



Purchaser: ✓
Res. No: ✓

Res. No: 4793-2111

Bus. No. 496-6733

Legal collection

[illegible]

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.

2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer.

3. All extras must be paid in full.

4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.

5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.

6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be

acknowledged as part of the agreement.

7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$5000.

HOME OWNER:

100

BUILDER:

HOME OWNER:

20

DATE:

DATE _____

Aug. 20/12.

28/8/12



ZANCOR
HOMES

BRICK SELECTION REQUEST*

To be completed at time of Structural

LOT #: 58

IN THE CITY OF: Hyung

MODEL TYPE: Cumberland

ELEVATION: "B"

BETWEEN:

James Noel
as VENDOR

AND

Amor & Amati Kothari
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 1

SECOND CHOICE: 7

THIRD CHOICE: 4

Dated at Hyung this 20 day of Aug 2012
(Day) (Month) (Year)

[Signature]
Witness

[Signature]
Witness

[Signature]
Purchaser

[Signature]
Purchaser

STRUCTURAL REQUIREMENTS*

ZANCOR
HOMES

Purchaser(s): Adam & Annette Kothari
Subdivision: Royal Collection

Lot No. <u>58</u>	House Type <u>Doubleland</u>	Elevation <u>B11</u>	Date
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STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Additional Basement Windows	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Upgraded Windows	<u>Y</u> <u>N</u>		<u>AK AK</u>
• 9' Basement	<u>Y</u> <u>N</u>	<u>Excluded plan</u>	<u>AK AK</u>
• 10' Main Floor	<u>Y</u> <u>N</u>		<u>AK AK</u>
• 9' 2nd Floor	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Extra Window or Door Changes	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Upgraded Window Grills	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Optional Loggia	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Optional Balcony	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Skylights <small>(Location subject to trusses, engineering and architectural control)</small>	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Brick Colour & Exterior Package	<u>Y</u> <u>N</u>	Pkg # <u>1</u>	<u>AK AK</u>
• Additional Fireplaces	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Gas/Electric	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Stair Upgrades (Maple)	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Open Stairs to Basement	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Open Riser Staircase	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Hot Water Tank Information/Upgrades	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Appliance Specification required from purchaser for time of kitchen selection	<u>Y</u> <u>N</u>	Date of Appointment: _____	<u>AK AK</u>
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	<u>Y</u> <u>N</u>	Date of Appointment: _____	<u>AK AK</u>
• Is water line for fridge required?	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Is gas line for stove required?	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Are smooth ceilings required?	<u>Y</u> <u>N</u>	<u>Included</u>	<u>AK AK</u>
• Plumbing Changes	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Bathtubs - Changes to Style/Size/Location	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Frameless Glass Shower	<u>Y</u> <u>N</u>	<u>Excluded</u>	<u>AK AK</u>
• Mirrors, Towel Racks to be installed?	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Ensure Purchaser is aware of all ceiling designs in each room:		<u>Excluded plan</u>	<u>AK AK</u>
• Cathedral Ceilings	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Coffered Ceilings	<u>Y</u> <u>N</u>		<u>AK AK</u>
• High Ceilings	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Water Heater/Furnace Upgrades	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Energy Star Upgrades / Increase Insulation	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Noise Insulation	<u>Y</u> <u>N</u>		<u>AK AK</u>
• Plywood Subfloors	<u>Y</u> <u>N</u>	<u>Included</u>	<u>AK AK</u>
• Upgrade to 200 amp electrical service	<u>Y</u> <u>N</u>	<u>Included</u>	<u>AK AK</u>

