



PURCHASER REQUEST FOR EXTRAS

Purchaser:

Res. No. (4) 568-0923 Bus. No. (4) 543-9193

Bus. No. 743-9193

HOMES

Subdivision:

Royal Collection

Lot No.	52	House Type	Colonial	Elevation	1 1/2"	Date Required		Date Ordered	
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STRUCTURAL REQUIREMENTS*

ZANCOR
HOMES

Purchaser(s):
Subdivision:

Red - Fox Subdivision
Royal Collection

Lot No. 52	House Type Belmont	Elevation B3	Date
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STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	Y / N		PK
• Additional Basement Windows	Y / N		PK
• Upgraded Windows	Y / N		PK
• 9' Basement	Y / N	Included	PK
• 10' Main Floor	Y / N		PK
• 9' 2nd Floor	Y / N		PK
• Increase Height of Doors	Y / N		PK
• Upgrade to Solid Core Interior Doors	Y / N		PK
• Extra Window or Door Changes	Y / N		PK
• Upgraded Window Grills	Y / N		PK
• Optional Loggia	Y / N		PK
• Optional Balcony	Y / N		PK
• Skylights (location subject to trusses, engineering and architectural control)	Y / N		PK
• Brick Colour & Exterior Package	Y / N	Pkg # 3	PK
• Additional Fireplaces	Y / N		PK
• Gas/Electric	Y / N		PK
• Stair Upgrades (Maple)	Y / N		PK
• Open Stairs to Basement	Y / N	AS PER PLAN	PK
• Open Riser Staircase	Y / N		PK
• Hot Water Tank Information/Upgrades	Y / N		PK
• Appliance Specification required from purchaser for time of kitchen selection	Y / N	Date of Appointment:	PK
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	Y / N	Date of Appointment:	PK
• Is water line for fridge required?	Y / N	Included	PK
• Is gas line for stove required?	Y / N	Included	PK
• Are smooth ceilings required?	Y / N	Included	PK
• Plumbing Changes	Y / N		PK
• Bathtubs - Changes to Style/Size/Location	Y / N		PK
• Frameless Glass Shower	Y / N	Concrete	PK
• Mirrors, Towel Racks to be installed?	Y / N		PK
• Ensure Purchaser is aware of all ceiling designs in each room:		as per plan	PK
• Cathedral Ceilings	Y / N		PK
• Coffered Ceilings	Y / N		PK
• High Ceilings	Y / N		PK
• Water Heater/Furnace Upgrades	Y / N		PK
• Energy Star Upgrades / Increase Insulation	Y / N		PK
• Noise Insulation	Y / N		PK
• Plywood Subfloors	Y / N	Included	PK
• Upgrade to 200 amp electrical service	Y / N	Included	PK

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.



ROYAL COLLECTION

AT KEELE & KING ↗

BALMORAL
ELEVATION B - 3398 SQ. FT.

*Lot 52
Elev. B*

JS.

Z
ZANCOR
HOMES





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HOMES

NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT Royal Collection
LOT No. 52 PLAN No. _____
HOMEOWNER(S) Bal-Raj Sahyapal
CIVIC ADDRESS _____

NOTE

If built in appliances are selected the following information must be submitted with your final design selections.
Appliance specifications must clearly be legible for the following:

- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – *Discuss Counter Depth Fridge with Designer* recommended, If purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than

If not received the standard openings as determined by Zancor Homes will be provided.

Acknowledged and agreed this 28 day of Aug, 2012
Purchasers Signature [Signature] Date Aug 28/12

