

Lot 14
Phase 2
Model **Edith (43-2) Elev A**

Colours Upgrade Report
Brooklin Print Date:14-Feb-13

ANDREW CARDINAL

PE With Agreement

- KOHLER PLUMBING FIXTURES THROUGHOUT
- ENERGY STAR QUALIFIED HOMES
- NO HIDDEN CLOSING COSTS
- HARDWOOD 2 1/4 IN. X 3/4 IN. PRE-FINISHED NATURAL OAK THROUGHOUT (EXCEPT TILED AREAS AND BEDROOMS)
- ENERGY STAR GAS FIREPLACE
- NATURAL FINISH OAK STAIRS FROM MAIN TO SECOND FLOOR
- TEN THOUSAND DOLLARS (\$10,000) OF UPGRADES TO BE CHOSEN FROM BUILDERS SAMPLES AT TIME OF COLOUR SELECTION
- PURCHASER IS AWARE THAT THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.

ID	Group	Description	Invoice	Date Ordered	
2170	STR	Family Room: Delte half wall Relocate venting if necessary, in order to delete half wall No charge as per head office	356		
2171		Family Room: Cathedral Ceiling with feature window	356		
2172		Main Floor: Smooth ceilings *Discount for have cathedral in family Room	356		
2173		Master bedroom: add additional operable window See plan for location	356		
2174		Family Room: add additional operable window See plan for location	356		
2175		200 Amp service	356		
2176		Upgrade to 2.5 ton airconditioner LENNOX 14 seer	356		
2177		Kitchen: upper corner standard cabinet to be installed	356		
2178		Kitchen: Fridge gable with 60 cm deep uppers standard cabinets	356		
2179		Maple stairs to be ordered	356		
2183	↓	Fireplace: upgrade to 3 sided fireplace with std mantle	356		
2185		Basement: Upgraded gas fireplace with std mantle	356		
4052	DECOR	Kitchen: upgraded hardware HR 510	541		
4053	DECOR	Kitchen: pot and pan drawers	541		
4054	DECOR	Kitchen: additional charge for deep angle corner cabinet and deep uppers	541		
4055	DECOR	TILE: Kitchen: upgrade 2 granite TROPICAL BROWN - INCLUDES STERLING 11444	541	UNDERMOUNT SINK.	
4056	DECOR	TILE: Kitchen: add breakfast bar	541		
4057	DECOR	Kitchen: Upgrade 1 cabinets	541		
4058	DECOR	Hardwood: Family room, Dining Room and main hall: Upgrade 3 MAPLE WINDSOR SELECT V	541		
4059	DECOR	Main to 2nd: Main to basement: Stain stairs to match hardwood	541		
4060	DECOR	Main to 2nd: Main to basement: Upgrade 3 railings-MAPLE Alpa # 12 handrail: wrough iron;posts 1.2 inch square single collar and plain pickets, alternating, flat black, 3 1/2 inch sq post with chamfered edges	541		
4061	DECOR	PLUMBING: Waterline to fridge in kitchen	541		

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4062	DECOR	All bedrooms and rec area in basement: upgrade 1 carpet Wallaby Cream	541		
4064	DECOR	Master Ensuite: upgrade 1 cabinets	541		
4065	DECOR	Master Ensuite: STD marble countertop *Undermount sink to be installed Kohler K-2355	541		
4066	DECOR	Master Ensuite: upgrade 1 tile on wall *floor tile being installed on wall	541		
4067	DECOR	Master Ensuite: upgrade hardware	541		
4073	DECOR	Main bath: upgrade 1 cabinets	541		
4074	DECOR	Main bath: upgrade hardware	541		
4075	DECOR	throughout: upgrade 1 trim	541		
4076	DECOR	Master Ensuite and Main bath: upgrade 1 bathroom accessories k-13431 k-13434	541		
4077	DECOR	main bath: STD marble countertop *Undermount sink to be installed Kohler K-2355	541		
4078	DECOR	Main and master Ensuite: upgrade sink faucet to upgrade 1 K-15261-4 CORALAIS WIDESPREAD	541		
4079	DECOR	Main and master Ensuite: Upgrade 1 shower head and lever k-10282 FORTE k-T15621-4 CORALAIS	541		
4080	DECOR	Kitchen: upgrade 1 facuet k-15160 CORALAIS SINGLE HOLE	541		
4081	DECOR	Basement: Fireplace: 3 pcs marble surround	541		

