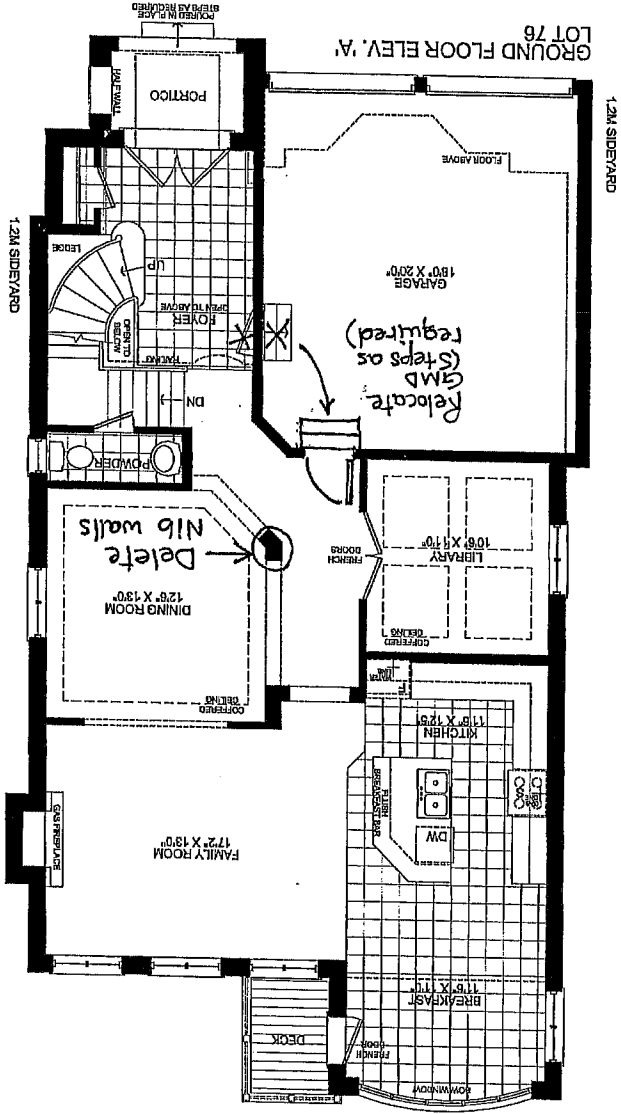
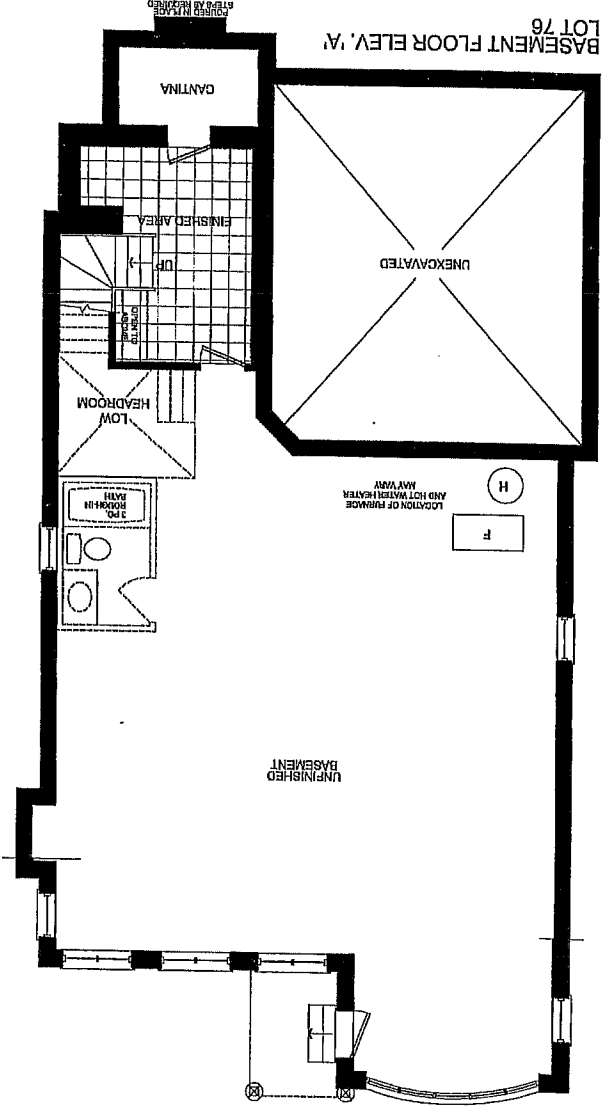



N

Purchaser: Mark Chong & Thanh T. Vong
Res. No: 647-895-4950 Bus. No: 905 532-0186

abc

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	10.	Relocate garage man door to rear of garage beside library (steps as required) See attached sketch	\$
	11.	Delete nib walls in Dining Room (see sketch)	\$
	12.	Purchaser accepts new plans and elevations (see attached)	\$
		SUB-TOTAL	\$
		HST	
		TOTAL AMOUNT ▶	