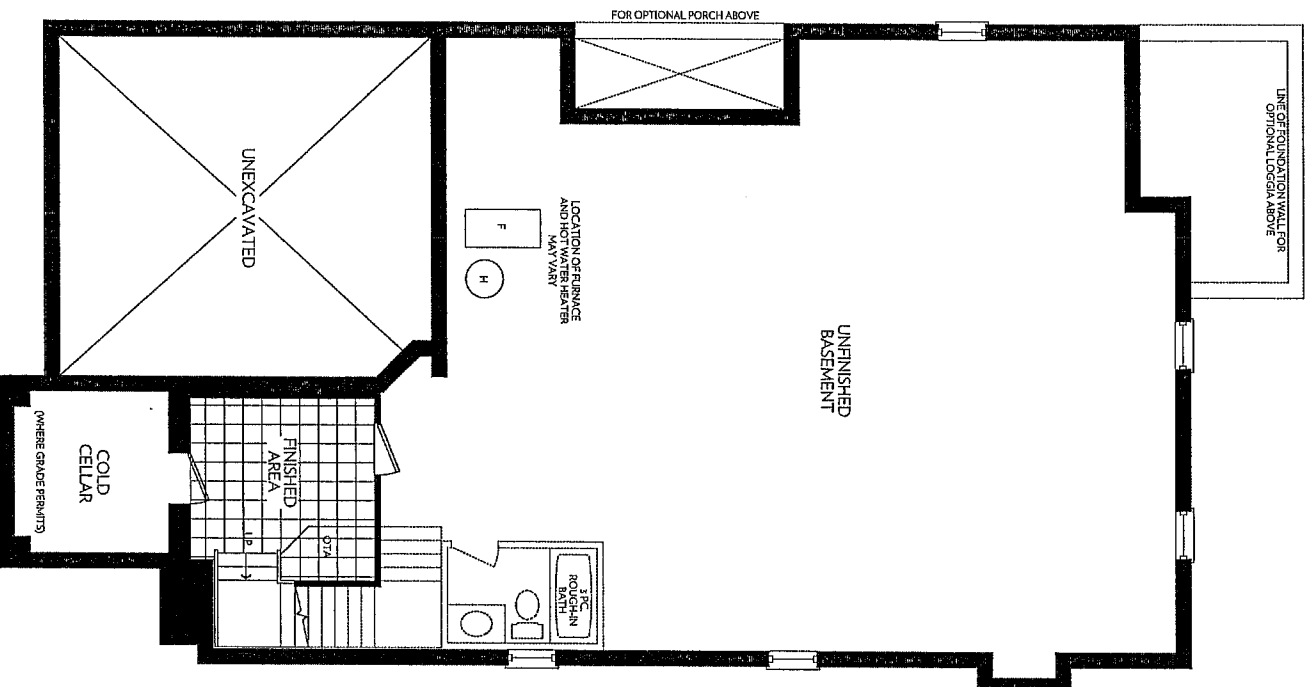
NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications