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

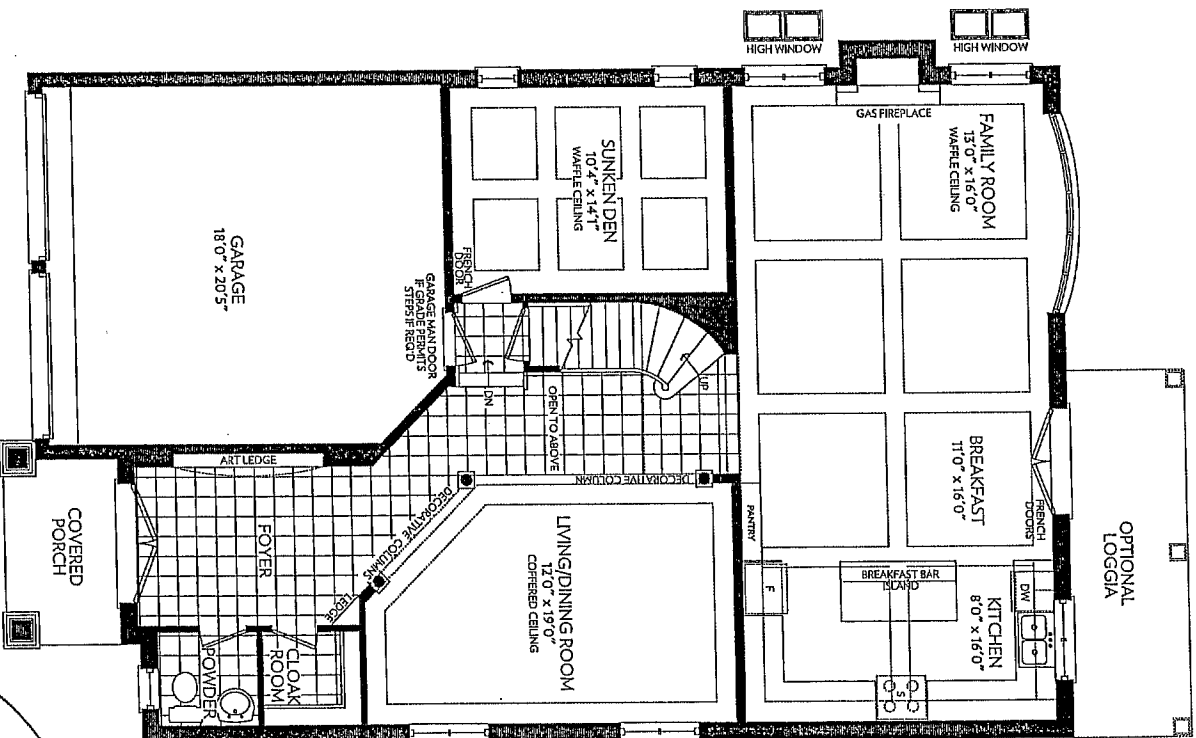
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ROYAL COLLECTION

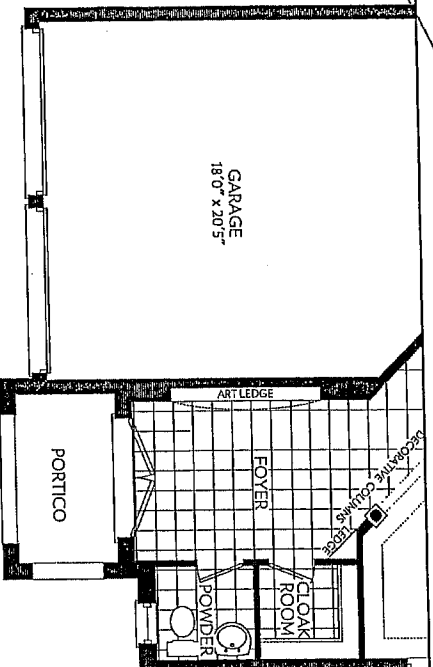
AT KEELE & KING

CUMBERLAND
ELEVATION A - 2833 SQ. FT.
ELEVATION B - 2833 SQ. FT.