ZANCOR HOMES COLOUR CHART

CABINETRY		HARDWARE		ZANCOR APPLIANCE PACKAGE		
Kitchen	Contessa Shaker Maple Vanilla	HR 5110	Appliance Package	No		✓ Yes
Servery	N/A	N/A	Gas Line to Stove			
Island	Contessa Shaker Maple Vanilla	HR 510	PLUMBING	NO	Waterline	✓ Yes
Master Ensuite	Contessa Shaker Maple White	HR06	Kitchen	See PES	NOTES	
Main/Twin	Metro Maple Espresso	HR06	Powder Room	N/A	URG FALCET	
2nd Ensuite	N/A	N/A	Master Ensuite	See PES ✓	UNDERMOUNT SINK	
3rd Ensuite	N/A	N/A	Main/Twin	See PES ✓	LANDSCAPE SINK	
Laundry	N/A	N/A	Basement	STD		
Basement Bath	STD White thermal Arctic	HR403	3rd Ensuite	N/A		
Other	N/A	N/A	Other	N/A		
COUNTERTOPS		EDGE	MIRRORS & ACCESSORIES			
Kitchen	(2) Tropical Brown ✓	C	Mirrors	Yes		
Servery	N/A	N/A	Bathroom Accessories	See PES		
Island	(2) Tropical Brown ✓	C	TRIM			
Master Ensuite	Crema Nuova ✓	H	Casing/Baseboards	Upgrade 1 Colonial ✓		
Main/Twin	Botticino ✓	H	Interior Doors	STD		
2nd Ensuite	N/A	N/A	Interior Door Hardware	STD		
3rd Ensuite	N/A	N/A	Exterior Door Hardware	STD		
Laundry	N/A	N/A	PLASTER MOULDING			
Basement Bath	3689-77 Himalayan Slate	N/A	Crown Moulding	No		
FLOOR & WALL TILES		WALL TILE INSERT	THRESHOLDS	HARDWOOD/CARPET		
Kitchen Floor	13 x 13 Greco Beige	No	wood	Living Room	N/A	
Breakfast Floor	13 x 13 Greco Beige	No	wood	Dining Room	Up 3 Maple Windsor select V	
Kitchen Bk Splash	N/A	No	wood	Family/Great Room	Up 3 Maple Windsor select V	
Main Foyer	13 x 13 Greco Beige	No	wood	Den/Study	N/A	
Main Hall	Hardwood	No	wood	Kitchen *(Waiver)	TILE	
Powder Room	N/A	No	wood	Main Foyer *(Waiver)	TILE	
Laundry	13 x 13 Greco Beige	No	wood	Main Hall	Up 3 Maple Windsor select V	
Mstr Ensuite Floor	12 x 12 Ariona Almond	No	Perlato	Upper Hall	N/A	
Mstr Ensuite Shower	8 x 10 Reflection Olive	No	Perlato	Master Bedroom	6440 Papilio 17193 wallaby Cream	
Mstr Ensuite Tub Wall	12 x 12 Ariona Almond	No	Perlato	Bedroom 2	6440 Papilio 17193 wallaby Cream	
Mstr Ensuite Tub Deck	12 x 12 Ariona Almond	No	Perlato	Basement Bedroom	6440 Papilio 17193 wallaby Cream	
Master Shower Floor	2 x 2 Bone	No	Perlato	Bedroom 4	N/A	
Main Bath/Twin Floor	13 x 13 Tuscan Brown	No	wood	Carpet Underpad	1/4" EBONY Super Rugs	
Main Bath/Twin Wall	8 x 10 Reflection White	No	wood	Basement Landing	6440 Papilio 17193 wallaby Cream	
Main Bath/Twin Shower	8 x 10 Reflection White	No	wood	Other	N/A	
Basement Floor	Carpet	No	wood	STAIRS, RAILING & PICKETS		
Basement Wall	8 x 10 reflection Bone	No	wood	Main Flr. to 2nd Flr. Stair Finish/Stain:	Stain to match maple	
Basement shower fir	12 x 12 Classico beige	No	wood	Main Flr. to 2nd Flr. Railing Details:	Upgrade 3 maple	
Basement Landing	Carpet	No	wood	Alpha # 12 handrail: wrought iron, posts 1.2 inch square single collar and plain pickets, alternating, flat black, 3 1/2 inch sq post with chamfered edges	✓	
Other	N/A	No	wood	FIREPLACE		
Location		Basement	Mantle	NF 24	✓	
Insert & 4 Pc Surround		STD and Perlato Royale	Hearth	NO		
PAINT						
Kitchen/Breakfast	Birch White					
Living Room	Birch White					
Dining Room	Birch White					
Family/Great room	Birch White					
Den/Study	Birch White					
Main/Upper Hall	Birch White					
Master Bedroom	Oyster White					
Bedroom 2	Oyster White					
Basement landing	Birch White					
Basement Bed	Oyster White					
Ensuite	Oyster White					
Main/Twin	Oyster White					
2nd Ensuite	N/A					
3rd Ensuite	N/A					
Laundry	Oyster White					
basement bath	Birch White					
SITE:						
PURCHASER(S):		BECKLUN FINEST LOT: 14				
HOME #:						
CELL #:						
EMAIL:						
MODEL:		43-2		ELEV: 4		
WOB/LOB:						