ROYAL COLLECTION

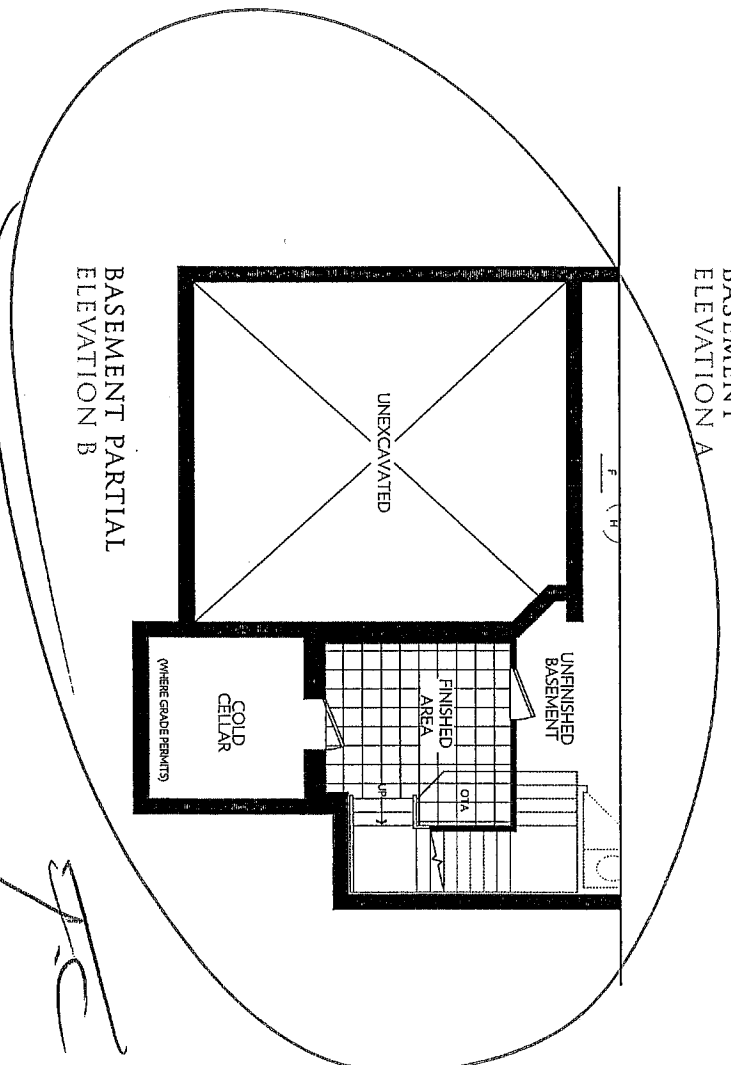
AT KEELE & KING

BALMORAL
ELEVATION A - 3420 SQ. FT.
ELEVATION B - 3398 SQ. FT.



Lot 52
Elev B

BASEMENT
ELEVATION A



ZANCOR
HOMES

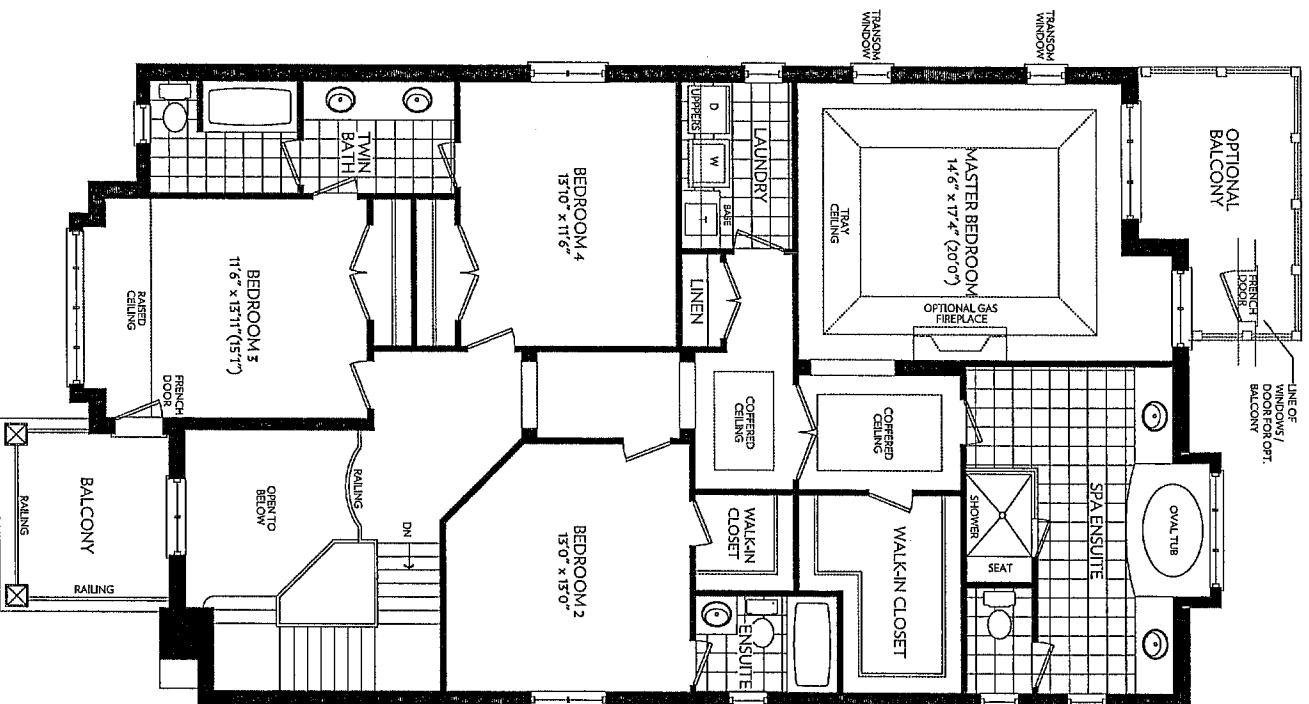
Prices and specifications are subject to change without notice. E.&O.E. Tile patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artists' concept.