OPT. GROUND FLOOR WITH DEN
ELEVATION A

Colas B
28458



OPT. GROUND FLOOR WITH DEN PARTIAL
ELEVATION B

ZANCOR
HOMES

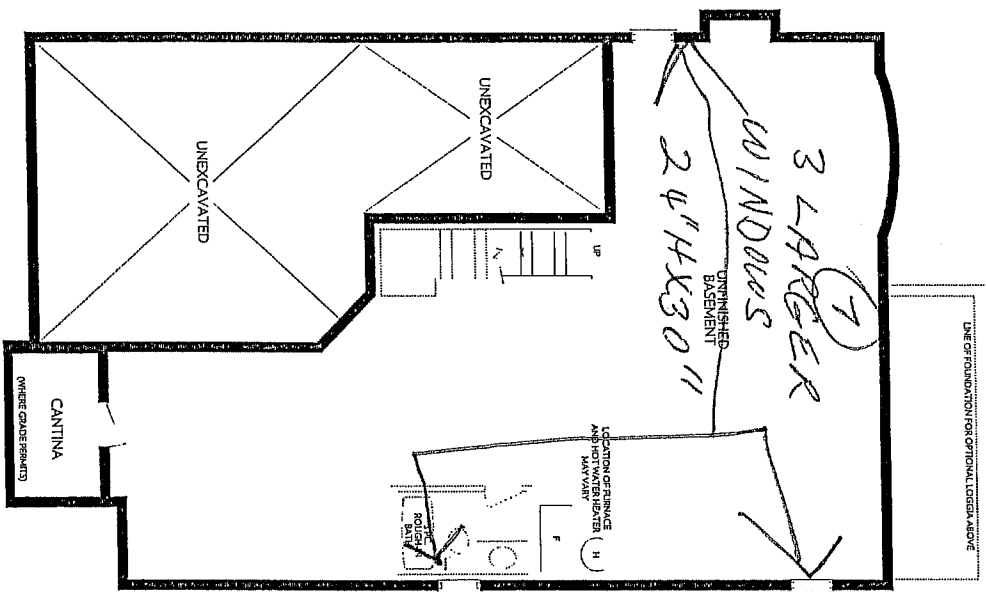
Prices and specifications are subject to change without notice. E. & O. E. The patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artist's concept.



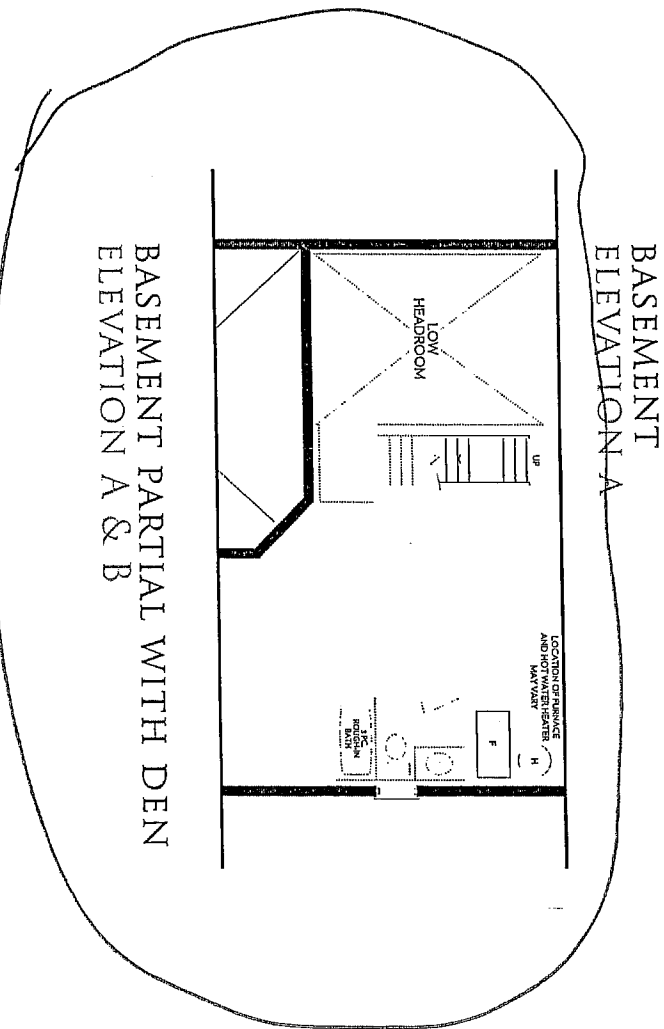
ROYAL COLLECTION

AT KEELE & KING ↗

CUMBERLAND
ELEVATION A - 2833 SQ. FT.
ELEVATION B - 2833 SQ. FT.



Elaborate "B"
just 5-8



BASEMENT PARTIAL WITH DEN
ELEVATION A & B

Handwritten signature/initials.

ZANCOR
HOMES

Handwritten number '2'.