3 SIDED FIREPLACE @ FAMILY ROOM.

DISCLAIMER

Colours of all materials are as close as possible to Builders selection but not necessarily identical due to dye lot variances in manufacturing/manufacturers. Due to construction progress some items may have been pre-selected or installed. In this event the Vendors selection must be accepted by the purchaser

INITIALS

Any changes to the colour chart after signing are subject to a \$5000 administration fee plus costs (BOLSPEN TRSD) ac.

Purchaser has checked and acknowledged accuracy of colour and selections before signing.

Purchaser Signature

Date

Purchaser Signature

Date

Décor Consultant Signature

Date

Vendor Signature

Date

* ITS THE RESPONSIBILITY OF ALL TRADES TO INFORM THE BUILDER OF ANY
DESCREPANCIES ON SKETCHES, PES AND/OR COLOUR CHART

ZANCOR
HOMES

Edith

Elev. A 2236 sq. ft.

Elev. C 2236 sq. ft.

includes 641 sq. ft. finished lower level

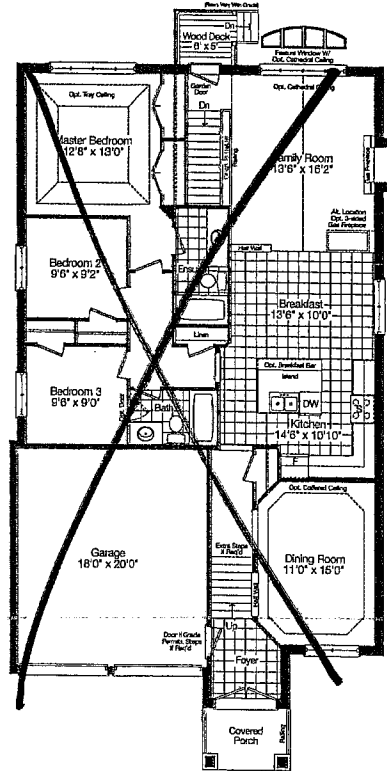
2173 additional operable

2174 operable window

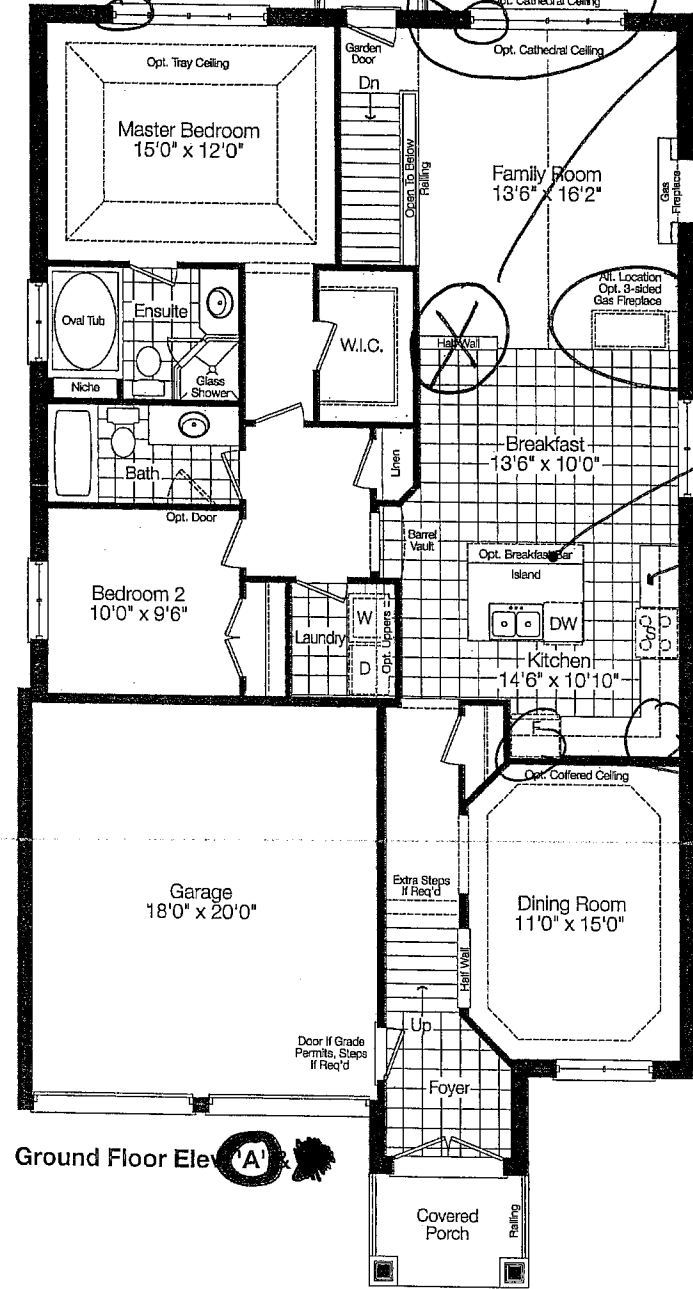
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2170 DELETE

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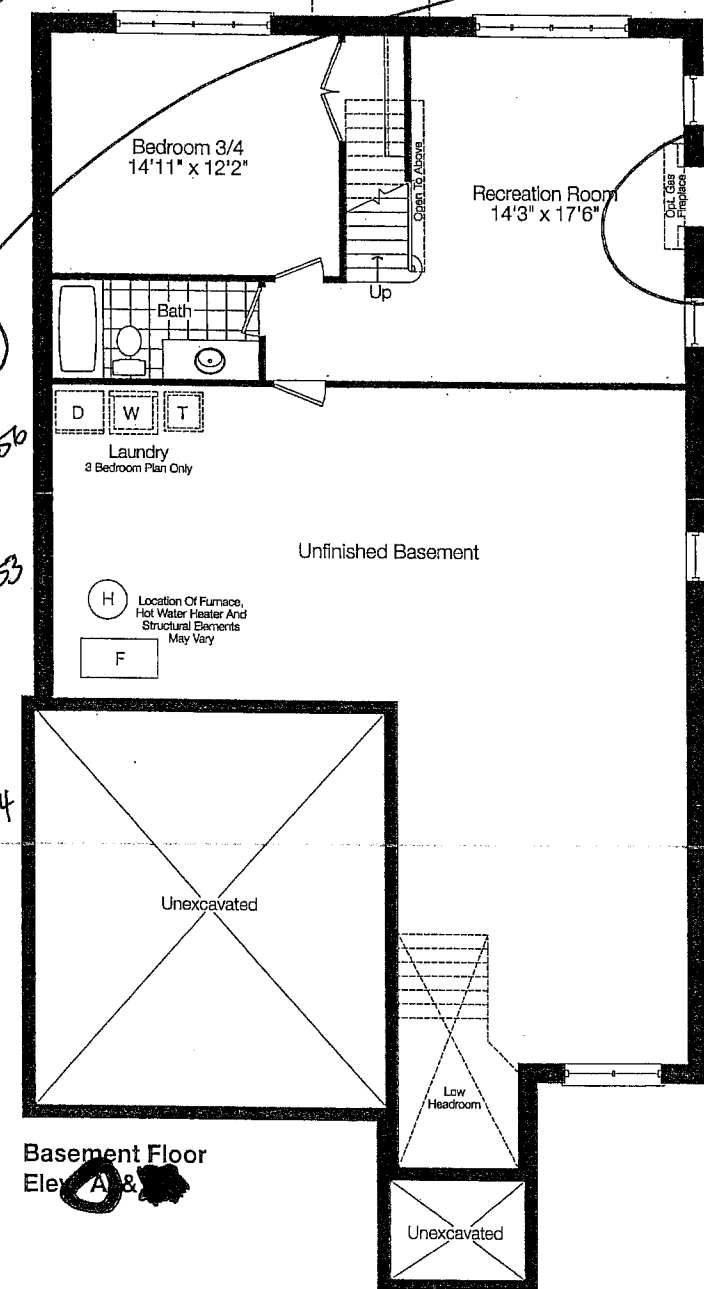
LOT 14 BF
02/05/13