PN design
Imagine • Inspire • Create

Project Number
09011

Issued
1 JUL. 24/11 AA

Scale	1/8" = 1'-0"	Client	ZANCOR HOMES	Project	KING CITY	Model	40-2	Area (s.f.)	- S.F.	Lot Coverage (max.)	LOT 76	Page	1 OF 3
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Field/Variant projects 109011 Architect/Drawn: Model/Lot: Specific Model: SINGLE LOT 61 to 80 LOT 76 - 40-2A 109011-40-02 FINAL 5A-1 Lot 76.dwg Plotdate: Aug 02, 2012 8:24:01 AM






Project Number
09011

Issued
1 JUL. 24/11 AL

Scale
1/8" = 1'-0"

Client

ZANCOR HOMES

Project

KING CITY

Model

40-2

Area (s.f.)

- S.F.

Lot Coverage (max.)
LOT 76

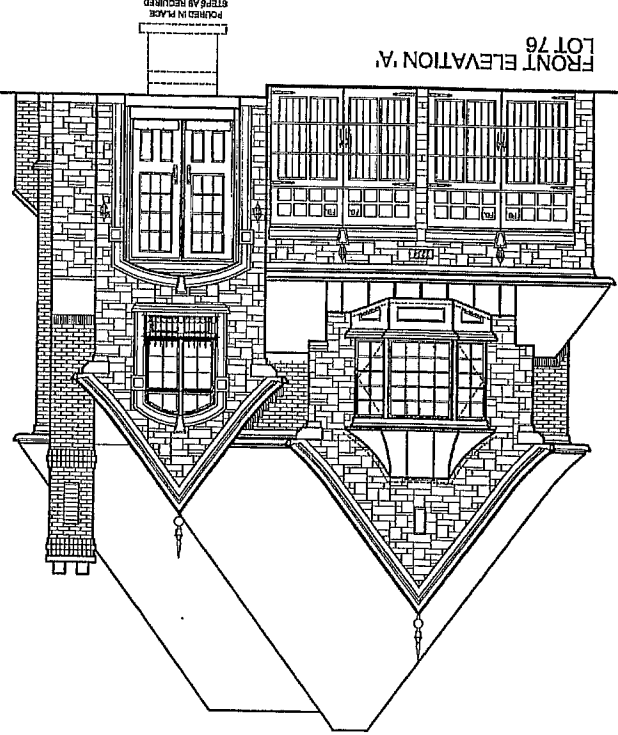
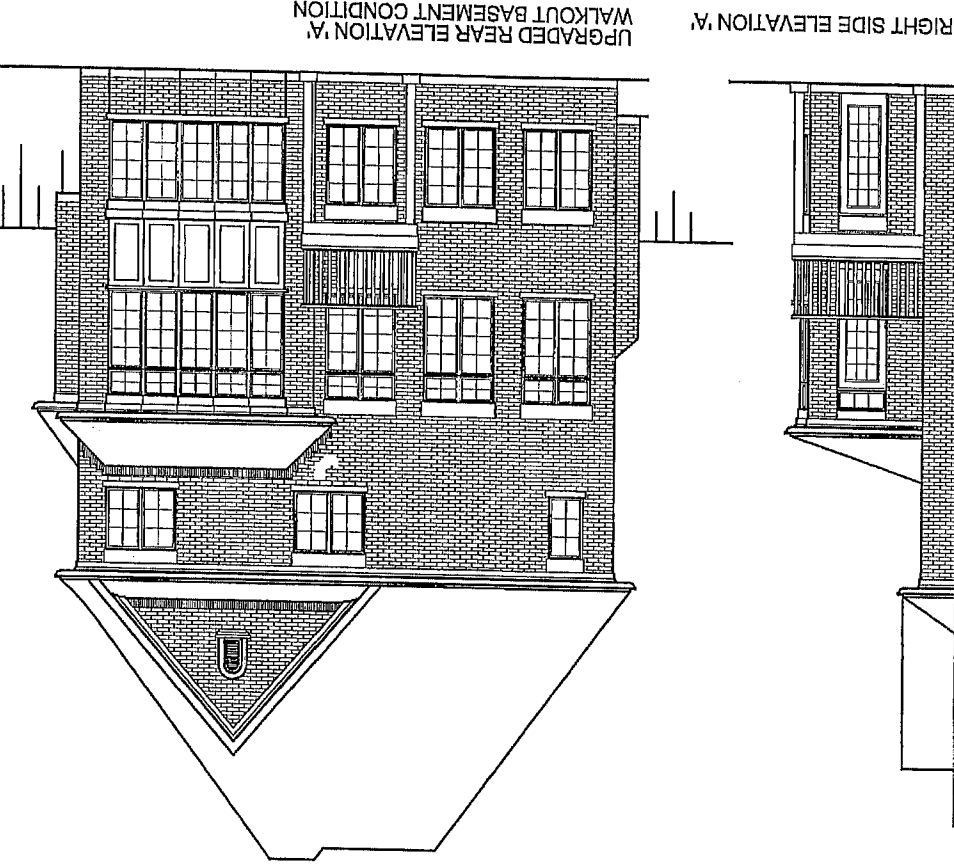
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3 OF 3

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Plotdate: Aug 02, 2012 By:\narturk

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Handwritten signature or initials.