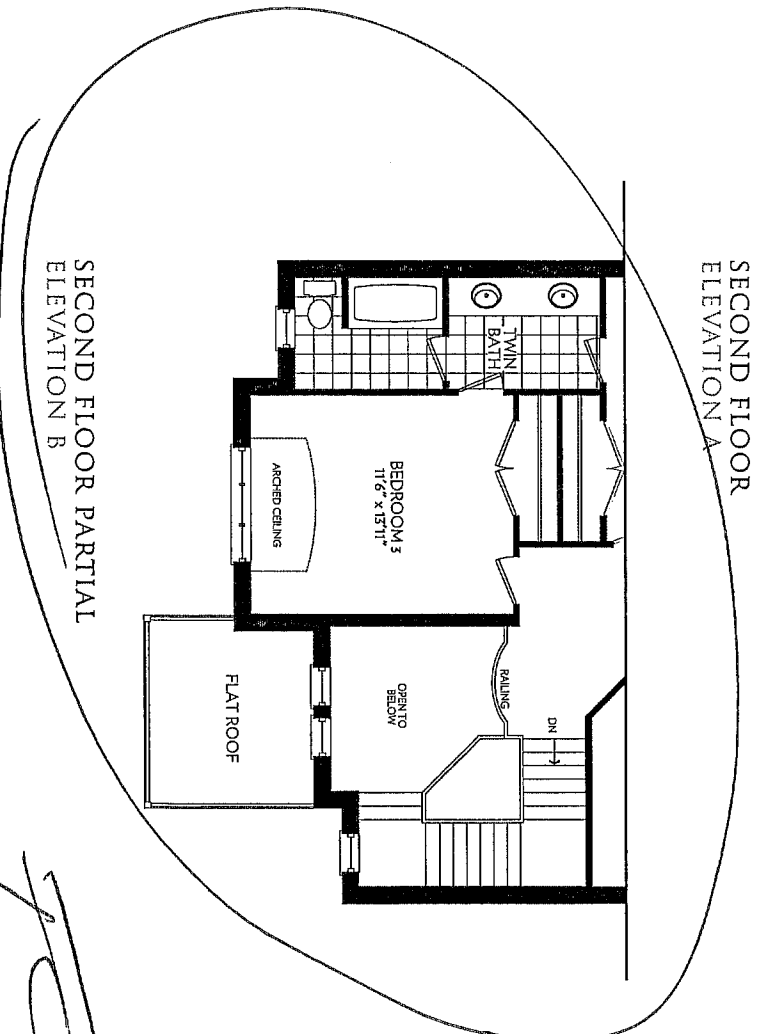
ROYAL COLLECTION

AT KEELE & KING

BALMORAL
ELEVATION A - 3420 SQ. FT.
ELEVATION B - 3398 SQ. FT.



