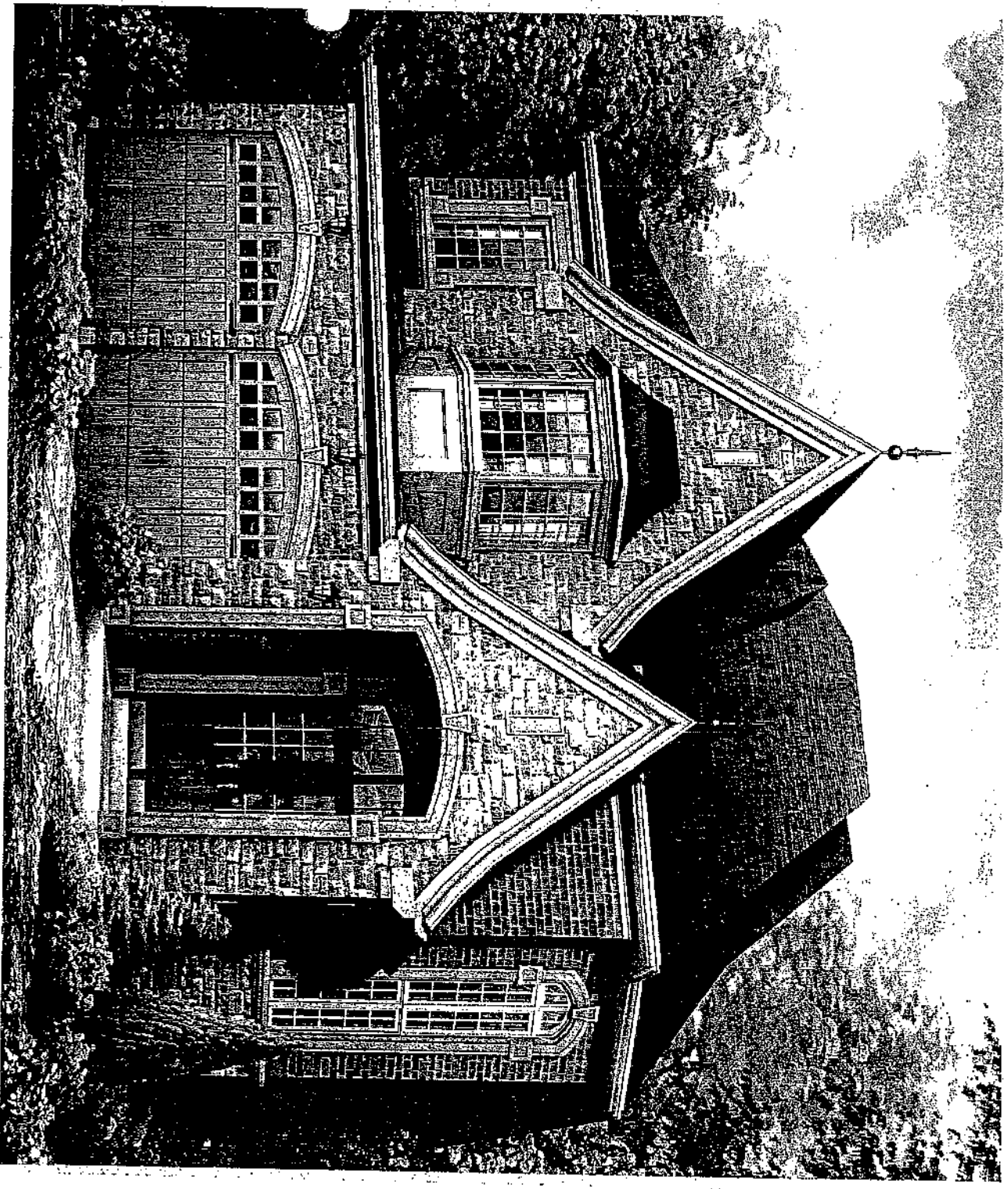
TOP OF SLAB

1 OF 2

ARABIAN

Elev. A 3419 sq. ft.

includes 111 sq. ft. fin. lower level



Lot 45

FC
m
K

**ZANCOR
HOMES**

BRICK SELECTION REQUEST*
To be completed at time of Structural

LOT #: 5

IN THE CITY OF: King City

MODEL TYPE: Arabian ELEVATION: A

BETWEEN:

Zancor Homes
as VENDOR

AND

Ahren Estabrooks & Tamara Estabrooks
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 9

SECOND CHOICE: 8

THIRD CHOICE: 5

Dated at King City this 3rd day of August 2011
(Day) (Month) (Year)

M. Mahini
Witness

M. Mahini
Witness

[Signature]
Purchaser

Tamara A.M. Estabrooks
Purchaser



ZANCOR
HOMES

SCHEDULE "E"
PURCHASER'S EXTRAS

Vendor Zancor Homes (King City) Ltd		Purchaser(s) AHREN ESTABROOKS TAMARA ESTABROOKS Telephone Number: 905-727-8238		
Lot Number 5	House Type Arabian (42-7) Elev A	Reg. Plan # Not Registered	Closing Date As Per Agreement	Date Ordered 03-Aug-2011

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION


LOT PREMIUM INCLUDES: - Walk Out Basement - Rear Elevation Upgrade - Adjacent to Conservation Lands - Large Lot
1. FIRST UPGRADE PER-FINISHED OAK 3 1/4 X 3/4 STAINED HARDWOOD TO: GREAT ROOM, DINING ROOM, LIVING ROOM, LIBRARY, MAIN FLOOR HALLWAY AND UPPER HALLWAY.
2. STAIN TO STAIRS AND HANDRAILS INCLUDED.
3. UPGRADE #3 RAILING INCLUDED.
4. DRAIN TO LAUNDRY ROOM FLOOR.
5. PURCHASER TO CHOOSE LOCATION OF TELEPHONE, CABLE AND SMART WIRE AT COLOR CHART TIME.
6. BRICK SCHEME PACKAGE TO BE PACKAGE #9.
7. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER. PROMOTIONS CANNOT BE EXCHANGED IN ANY WAY.

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

Vendor 

Purchaser: AHREN ESTABROOKS 

Purchaser: TAMARA ESTABROOKS 