2

PURCHASER REQUEST FOR EXTRAS

ZANCOR
HOMES

Purchaser: Mark & Cheryl Long
Res. No: 647-895-4900 Bldg. No: (9) 532-0106

Subdivision:

Kings Ridge

Lot No.	House Type	Elevation	Date Required	Date Ordered
<u>76</u>	<u>Medina</u>	<u>4</u>		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	(5)	Water line to fridge	
	(6)	Gas line to stove	
	(7)	Shower glass	
		Shower to heater	
	(8)	Brackets for linen stand	
		Living room door	
		up hall between	
		bedroom & leave	
		12 ft x 11 ft wall	
		on either side	
		overhang (D.K)	
	(9)	Decorative door to be door	
		stained. Made stairs to	
		deck stained with brown	
		stone & railing outside.	
		includes approx. 10' x 10'	
		finished walking with	
		steps to (unpaved) driveway	
		Standard fence	
		TOTAL AMOUNT ▶	

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUILDER:



DATE:

March 24/2012

HOME OWNER:



HOME OWNER:



DATE:

March 19/12

STRUCTURAL REQUIREMENTS*


ZANCOR
HOMES

Purchaser(s):

Mark Chang & Thana Long

Subdivision:

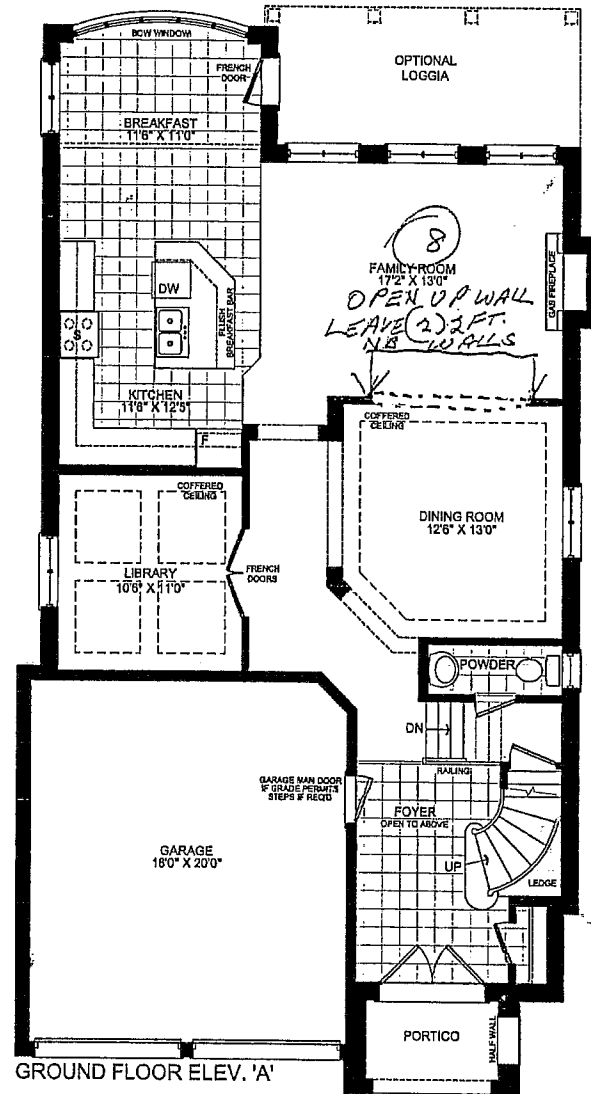
Hang Bridge

Lot No.	House Type	Elevation	Date
<i>76</i>	<i>Madura</i>	<i>A</i>	

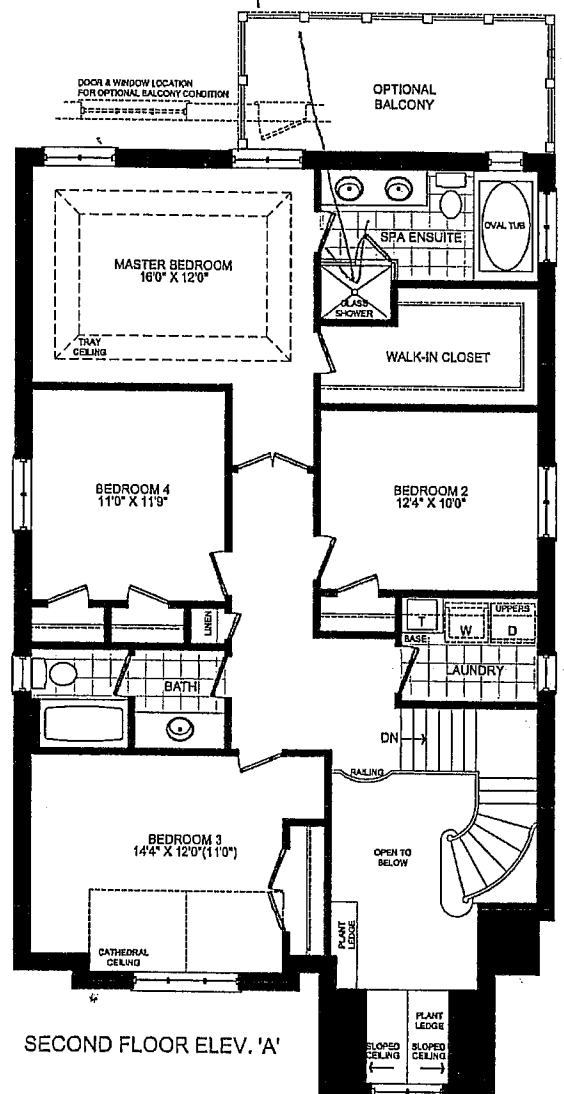
STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Large Basement Windows	<i>Y / (N)</i>	<i>Included</i>	<i>ML SV</i>
• Additional Basement Windows	<i>Y / (N)</i>		<i>ML SV</i>
• Upgraded Windows	<i>Y / (N)</i>		<i>ML SV</i>
• 9' Basement	<i>(Y) N</i>		<i>ML SV</i>
• 10' Main Floor	<i>Y / (N)</i>		<i>ML SV</i>
• 9' 2nd Floor	<i>Y / (N)</i>		<i>ML SV</i>