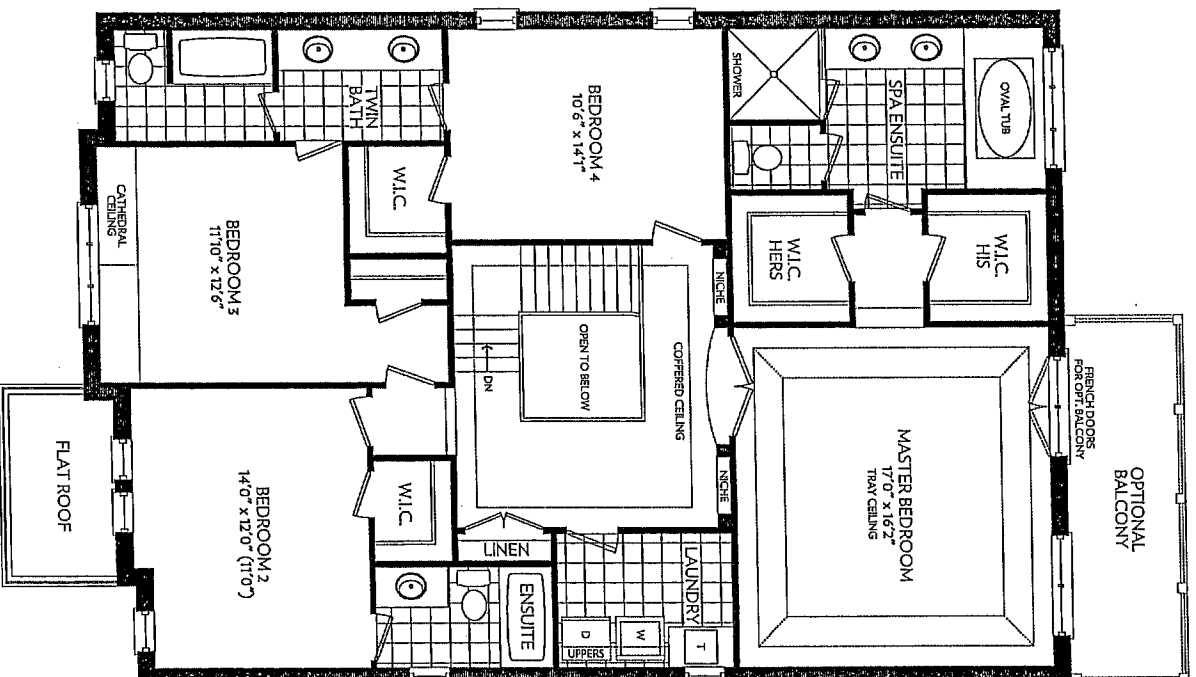
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ROYAL COLLECTION