Opt. Ground Floor
Elev. A &
3 Bedroom Plan



Ground Floor Elev. A &



Basement Floor
Elev. A &

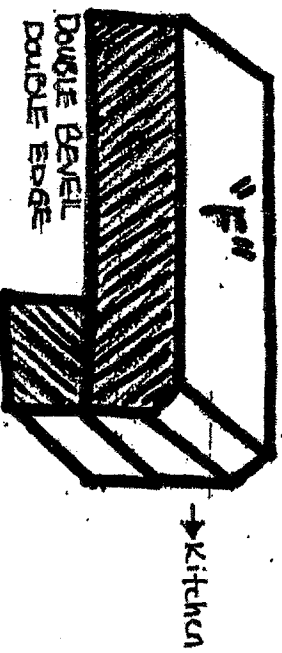
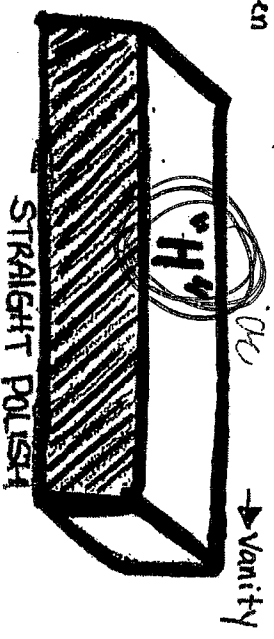
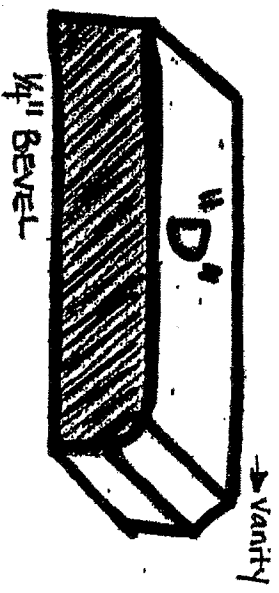
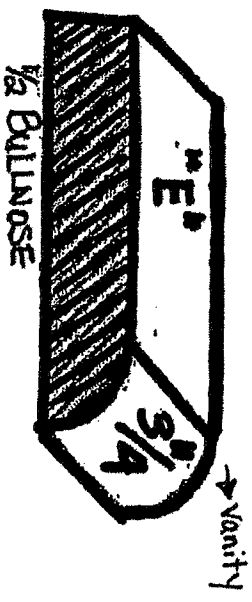
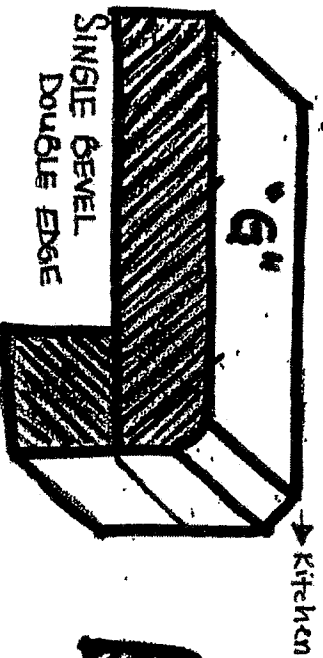
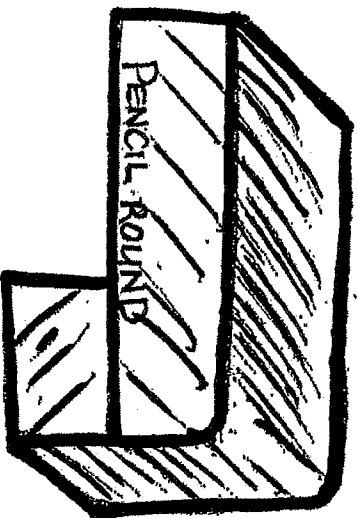
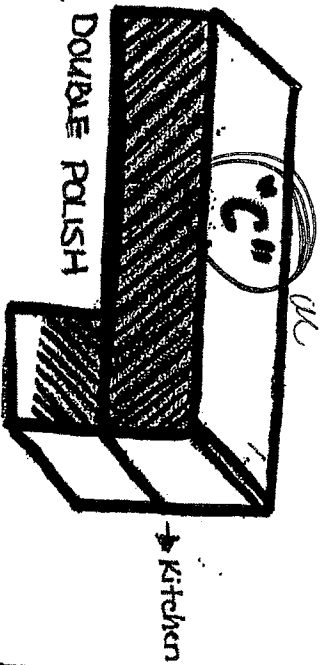
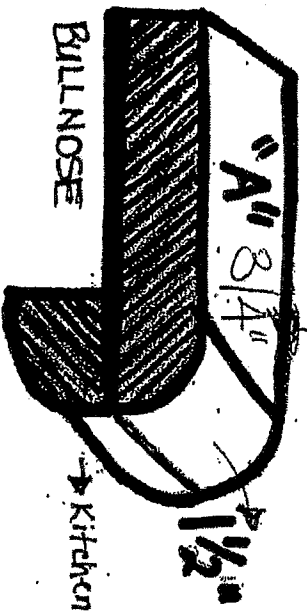
2185