• Extra Window or Door Changes	<i>Y / (N)</i>		<i>ML SV</i>
• Upgraded Window Grills	<i>Y / (N)</i>		<i>ML SV</i>
• Optional Loggia	<i>Y / (N)</i>		<i>ML SV</i>
• Optional Balcony	<i>Y / (N)</i>		<i>ML SV</i>
• Skylights	<i>Y / (N)</i>		<i>ML SV</i>
• Brick Colour & Exterior Package	<i>(Y) / N</i>	<i>Pkg # 12</i>	<i>ML SV</i>
• Additional Fireplaces	<i>Y / (N)</i>		<i>ML SV</i>
• Gas/Electric	<i>Y / (N)</i>		<i>ML SV</i>
• Stair Upgrades (Maple)	<i>Y / (N)</i>		<i>ML SV</i>
• Open Stairs to Basement	<i>(Y) / N</i>		<i>ML SV</i>
• Open Riser Staircase	<i>Y / (N)</i>		<i>ML SV</i>
• Hot Water Tank Information	<i>Y / (N)</i>		<i>ML SV</i>
• Appliance Specification required from purchaser - 2 weeks from time of Colour Selection	<i>(Y) N</i>		<i>ML SV</i>
• Appointment with Kitchen manufacturer required? (for Structural/Layout Changes)	<i>(Y) / N</i>		<i>ML SV</i>
• Is water line for fridge required?	<i>(Y) / N</i>	<i>Included</i>	<i>ML SV</i>
• Is gas line for stove required?	<i>(Y) / N</i>		<i>ML SV</i>
• Are smooth ceilings required?	<i>(Y) / N</i>		<i>ML SV</i>
• Mirrors, Towel Racks to be installed?	<i>(Y) / N</i>		<i>ML SV</i>
• Water Heater/Furnace	<i>Y / (N)</i>	<i>as per plan</i>	<i>ML SV</i>
• Ensure Purchaser is aware of all ceiling designs in each room:	<i>Y / (N)</i>		<i>ML SV</i>
• Cathedral Ceilings	<i>Y / (N)</i>		<i>ML SV</i>
• Coffered Ceilings	<i>Y / (N)</i>		<i>ML SV</i>
• High Ceilings	<i>Y / (N)</i>		<i>ML SV</i>
• Energy Star Upgrade	<i>(Y) / (N)</i>		<i>ML SV</i>
• Frameless Glass Shower	<i>(Y) / N</i>		<i>ML SV</i>