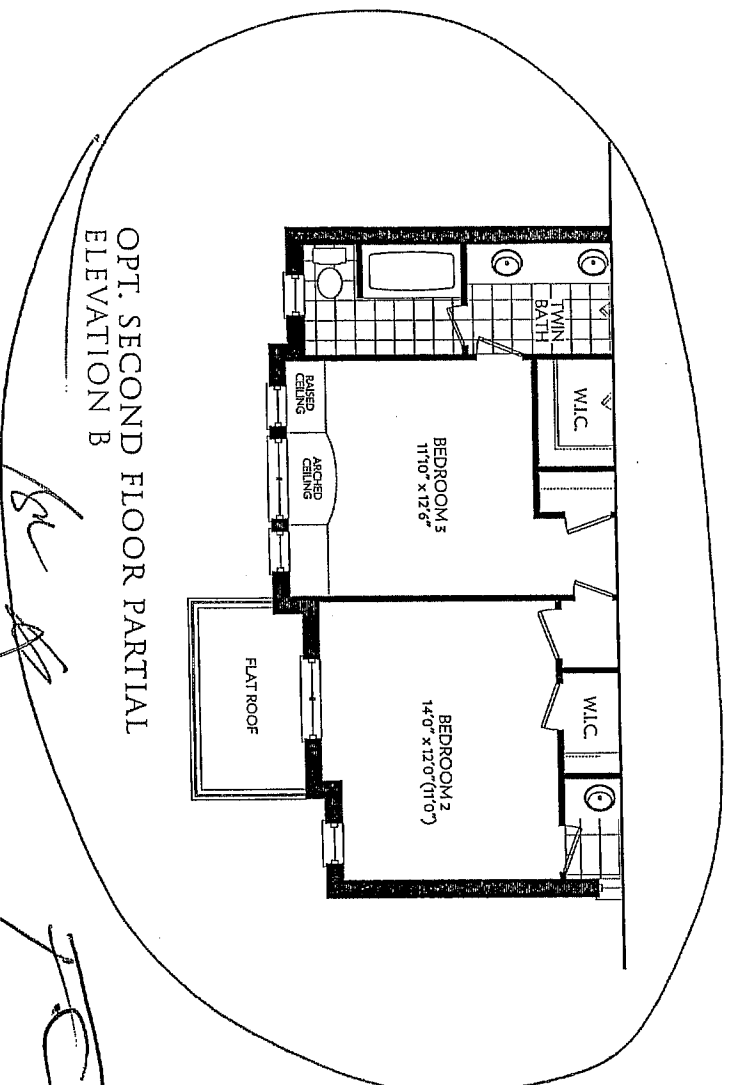
AT KEELE & KING

CUMBERLAND
ELEVATION A - 2833 SQ. FT.
ELEVATION B - 2833 SQ. FT.



SECOND FLOOR
ELEVATION A

Colin B
28458



OPT. SECOND FLOOR PARTIAL
ELEVATION B

ZANCOR
HOMES

Prices and specifications are subject to change without notice. E.&O.E. Tile patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renderings are artist's concept.

2

ZANCOR
HOMES

NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT

Royal Collection

LOT No.

58

PLAN No.

HOMEOWNER(S)

A. & J. Kothari

CIVIC ADDRESS

NOTE

If built in appliances are selected the following information must be submitted with your final design selections.

Appliance specifications must clearly be legible for the following:

- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – *Discuss Counter Depth Fridge with Designer* recommended, If purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than

Aug. 10/12.

If not received the standard openings as determined by Zancor Homes will be provided.

Acknowledged and agreed this

20

day of

Aug, 20*12*.

Purchasers Signature

[Signature]

Date

Aug. 20/12.

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications



ROYAL COLLECTION

AT KEELE & KING ↵

CUMBERLAND
ELEVATION B - 2833 SQ. FT.

Elev. "B"

Lot 58

sh
✗



ZANCOR
HOMES



SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR
HOMES

Vendor Zancor Homes (KC) Ltd.	Purchaser(s) AMAR KOTHARI SMRUTI KOTHARI Telephone Number: 416-292-2111
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Lot Number	House Type	Reg. Plan #	Closing Date As Per Agreement	Date Ordered
58	-Cumberland (42-06) Elev B Opt Ground Floor			07-Jul-2012

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1. 9 ft. basements, 10 ft. main floor (with 8 ft. hollow core doors, taller windows and taller arches) and 9 ft. second floors
2. 1ST UPGRADE 3 1/4 INCH X 3/4 INCH OAK STAINED HARDWOOD TO APPLICABLE AREAS (EXCEPT TILED AREAS)
3. STAIN STAIRCASE FROM FIRST TO SECOND FLOOR
4. FRIGIDAIRE GALLERY APPLIANCE PACKAGE FRIDGE/ GLASS TOP OVEN/OVER THE RANGE
MICROWAVE/DISHWASHER/AFFINITY WASHER AND DRYER.
5. ADDED TO PURCHASE PRICE OPTIONAL DEN \$20,000.
6. WALK OUT DECK LOT TO INCLUDE 5 FT. X 7 FT. DECK OFF REAR OF HOUSE WITH STAIRS.
PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.
7. P SCHEDULE X PAGE 2 2-D/2-E/2-F AND PART OF OF 2-G (REAL ESTATE TRANSACTION LEVY SURCHARGE AND BLUE BOXES) CAP AT \$4,000.00 PLUS HST TO BE PAID AT CLOSING