Lot 452
Elev B



ZANCOR
HOMES

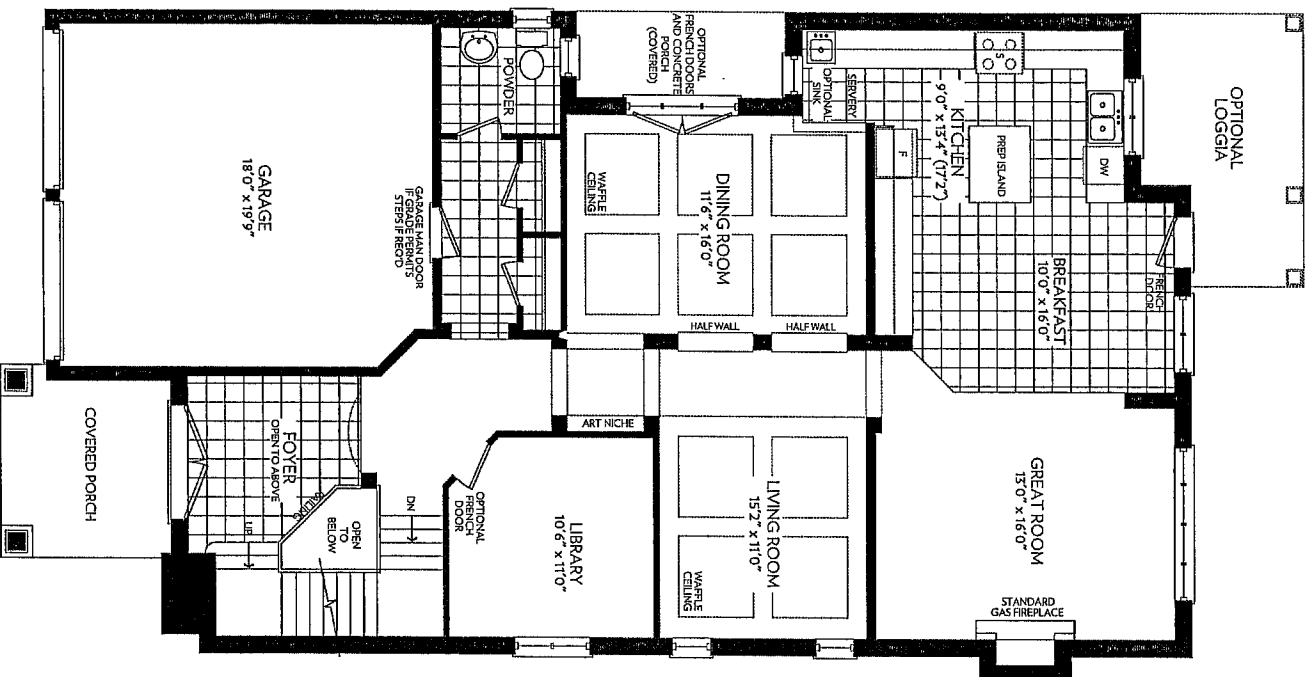
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ROYAL COLLECTION

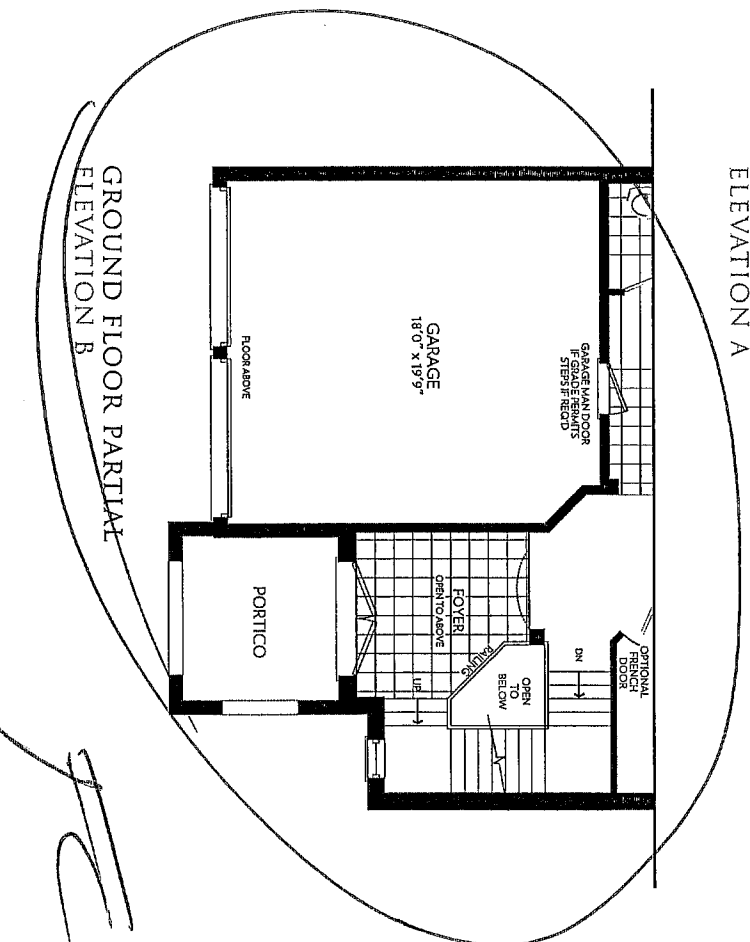
AT KEELE & KING ↗

BALMORAL
ELEVATION A - 3420 SQ. FT.
ELEVATION B - 3398 SQ. FT.