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

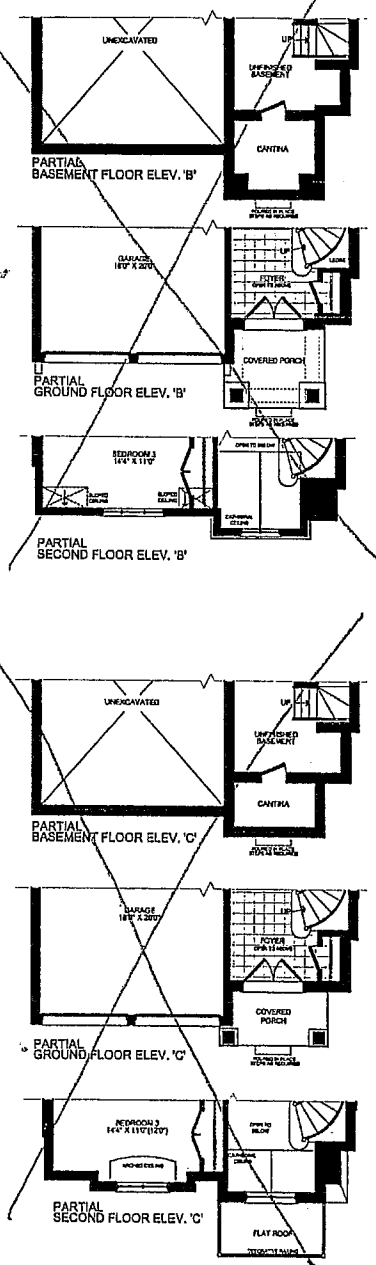
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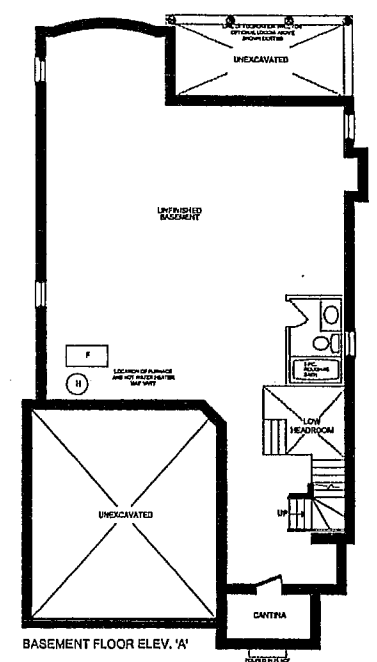
GROUND FLOOR ELEV. 'A'



SECOND FLOOR ELEV. 'A'



MADINA
 Elev. A 2675 sq. ft.
 Elev. B 2624 sq. ft.
 Elev. C 2639 sq. ft.
 (Square Footage Includes O.T.B. Area)



BASEMENT FLOOR ELEV. 'A'

ZANCOR
 HOMES

Elev "A" Lot 76

Prices and specifications are subject to change without notice, E. & O.E. Tile patterns may vary. Window location may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from stated floor area. All stated dimensions are approximate. All renderings are artist's concept.

MADINA

Elev. A 2675 sq. ft.

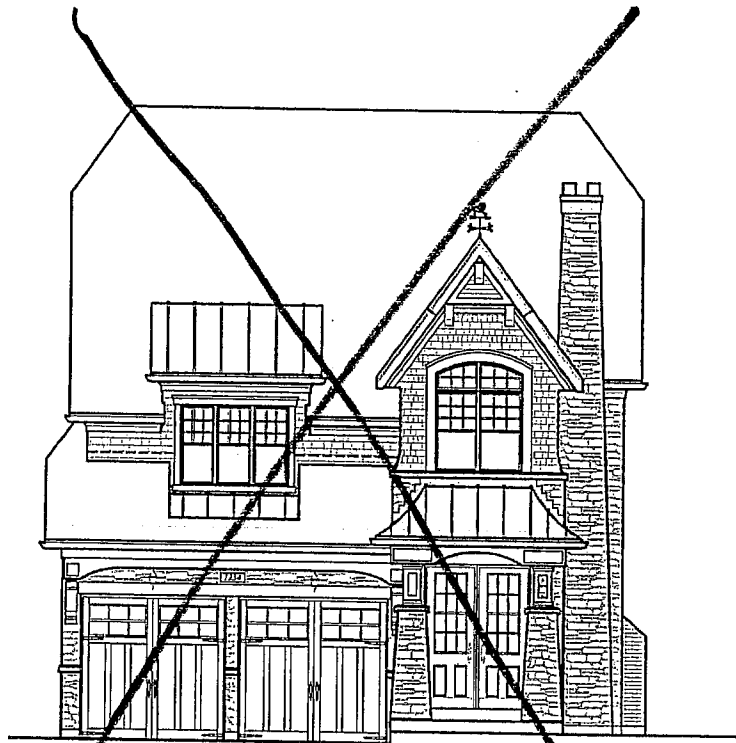
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Elev. C 2639 sq. ft.

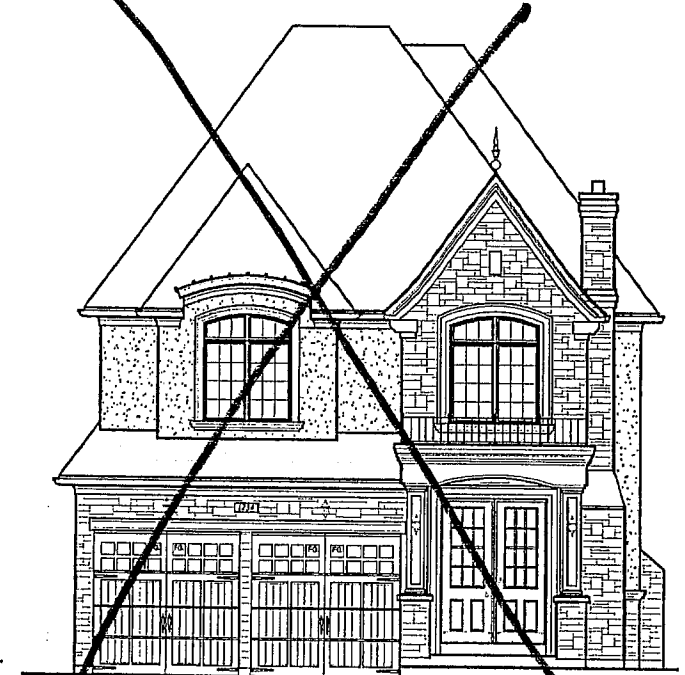
(Square Footage Includes O.T.B. Area)