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

Vendor

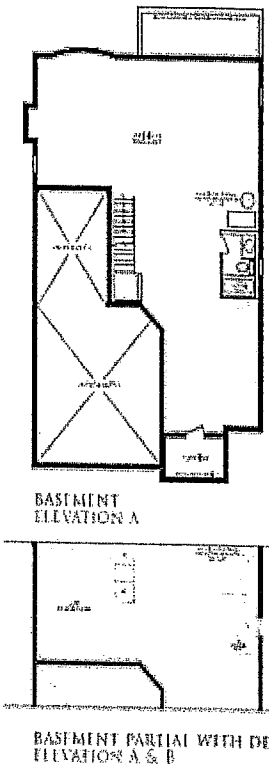
Purchaser: AMAR KOTHARI

Purchaser: SMRUTI KOTHARI

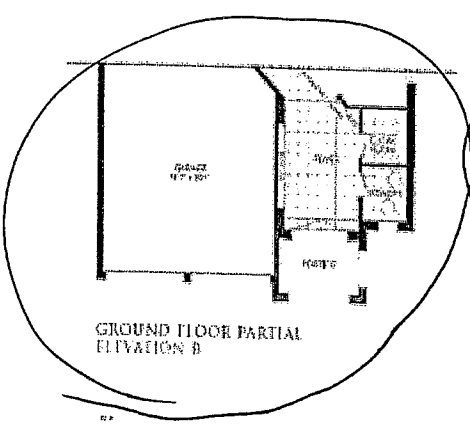
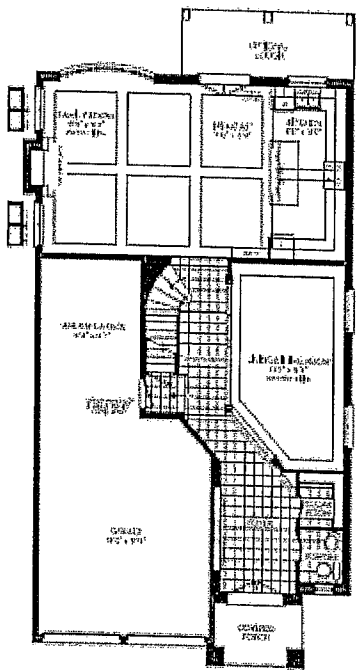
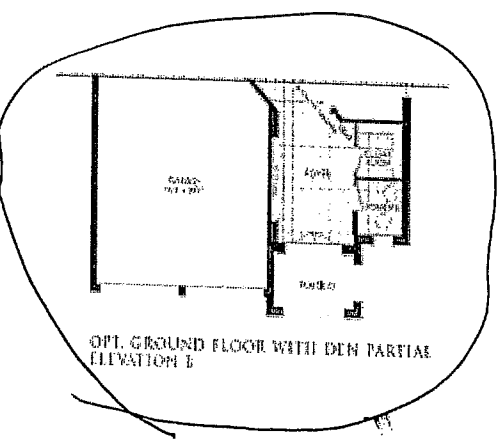
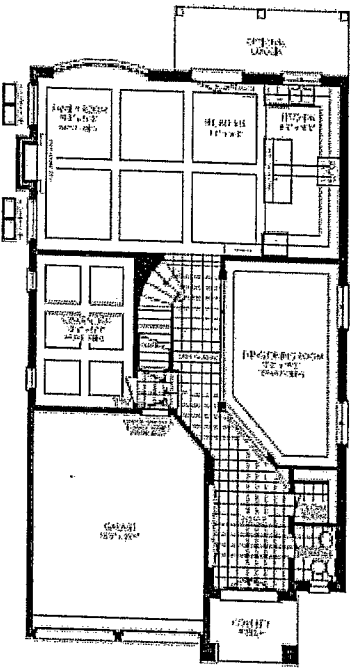
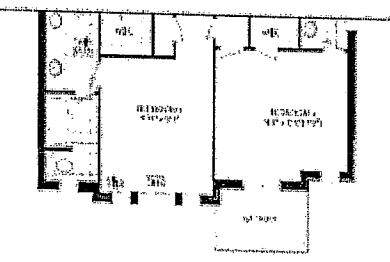
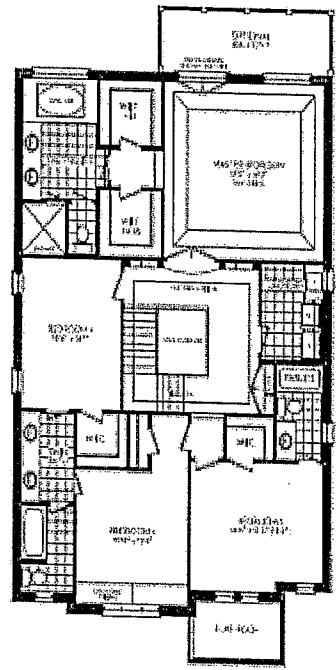
SCHEDULE "FLP"

FLOOR PLAN

CUMBERLAND



Class "B" with optional Plan.



Vendor's Initials

Handwritten signature/initials.

Purchaser's Initials

Handwritten signature/initials.

Purchaser's Initials

Handwritten signature/initials.