Plot 52
Elev B

GROUND FLOOR
ELEVATION A



GROUND FLOOR PARTIAL
ELEVATION B

ZANCOR
HOMES



BRICK SELECTION REQUEST*

To be completed at time of Structural

LOT #: 52

IN THE CITY OF: King

MODEL TYPE: Balmoral ELEVATION: "B"

BETWEEN:
James Jones
as VENDOR

AND
Bob - Roy Salzman
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 3

SECOND CHOICE: 6

THIRD CHOICE: 7

Dated at King this 28 day of Aug 2012
(Day) (Month) (Year)

Witness [Signature] Purchaser [Signature]

Witness [Signature] Purchaser _____

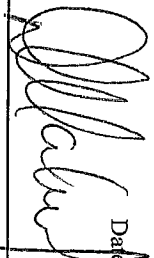

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
Generic

The undersigned Purchaser hereby agrees to and with the undersigned Vendor to the following amendments to the Agreement of Purchase and Sale. All other terms are confirmed and time shall continue to be of the essence.


Purchaser:	BAL-RAJ SAHJPAUL	
Vendor:	Zancor Homes (KC) Ltd.	
Lot #:	52	Phase: RC
Street:	Robert Berry Crescent	Plan No.:
in the :	Township of King	
Date of Offer:	Saturday November 19, 2011	

DELETE:
1. MODEL KENSINGTON ELEVATION "B".
2. PURCHASE PRICE OF [REDACTED]

INSERT:
1. MODEL BALMORAL ELEVATION "B"
2. PURCHASE PRICE OF [REDACTED]

 Witness (Sign & Print Name)	Dated at King City, Ontario this 26th day of November, 2011.	 Purchaser - BAL-RAJ SAHJPAUL
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Accepted at Concord, Ontario this 22 day of November, 2011
Zancor Homes (KC) Ltd.

Per: 
Authorized Signing Officer

SCHEDULE "E"
PURCHASER'S EXTRAS



Vendor Zancor Homes (KC) Ltd.		Purchaser(s) BAL-RAJ SAHJPAUL		
		Telephone Number: 416-568-0923		
Lot Number 52	House Type -Kensington (42-07) Elev B	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 19-Nov-2011

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

9 ft. basements, 10 ft. main floor (with 8 ft. hollow core doors, taller windows and taller arches) and 9 ft. second floors LOT PREMIUM INCLUDES: - Large Lot APPLIANCE PACKAGE FOR 42 FOOT ROYAL COLLECTION - SUB-ZERO 30 INCH BUILT-IN STAINLESS STEEL REFRIGERATOR/FREEZER - WOLF 30 INCH STAINLESS STEEL GAS RANGE - FRIGIDAIRE 24 INCH STAINLESS STEEL BUILT IN DISHWASHER - AIR KING PROFESSIONAL RANGE HOOD - SAMSUNG 7.3 CF ELECTRIC DRYER - SAMSUNG 4 CF PLUS WASHER 3 1/4 INCH X 3/4 INCH UPGRADE 1 STAINED OAK HARDWOOD IN APPLICABLE AREA (EXCEPT TILED AREAS) U1_ADE 1 STAIN STAIRCASE FROM FIRST TO SECOND FLOOR PURCHASER IS AWARE THAT THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS FROM THE BUILDER.