Z
ZANCOR
HOMES

LOCAL, LEGENDARY & LASTING®

Prices and specifications are subject to change without notice. F&O.E. tile patterns may vary. Window size and location may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renderings are artist's concept.

STANDARD Moulding



137143F

STANDARD APPLIANCE WIDTHS

The purchaser acknowledges the following standard spaces for kitchen appliances:

- ☐ Range Conventional – 30" Width
- ☐ Hood Fan – 30" Width (must be the same or larger as range opening as per Ontario Building & Fire Code)
- ☐ Refrigerator – 36" W x 72" H (Approximate - height may change due to bulkheads)
- ☐ Dishwasher – 24" Width
- ☐ Standard Washer/ Dryer
- ☐ 6" Exhaust Vent above stove

NON-STANDARD APPLIANCE OPTIONS

NOTE: When upgrading appliances, there may be an additional charge to modify cabinetry and/or electrical and plumbing to accommodate the appropriate size from the manufacturer specifications of each appliance.

****MANUFACTURERS SPECIFICATIONS MUST BE ATTACHED****

- | | |
|--|--|
| <input type="checkbox"/> Built-In Wall Oven | <input type="checkbox"/> Built-in Refrigerator/Sub Zero – If purchasing a side by side or French Door, the wall beside the door may be an issue if it is deeper than 24" |
| <input type="checkbox"/> Built-In Microwave with Trim Kit | * Applicable charges may apply if required to due to space accommodations |
| <input type="checkbox"/> Built-In Microwave Drawer with Trim Kit | *Note: Refrigerator Door Swing |
| <input type="checkbox"/> Warming Drawer | <input checked="" type="checkbox"/> Wine / Bar Fridge (electrical required) |
| <input type="checkbox"/> Slide-In Stove | <input type="checkbox"/> Steam Oven / Built-In Coffee makers |
| <input type="checkbox"/> Cooktop | <input type="checkbox"/> Free Standing Chimney hoods (clearance space will be left with this appliance will not butt up against cabinetry) |
| * (Gas/Electric – Cut-out Charge & Plug Required) | <input type="checkbox"/> Cargo Waste Bin systems |
| <input type="checkbox"/> OTR – Over The Range Microwave *Plug required | <input type="checkbox"/> Font Load Washer & Dryer *(Specs required if installing counter above) |
| <input type="checkbox"/> Hood Fan (may require larger vent, charges will apply – 6" is standard) | <input type="checkbox"/> Stackable Washer & Dryer |
| <input type="checkbox"/> 8" Vent / 10" Vent | |
| <input type="checkbox"/> 36" / 42" Stove | |
| (Hood fan-width will be the same as per Ontario Building Code) | |

Purchaser acknowledges responsibility for providing correct specification for such appliance and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than FEB 23/13

If not received the standard openings as determined by Zancor Homes will be provided.