Elev. A



Elev. B



Elev. C

Elev "A"

Lot 76

ZANCOR
HOMES

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ZANCOR
HOMES

BRICK SELECTION REQUEST*

To be completed at time of Structural's

LOT #: 76

IN THE CITY OF: Spring

MODEL TYPE: Madison ELEVATION: A

BETWEEN:
Jeanne Barnes
as VENDOR

AND

Mark Christ & Frank Long
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 12

SECOND CHOICE: 10

THIRD CHOICE: 8

Dated at Spring this 19 day of March 2012
(Day) (Month) (Year)

[Signature]
Witness

[Signature]
Witness

[Signature]
Purchaser

[Signature]
Purchaser



SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR
HOMES

dor Zancor Homes (King City) Ltd	Purchaser(s) MARK CHONG Telephone Number: 647-895-4950
-------------------------------------	--

Lot Number 76	House Type MADINA Messana (42-2) Elev A	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 25-Feb-2012
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IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1.LOT PREMIUM INCLUDES: - Walk Out Basement - Rear Elevation Upgrade - Large Lot 5 FT. X 7 FT. DECK 2.1ST UPGRADE STAINED OAK HARDWOOD TOMAIN HALL/LIBRARY/DINING ROOM/FAMILY ROOM/UPPER HALLWAY 3.STAIN TO STAIRS RAILINGS 4.PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. ~ ~ ~ prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. ~ ~ ~uld the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
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6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