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

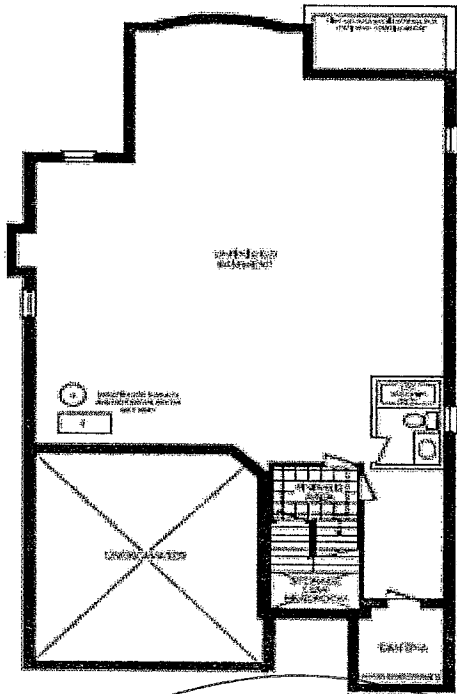
Pa. Included in the purchase price

Vendor  Purchaser: BAL-RAJ SAHJPAUL 

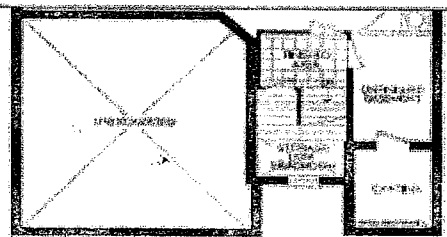
SCHEDULE "FLP"

FLOOR PLAN

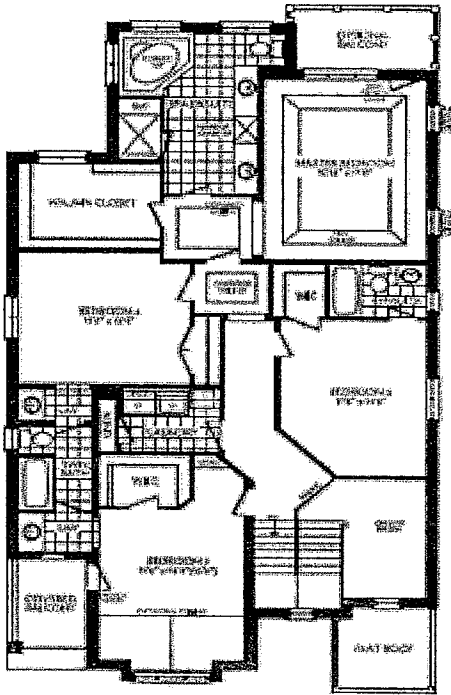
KENSINGTON



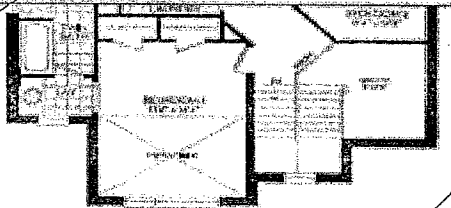
BASEMENT ELEVATION A



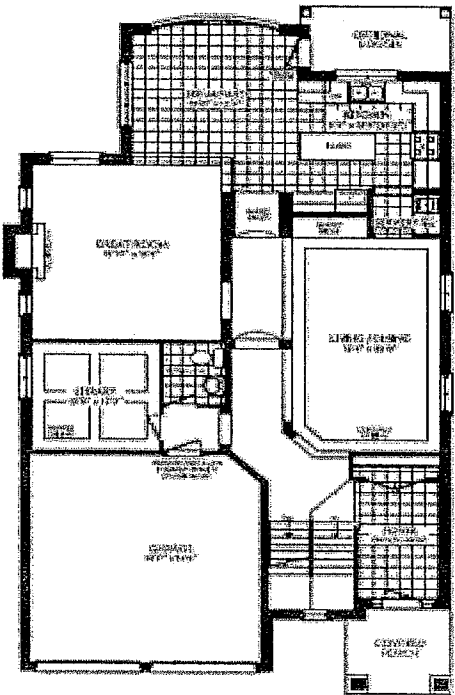
BASEMENT PARTIAL ELEVATION B



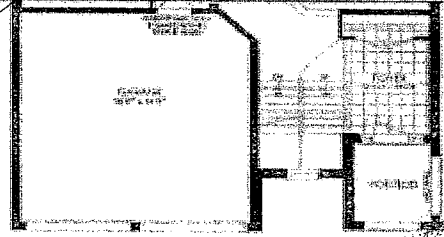
SECOND FLOOR ELEVATION A



SECOND FLOOR PARTIAL ELEVATION B



GROUND FLOOR ELEVATION A



GROUND FLOOR PARTIAL ELEVATION B

Vendor's Initials

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Purchaser's Initials

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