Purchaser Signature Andrew Lind Date 05 FEB 2013

Purchaser Signature _____ Date _____

PROJECT BROWN FOREST LOT 14 BF

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturers specifications.

**ACKNOWLEDGEMENT OF RECEIPT
FOR GRANITE AND MARBLE INFORMATION**

**ZANCOR
HOMES**

Purchaser acknowledges receipt, understanding and acceptance of the following information as provided by the Vendor for Granite and Marble finishes.

- GRANITE IS A 100% NATURAL PRODUCT – Every stone has its own unique qualities and characteristics. These range from natural pitting to areas of crystal deposits embedded within the stone as well as the stone's unique motion and patterns. Being a natural product that is quarried right from the earth, it also possesses excellent wear, resistance and heat exposure qualities.
- STONE HAS THE ABILITY TO REFLECT LIGHT DIFFERENTLY – The same stone may appear to be different when viewed in various lighting conditions and different angles. The stone may also vary in colour or wave motion from one side to another depending on the concentration of minerals and crystals embedded within that stone. Thus, it is not always possible to book match the pieces of stone across joint or corner areas.
- EDGE FINISHES ARE NOT ALWAYS EQUIVALENT TO THE TOP FINISH – The difference is often due to the stone's physical properties, colour and with the finished edge bias being different than that of the top surface. The finish is also affected by the type of edge profile, which is chosen.
- STONE IS A NATURAL PRODUCT THAT HAS MANY TINY PORES – Liquids such as oils and red wine if left on the surface, may leave a ring. When using oil and red wines, it is best to wipe up the spills as soon as possible and leave the top to air dry.
- VIEW AND PICK YOUR SLAB FROM OUR SUPPLIER'S INVENTORY – The Vendor will arrange for the Purchaser to view and select the slab of stone that the countertop will be made from, prior to it being templated. This will provide the Purchaser the opportunity to confirm that the counter will meet the Purchaser's expectations, as much as possible.
- PLEASE LOOK AT YOUR STONE CAREFULLY – The Purchaser needs to be aware that the surface finish will have fissures, pits and pores. These naturally occurring features will vary in frequency and intensity depending on the type of stone chosen by the Purchaser.
- GRANITE IS AN IGNEOUS ROCK – Meaning the stone was formed by the cooling and solidification of magma deep within the earth. Granite is composed of grains or crystals of Quartz, Feldspar and Mica.
- GRANITE IS A VERY HARD ROCK – It is highly resistant to being scratched. On a scale of 1 to 10, Talc and Gypsum is at 1 and 2; Corundum and Diamond is at 9 and 10; and GRANITE is at 5 to 7. It withstands extreme temperatures, and is not nearly as prone to staining as marble is.
- GRANITE COUNTER TOPS WILL HAVE JOINTS – Purchaser aware one joint will be at each corner and on either side of slide-in-range (if applicable). It will also be where the length of the counter top exceeds the length of a stone slab. Slabs are usually approximately 5'x8'. A ¾" countertop weighs approximately 15 lbs., and a 1 ¾" counter top weighs as much as 23 lbs. per square foot.

MARBLE

- MARBLE IS A METAMORPHIC ROCK – This means it was formed with limestone. Calcite/Dolomite was put under pressure and high temperatures deep within the earth's crust. The heat and pressure altered its crystalline structure and introduced other minerals that produced the colours and veining that marble is commonly known for.
- MARBLE IS VERY SOFT – It can be scratched easily. On a scale of 1 to 10, Talc and Gypsum at 1 and 2; and Corundum and Diamond at 9 and 10; Marble is a 3 on that scale.
- MARBLE IS VERY SUSCEPTIBLE TO STAINING AND ETCHING – Marble is NOT recommended for use as a counter top in kitchens. Marble is often used in bathroom counter top – however is very porous and may show water stains.
- MARBLE SHOULD NEVER BE CLEANED WITH SCOURING PADS – Abrasive cleaners should NOT be used either, as they WILL scratch and damage the marble. Use the proper dedicated cleaners for marble counter tops.
- CLEANING PRODUCTS – Solutions containing lemon oil or vinegar should NOT be used.
- COASTERS SHOULD BE USED – Use under all glasses, particularly those containing alcohol or citrus juice.

Purchaser Signature: Arthur Coady Date: 05 FEB 2013

Purchaser Signature: _____ Date: _____

Site: Broadford West Lot Number: 14 BF