P Included in the purchase price	
Vendor	Purchaser: MARK CHONG

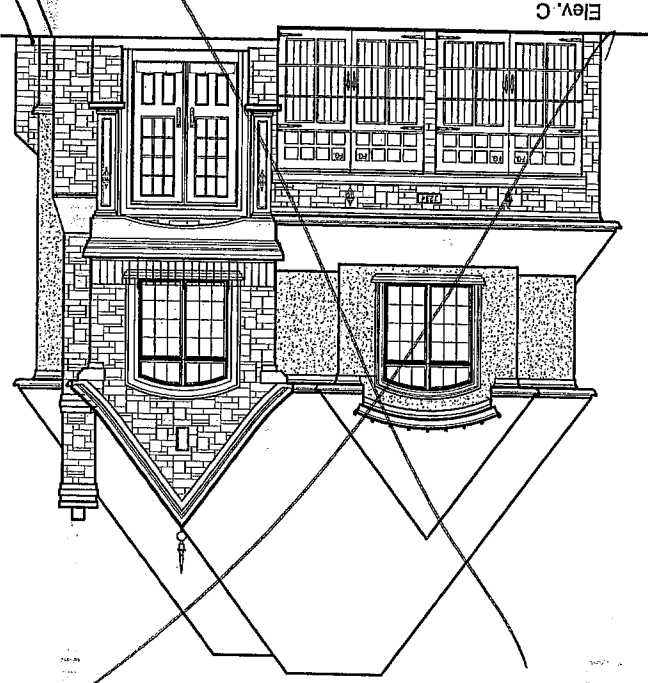
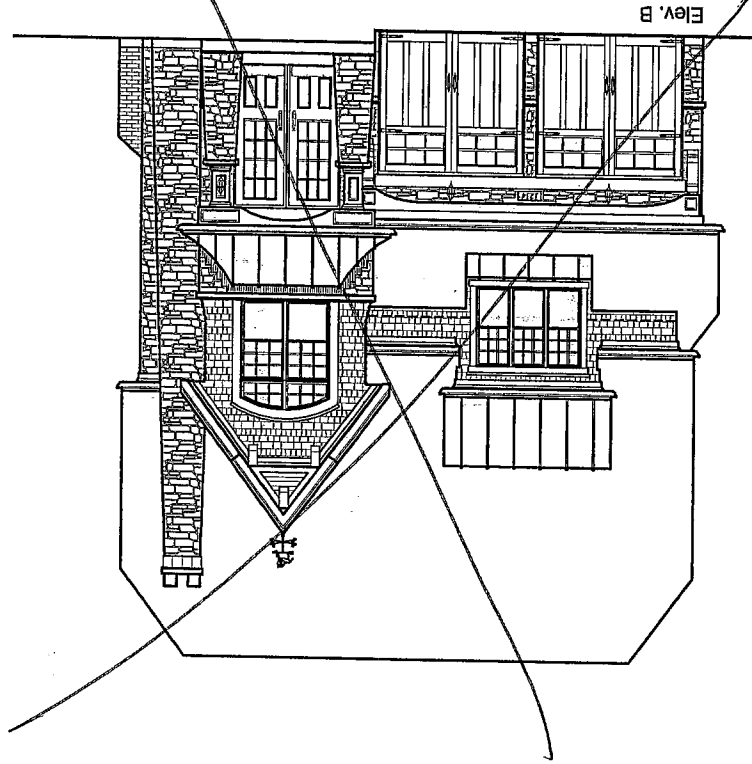
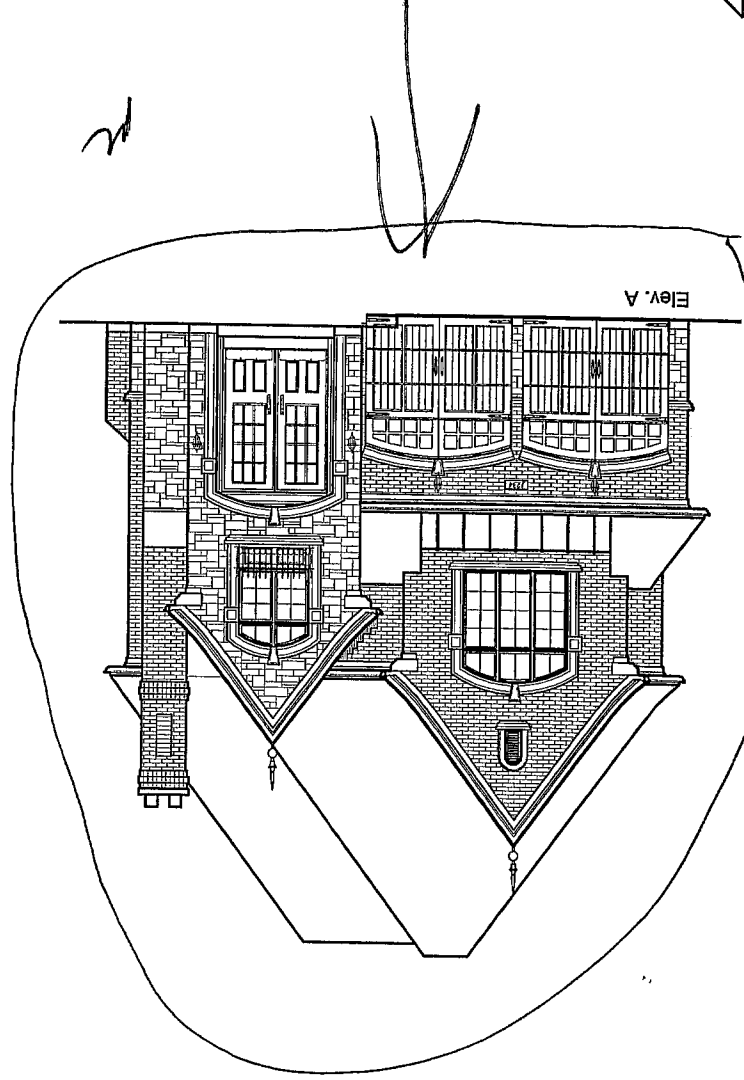
MADINA

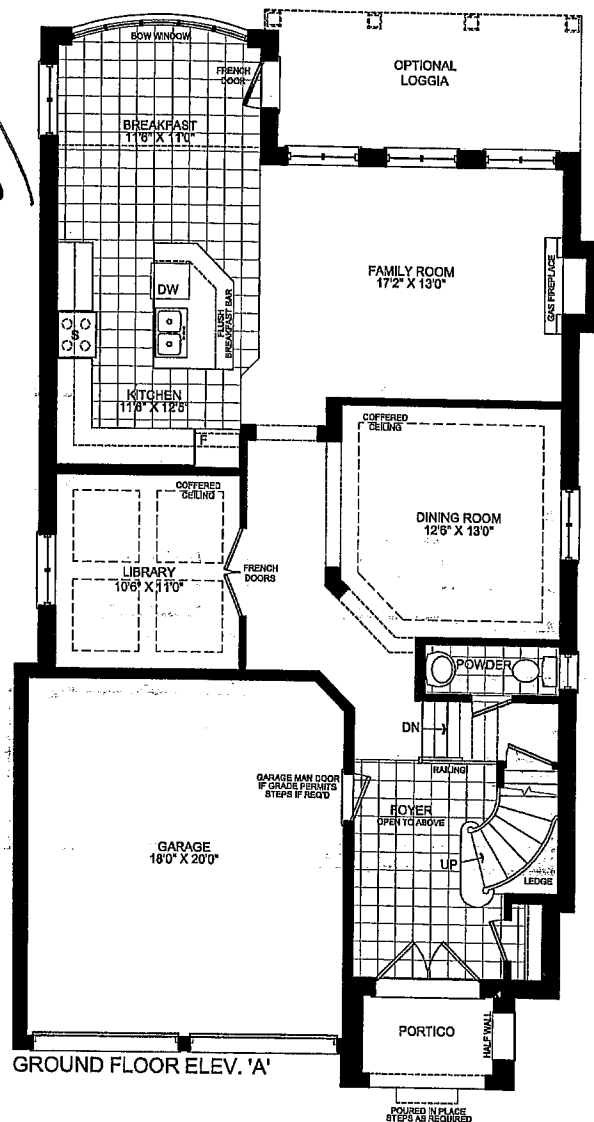
Elev. A 2675 sq. ft.
Elev. B 2624 sq. ft.
Elev. C 2639 sq. ft.
(Square Footage Includes O.T.B. Area)

ZANCOR
HOMES

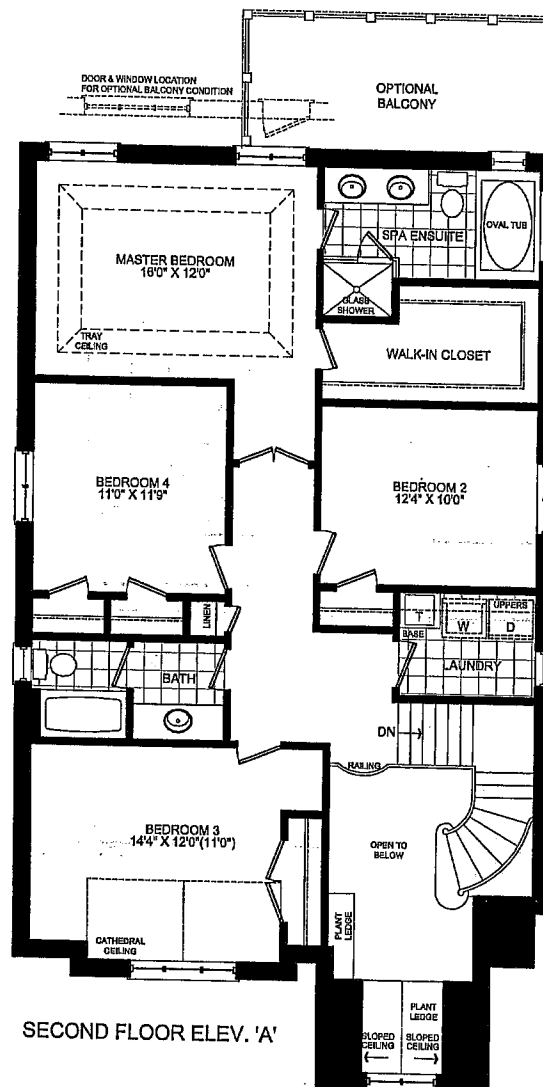
40-02

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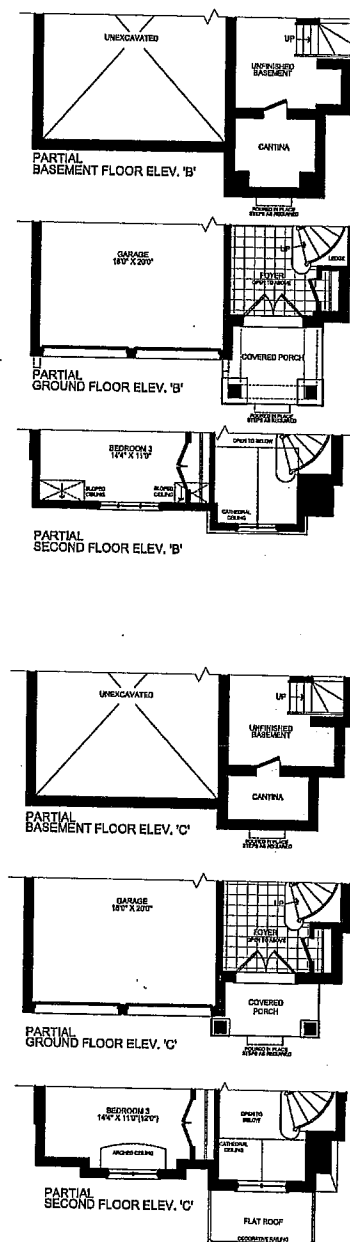




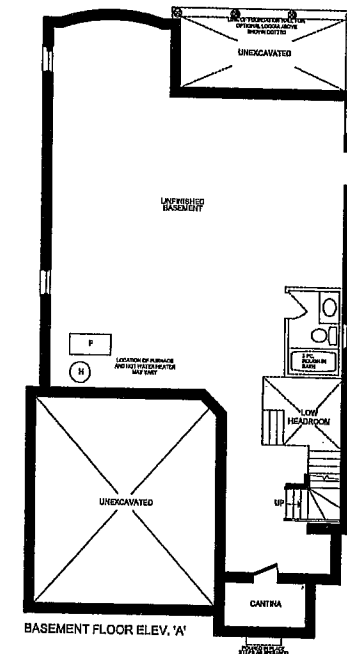
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SECOND FLOOR ELEV. 'A'



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